

# **Heritage Impact Assessment: Conformity with Heritage Conservation District Plan**

**Khan Residence – Additions and Alterations,  
65 Wallace Street,  
Vaughan (Woodbridge), Ontario**



Prepared for:

**Mr. Ibrahim Khan**

Prepared By:

**Vincent J. Santamaura, Architect Inc.**

Version 16 December 2020

Project No. 2020-17



# Heritage Impact Assessment

Khan Residence, 65 Wallace St., Vaughan (Woodbridge), Ontario

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# Heritage Impact Assessment

Khan Residence, 65 Wallace St., Vaughan (Woodbridge), Ontario

## 1.0 Introduction

### 1.1 Overview

Mr. Ibrahim Khan and his family have purchased the property at 65 Wallace Street, Part of Lot H, Reg'd Plan 1200, City of Vaughan, Ontario. The property is located on the east side of Wallace Street, south of Woodbridge Avenue. It has an area of approximately 0.1186 ha. (12,768 sf.). It's westerly frontage along Wallace Street is approximately 21.29m and has an easterly depth of approximately 61.23m along the northern property line and 48.62m along the south property line. The rear of the property drops into the Humber River valley.

The Khan Family wishes to renovate the home to meet their living needs. They propose interior renovations and exterior additions.

The property at 65 Wallace Street is located within the Woodbridge Heritage Conservation District (HCD). It is listed as "Non-Contributing" to the Heritage character of the HCD. As the property is located within the Woodbridge HCD, a Heritage Impact Assessment (HIA) is required to be performed to establish whether the proposed renovations and additions are in compliance with the HCD Plan's policies and guidelines for building alterations within the HCD.

Mr. Khan has retained Vincent J. Santamaura, Architect Inc., CAHP to prepare a scoped Heritage Impact Assessment to assess the proposed work's compliance with the HCD Plan.

### 1.2 Associated Documents

This Heritage Impact Assessment (HIA) has been prepared with regard to the following governing documents:

- Provincial Policy Statement,
- The Ontario Heritage Act, R.S.). 1990, c. 0.18
- The York Region Official Plan, 2010,
- The City of Vaughan Official Plan, 2010,
- City of Vaughan Zoning By-law 1-88, as amended
- City of Vaughan Woodbridge Heritage Conservation District Plan, 2009,
- The Ontario Building Code 2012.

## 2.0 Present Owner Contact Information:

Mr. Ibrahim Khan  
65 Wallace Street,  
Vaughan (Woodbridge), ON.  
L1W 3W9

# Heritage Impact Assessment

Khan Residence, 65 Wallace St., Vaughan (Woodbridge), Ontario

## 3.0 Site Documentation

### 3.1 Site Inventory

#### 3.1.1 Site Location – 65 Wallace Street

The Home is located south of the centre of the old town of Woodbridge on the east side of Wallace Street bordering the Humber River valley. The property was severed from the remaining original farm property during the late 1950's, and a residence was constructed in the early 1960's.

The property has an area of approximately 0.1186 ha. (12,768 sf.). It's westerly frontage along Wallace Street is approximately 21.29m and has an easterly depth of approximately 61.23m along the northern property line and 48.62m along the south property line.

The buildings on the site consist of a two storey residential home and a small frame shed in the rear yard. The rear yard of the property drops down some 5.0m from Wallace Street to the Humber River flood plain.



#### 3.1.1.A - Aerial Photograph - Context

# Heritage Impact Assessment

Khan Residence, 65 Wallace St., Vaughan (Woodbridge), Ontario



## 3.1.1.B - Aerial Photograph - Property

### 3.1.2 Site Identification:

The parcel of land is defined as:

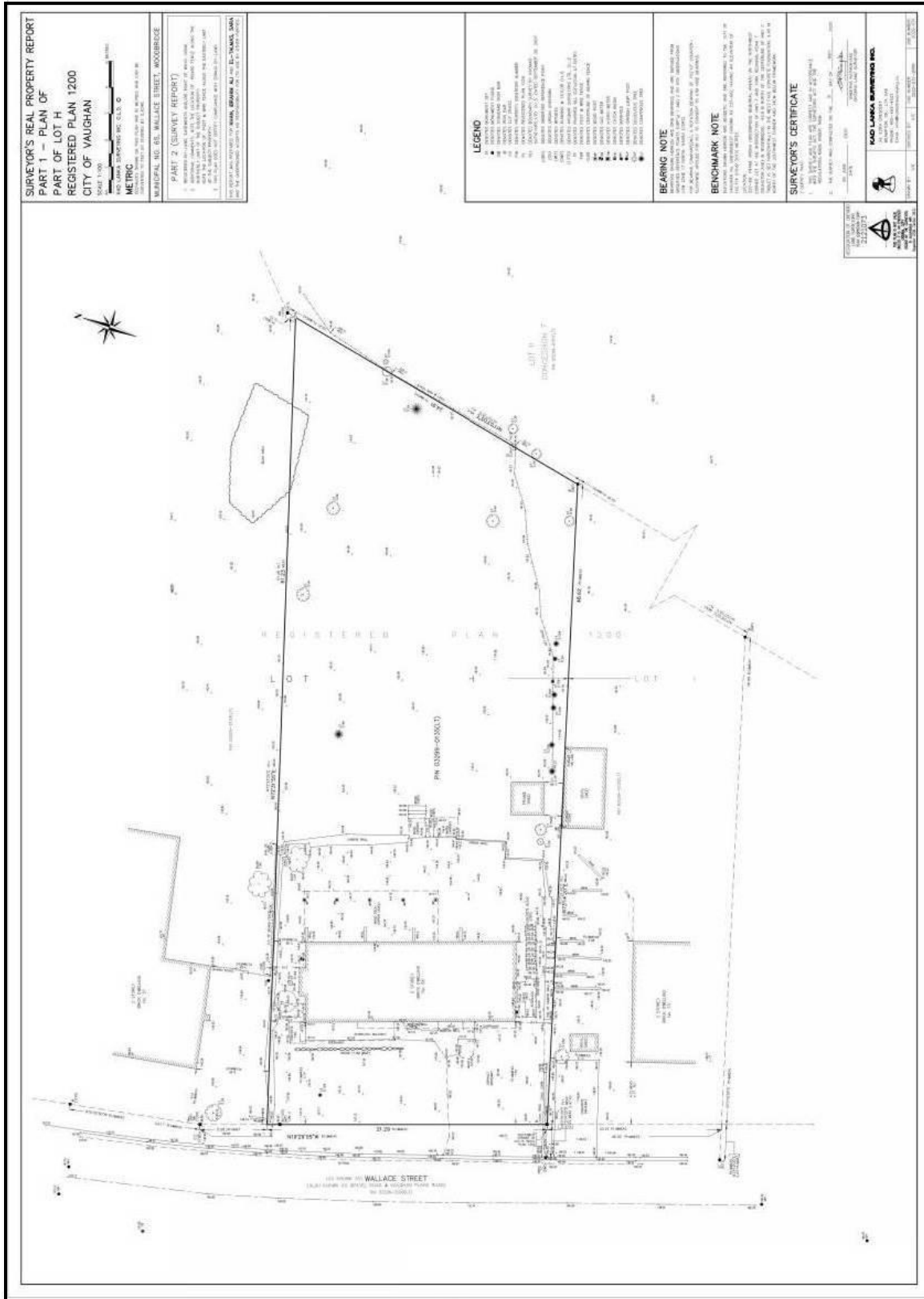
Part of Lot H,  
Registered Plan 1200  
(originally Part of Lot 6, Concession 7)  
City of Vaughan,  
Regional Municipality of York.

