



File: A147/20

Applicant: John Karkoutlian and Grace Sevazlian

Address: 19 Lady Bianca Court, Maple

Agent: Bishoi Shinoda - Evans Planning

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection	<input checked="" type="checkbox"/>	
Development Planning		
Cultural Heritage (Urban Design)	<input checked="" type="checkbox"/>	
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Parks, Forestry and Horticulture Operations		
By-law & Compliance		
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department		
TRCA		
Ministry of Transportation		
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)	<input checked="" type="checkbox"/>	

Adjournment History: N/A

Background History: A326/14 (see next page for details)

Staff Report Prepared By: Lenore Providence
Hearing Date: Thursday , February 4, 2021



**Minor Variance
Application**

Agenda Item: 17

A147/20

Ward: 4

Staff Report Prepared By: Lenore Providence, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing: Thursday , February 4, 2021 at 6:00 p.m.
As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at Vaughan.ca/LiveCouncil

Please submit written comments by mail or email to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

To make an electronic deputation at the meeting please contact the Committee of Adjustment at cofa@vaughan.ca or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

- Applicant:** John Karkoutlian and Grace Sevazlian
- Agent:** Bishoi Shinoda - Evans Planning
- Property:** **19 Lady Bianca Court, Maple**
- Zoning:** The subject lands are zoned RD3 9(1228) & OS5 and subject to the provisions of Exception under By-law 1-88 as amended.
- OP Designation:** Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential and Natural Areas"
- Related Files:** None.
- Purpose:** Relief from By-law 1-88, as amended, is being requested to permit the expansion of the existing deck (located in rear yard), the installation of a proposed pool in rear yard and the construction of a proposed cabana (pool storage) in the westerly side yard.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1) A minimum rear yard setback of 5.7 metres is required to a deck.	1) To permit a rear yard setback of 1.89 metres from a deck to an OS5 Zone.
2) A minimum rear yard setback of 1.5 metres is required to a pool.	2) To permit a rear yard setback of 0.3 metres from a pool to an OS5 Zone.
3) A storage shed shall be located in the rear yard.	3) To permit a storage shed located in the interior side yard.
4) A minimum of 60% of that portion of the rear yard in excess of 135 square metres shall be composed of soft landscaping.	4) To permit 40% rear yard soft landscaping.

Background (previous applications approved by the Committee on the subject land):

Application No.:	Description:	Status of Approval: Approved/Refused/Withdrawn/ OMB/Concurrent
A326/14	To permit the construction of a two storey single family dwelling. 1. To permit a min.rear yard setback of 4.61m to an OS5 Zone. 2. To permit a min. rear yard setback of 4.53m to open and unenclosed deck.	Approved – Dec. 11, 2014

For information on the previous approvals listed above please visit www.vaughan.ca. To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

Adjournment History: N/A

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:

Public notice was mailed on January 20, 2021

Applicant confirmed posting of signage on January 4, 2021

Property Information	
Existing Structures	Year Constructed
Dwelling	2016

Applicant has advised that they cannot comply with By-law for the following reason(s): There are two (2) easements for entry to permit the developer to correct grading of the lands if needed.

Adjournment Request: None

Building Standards (Zoning Review):

Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file.

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2.

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Building Inspections (Septic):

No comments or concerns

Development Planning:

Application under review.

Cultural Heritage (Urban Design):

There are no cultural heritage concerns for this application.

Development Engineering: Prepared by: Farzana Khan

The Development Engineering (DE) Department does not object to variance application A147/20 subject to the following condition(s):

- 1) Staff have confirmed that the property is located within an unassumed subdivision. The Owner/applicant shall provide satisfactory notification to the developer/builder and approval (Letter or email) of the minor variance and proposed work to the property in question and provide a copy of the notification and approval to the City's Development Engineering Department.
- 2) The Owner/applicant shall demonstrate appropriate LID (Low-impact Development) measures to the satisfaction of DE to address the reduced soft landscaping coverage 60% to 40% in order to mitigate potential impacts on the municipal storm water system.

Parks Development - Forestry:

Comments:

Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to building permit approval.

Applicant/owner shall amend the arborist report to the satisfaction of the forestry division.

Prior to permit issuance, Forestry staff shall inspect and approve the tree protection (Hoarding). Tree protection shall be installed to the satisfaction of the Forestry division. (if applicable).

Tree protection & preservation methods must be followed according to City of Vaughan By-law 052-2018.

Arborist recommendations are to be followed as outlined in the Arborist Report.

By-Law and Compliance, Licensing and Permit Services:

No comments.

Financial Planning and Development Finance:

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment

That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.

Fire Department:

No comments or concerns

Schedule A – Plans & Sketches

Schedule B – Public Correspondence

- Application Justification Letter
- Public Correspondence – 15 Lady Bianca Court (Letter of Support)
- Public Correspondence – 23 Lady Bianca Court (Letter of Support)

Schedule C - Agency Comments

- Alectra (Formerly PowerStream) – No concerns or objections
- Region of York – No concerns or objections

Schedule D - Previous Approvals (Notice of Decision)

Minor Variance Application – A326/14

Staff Recommendations:

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	Development Engineering Farzana Khan 905-832-8585 x 8716 3608 Farzana.khan@vaughan.ca	3) Staff have confirmed that the property is located within an unassumed subdivision. The Owner/applicant shall provide satisfactory notification to the developer/builder and approval (Letter or email) of the minor variance and proposed work to the property in question and provide a copy of the notification and approval to the City's Development Engineering Department. 4) The Owner/applicant shall demonstrate appropriate LID (Low-impact Development) measures to the satisfaction of DE to address the reduced soft landscaping coverage 60% to 40% in order to mitigate potential impacts on the municipal storm water system.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting Vaughan.ca/LiveCouncil. To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit www.vaughan.ca

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

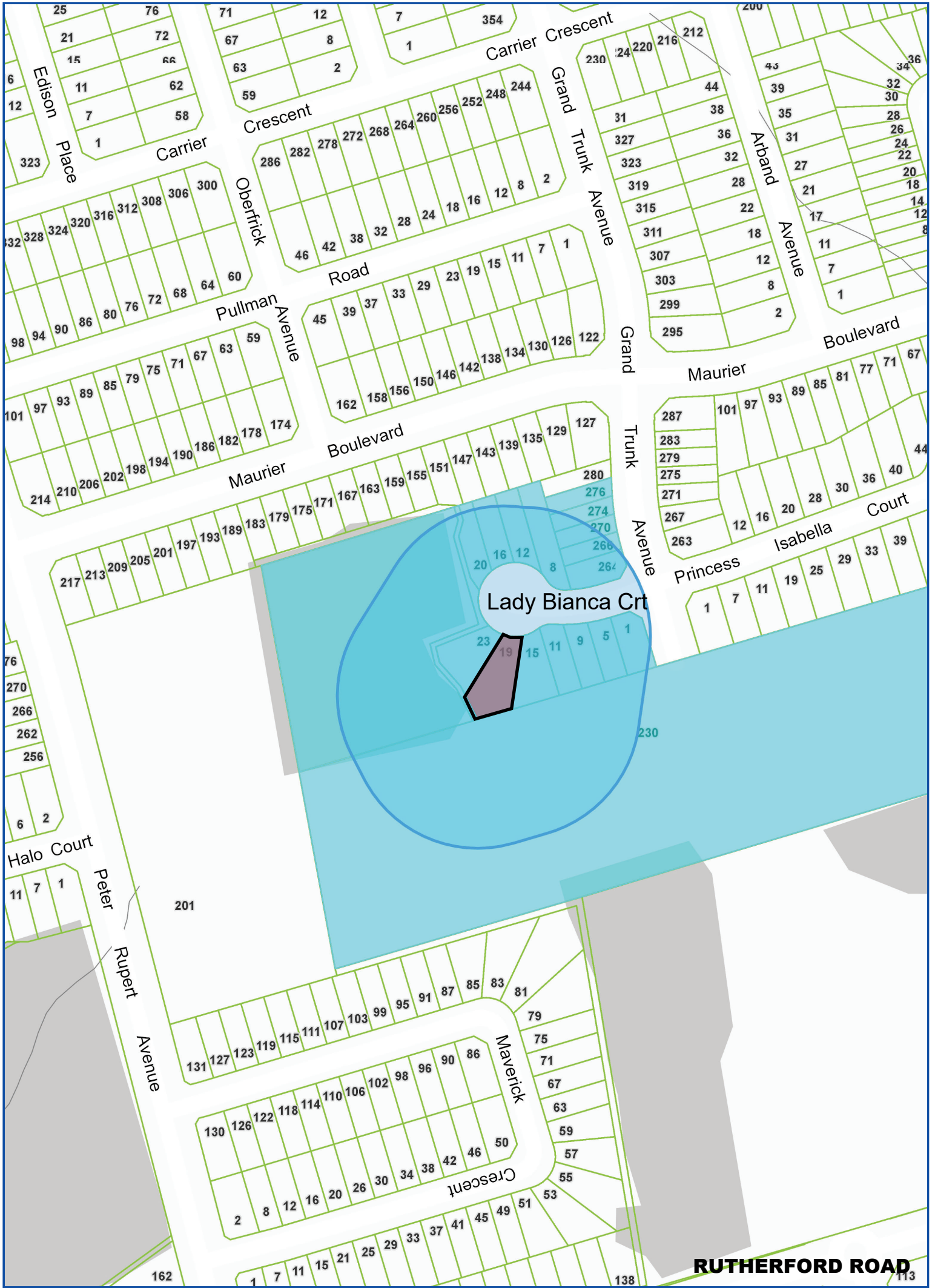
NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

