

File: A143/20

Applicant: Ankit Patel

Address: 15 Ida Court, Woodbridge ON

Agent: Smart Structural Solutions

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection	<input checked="" type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	
Cultural Heritage (Urban Design)	<input checked="" type="checkbox"/>	
Development Engineering	<input checked="" type="checkbox"/>	
Parks, Forestry and Horticulture Operations		
By-law & Compliance		
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department		
TRCA		
Ministry of Transportation		
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)		

Adjournment History: None

Background History: None

Staff Report Prepared By: Lenore Providence
Hearing Date: Thursday, February 25, 2021

**Please note that additional comments may be received after the publication of the Staff Report. These comments will be processed as an addendum (see website for details).*



**Minor Variance
Application

A143/20**

Agenda Item: 05
Ward: 2

Staff Report Prepared By: Lenore Providence, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing: Thursday , February 25, 2021 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

Please submit written comments by mail or email to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

To make an electronic deputation at the meeting please contact the Committee of Adjustment at cofa@vaughan.ca or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

Applicant: Ankit Patel

Agent: Hamid Hemati - Smart Structural Solutions

Property: **15 Ida Court, Woodbridge ON**

Zoning: The subject lands are zoned R1, Residential Zone, and subject to the provisions of Exception 9(124) under By-law 1-88 as amended.

OP Designation: Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Related Files: None.

Purpose: Relief from By-law 1-88, as amended, is being requested to permit construction of a proposed cabana to be located in the rear yard.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum Rear yard setback of 7.5 metres is required.	1. To permit a minimum Rear yard setback of 1.2 metres to an Accessory Structure (cabana).
2. A minimum Interior side yard setback of 1.5 metres is required.	2. To permit a minimum Interior side yard setback of 1.06 metres to an Accessory Structure (cabana).

Background (previous applications approved by the Committee on the subject land): N/A

Adjournment History: N/A

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:
Public notice was mailed on February 10, 2021

Applicant confirmed posting of signage on February 7, 2021

Property Information	
Existing Structures	Year Constructed
Dwelling	1977

Applicant has advised that they cannot comply with By-law for the following reason(s): The proposed cabana in beyond the rear and side set back.

Adjournment Request: None

Building Standards (Zoning Review):
Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file.

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2.

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Please note Section 4.1.1(b) that states the maximum height of an accessory building or structure measured from the average finished ground level to the highest point of the said building or structure shall be 4.5 metres. The nearest part of the roof shall not be more than three (3) metres above finished grade. The proposed structure complies to this requirement.

Building Inspections (Septic):
No comments or concerns

Development Planning:
Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

The Owner is requesting permission to construct an accessory structure (cabana) in the rear with the above noted variances.

In support of this minor variance application, the Owner submitted an Arborist Report, prepared by Tree Permits, dated January 23, 2021. The Urban Design Division of the Development Planning Department has reviewed the Arborist Report and recommends three (3) trees be planted as compensation for the removal. The Owner has agreed and has revised the site plan to the indicate their approximate location.

There is no objection to the proposed variances, given the accessory structure is appropriately distanced to the adjacent dwellings and situated in an area that provides sufficient soft landscaping. Additionally, the reduction in rear and interior side yard setback is offset by the fact the cabana complies with the height and area provisions of Zoning By-law 1-88, and the majority of the structure is unenclosed.

The Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

The Development Planning Department recommends approval of the application.

Development Engineering:
The Development Engineering (DE) Department does not object to variance application A143/20.

Parks Development - Forestry:
No comments or concerns

By-Law and Compliance, Licensing and Permit Services:
No comments or concerns.

Financial Planning and Development Finance:
No comment no concerns.

Fire Department:
No comments received to date.

Schedule A – Plans & Sketches

Schedule B – Public Correspondence
None.

Schedule C - Agency Comments
Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

Schedule D - Previous Approvals (Notice of Decision)

None.

Staff Recommendations:

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96 and subject to the following conditions:
N/A

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil). To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit www.vaughan.ca

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

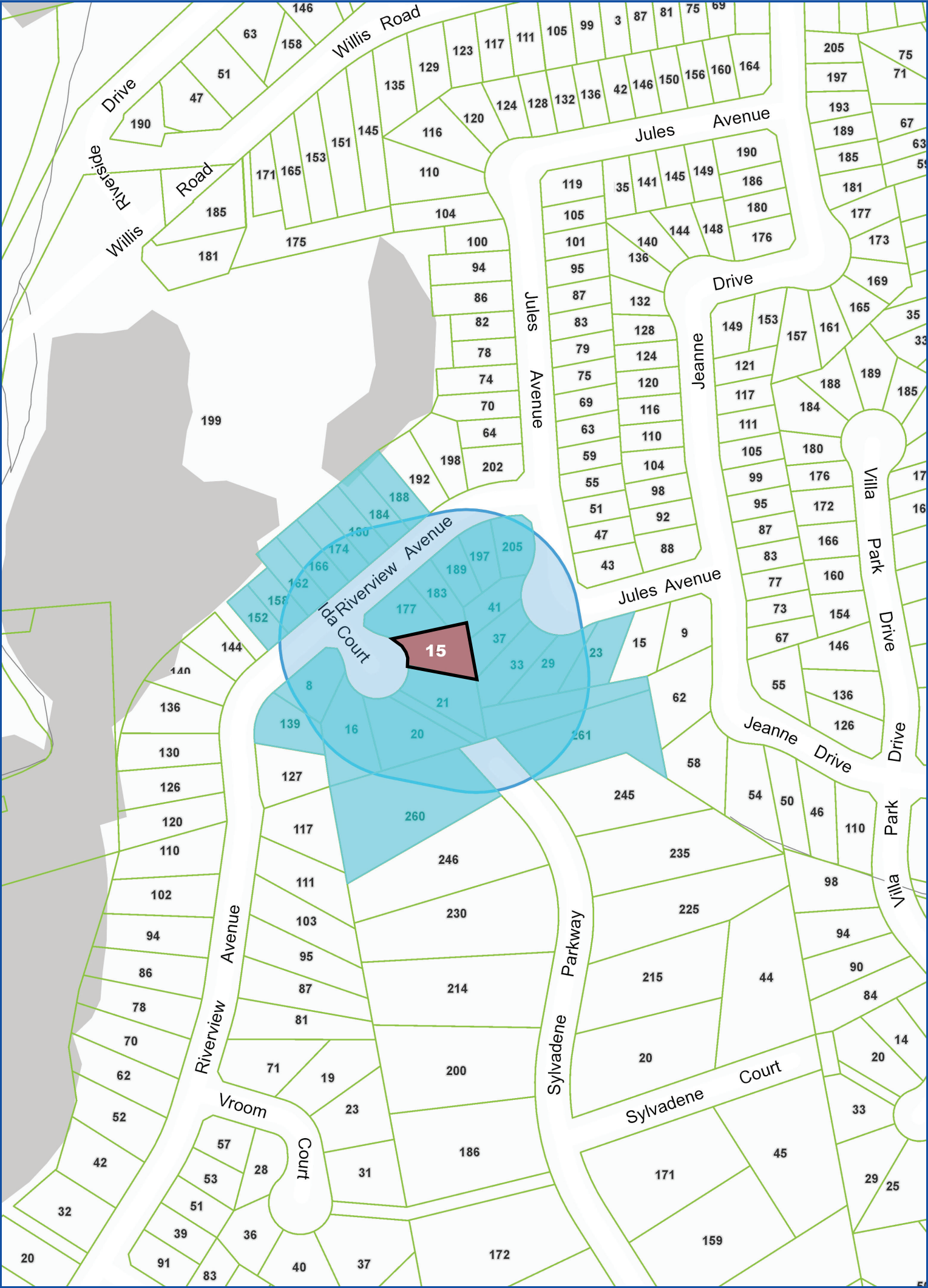
For further information please contact the City of Vaughan, Committee of Adjustment