The lot is addressed as:

65 Wallace Street

# Heritage Impact Assessment

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3.1.2.A - Survey – Topographical

# Heritage Impact Assessment

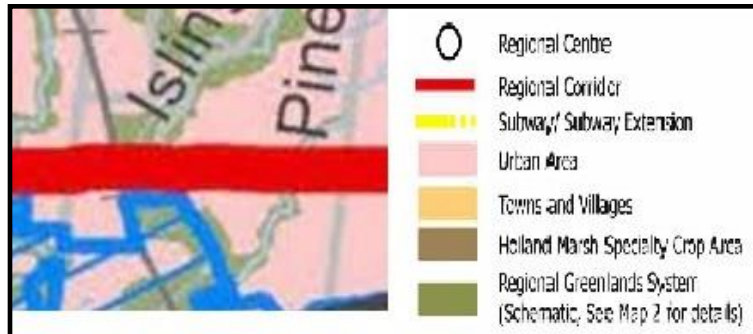
Khan Residence, 65 Wallace St., Vaughan (Woodbridge), Ontario

## 3.1.3 Current Applicable Designations:

The Legislation and Authorities having jurisdiction below may override heritage concerns and recommendations included in this Heritage Impact Assessment. The lot is currently designated as follows:

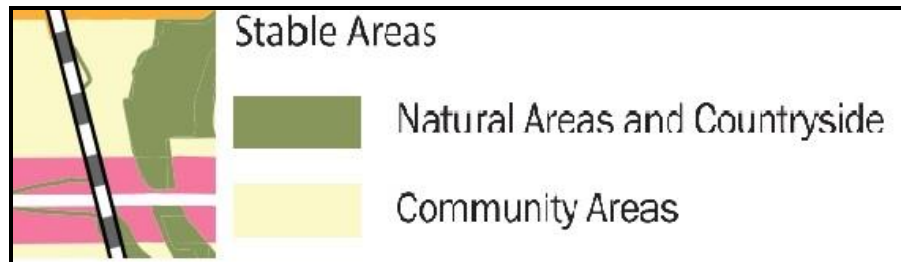
### 3.1.3.1 York Region Official Plan 2010:

- Regional Greenlands System
- Urban Area



### 3.1.3.2 Vaughan Official Plan

- Natural Area
- Community Area



### 3.1.3.3 City of Vaughan Zoning By-Law 1-88

- R3 – Residential 3



# Heritage Impact Assessment

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## 3.1.3.4 Toronto and Region Conservation Authority:

- Within Humber River Valley Control Zone

## 3.1.3.5 Heritage Designations:

3.1.3.5.1 City of Vaughan LSHS List:  
65 Wallace Street – Not Listed;

3.1.3.5.2 Woodbridge Heritage Conservation District Plan:  
65 Wallace Street – “Non-Contributing”.

## 3.1.4 Site Access

The property addresses Wallace Street. Wallace St. is a dead-end street which runs south from Woodbridge Avenue towards Highway 7. The home sits approximately 7.77m back from the road. A double width, asphalt driveway leads to a one car garage. A “Contributing” home is located on the next property to the north of the subject property. Three properties to the south are listed as “Non-contributing”.



### 3.1.4.A - Driveway Access



### 3.1.4.B - Approach from the north to south (read left to right)

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3.1.4.C - Approach from the south to north (read right to left)



3.1.4.D. – Streetscape – Existing (Composite)

## 3.1.5 Existing Buildings & Structures

The buildings on the property at 65 Wallace Street consist of a 2 storey residence with its principal façade facing west, facing the street. A small frame shed is also located on the property to the rear of the home down in the Humber River floodplain.

### 3.1.5.1 The Home

The home is a 2 storey building with a walkout lower level to the rear yard and an integral 1 car garage. The home is of wood frame construction clad with veneer masonry on the ground floor and aluminum siding on the second floor with an asphalt shingled, wood framed roof. The front entrance has a covered porch. Windows are small and utilitarian in size. The Architectural style is a post-war suburban subdivision aesthetic. It was constructed in the mid 1960's.

The ground floor plan is a linear arrangement of spaces with a Living room to the north of the front door entry foyer; Breakfast and Kitchen rooms east of the entry and Dining room to the south of the entry foyer. A deck to the rear spans from the living room to the breakfast room. The lower level is finished with a Family room, Bedrooms and Bathroom with a walkout to a covered patio. A basement is located below the lower level. The second floor has a central hall running north to south with 4 Bedrooms and a Bathroom.

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Khan Residence, 65 Wallace St., Vaughan (Woodbridge), Ontario

The ground floor overall dimensions including the garage are 16.03m x 6.07m (52'7" x 19'-11"). The second floor dimensions are 12.11m x 6.55m (39'8" x 21'6"). (The second floor overhangs the ground floor to the front.) The existing gross floor area of the home is 203.90 m<sup>2</sup> (2194 sf).



3.1.5.1.A - Existing West (Front) Elevation

# Heritage Impact Assessment

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3.1.5.1.B - Existing North (Left) Elevation



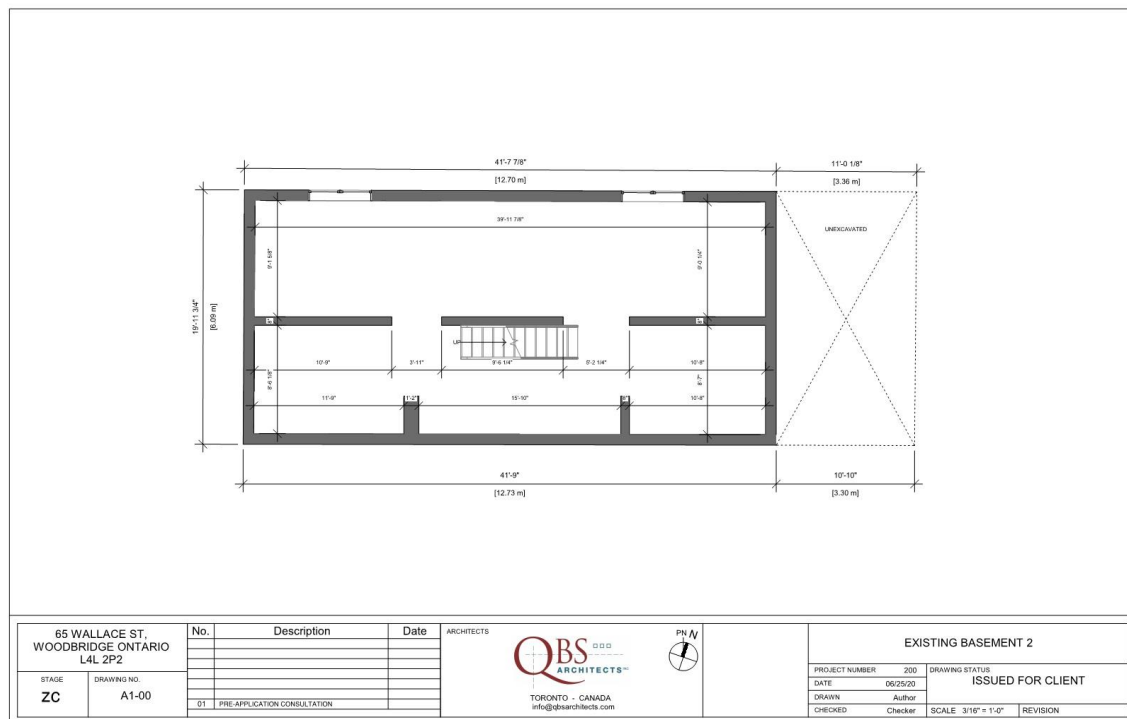
3.1.5.1.C – Existing East (Rear) Elevation