For further information please contact the City of Vaughan, Committee of Adjustment

Schedule A: Plans & Sketches

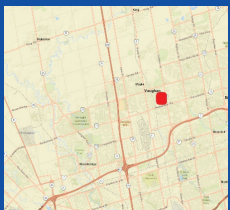
Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

Location Map
Plans & Sketches



DUFFERIN STREET

Map Information:



Title:

19 LADY BIANCA COURT, MAPLE

NOTIFICATION MAP - A147/20

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:2,472
 0 0.04 km



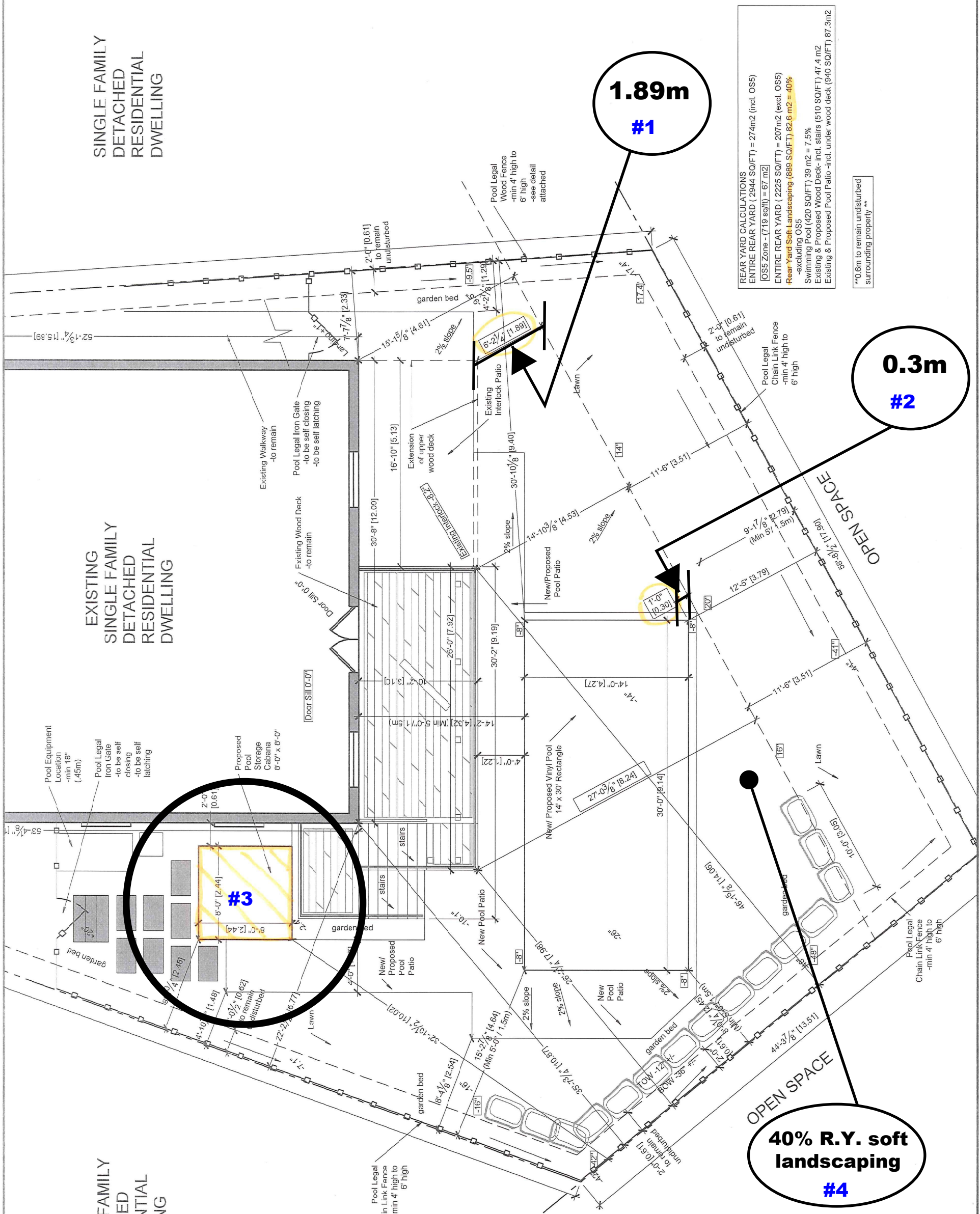
Created By:
 Infrastructure Delivery
 Department
 January 18, 2021 3:20 PM

Projection:
 NAD 83
 UTM Zone
 17N

SINGLE FAMILY
DETACHED
RESIDENTIAL
DWELLING

EXISTING SINGLE FAMILY
DETACHED
RESIDENTIAL
DWELLING

SINGLE FAMILY
DETACHED
RESIDENTIAL
DWELLING



REAR YARD CALCULATIONS
 ENTIRE REAR YARD (2944 SQ/FT) = 274m² (incl. OS5)
 OS5 Zone - (719 sq/ft) = 67 m²
 ENTIRE REAR YARD (2225 SQ/FT) = 207m² (excl. OS5)
 Rear Yard Soft Landscaping (889 SQ/FT) 82.6 m² = 40%
 -excluding OS5
 Swimming Pool (420 SQ/FT) 39 m² = 7.5%
 Existing & Proposed Wood Deck -incl. stairs (510 SQ/FT) 47.4 m²
 Existing & Proposed Pool Patio -incl. under wood deck (940 SQ/FT) 87.3m²

****0.6m to remain undisturbed surrounding property****

- #1 To permit a rear yard setback of 1.89m from a deck to an OS5 Zone.**
- #2 To permit a rear yard setback of 0.3m from a pool to an OS5 Zone.**
- #3 To permit a storage shed located in the interior side yard.**
- #4 To permit 40% rear yard soft landscaping.**