T 905 832 8585 Extension 8394
E CofA@vaughan.ca

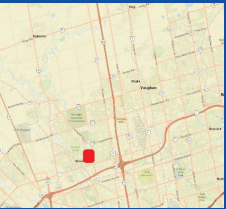
Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

Location Map
Plans & Sketches



Map Information:



Title:

15 Ida Court, Woodbridge

LOCATION MAP - A143/20

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:2,807

0 0.04 km



Created By:

Infrastructure Delivery
Department
February 10, 2021 11:35 AM

Projection:
NAD 83
UTM Zone
17N

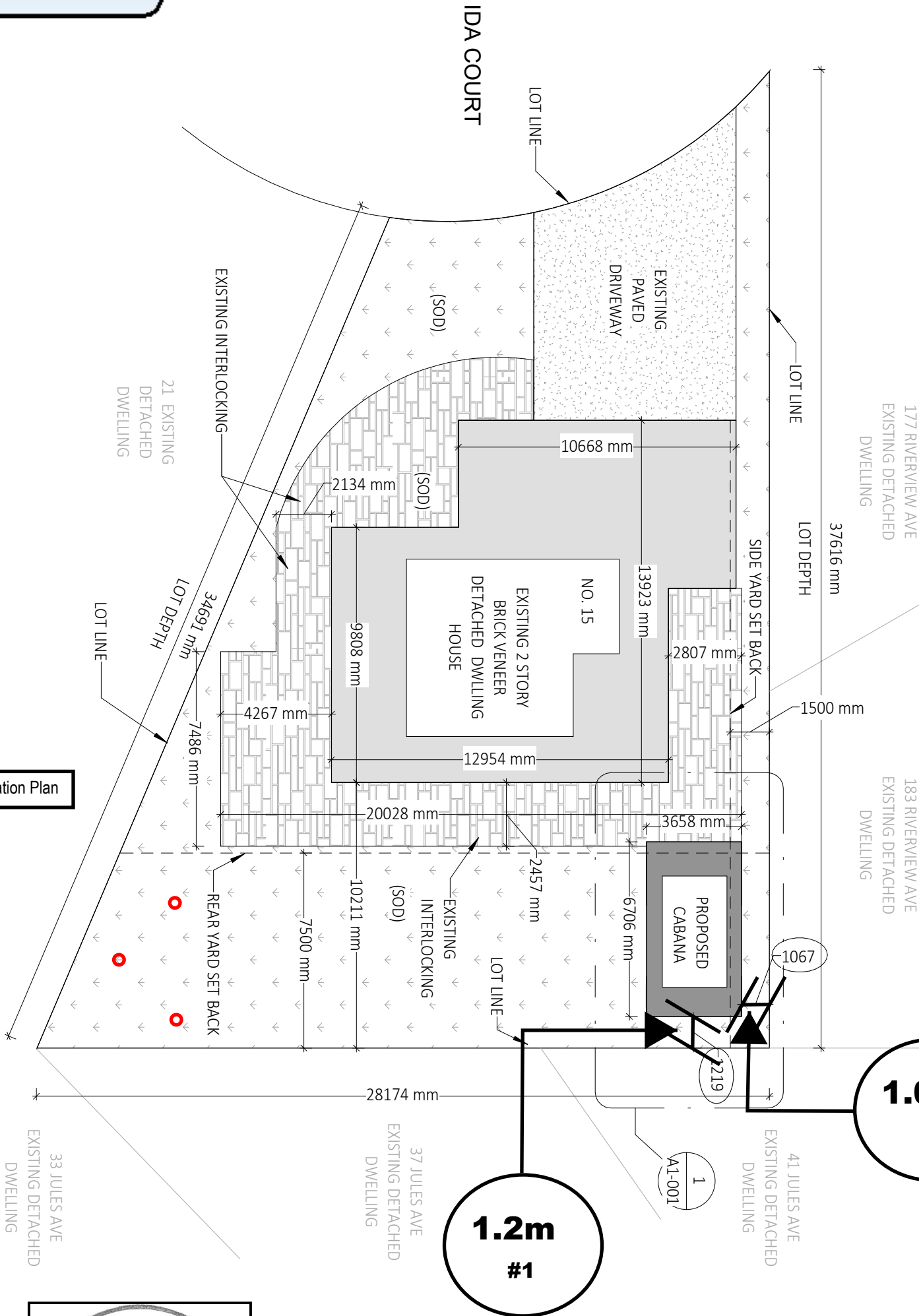
A143/20

NEW

February 12, 2021

RAER YARD AREA: 266.80 M²
EXISTING INTERLOCK AREA: 49.2 M²
PROPOSED CABANA AREA: 24.53 M²
SOFT LANDSCAPING: 194.3 M² (72%)
REQUIRED SOFT LANDSCAPING: 60%

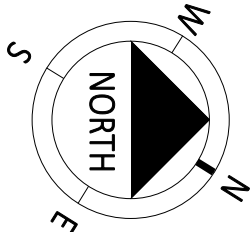
LOT AREA: 702.24 M²
EXISTING BUILDING AREA: 177.01 M²
PROPOSED CABANA AREA: 24.53 M²
LOT COVERAGE: 201.54 M² (28.70 %)
ALLOWED LOT COVERAGE: 40%



NOTE: THERE IS NO TREE GREATER THAN 200 DIA IN REAR YARD.

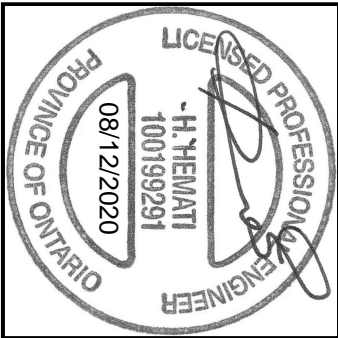
Tree Relocation Plan

1 SITE PLAN
1/16" = 1'-0"



#1 To permit a minimum Rear yard setback of 1.2 metres to an Accessory Structure (cabana).

#2 To permit a minimum Interior side yard setback of 1.06 metres to an Accessory Structure (cabana).



NEW CABANA

PROJECT ADDRESS:

15 Ida Ct, Woodbridge, ON L4L 1V6

SHEET NAME:

SITE PLAN

DATE: 12-11-2020

PROJECT No.:

SCALE: 1/16" = 1'-0"

20-32-04

DESIGNER: P.FOROZAN

SHEET No:

CHECKER: H.HEMATI

A0-003

GENERAL NOTE:

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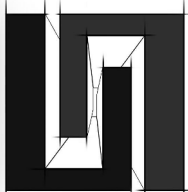
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No.	DATE	ISSUED FOR	APVD

REVISIONS

ENGINEER:



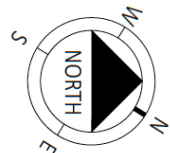
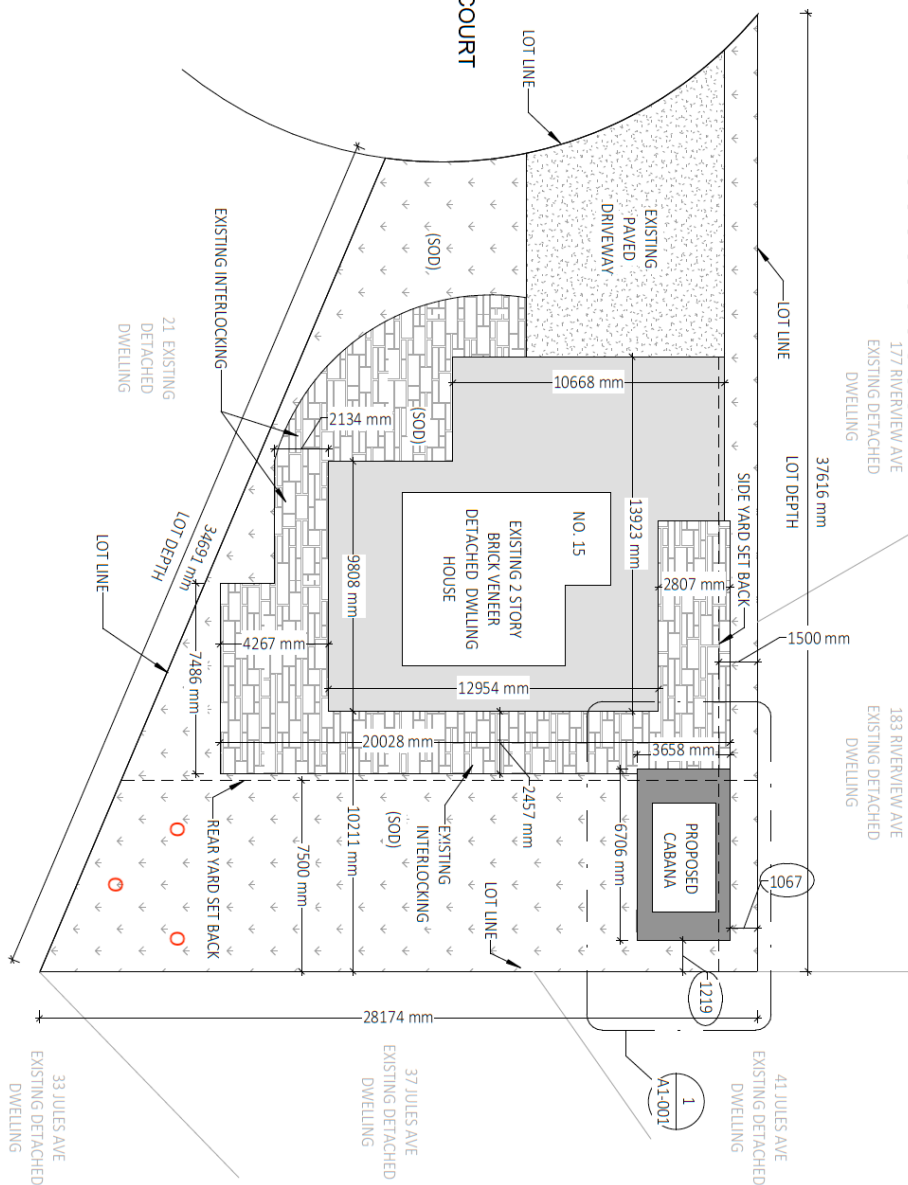
SMART Structural Solutions

7250 KEELE ST. UNIT 295, VAUGHAN, ON L4K 1Z8
(416)-312-0177 , info@improve3s.ca

CLIENT:

February 12, 2021

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(416)-312-0177 , info@improve3s.ca

CLIENT:

PROJECT NAME:

NEW CABANA

PROJECT ADDRESS:

15 Ida Ct, Woodbridge, ON L4L 1V6

SHEET NAME:

SITE PLAN

DATE: 12-11-2020

PROJECT No.:

SCALE: 1/16" =

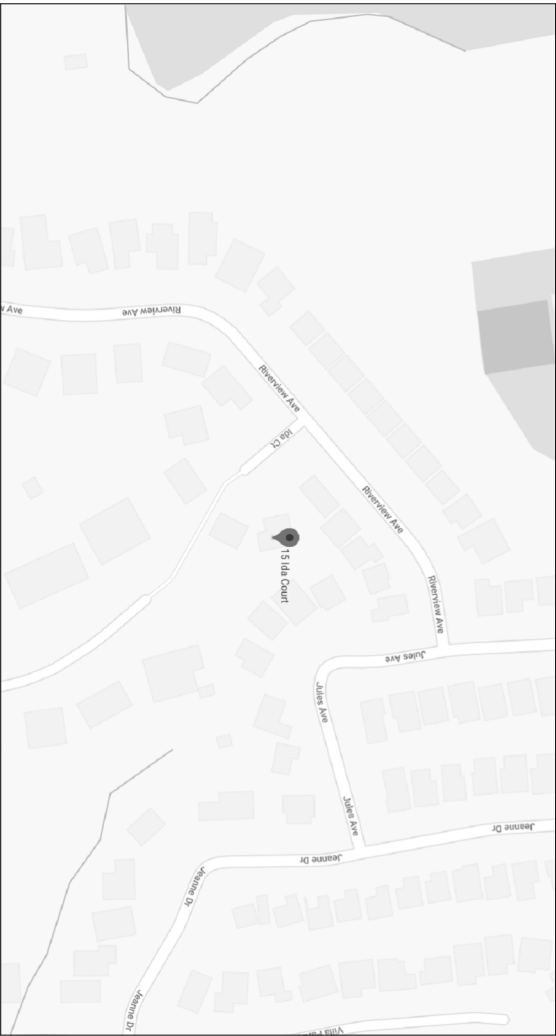
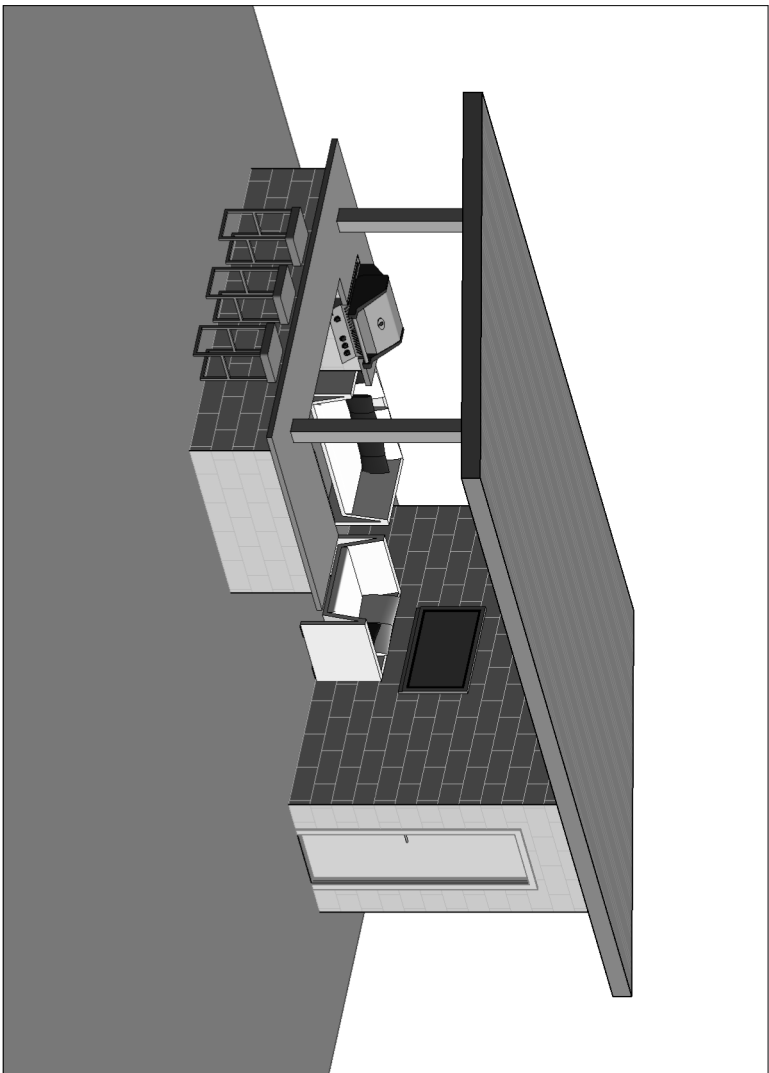
20-32-04