# Heritage Impact Assessment

Khan Residence, 65 Wallace St., Vaughan (Woodbridge), Ontario



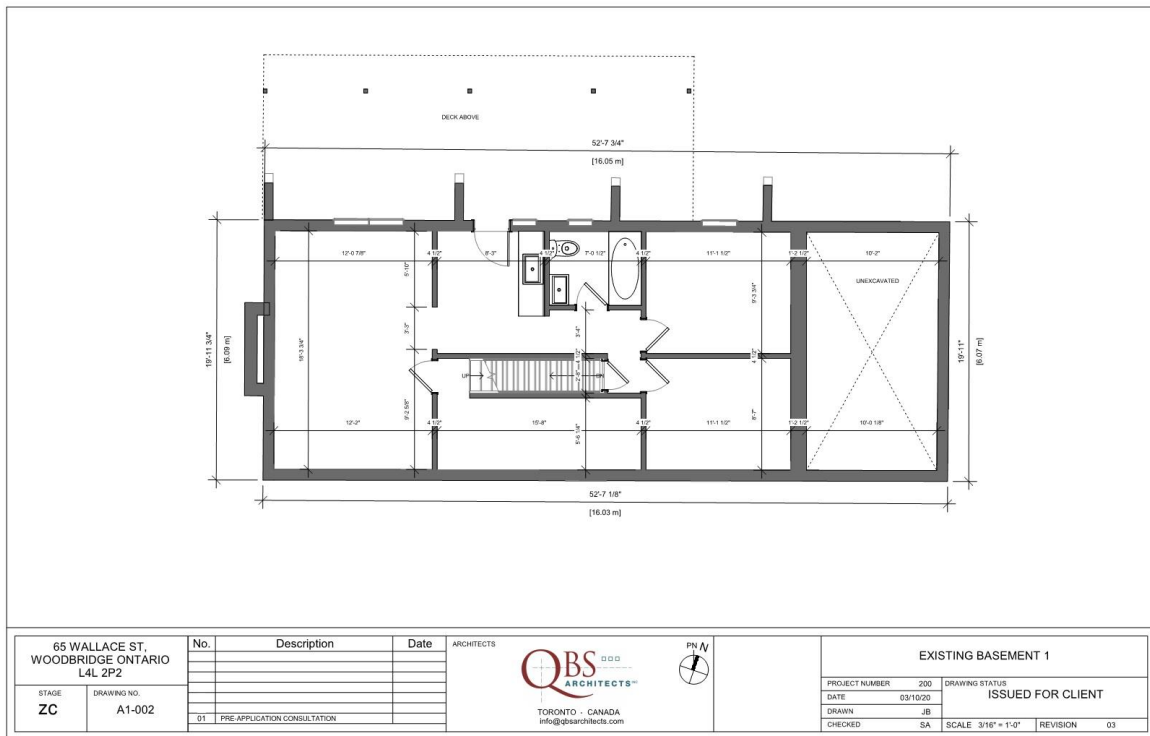
3.1.5.1.D - Existing South (Right) Elevation