NOTES:
 ZONING SEARCH RECOMMENDED
 PRIOR TO CONSTRUCTION



100.00	EXISTING GRADES
99.99	PROPOSED GRADES
* NO GRADES ARE TO BE ALTERED WITHIN 24" / 0.6m OF PROPERTY LINES	

Residence
 19 Lady Bianca Crt
 Vaughan, On

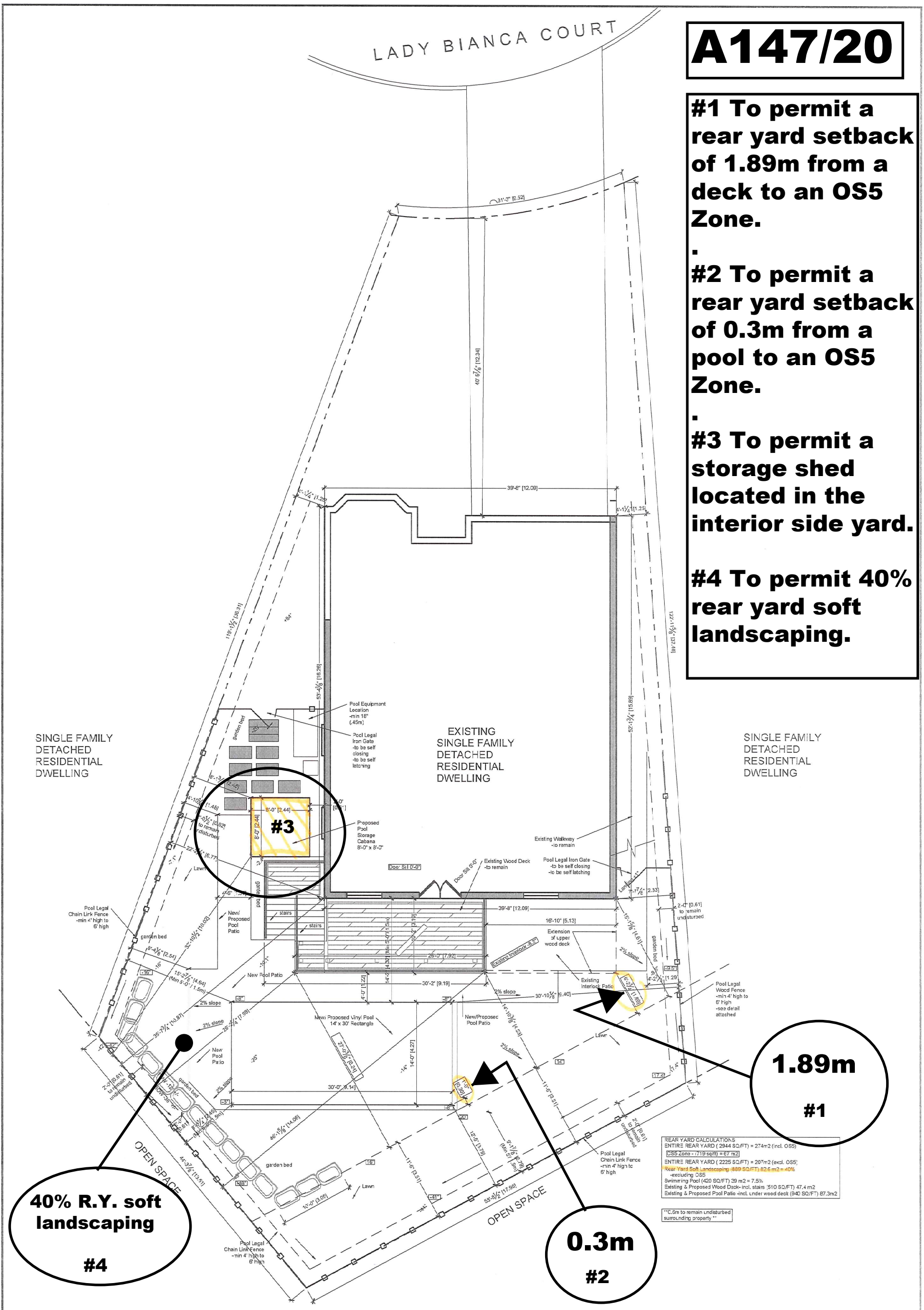
Designer:	SB
Date:	Nov 29, 2020
Scale:	1:100
Drawing:	Concept A4- Permit

#1 To permit a rear yard setback of 1.89m from a deck to an OS5 Zone.

#2 To permit a rear yard setback of 0.3m from a pool to an OS5 Zone.

#3 To permit a storage shed located in the interior side yard.

#4 To permit 40% rear yard soft landscaping.



SINGLE FAMILY DETACHED RESIDENTIAL DWELLING

EXISTING SINGLE FAMILY DETACHED RESIDENTIAL DWELLING

SINGLE FAMILY DETACHED RESIDENTIAL DWELLING

1.89m
#1

0.3m
#2

40% R.Y. soft landscaping
#4

REAR YARD CALCULATIONS
 ENTIRE REAR YARD (2944 SQ/FT) = 274m² (incl. OSS)
 OSS ZONE = 1719 sq/ft = 67 m²
 ENTIRE REAR YARD (2225 SQ/FT) = 207m² (excl. OSS)
 Rear Yard Soft Landscaping (889 SQ/FT) 82.6 m² = 40%
 -excluding OSS
 Swimming Pool (420 SQ/FT) 29 m² = 7.5%
 Existing & Proposed Wood Deck-incl. stairs (510 SQ/FT) 47.4 m²
 Existing & Proposed Pool Patio -incl. Under wood deck (940 SQ/FT) 87.3m²

"0.3m to remain undisturbed surrounding property"

NOTES:
 ZONING SEARCH RECOMMENDED PRIOR TO CONSTRUCTION



100.00 EXISTING GRADES
 99.99 PROPOSED GRADES

* NO GRADES ARE TO BE ALTERED WITHIN 24" / 0.6m OF PROPERTY LINES

Residence
 19 Lady Bianca Ct
 Vaughan, On

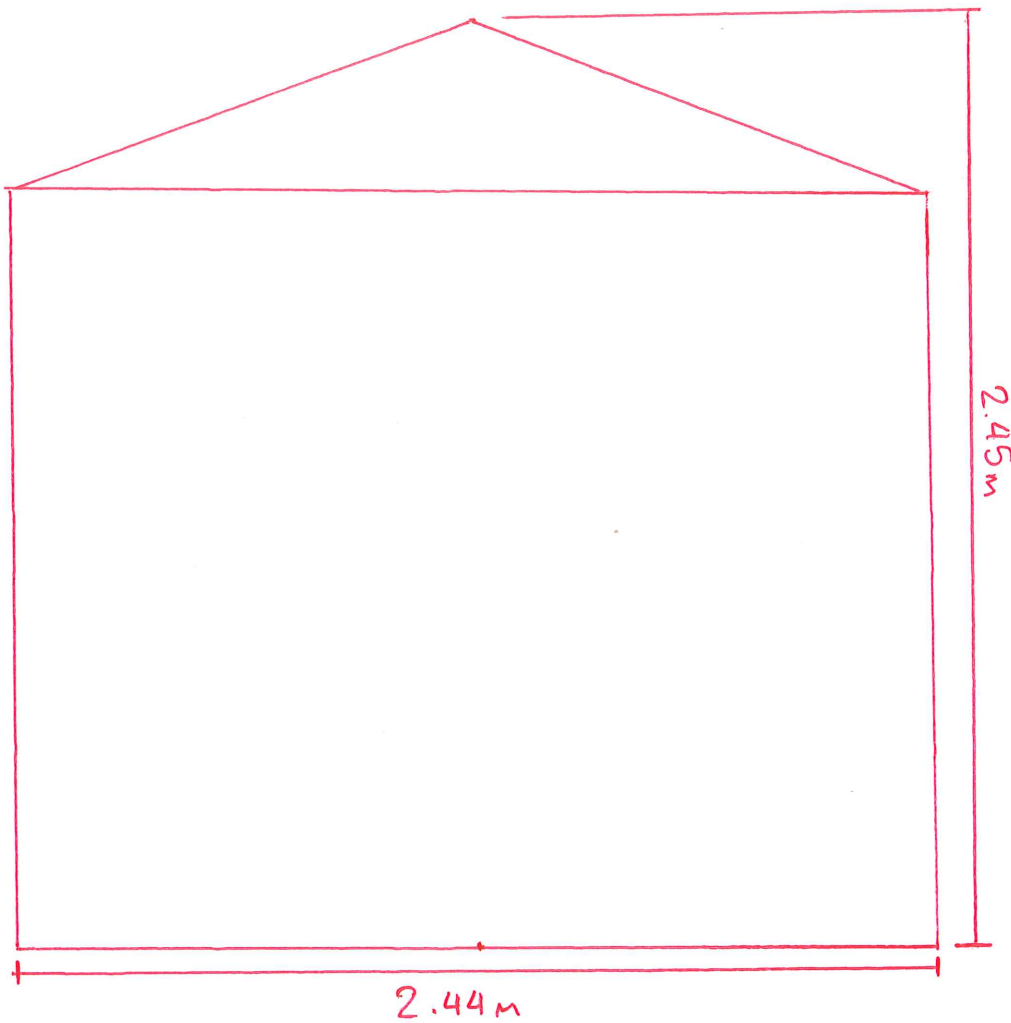
Designer: SB
 Date: Nov 29, 2020
 Scale: 1:150
 Drawing: Concept A4- Permit