DESIGNER: P.FOROZAN

CHECKER: H. HEMATI

A0-003

15 IDA CT, WOODBRIDGE, ON L4L 1V6



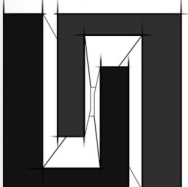
Sheet List	
Sheet Number	Sheet Name
A0-001	COVER PAGE
A0-002	SURVEY PLAN
A0-003	SITE PLAN
A1-001	MAIN FLOOR - PROPOSED
A1-002	ROOF PLAN
A2-001	EAST ELEVATION
A2-002	NORTH ELEVATION
A2-003	SOUTH ELEVATION
A2-004	WEST ELEVATION
A3-001	SECTION 1
A3-002	SECTION 2

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(416)-312-0177 , info@improve3s.ca

CLIENT:

PROJECT NAME:

NEW CABANA

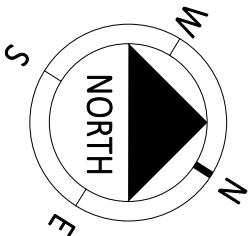
PROJECT ADDRESS:

15 Ida Ct, Woodbridge, ON L4L 1V6

SHEET NAME:

COVER PAGE

DATE: 12-11-2020	PROJECT No.:
SCALE:	20-32-04
DESIGNER: P.FOROZAN	SHEET No:
CHECKER: H.HEMATI	A0-001

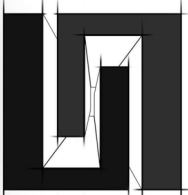


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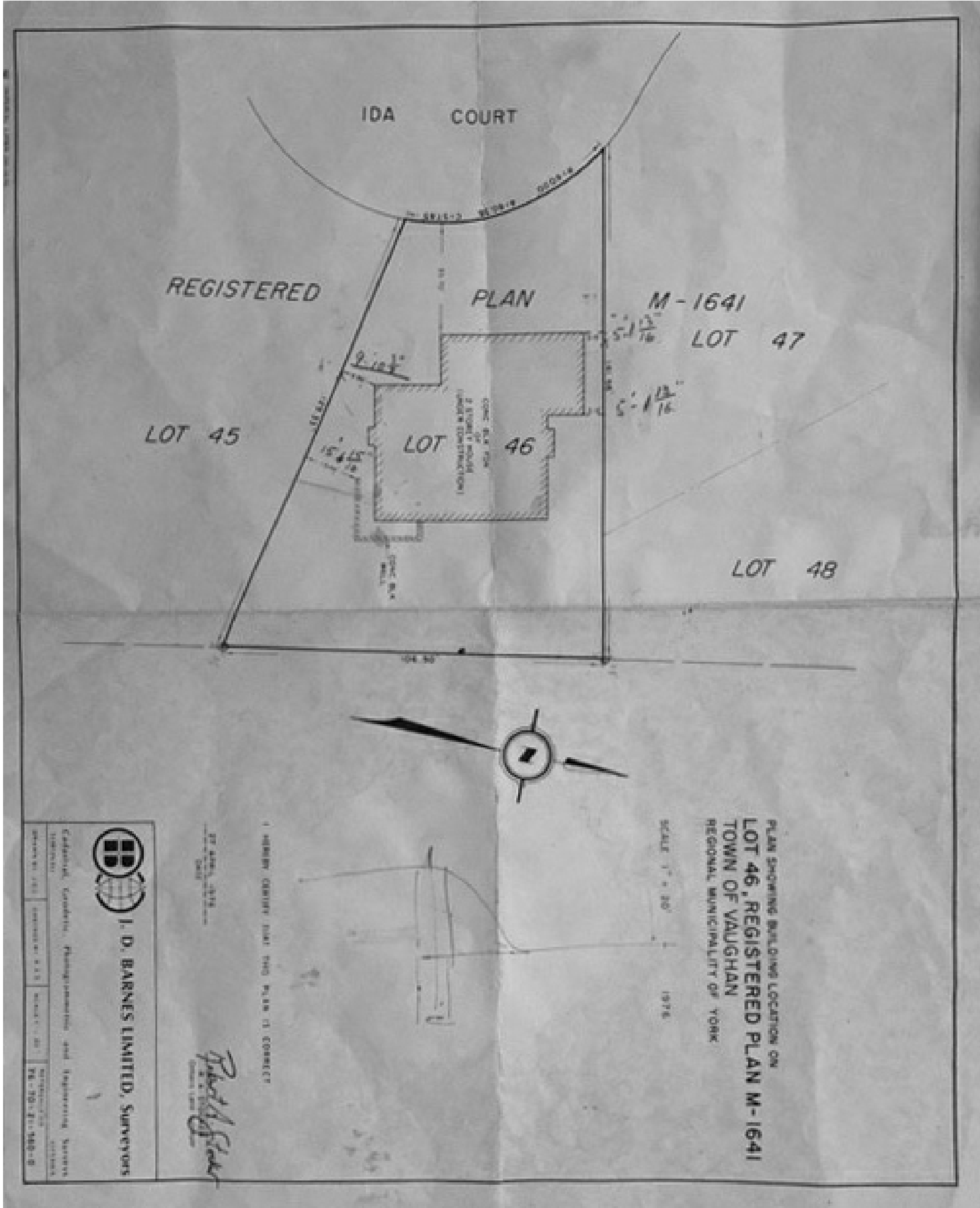
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PROJECT ADDRESS:
15 Ida Ct, Woodbridge, ON L4L 1V6

SHEET NAME:

SURVEY PLAN

DATE: 12-11-2020	PROJECT No.:
SCALE:	20-32-04
DESIGNER: P.FOROZAN	SHEET No:
CHECKER: H.HEMATI	A0-002

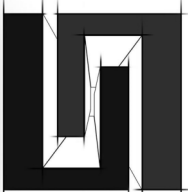


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7250 KEELE ST. UNIT 295, VAUGHAN, ON L4K 1Z8
(416)-312-0177 , info@improve3s.ca

CLIENT:

PROJECT NAME:

NEW CABANA

PROJECT ADDRESS:

15 Ida Ct, Woodbridge, ON L4L 1V6

SHEET NAME:

MAIN FLOOR - PROPOSED

DATE: 12-11-2020

PROJECT No.:

SCALE: 3/16" = 1'-0"