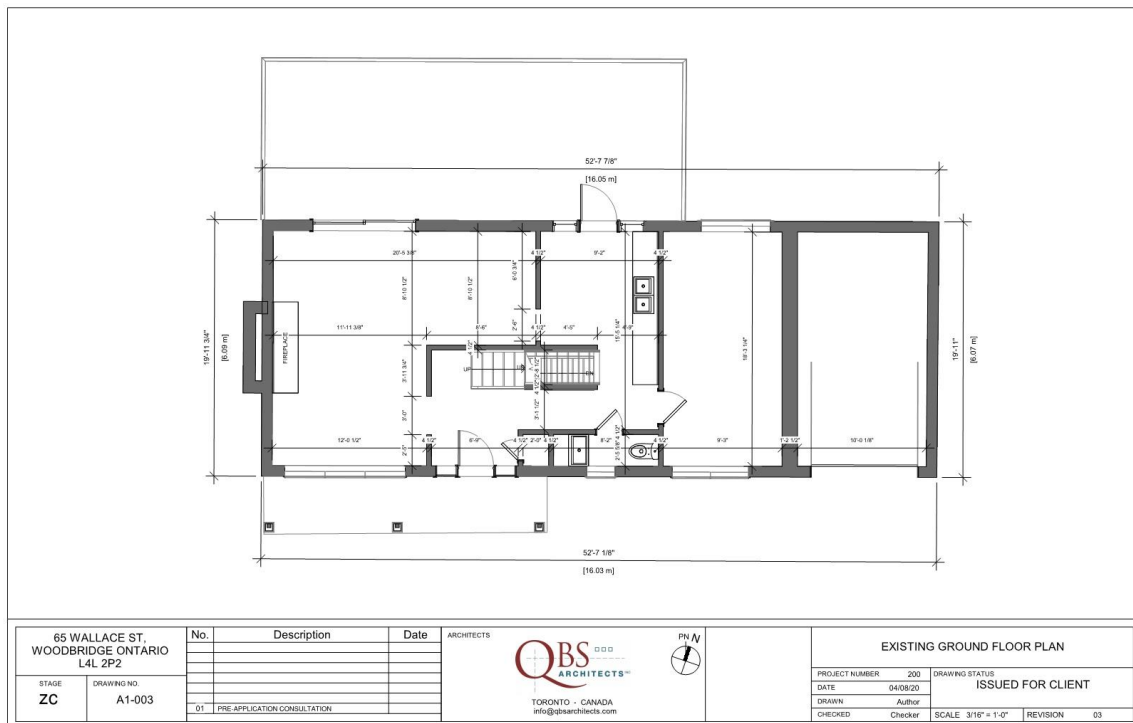
3.1.5.1.E - Existing Basement Plan

# Heritage Impact Assessment

Khan Residence, 65 Wallace St., Vaughan (Woodbridge), Ontario

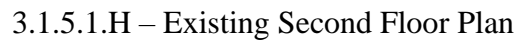


3.1.5.1.F - Existing Lower Level Plan



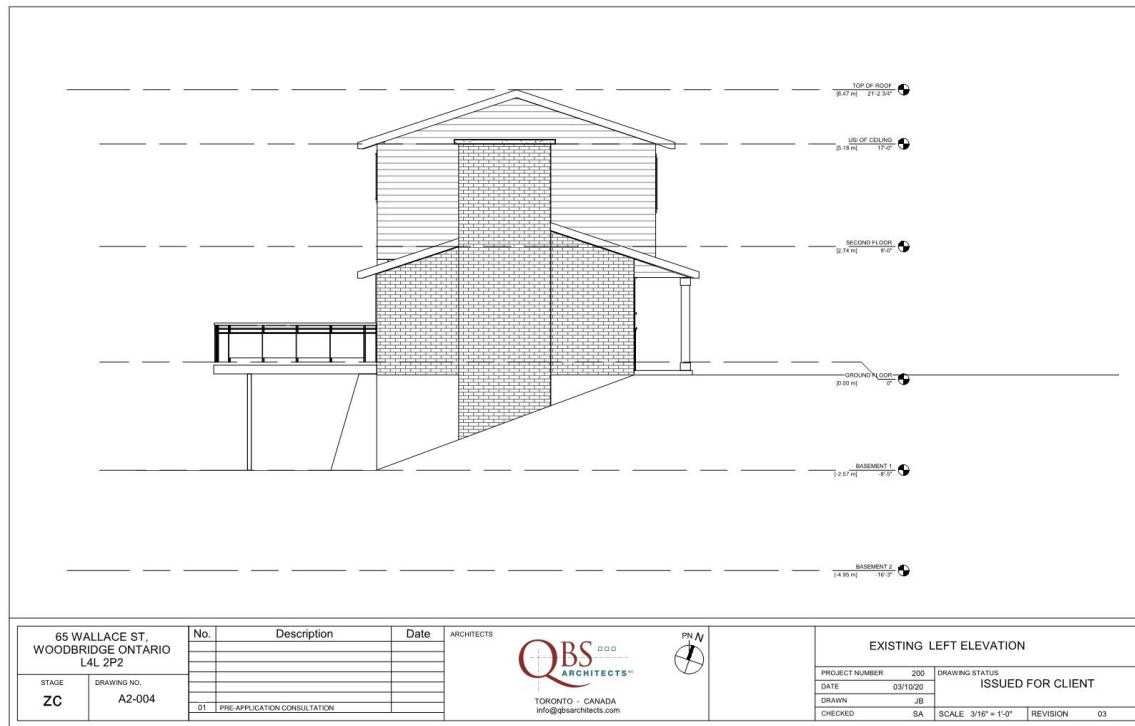
3.1.5.1.G - Existing Ground Floor Plan

**Khan Residence, 65 Wallace St., Vaughan (Woodbridge), Ontario**



# Heritage Impact Assessment

## Khan Residence, 65 Wallace St., Vaughan (Woodbridge), Ontario



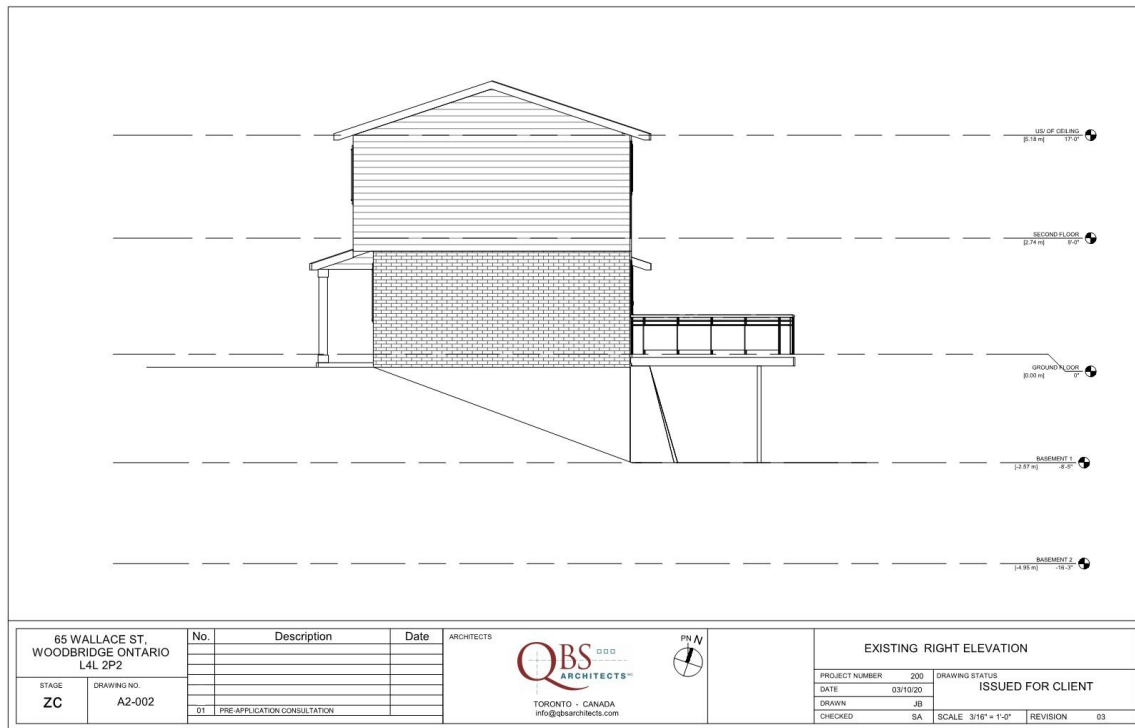
3.1.5.1.J – Existing Left (North) Elevation



3.1.5.1.K – Existing Rear (East) Elevation

# Heritage Impact Assessment

Khan Residence, 65 Wallace St., Vaughan (Woodbridge), Ontario



3.1.5.1.L – Existing Right (South) Elevation

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Khan Residence, 65 Wallace St., Vaughan (Woodbridge), Ontario

## 3.1.5.2 Wood Shed

A small 2.15m x 2.75m (7'-0" x 9'-0") garden shed is located in the valley portion of the back yard. It has a gambrel roof profile; has no foundation and is partially finished: clad in plywood with vertical battens and asphalt shingles. It is typical of a pre-fabricated wood shed kit commonly available.

The TRCA has requested it be demolished.



3.1.5.2.A – Existing Front (East) Elevation



3.1.5.2.B – Existing Right (North) Elevation

# Heritage Impact Assessment

Khan Residence, 65 Wallace St., Vaughan (Woodbridge), Ontario

## 4.0 Development Proposal

### 4.1 Proposal Description:

Sitting on the edge of the Humber River valley, the property has an expansive view to the east over the valley. As well, the site drops down to the river's level. This provides an excellent opportunity to design a home that takes in the view and grading. The existing home was designed to capture this condition with its linear arrangement of spaces, deck and lower level walkout. It isn't difficult to see the attractiveness of the property to the Khan Family.



#### 4.1.A – View to the East of the Humber River Valley

The property is located within the control zone of the Toronto and Region Conservation Authority (TRCA), and due to property's proximity to the Humber River valley, the TRCA will not permit any construction/expansion further east towards the valley. The Authority has also advised regarding flood proofing the home at the basement level, and has directed that the fame shed be removed.

However, the modern-day living requirements of the Khan family require an updating of the building to meet their needs. Mr. Khan has retained QBS Architects Inc to prepare the designs and drawings.

# Heritage Impact Assessment

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Space programming goals are to:

- Increase the ability for rooms to enjoy the view to the valley;
- Increase the ability to enjoy the view outdoors at the ground floor and second floor levels;
- Provide for multi-generational living;
- Provide for working from home;
- Provide a variety of spaces for the family members;
- Provide proper sized rooms for a large extended family;
- Upgrade the plumbing and mechanical facilities;
- Provide 2 car parking, and
- Follow the Woodbridge HCD Plan and, specifically, the guidelines for Additions and Alterations to “Non-Complying” buildings, and the Wallace Street Heritage Character area.

The design solution begins by proposing extensions to the home towards the street and expanding the second floor northward to cover the building footprint of the one storey living room below and forward over the front addition. The garage is re-located forward and expanded into a 2-car garage. The former garage space is turned over into living space to increase views to the valley.

The two storey addition across the front of the home has the proposed dimensions of 5.72m deep x 16.03m wide (18'-8" x 52'-7") which includes the garage space. The second floor addition above the existing ground floor has the dimensions of 3.65m wide x 6.09m deep (12'-0" x 20'-0"). The proposed gross floor area of the home is 335.80 m<sup>2</sup> (3614 sf).

The new front yard setback is proposed at 2.04m. The side yard setbacks maintain those of the existing home: 2.38m minimum on the north side yard and 2.45m minimum on the south.

The new massing of the home is stylistically similar to traditional Georgian architecture with a flat elevation and a shed styled roof with end gables. An ordered window design echoes the composed designs of Georgian homes, allowing for modern day (garage) elements. The windows are individual and punched in the wall. The window to wall ratio is approximately 40% to 80%. A proposed overhanging cantilevered roof adds a porch line element. The exterior is proposed to be re-clad with heritage inspired masonry.