NEW

December 9, 2020

A147/20

Proposed Pool Storage Cabana



1:2000 scale

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

Application Justification Letter

Public Correspondence – 15 Lady Bianca Court (Letter of Support)

Public Correspondence – 23 Lady Bianca Court (Letter of Support)



Urban Planners • Project Managers

December 11, 2020

City of Vaughan
Committee of Adjustment
2141 Major Mackenzie Drive
Vaughan, Ontario
L6A 1T1

Attn: Ms. Christine Vigneault, Manager of Development Services and Secretary-Treasurer, Committee of Adjustment

Dear Ms. Vigneault,

Re: Application for Minor Variance
Grace Sevazlian and John Karkoutlian
19 Lady Bianca Court
City of Vaughan

Evans Planning Inc. acts on behalf of Grace Sevazlian and John Karkoutlian, the owners of land municipally described as 19 Lady Bianca Court, in the City of Vaughan. On behalf of our Clients, we herewith submit for the Committee's consideration, an application for Minor Variance to allow for the construction of a deck extension and a pool located at the rear of the property, as per the attached site plan.

The application is to request the following variances:

- 1- Reduced setback from the Open Space Environmental Protection zone (OS5) to the proposed deck extension of 1.89 metres, whereas 5.7 metres are required;
- 2- Reduced setback from the Open Space Environmental Protection zone (OS5) to the proposed pool of 0.30 metres, whereas 1.50 metres are required;
- 3- Reduced rear yard soft landscaping of 40%, whereas 60% is required; and,
- 4- Permit the placement of the pool storage cabana in the side yard, whereas a storage shed (e.g. cabana) shall be located in the rear yard.

The property is currently zoned Residential Detached Zone 3 (RD3), subject to Exception 9 (1228), and Open Space Environmental Protection zone (OS5) within By-law 1-88. In 2014, the Committee of Adjustment approved Minor Variance application A326/14 to permit a minimum rear yard setback of 4.61 metres from an OS5 Zone to the dwelling and a minimum rear yard setback of 4.53 metres from an OS5 Zone to an open and unenclosed deck.

As per the attached site plan, the OS5 zone encroaches on the property from the eastern rear lot line by 3.51 metres and occupies approximately 25% of the rear yard. Consequently, there is a spatial separation of only 4.53 metres from the existing deck to the Open Space zone limit. As a result, the extension of the deck and installation of the pool is not possible without further relief from the setback to the Open Space zone.

The placement of the Open Space zone was initially intended to provide protective separation and a connective function from the natural features which were located nearby and on abutting lands to the south. In September 2019, the Local Planning Appeal Tribunal approved a residential draft plan of subdivision (City File# 19T-16V001) on the



adjacent lands. As approved, the plan will allow for single family lotting to abut the easterly portion of the Lady Bianca real lot line, and a similar open space buffer adjacent to the westerly portion of the subject land's south lot line. It can be concluded that the need to buffer the southerly lands is lessened by this subdivision—as the buffer on the adjacent property does not extend the full width of the subject land's mutual lot line.

To ensure that the intended connectivity function of the Open Space zoning within 19 Lady Bianca Court is not impaired, the proposed deck extension and pool are proposed to be located on the lands zoned Residential Detached Zone 3, and beyond the limits of the Open Space zoned lands.

By Law 1-88, Section 7.4b, provides that *"no lands in an OS5 Open Space Environmental Protection Zone shall be used in calculating the lot frontage, lot area, coverage or yards required by this By-law for uses for adjacent zones."*

The existing rear yard area beyond the Open Space zone is 207 square metres (excluding the OS5) in size. The current zoning standards require that a minimum of 60 % of the rear yard land zoned Residential Detached Zone 3 be used for soft landscaping. This requirement allows 82.8 square metres of the rear yard amenity space to be occupied with the existing interlock, and the proposed pool and its associated hard surface around the pool. Due to the irregular rear yard shape, the proposed rear yard amenities cannot be fitted without encroaching into the setbacks, and causing a concurrent reduced soft landscaping coverage by 20%.

The area zoned Open Space 5 zone within this property is currently comprised of manicured lawn area. Although not permitted for calculation purposes of the by-law, this area will support the soft landscape function of this rear yard. The Open Space zone area on this property is approximately 67 square metres in size, and if included in the calculation of rear yard soft landscaping would allow for 55% of the backyard (after the proposed amenity works) to be used for soft landscaping.

It is offered to the Committee that that the restrictions created by the presence of the Opens Space zoning within this property are restrictive to normal back yard amenity uses typical to this community, and in light of the construction of homes on the lands located to the south, do not provide as significant ecological function as originally intended. As such it is reasonable that the recreational amenities be permitted beyond the extent of the Open Space 5 zone. Per the submitted Arborist Report, the proposed work will not have any adverse impact on public trees, or trees within or beyond six metres from the subject construction.

Policy 4.1.1.f) i) of the Zoning By-Law 1-88, requires that a storage shed (e.g. cabana) shall be located in the rear yard. For the reasons mentioned-above like the restrictive setbacks owing to the presence of the OS5 zone, the soft landscaping requirements, and the property's irregular shape, the rear yard would not be an appropriate space for the needed pool storage cabana. The proposed pool storage cabana is located on the western side yard with a setback of 2.48 metres. The Cabana will not have any material impact upon the use of the abutting property. The owner of 23 Lady Bianca Court, has advised of his support for this application, inclusive of the location of the cabana.

In addition, it is respectfully submitted, that the proposed deck extension and pool will not have any impact upon the utility of the adjacent properties. In support of this position, letters from the abutting neighbours which indicate their support for this application, are attached hereto for the Committee's consideration.

As per the reasons above, we hope that you consider this application of minor variance for approval and relief from the current Zoning By-Law requirements.



To aid in your review of this application we herewith enclose for your review:

- One copy of the completed Minor Variance application;
- One copy of the Site Plan for 19 Lady Bianca Court;
- One copy of the Arborist Report for 19 Lady Bianca Court;
- Two letters of support from immediate neighbors;
- Application fee of \$2,974.00

I trust that this information is sufficient for your review. Should you require any additional information relating to this Minor Variance application, please contact the writer at your earliest convenience.

Yours truly,

Bishoi Shinoda
Associate Planner, M.E.S.

cc. Mr. John Karkoutlian

Support Letter

I, Mitch Krystantos live at 15 Lady Bianca Court, Vaughan, which is located adjacent to 19 Lady Bianca Court, Vaughan. I have reviewed the variances requested by my neighbor Mr. Karkoutlian, as shown in the site plan below, and support his application to the Committee of Adjustment.