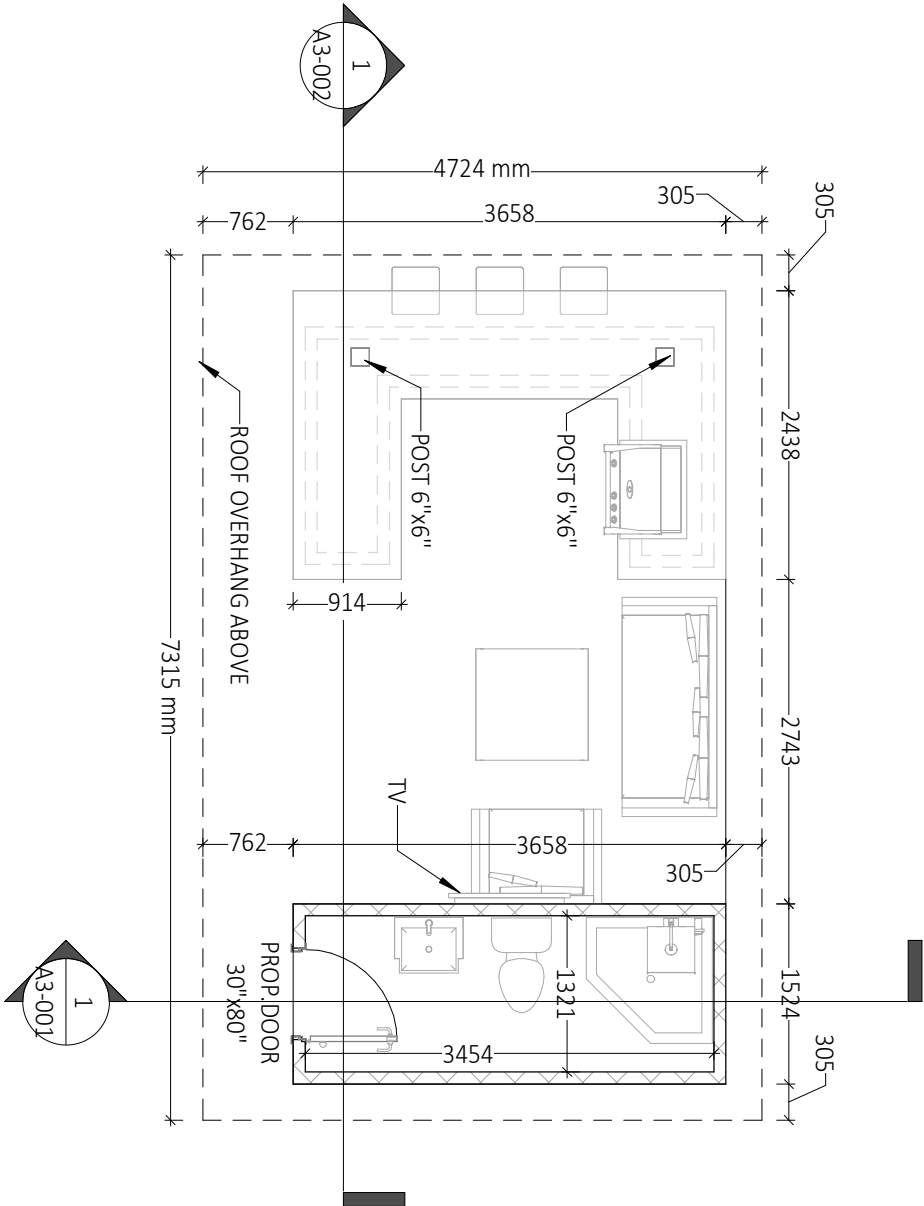
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DESIGNER: P.FOROZAN

SHEET No:

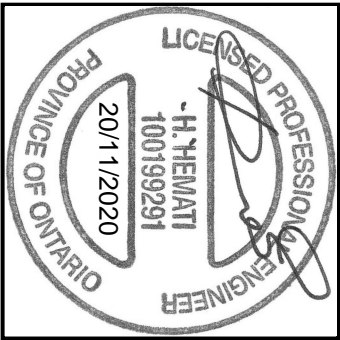
CHECKER: H.HEMATI

A1-001



1 MAIN FLOOR (CALLOUT -1) - PROPOSED
3/16" = 1'-0"

NOTE: ALL DIMENSIONS ARE IN MILLIMETERS

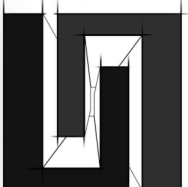


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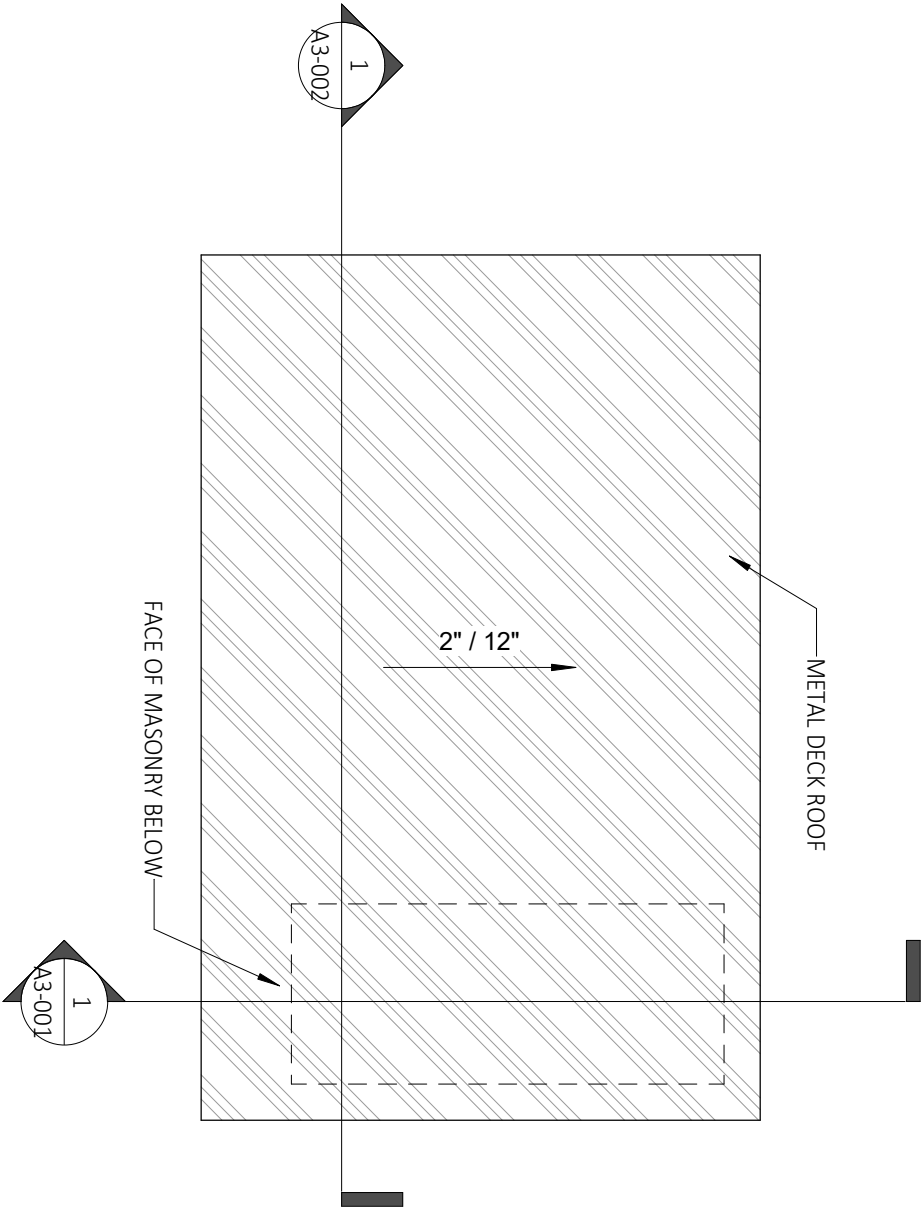
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PROJECT ADDRESS:
15 Ida Ct, Woodbridge, ON L4L 1V6