Refer to the Architectural Drawings and Materials Specifications package submitted with the application.

**Khan Residence, 65 Wallace St., Vaughan (Woodbridge), Ontario**



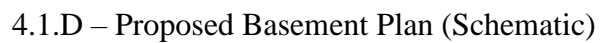
VS  
JS

**Khan Residence, 65 Wallace St., Vaughan (Woodbridge), Ontario**



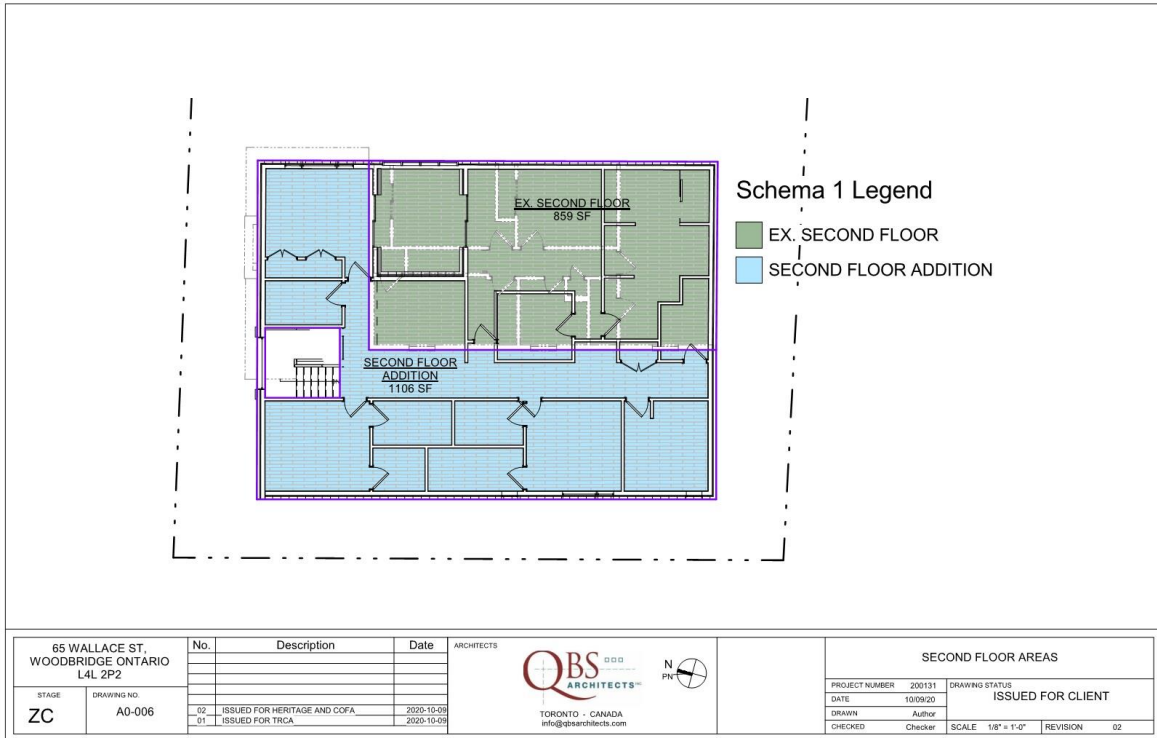
VS  
JS

**Khan Residence, 65 Wallace St., Vaughan (Woodbridge), Ontario**

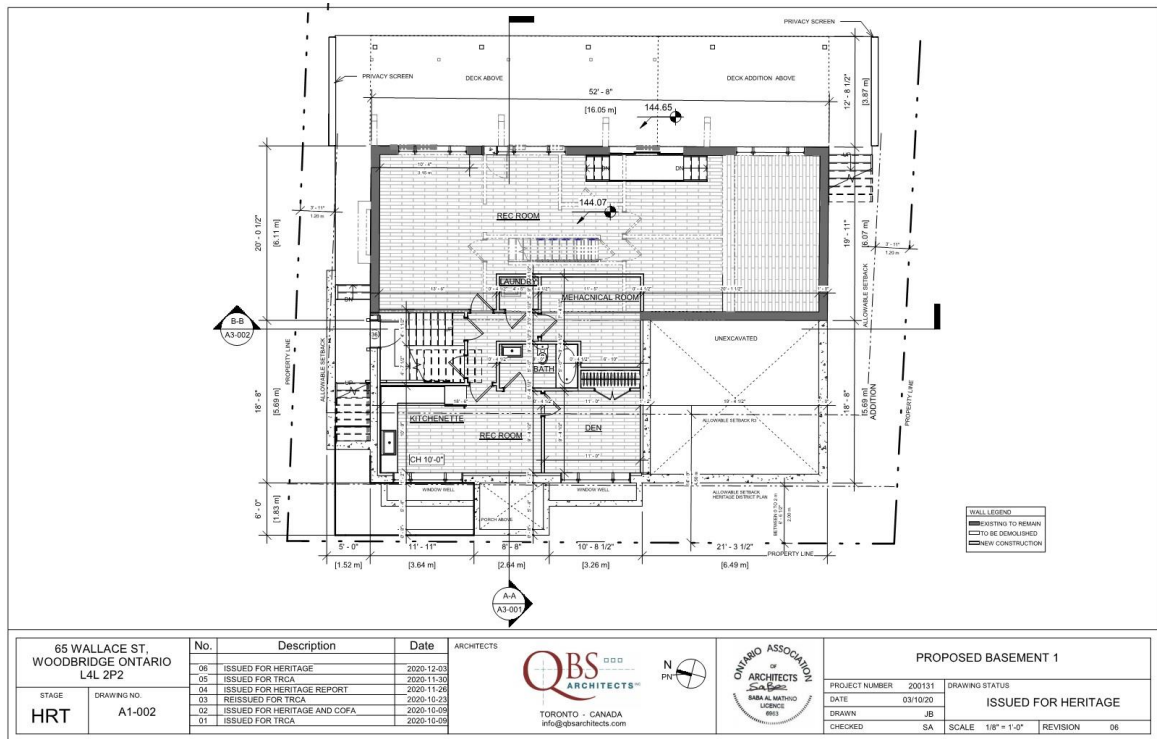


# Heritage Impact Assessment

Khan Residence, 65 Wallace St., Vaughan (Woodbridge), Ontario



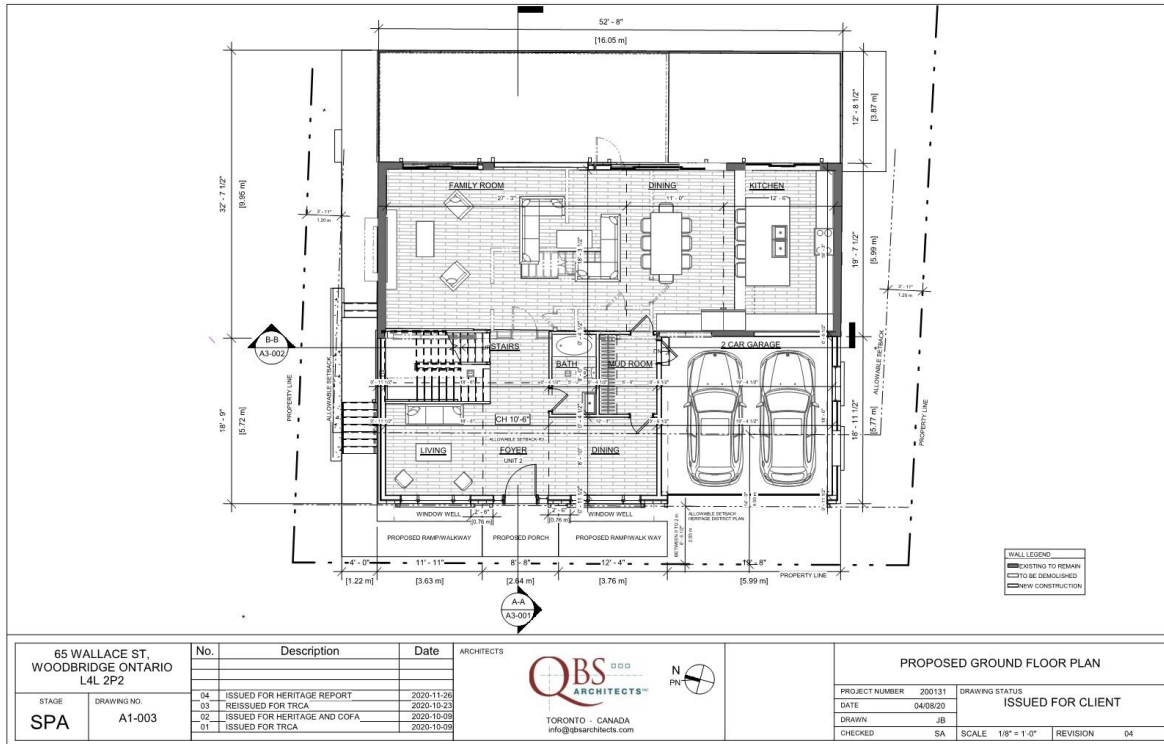
4.1.F – Proposed Second Floor (schematic)