Signature: _____

Date: Nov 17th 2020

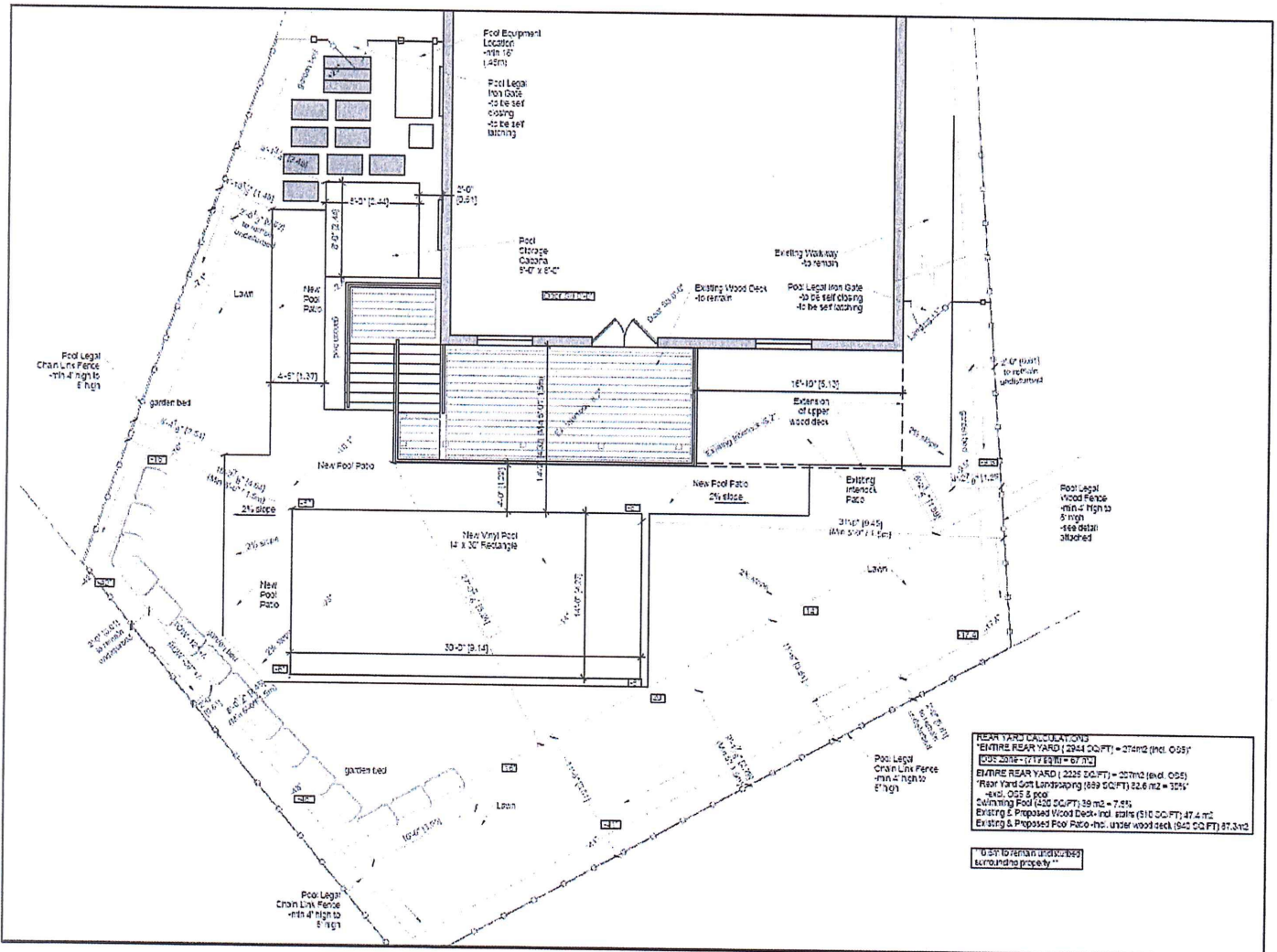



Figure 1: Proposed Site Plan

Support Letter

I, Mark Pulla am the owner of 23 Lady Bianca Court, Vaughan, which is located adjacent to 19 Lady Bianca Court, Vaughan. I have reviewed the variances requested by my neighbor Mr. Karkoutlian, as shown in the site plan below, and support his application to the Committee of Adjustment.

Signature: 

Date: November 5th 2020

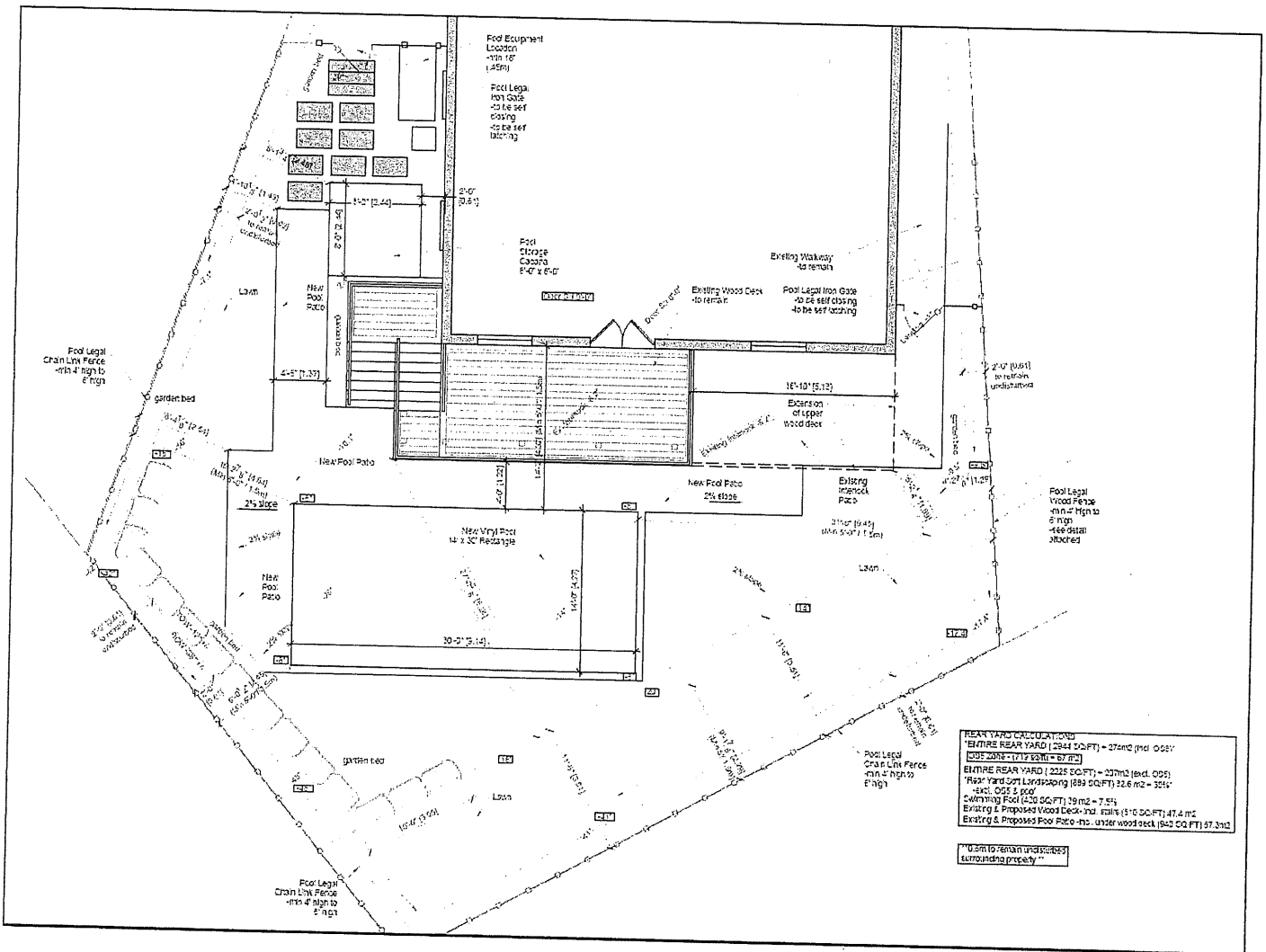


Figure 1: Proposed Site Plan

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream(Construction Standard 03-1, 03-4, 03-9), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