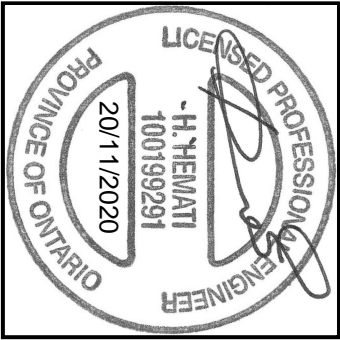
SHEET NAME:

ROOF PLAN

DATE: 12-11-2020	PROJECT No.:
SCALE: 3/16" = 1'-0"	20-32-04
DESIGNER: P.FOROZAN	SHEET No:
CHECKER: H.HEMATI	A1-002



1 ROOF PLAN PROPOSED
3/16" = 1'-0"

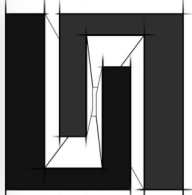


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(416)-312-0177 , info@improve3s.ca

CLIENT:

PROJECT NAME:

NEW CABANA

PROJECT ADDRESS:

15 Ida Ct, Woodbridge, ON L4L 1V6

SHEET NAME:

EAST ELEVATION

DATE: 12-11-2020

PROJECT No.:

SCALE: 3/16" = 1'-0"

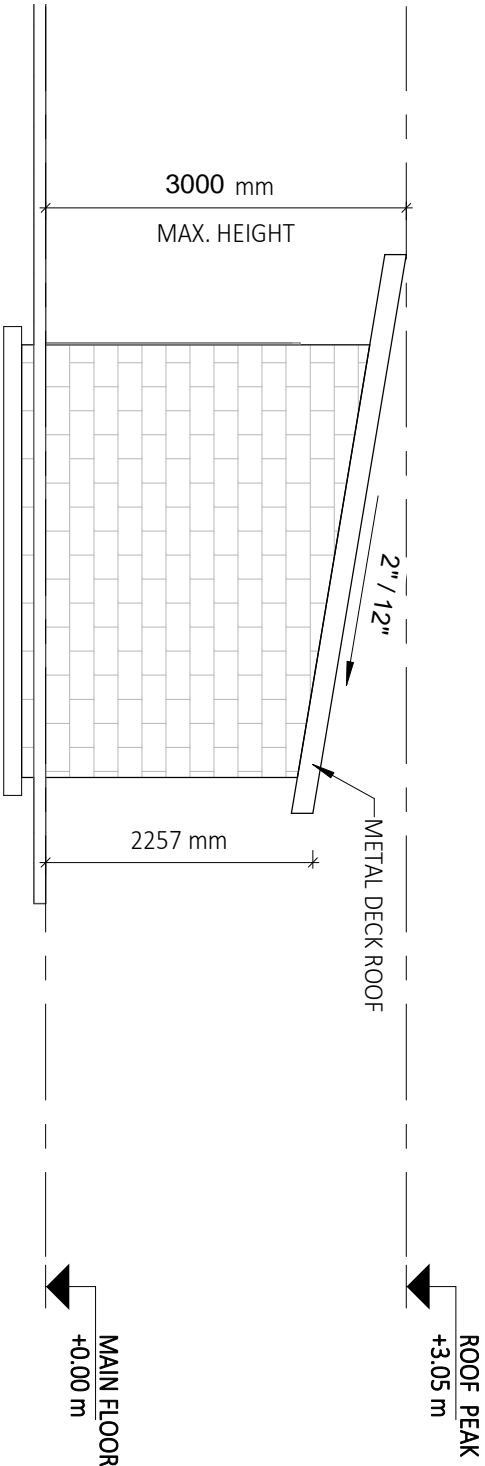
20-32-04

DESIGNER: P.FOROZAN

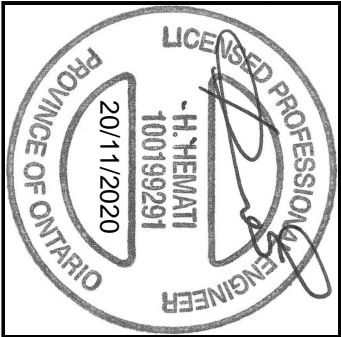
SHEET No:

CHECKER: H.HEMATI

A2-001



1 EAST
3/16" = 1'-0"

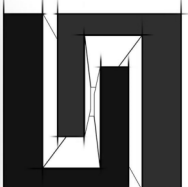


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4- ANY ERROR OR DISCREPANCY IS TO BE REPORTED IMMEDIATELY TO ENGINEER. 5- ANY MODIFICATION WITHOUT PERMISSION OF ENGINEER, SHALL VOID ENGINEER'S RESPONSIBILITY.

No.	DATE	ISSUED FOR	APVD

REVISIONS

ENGINEER:



SMART Structural Solutions

7250 KEELE ST. UNIT 295, VAUGHAN, ON L4K 1Z8
(416)-312-0177 , info@improve3s.ca

CLIENT:

PROJECT NAME:

NEW CABANA

PROJECT ADDRESS:

15 Ida Ct, Woodbridge, ON L4L 1V6

SHEET NAME:

NORTH ELEVATION

DATE: 12-11-2020

PROJECT No.:

SCALE: 3/16" = 1'-0"

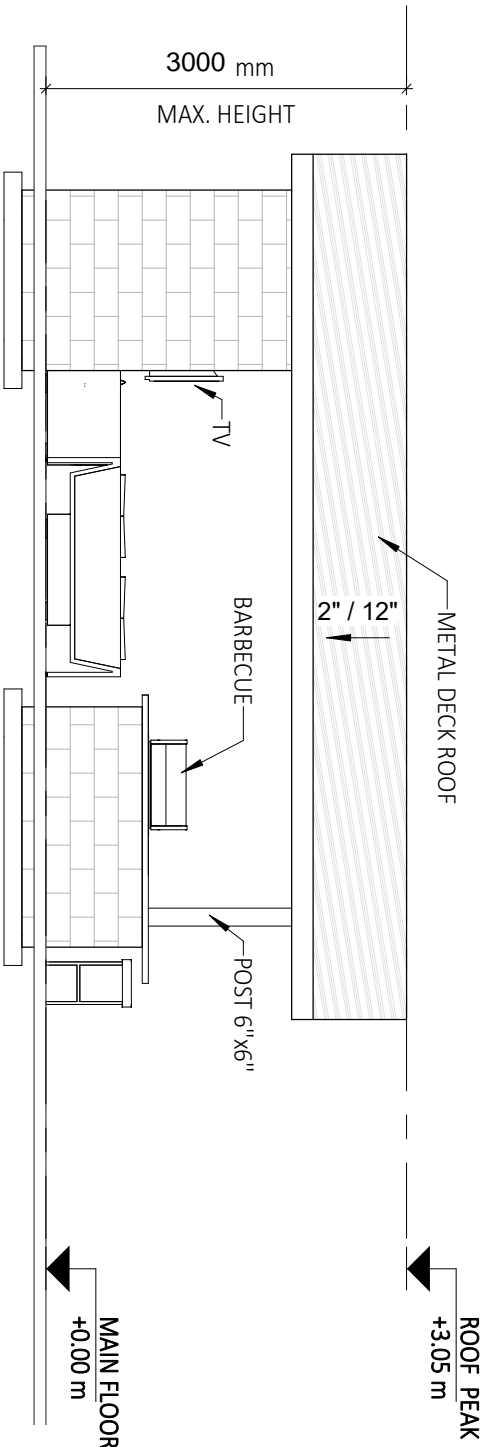
20-32-04

DESIGNER: P.FOROZAN

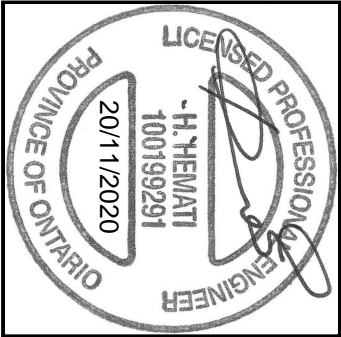
SHEET No:

CHECKER: H.HEMATI

A2-002



1 NORTH
3/16" = 1'-0"

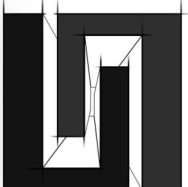


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No.	DATE	ISSUED FOR	APVD

REVISIONS

ENGINEER:



SMART Structural Solutions

7250 KEELE ST. UNIT 295, VAUGHAN, ON L4K 1Z8
(416)-312-0177 , info@improve3s.ca

CLIENT:

PROJECT NAME:

NEW CABANA

PROJECT ADDRESS:

15 Ida Ct, Woodbridge, ON L4L 1V6

SHEET NAME:

SOTUH ELEVATION

DATE: 12-11-2020

PROJECT No.:

SCALE: 3/16" = 1'-0"

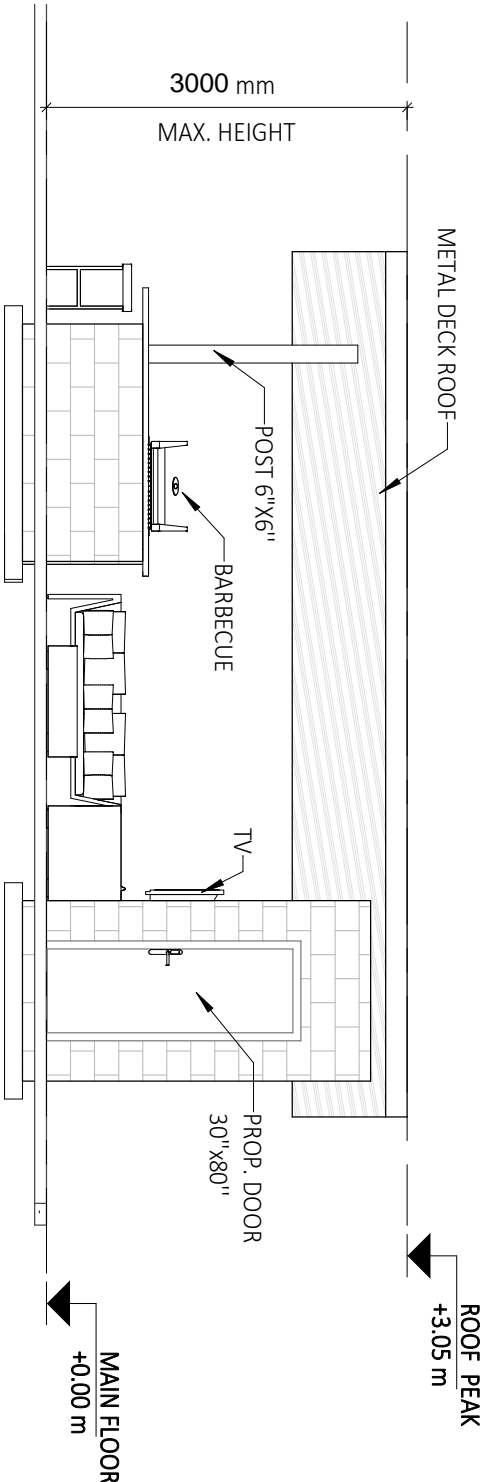
20-32-04

DESIGNER: P.FOROZAN

SHEET No:

CHECKER: H.HEMATI

A2-003



1 SOUTH
3/16" = 1'-0"

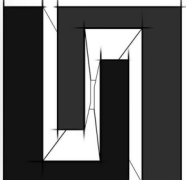


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No.	DATE	ISSUED FOR	APVD

REVISIONS

ENGINEER:



SMART Structural Solutions

7250 KEELE ST. UNIT 295, VAUGHAN, ON L4K 1Z8
(416)-312-0177 , info@improve3s.ca

CLIENT:

PROJECT NAME:

NEW CABANA

PROJECT ADDRESS:

15 Ida Ct, Woodbridge, ON L4L 1V6

SHEET NAME:

WEST ELEVATION

DATE: 12-11-2020

PROJECT No.:

SCALE: 3/16" = 1'-0"

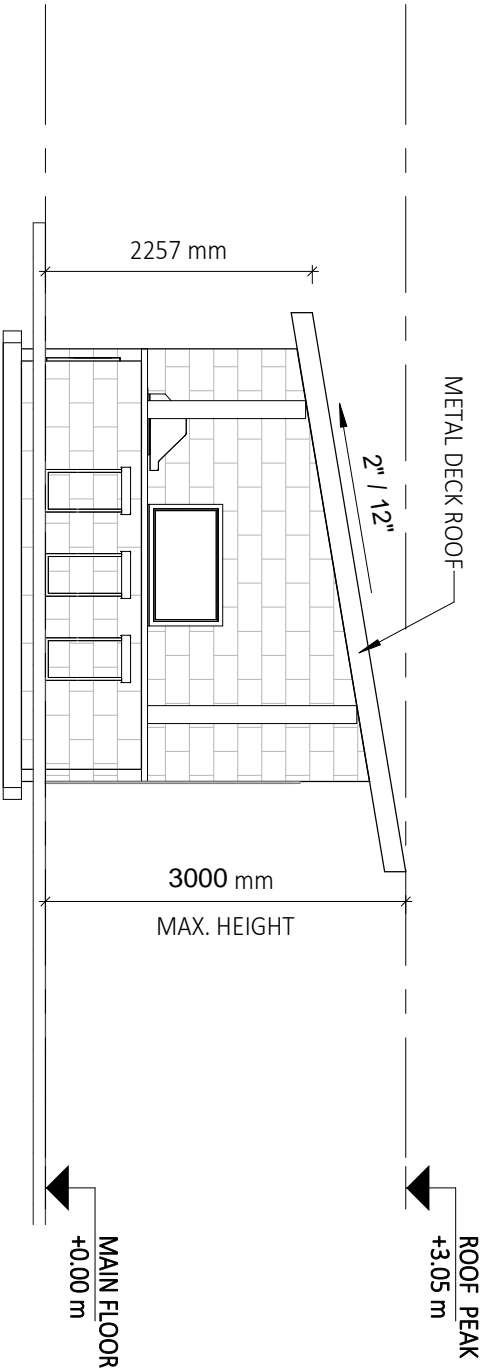
20-32-04

DESIGNER.: P.FOROZAN

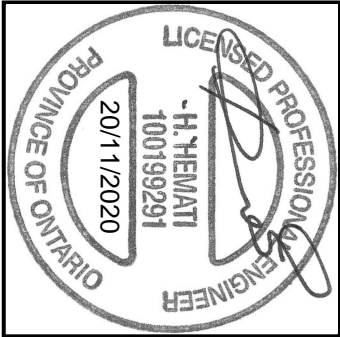
SHEET No:

CHECKER: H.HEMATI

A2-004



1 WEST
3/16" = 1'-0"

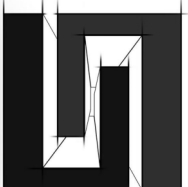


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No.	DATE	ISSUED FOR	APVD

REVISIONS

ENGINEER:



SMART Structural Solutions

7250 KEELE ST. UNIT 295, VAUGHAN, ON L4K 1Z8
(416)-312-0177 , info@improve3s.ca

CLIENT:

PROJECT NAME:

NEW CABANA

PROJECT ADDRESS:

15 Ida Ct, Woodbridge, ON L4L 1V6

SHEET NAME:

SECTION 1

DATE: 12-11-2020

PROJECT No.:

SCALE: 3/16" = 1'-0"

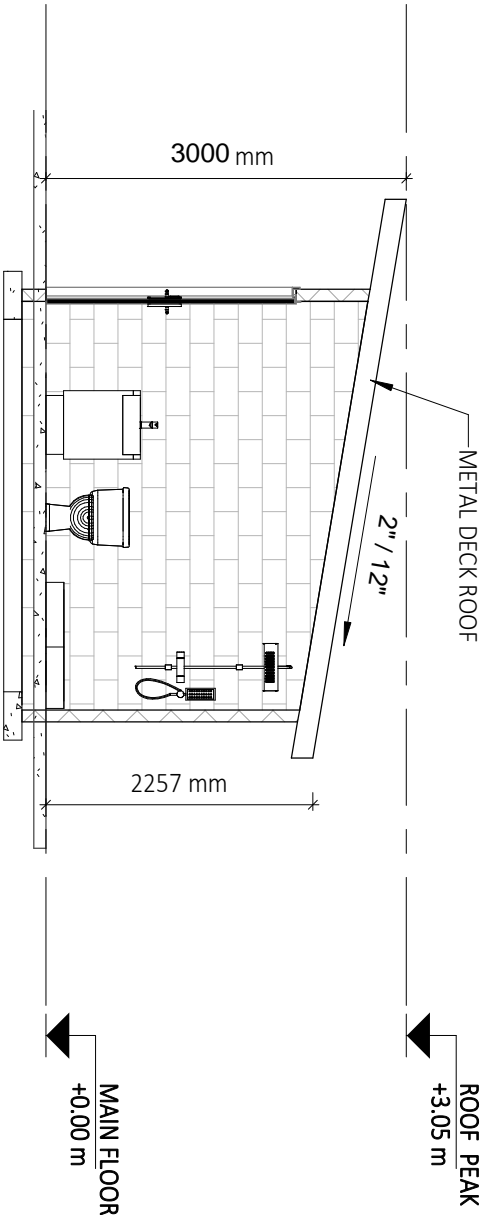
20-32-04

DESIGNER.: P.FOROZAN

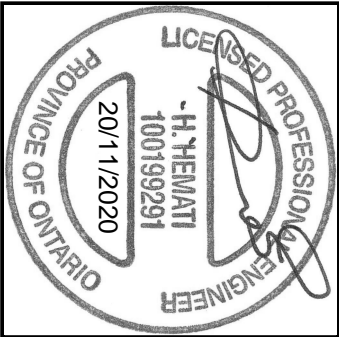
SHEET No:

CHECKER: H.HEMATI

A3-001



Section 1
1
3/16" = 1'-0"

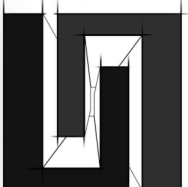


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No.	DATE	ISSUED FOR	APVD

REVISIONS

ENGINEER:



SMART Structural Solutions

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(416)-312-0177 , info@improve3s.ca

CLIENT:

PROJECT NAME:

NEW CABANA

PROJECT ADDRESS:

15 Ida Ct, Woodbridge, ON L4L 1V6

SHEET NAME:

SECTION 2

DATE: 12-11-2020

PROJECT No.:

SCALE: 3/16" = 1'-0"

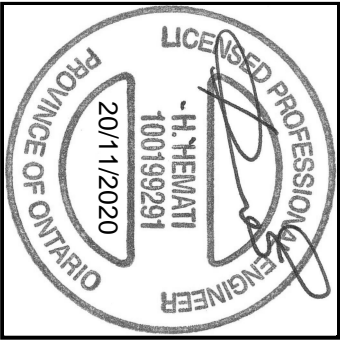
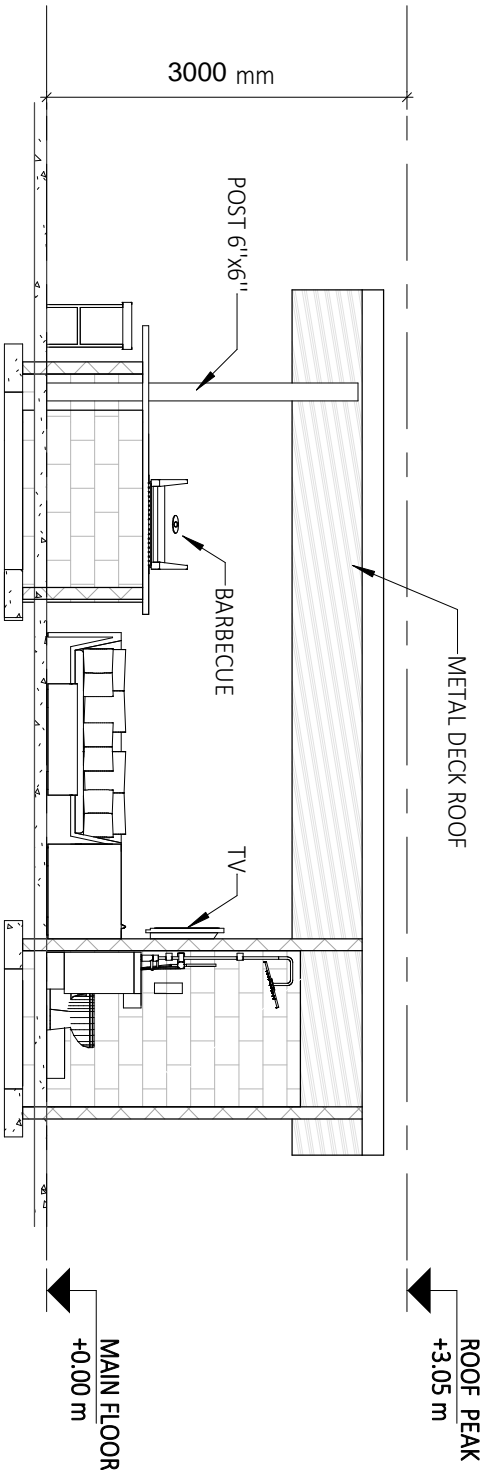
20-32-04

DESIGNER: P.FOROZAN

SHEET No:

CHECKER: H.HEMATI

A3-002



Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

None.

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mr. Tony D'Onofrio
Supervisor, Subdivisions (Alectra East)
Phone: 1-877-963-6900 ext. 24419

Email: tony.donofrio@alectrautilities.com

Providence, Lenore

Subject: FW: A143/20 - REQUEST FOR COMMENTS (15 Ida Court, Woodbridge) - Full Circulation

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: December-22-20 11:07 AM

To: Providence, Lenore <Lenore.Providence@vaughan.ca>; Attwala, Pravina <Pravina.Attwala@vaughan.ca>; MacPherson, Adriana <Adriana.MacPherson@vaughan.ca>

Subject: [External] RE: A143/20 - REQUEST FOR COMMENTS (15 Ida Court, Woodbridge) - Full Circulation

Good morning Lenore,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Regards

Gabrielle

Gabrielle Hurst MCIP RPP | Community Planning and Development Services | The Regional Municipality of York | 1-877 464 9675 ext 71538 | Gabrielle.hurst@york.ca | www.york.ca