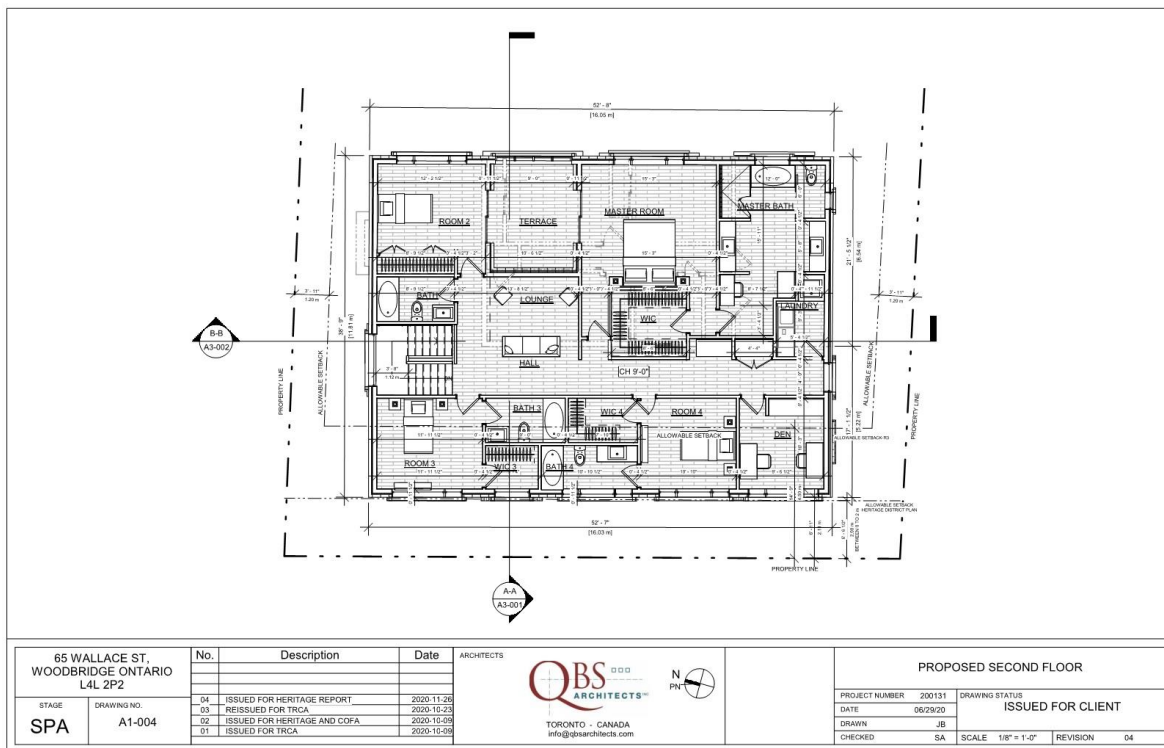
4.1.G – Proposed Basement Plan

# Heritage Impact Assessment

## Khan Residence, 65 Wallace St., Vaughan (Woodbridge), Ontario



4.1.H – Proposed Ground Floor Plan



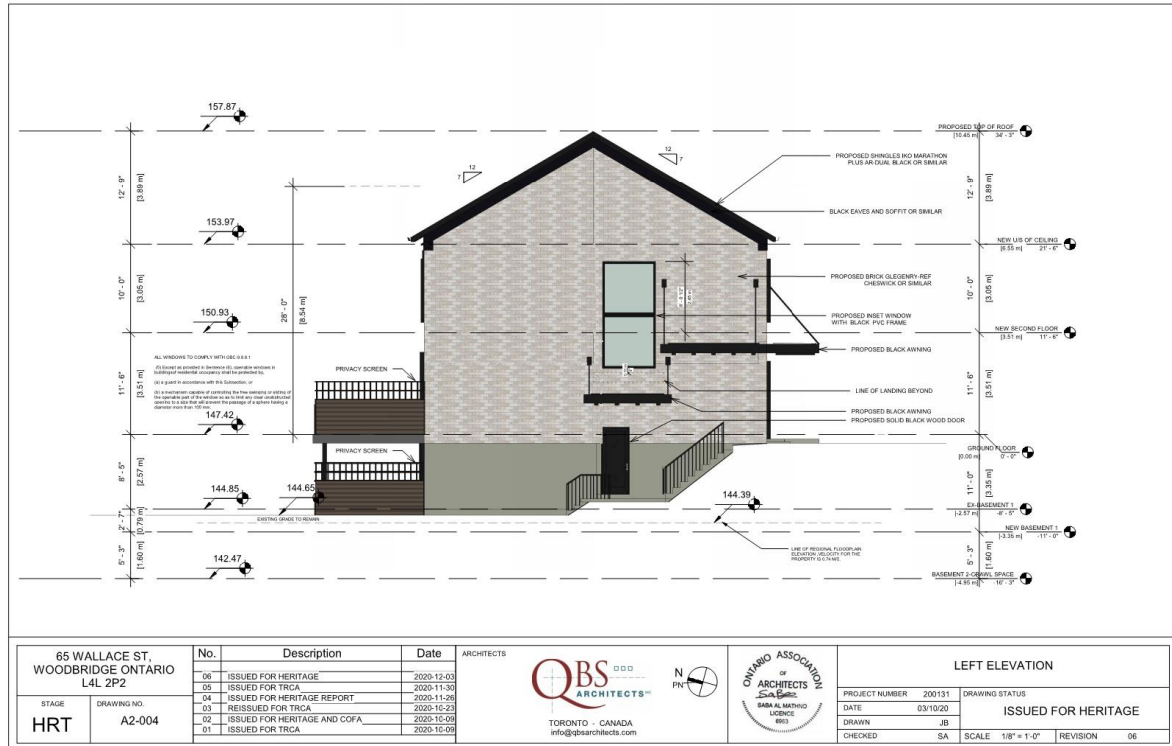
4.1.I – Proposed Second Floor Plan

# Heritage Impact Assessment

## Khan Residence, 65 Wallace St., Vaughan (Woodbridge), Ontario



4.1.J – Proposed Front (West) Elevation



4.1.K – Proposed Left (North) Elevation

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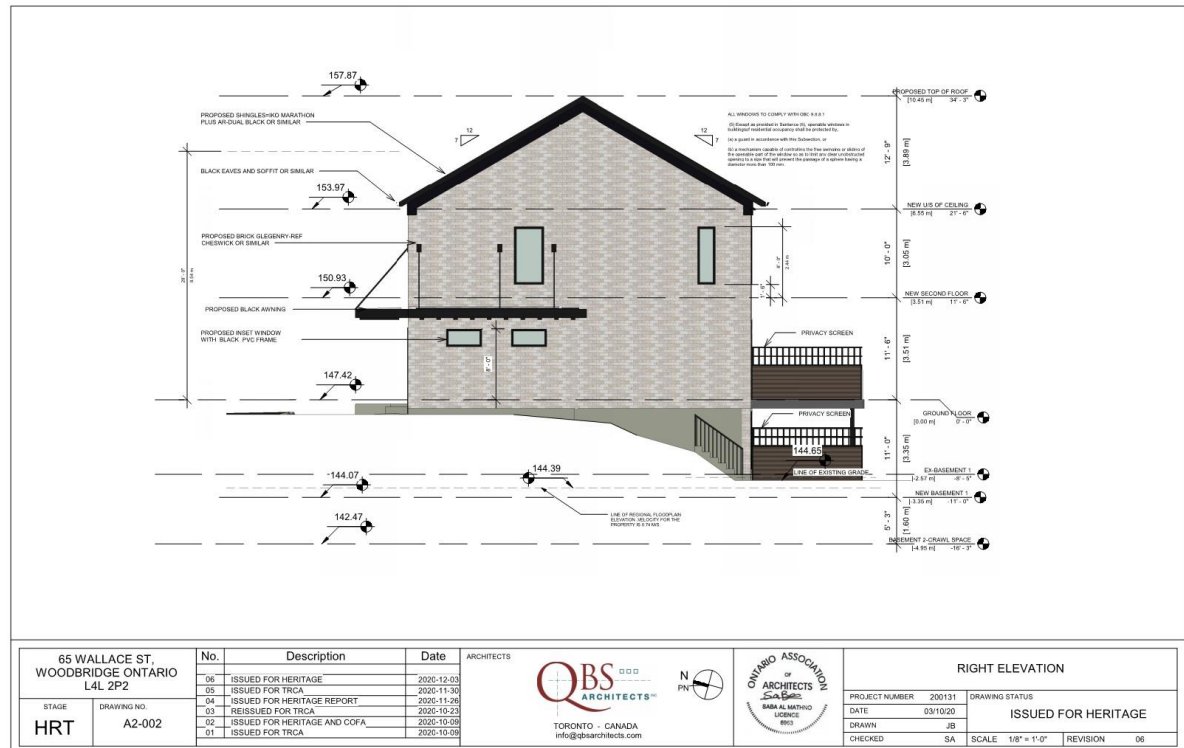
Mr. Ibrahim Khan

# Heritage Impact Assessment

## Khan Residence, 65 Wallace St., Vaughan (Woodbridge), Ontario



4.1.L – Proposed Rear (East) Elevation



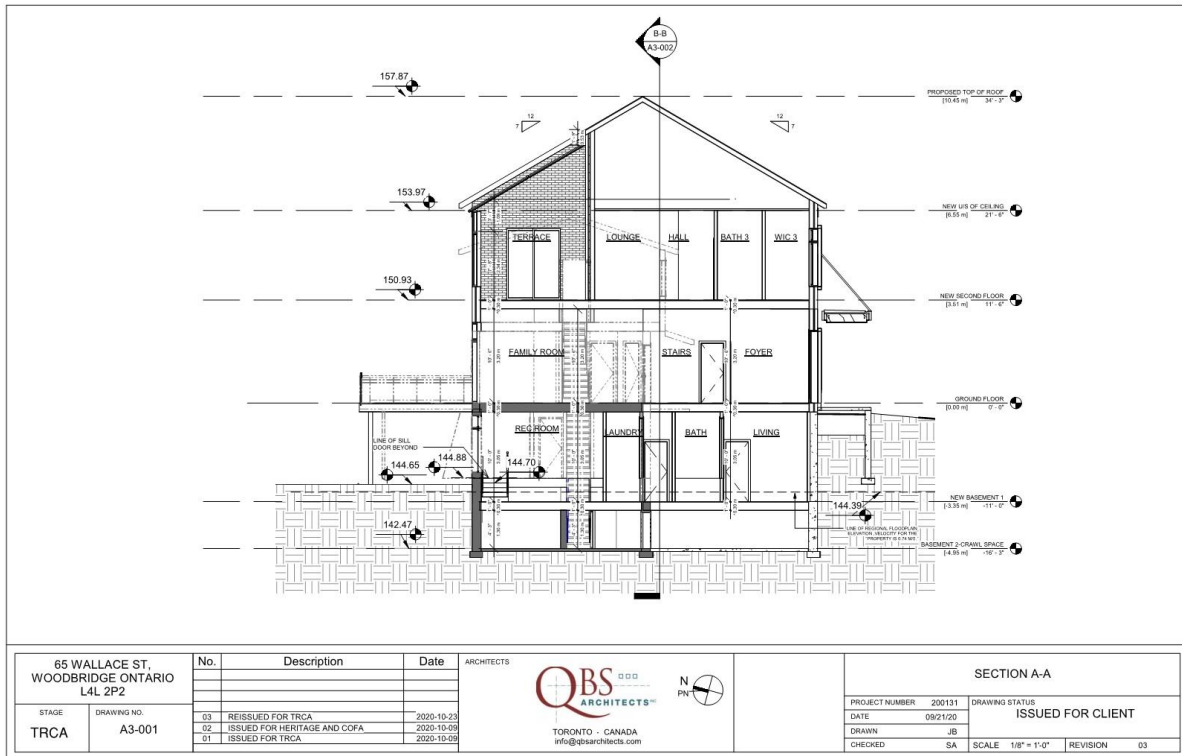
4.1.M – Proposed Right (South) Elevation

Version 16 December 2020. Project No. 2020-17

Mr. Ibrahim Khan

# Heritage Impact Assessment

## Khan Residence, 65 Wallace St., Vaughan (Woodbridge), Ontario



4.1.N – Proposed East/West Section



4.1.O. - 3D Modelling – View from Street

# Heritage Impact Assessment

Khan Residence, 65 Wallace St., Vaughan (Woodbridge), Ontario



4.1.P. - 3D Modelling – View from Rear Yard




4.1.Q. – Streetscape – Proposed (Composite)

The proposed material finish palette consists of the following:

- Roof – Asphalt Shingles: IKO “Marathon Plus AR” – Dual Black
- Eavestrough and Downspouts: “Avenue road Roofing”
- Pre-finished Aluminum – Black
- Windows: Marvin Aluminum – Black
- Doors: Amberwood Doors Inc – “Exterior Side-light Entry Doors” – Wood – Black
- Masonry: Glen-Gery “Cheswick”, White, “Tumbled” finish, Engineer Size.