Mr. Tony D'Onofrio
Supervisor, Subdivisions (Alectra East)
Phone: 1-877-963-6900 ext. 24419

E-mail: stephen.cranley@alectrautilities.com

Email: tony.donofrio@alectrautilities.com

Providence, Lenore

Subject: FW: [External] FW: A147/20 - REQUEST FOR COMMENTS (19 Lady Bianca Court, Maple) - Full Circulation
Attachments: A147-20 - CIRCULATION-r.pdf

From: Development Services <developmentsservices@york.ca>

Sent: January-19-21 10:15 AM

To: Providence, Lenore <Lenore.Providence@vaughan.ca>; Attwala, Pravina <Pravina.Attwala@vaughan.ca>; MacPherson, Adriana <Adriana.MacPherson@vaughan.ca>

Subject: [External] FW: A147/20 - REQUEST FOR COMMENTS (19 Lady Bianca Court, Maple) - Full Circulation

Good morning Lenore,
The Regional Municipality of York has completed its review of the above minor variance and has no comment.
Regards,

Gabrielle

Gabrielle Hurst MCIP RPP | Community Planning and Development Services | The Regional Municipality of York | 1-877 464 9675 ext 71538 | Gabrielle.hurst@york.ca | www.york.ca

Schedule D: Previous Approvals (Notice of Decision)

Minor Variance Application – A326/14

NOTICE OF DECISION

MINOR VARIANCES

FILE NUMBER: A326/14

APPLICANT: 1275620 ONTARIO INC.

PROPERTY: Part of Lot 17, Concession 3 (Lot 6, Registered Plan No. 65M-4396) municipally known as 19 Lady Bianca Court, Maple

ZONING: The subject lands are zoned RD3, Residential, subject to Exception 9(1228), under By-law 1-88, as amended.

PURPOSE: To permit the construction of a two storey single family dwelling.

PROPOSAL:

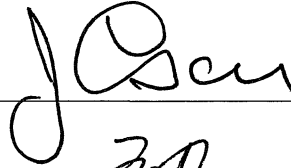

1. To permit a minimum rear yard setback of 4.61 m to an OS5 Zone.
2. To permit a minimum rear yard setback of 4.53 m to open and unenclosed deck.

BY-LAW REQUIREMENT:

1. A minimum rear yard setback of 7.5 m is required to an OS5 Zone.
2. A minimum rear yard setback of 5.7 m is required to an open and unenclosed deck.

Sketches are attached illustrating the request.

MOVED BY: _____

SECONDED BY: _____

THAT the Committee is of the opinion that the variances sought, can be considered minor and are desirable for the appropriate development and use of the land. The general intent and purpose of the By-law and the Official Plan will be maintained.

THAT Application No. **A326/14, 1275620 ONTARIO INC.**, be **APPROVED**, in accordance with the sketches attached

THIS MINOR VARIANCE DECISION IS NOT A BUILDING PERMIT AUTHORIZING CONSTRUCTION UNDER THE BUILDING CODE ACT, R.S.O. 1990, AS AMENDED. A BUILDING PERMIT MAY BE REQUIRED. PLEASE CONTACT THE BUILDING STANDARDS DEPARTMENT IN THE EVENT THAT YOU REQUIRE FURTHER CLARIFICATION.

CARRIED.

CHAIR: *Perrella*

Signed by all members present who concur in this decision:

Perrella
A. Perrella,
Chair

Zheng
H. Zheng,
Vice Chair

Cesario
J. Cesario,
Member

ABSENT
L. Fluxgold,
Member

Mauti
M. Mauti,
Member

CERTIFICATION

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.

T. Coles
Todd Coles, BES, MCIP, RPP
Manager of Development Services
and Secretary-Treasurer to
Committee of Adjustment

Date of Hearing: DECEMBER 11, 2014
Last Date of Appeal: DECEMBER 31, 2014

APPEALS

APPEALS MUST BE RECEIVED BY THIS OFFICE NO LATER THAN 4:30 P.M. ON THE LAST DATE OF APPEAL NOTED ABOVE.

Should you decide to appeal this decision to the Ontario Municipal Board, a copy of an appeal form is available for download in Microsoft Word and Adobe Acrobat versions from the Ontario Municipal Board website at www.omb.gov.on.ca. If you do not have Internet access, these forms can be picked up at the City of Vaughan, Committee of Adjustment offices.

Please fill out Form A1 and follow the instructions as provided by the Ontario Municipal Board and submit your appeal to the City of Vaughan, Committee of Adjustment on or before the date stated above. You must enclose the completed form with the \$650.00 processing fee, paid by **certified cheque** or **money order**, to the "TREASURER, CITY OF VAUGHAN" and the appeal fee of \$125.00 for each application appealed, paid by **certified cheque** or **money order**, made payable to the "ONTARIO MINISTER OF FINANCE".

NOTE: The Planning Act provides for appeals to be filed by "persons". As groups or associations, such as residents or ratepayers groups which do not have incorporated status, may not be considered "persons" for the purposes of the Act, groups wishing to appeal this decision should do so in the name of individual group members, and not in the name of the group.

CONDITIONS

IF ANY CONDITIONS ARE IMPOSED ON THIS APPLICATION, THE FINAL DATE FOR FULFILLING THEM IS: **DECEMBER 31, 2015**

CITY OF VAUGHAN STANDARD NOTES

1. STANDARD DRAWINGS OF THE CITY OF VAUGHAN CONSTITUTE PART OF THE SITE PLAN DRAWINGS.
2. ALL CONSTRUCTION WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS.
3. THE OWNER AND/OR HIS REPRESENTATIVE SHALL RECTIFY ALL DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER AND TO THE SATISFACTION OF THE CITY.
4. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES IS APPROXIMATE ONLY, AND NOT GUARANTEED. THE OWNER AND/OR HIS REPRESENTATIVE SHALL DETERMINE THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES PRIOR TO CONSTRUCTION. THE CITY OF VAUGHAN SHALL NOT BE RESPONSIBLE FOR THE LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND SHALL ASSUME ALL LIABILITY FOR DAMAGE OR RESTORATION TO SAME.
5. ANY CONFLICTS WITH EXISTING SERVICES SHALL BE RECTIFIED AT THE OWNER'S EXPENSE.
6. DRIVEWAYS TO BE KEPT CLEAR OF ALL STREET CURBWAYS.

CITY OF VAUGHAN RESIDENTIAL LOT GRADING NOTES

1. ALL DIMENSIONS AND GRADE ELEVATIONS ARE EXPRESSED IN 3' UNITS.
2. THE CONTRACTOR SHALL CHECK AND VERIFY THE EXISTING GRADE CONDITIONS AND FINISHES PRIOR TO COMMENCEMENT OF CONSTRUCTION. FROM ARCHITECTURAL PLANS AND MAY NOT REPRESENT ACTUAL FOOTING DEPTH.
3. FOOTINGS MUST BEAR ON NATIVE UNDISTURBED SOIL OR ROCK, AND BE A MINIMUM OF 1.22M BELOW FINISHED GRADE.
4. WHERE REAR LOT CATCHBASINS ARE PROVIDED, HOUSE FOOTINGS ADJACENT TO THE REAR LOT SHALL HAVE A MINIMUM 150MM CONCRETE ENCASEMENT FROM SEWER TO OR.
5. PERMISSIBLE SPREADS ENCASEMENTS (I.E. A.C. LINTS, CHAINETS, GAS OR HYDRO METERS, WATER SPIGOTS, ETC.) MUST NOT ENCASEMENT BY FOOTINGS. ANY SUCH ENCASEMENTS BY FOOTINGS (I.E. GAS OR HYDRO METERS, WATER SPIGOTS, ETC.) MUST BE WITHIN 2.0M OF ANY LOT LINE (INCLUDING EAVES AND GUTTERS).
6. EXTENSION CLADDING, THRESHOLDS, AND WINDOW SILLS SHALL BE A MINIMUM OF 150MM ABOVE FINISHED GRADE. WHERE PERMISSIBLE SPREADS ARE PROVIDED, SUCH SPREADS SHALL BE PROTECTED TO THE FOUNDATION GRADE.
7. SLOPE PARAMETERS:
 - 5. DRIVEWAYS - MIN. 1.5% - MAX. 9.0%
 - SWALES - MIN. 2.0% - MAX. 5.0%
 - EMBANKMENTS - MIN. 2.0% - MAX. 5.0%
 - FRONT AND REAR YARDS - MIN. 2.0% - MAX. 5.0%
 - MIN. 6.0M AT 2.0% TO 5.0%
8. DRIVEWAYS - GRN. 1/4 MIN. 200MM CONCRETE FINISH.
9. H.E. MIN. 50MM AFTER COMPACTION PLACED WITHIN 9 MONTHS OF OCCUPANCY.
10. MANHOLE WELLS TO BE 150MM OVER THE HUB.
11. WATER SERVICE BOXES SHOULD NOT BE LOCATED WITHIN 1.0M OF THE EDGE OF THE DRIVEWAY. FRONT COLLARS ARE TO BE PROVIDED AND INSTALLED TO CITY STANDARDS WHERE A WATER SERVICE VALVE BOX IS LOCATED IN THE DRIVEWAY.
12. THE TOP OF PRECAST CONCRETE WATER BOXES ARE ADJUSTED TO SOO LEVEL, AND ARE OPERATIONAL FOLLOWING COMPLETION OF THE WORK.
13. REFER TO VAUGHAN LOT GRADING DESIGN CRITERIA AND BYLAW 1-88 AND 352-80 FOR COMPLETE REQUIREMENTS.
14. BUILDER IS TO VERIFY LOCATION OF ALL HYDRAULIC, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF VAUGHAN DIMENSIONS ARE NOT MAINTAINED, THE BUILDER IS TO RELOCATE THEM AT HIS OWN EXPENSE.

GRADING AND DRAINAGE NOTES

1. STAIRWAY RAMPING AND LOT GRADING criteria of the City of Vaughan and the Regional Municipality of York constitute part of the project drawings for the subdivision.
2. MINIMUM GRAVITY OF GRASS SWALES SIDE AND REAR LOT LINES SHALL BE 2.0%.
3. FINISHED GRADE AT THE BUILDING LINES SHALL BE 750MM ABOVE FINISHED GRADE AT THE BUILDING LINES.
4. ROOF LEADERS SHALL NOT BE CONNECTED TO THE STORM SEWER BUT SHALL DISCHARGE ONTO A SPASH PAD AND SHALL BE PROTECTED BY A GROUND COVER.
5. EDGE OF DRIVEWAYS ARE TO BE A MINIMUM 1.2 METRE FROM EDGE OF STREET CORDON.
6. IF THE DISTANCE BETWEEN THE WALLS ADJACENT UNITS IS LESS THAN 1.8 METRE, VARIOUS DRAINAGE SWALE SHALL BE CONSTRUCTED TO DRAIN TO THE STREET.
7. SLOPE SHALL BE A MINIMUM OF 1.5%.
8. SLOPE SHALL BE A MINIMUM OF 1.5%.
9. ALL FINISHES ADJACENT PUBLIC YARDS, DRIVEWAYS, AND TOTALY CLEAR OF 0.9 METRES.
10. SOIL CONSULTANT'S VERIFICATION IS REQUIRED FOR ALL FOOTINGS CONSTRUCTED ON ENGINEERED FOUNDATIONS.
11. IN LOTS WITH REAR LOT CATCHBASINS, MINIMUM SIDE YARD WIDTH SHALL BE 1.22M ALONG THE CATCHBASIN WALL.
12. ROLLERS TO STAKE CUT GRASS DEPRESSIONS.
13. ALL THE BUILDER MUST VERIFY THE EXISTING GRADE AND UTILITIES PRIOR TO CONSTRUCTION. SLOPE CANNOT BE MAINTAINED PRIOR TO CONSTRUCTION.

CONSULTANT'S CERTIFICATION

I HAVE REVIEWED THE SITE AND GRADING PLAN FOR THE PROPOSED BUILDING TO BE CONSTRUCTED AND HEREBY CERTIFY THAT:

1. THE PROPOSED GRADING AND APPROPRIATE DRAINAGE WORKS COMPLY WITH STANDARD ENGINEERING PRACTICES.
2. THE GRADING PLAN APPROVED FOR THIS SUBMISSION AND WILL NOT ADVERSELY AFFECT ADJACENT LOTS.
3. THE PROPOSED BUILDING IS COMPATIBLE WITH THE PROPOSED GRADING.
4. THE BUILDER IS RESPONSIBLE FOR RELOCATION OF ALL UTILITIES ON SITE.
5. ROOF LEADER DOWNSPOUTS MUST DRAIN TO FRONT OF HOUSE.
6. WATER SERVICE TO BE LOCATED IN THE GRASSSED PORTION OF THE YARD.

1. To permit a minimum rear yard setback of 4.61 m to an OS5 Zone.

2. To permit a minimum rear yard setback of 4.53 m to open and unenclosed deck.

LEGEND

	000.00 EXISTING ELEVATION
	000.00 PROPOSED ELEVATION
	FTF FINISHED 1ST FLOOR
	TM TOP OF FOUNDATION WALL
	FS FINISHED SLAB
	USF UNDERSIDE OF FOOTING
	FLOW DIRECTION
	HOOP AND VALVE
	LIGHT STANDARD
	BELL PEDESTAL
	CABLE PEDESTAL
	HROD TRANSFORMER
	ENGINEERED FILL LOT
	SUPER MANHOLE

REVISIONS

#	DATE	DESCRIPTION
1	JAN 22 14	ISSUED
2	JAN 23 14	REVIEWED BY SCHAEFFER
3	JAN 23 14	ADDED OSS ZONE AND RELEVANT SETBACKS
4	JAN 23 14	ADDED FIRELAP PROJECTION

SITE INFORMATION

THIS PLAN IS BASED ON PLAN OF SUBDIVISION OF PART OF LOT 17 CONCESSION 3 (OWNERSHIP OF VAUGHAN) CITY OF VAUGHAN REGIONAL MUNICIPALITY OF YORK

244X125

CENTRE POINT OF CUL-DE-SAC

PREPARED BY
SCHAEFFER & DZALDOV LTD. O.L.S.
DATED 2012

ASSOCIATION OF ARCHITECTS OF ONTARIO
REGISTERED ARCHITECT
SHERIDAN HAYES
LICENSE NO. 2002

ARCHITECTURAL DESIGN CO. INC.
56 PENNSYLVANIA AVE.
CONCORD, ONT. L4K 3V9
TEL 905 660-9393
FAX 905 660-9419

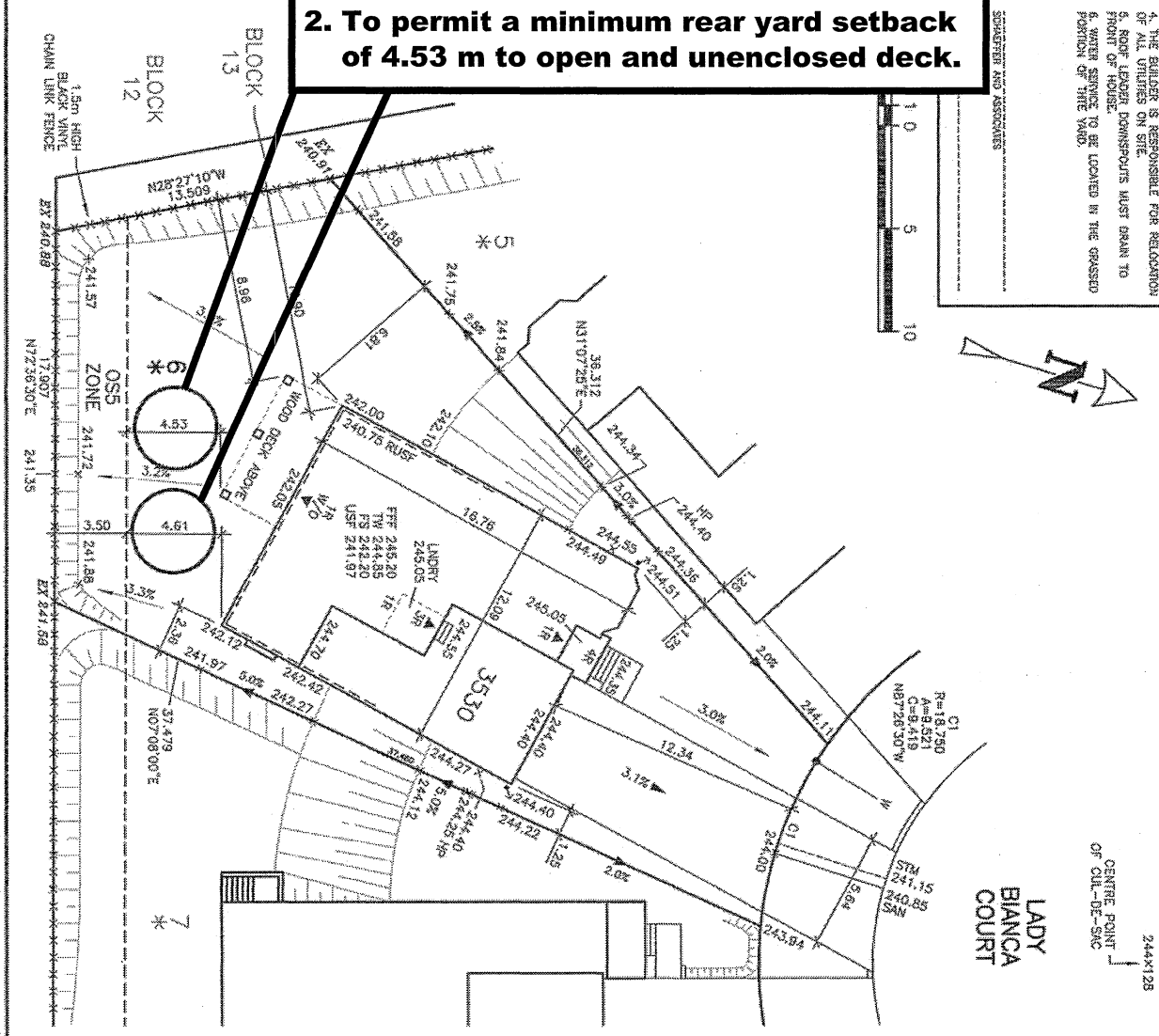
1275620 ONT INC
PHASE III

PROPOSED DWELLING
FOR: COURT VIEW ESTATES
AT: 19 LADY BIANCA COURT
VAUGHAN

DRAWINGS

DATE	JAN '14	PROJECT NO	13-33
DRAWN	T.P.	DRAWING NO	A-1
SCALE	1:250		

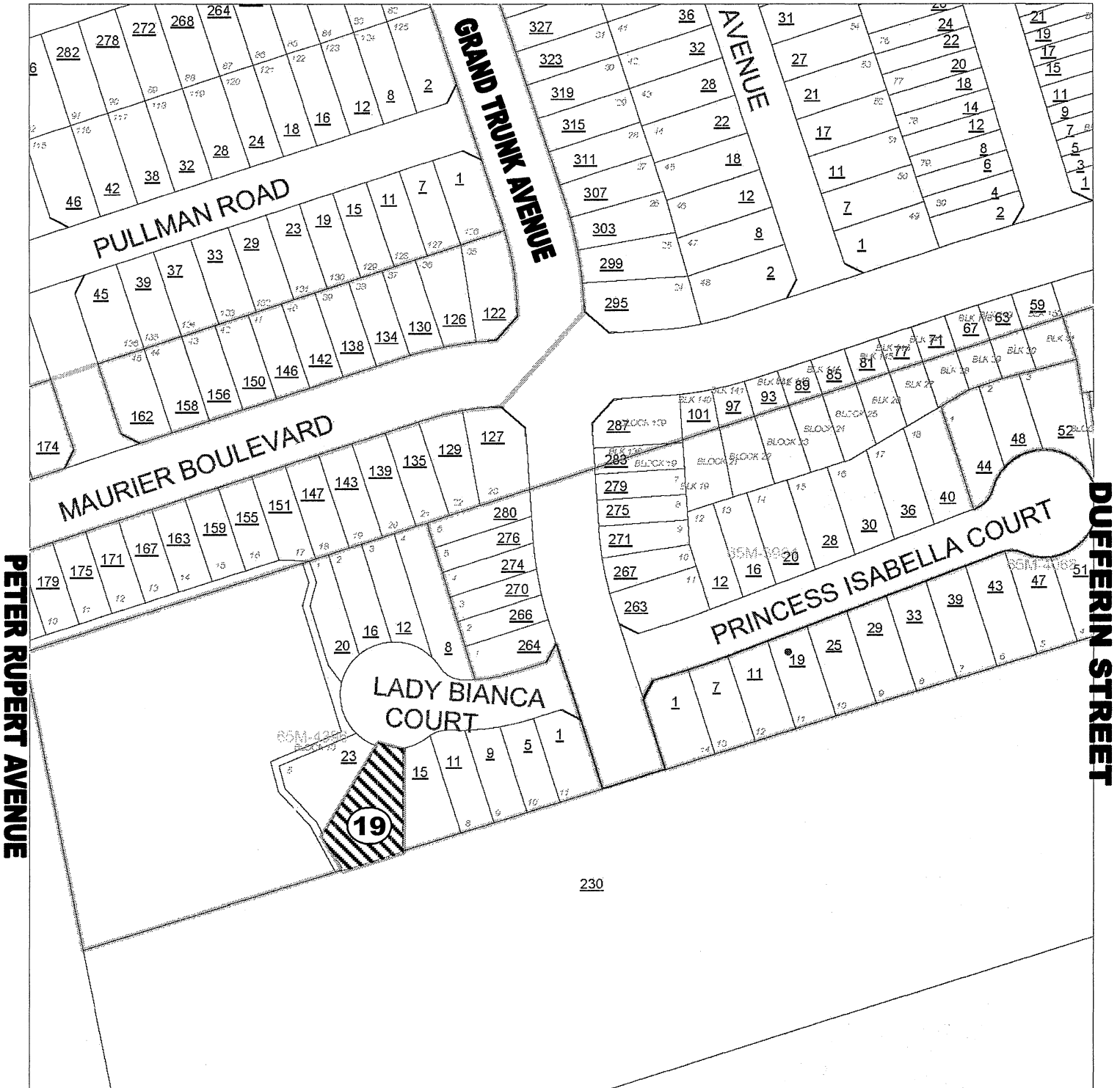
SITE PLAN FOR LOT 6



NOTE:
THE BUILDER TO VERIFY LOCATION OF ALL HYDRAULIC, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF VAUGHAN DIMENSIONS ARE NOT MAINTAINED, THE BUILDER IS TO RELOCATE THEM AT HIS OWN EXPENSE.

THE BUILDER SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND SHALL ASSUME ALL LIABILITY FOR DAMAGE OR RESTORATION TO SAME.

MAJOR MACKENZIE DRIVE



RUTHERFORD ROAD



COMMITTEE OF ADJUSTMENT
 2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
 Phone: (905)832-8585 Fax: (905)832-8535

	FILE NUMBER:	A326/14
	APPLICANT:	1275620 ONTARIO INC.
		Subject Area Municipally known as 19 Lady Bianca Court, Maple