# Heritage Impact Assessment

## Khan Residence, 65 Wallace St., Vaughan (Woodbridge), Ontario




Current Availability	T	N	L	W
Brick	2.00	2.10	7.50	N
Engineer Module	2.00	2.10	7.50	N


**BRICK (CHESWICK)**  
**BRAND:** LAWRENCEVILLE BRICK  
**TYPE:** FACEBRICK-ENGINEER MODULAR  
**COLOR:** WHITE  
**REFERENCE:** <https://www.glengery.com/brick-catalog/cheswick>




**GARAGE DOOR**  
**BRAND:** AVENUE ROAD ROOFING  
**REFERENCE:** <https://www.garaga.com/ca/garage-doors/contemporary>




**ENTRANCE DOOR (NUMBER C 80)**  
**BRAND:** AMBERWOOD DOORS INC.  
**REFERENCE:** <https://amberwooddoors.com/products/exterior/side-light-entry-doors/>




**SHINGLE (MARATHON™ PLUS AR)**  
**BRAND:** IKO  
**TYPE:** DUAL BLACK  
**REFERENCE:** <https://www.iko.com/na/residential-roofing-shingles/three-tab/marathon-plus-ar/>



**EAVES**  
**BRAND:** AVENUE ROAD ROOFING  
**REFERENCE:** <https://www.avenueadroofing.com/services/residential-commercial/eavestrough-systems/>




**Extruded Aluminum Cladding**




**MATTE BLACK**

**WINDOWS AND SLIDING DOORS MATERIAL AND COLOR**  
**REFERENCE:** <https://marvincanada.com/wp-content/uploads/2019/02/Marvin-Modern-Brochure.pdf>

65 WALLACE ST. WOODBRIDGE ONTARIO L4L 2P2		No.	Description	Date	ARCHITECTS	MATERIAL BOARD	
STAGE <b>HRT</b>	DRAWING NO. <b>A4-001</b>	07	ISSUED FOR PAC MEETING	2020-12-07	 <b>QBS ARCHITECTS™</b> TORONTO • CANADA <a href="mailto:info@qbsarchitects.com">info@qbsarchitects.com</a>	PROJECT NUMBER	200131
		06	ISSUED FOR HERITAGE	2020-12-03		DRAWING STATUS	ISSUED FOR HERITAGE
		05	ISSUED FOR TRCA	2020-11-30		DATE	12/14/20
		04	ISSUED FOR HERITAGE REPORT	2020-11-26		DRAWN	JB
		03	REISSUED FOR TRCA	2020-10-23		CHECKED	SA
		02	ISSUED FOR HERITAGE	2020-12-16		SCALE	
01	ISSUED FOR HERITAGE	2020-10-09	REVISION	02			

### 4.1.Q – Proposed Material Palette



**Cheswick**


Save Product Compare Brick

Where To Buy Contact Us

See this on your house

**Product Information:**

**Brand:** Lawrenceville Brick  
**Type:** Facebrick  
**Color:** White  
**Style:** Extruded  
**Plant:** Lawrenceville  
**Series/Collection:** Family Estate Series  
**Texture/Finish:** Tumbled



**Glen-Gery Extruded Brick**

**General**

Glen-Gery manufactures many sizes of extruded bricks in a multitude of shades and textures to accommodate the visual requirements of most projects. The more popular extruded bricks have a nominal four inch bed depth. These extruded units are often referred to as cores, soft mud, or weatcut bricks. To differentiate between weatcut bricks and weatcut finish, Glen-Gery refers to the weatcut finish as a weatcut finish.

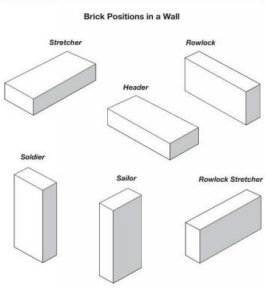
**Unit Specifications**


Glen-Gery extruded bricks are typically manufactured to conform to the requirements of American Society for Testing and Materials (ASTM) Standard Specification C 216, Grade SW, Type FBS and all grades of ASTM C 62. In some instances bricks are manufactured to conform to ASTM C 662 which includes increased core volume. These products also conform to the requirements of ASTM C 216, Grade MW. Certain products meet the requirements of ASTM C 662, or ASTM C 130. Insulation should be made for specific applications or conformance to standards other than ASTM C 216 or C 62. When specifying this product, the specifications should cite:

- 1) The product name and state "as manufactured by Glen-Gery Corporation."
- 2) Conformance to the requirements of the appropriate standard. (Typically, ASTM C 216 or C 662).
- 3) The actual unit dimensions listed as thickness x height x length.

Example: Glen-Gery Battfield as manufactured by Glen-Gery Corporation to conform to the requirements of ASTM C 216, Grade SW, Type FBS. The units shall have dimensions of 2-3/8" X 3-1/4" X 7-5/8".

**Brick Positions in a Wall**




65 WALLACE ST. WOODBRIDGE ONTARIO L4L 2P2		No.	Description	Date	ARCHITECTS	BRICK SPECIFICATION	
STAGE <b>HRT</b>	DRAWING NO. <b>A3-001</b>	06	ISSUED FOR HERITAGE	2020-12-04	 <b>QBS ARCHITECTS™</b> TORONTO • CANADA <a href="mailto:info@qbsarchitects.com">info@qbsarchitects.com</a>	PROJECT NUMBER	200131
		05	ISSUED FOR TRCA	2020-11-30		DRAWING STATUS	ISSUED FOR HERITAGE
		04	ISSUED FOR HERITAGE REPORT	2020-11-26		DATE	12/03/20
		03	REISSUED FOR TRCA	2020-10-23		DRAWN	Author
		02	ISSUED FOR HERITAGE AND COFA	2020-10-09		CHECKED	Checker
		01	ISSUED FOR TRCA	2020-10-09		SCALE	
			REVISION				

### 4.1.R – Proposed Material Palette - Masonry

# Heritage Impact Assessment

## Khan Residence, 65 Wallace St., Vaughan (Woodbridge), Ontario



**JKO Marathon Plus AR**

**5-5/8" EXPOSURE**

**FastLock® SEALANT**

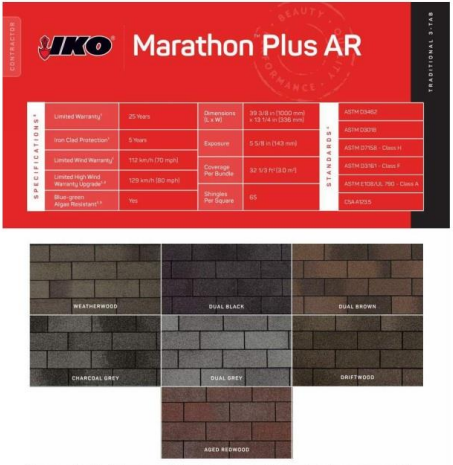
**Take that New Roof Back to Beautiful Basics.**

JKO Marathon traditional shingles are of solid construction and a 3-lb design that has always been popular with homeowners.

Their large metric size means these shingles go down fast and easy, to save you time and labour. And JKO's FastLock® modified bitumen sealant is thick and aggressive to promote a strong bond.

JKO's advanced colour blending technology produces a wide array of consistent, yet evolving colour blends for any style of home.

**JKO Roofing Elevated**



**JKO Marathon Plus AR**

Feature	Value	Feature	Value	Feature	Value
Warranty	25 Years	Dimensions (L x W)	36 5/8" x 1200" and 15 3/4" x 1200" (mm)	ASTM D4457	
Ice Dam Protection	5 Years	Exposure	5 5/8" x 1245 mm	ASTM D3281 - Class I	
Weight (per 100 sq ft)	110 lbs (50 kg)	Coverage (per 100 sq ft)	32 5/8" x 1200" sq ft	ASTM D3281 - Class I	
Weight (per 100 sq ft)	120 lbs (55 kg)	Coverage (per 100 sq ft)	32 5/8" x 1200" sq ft	ASTM D3281 - Class I	
Weight (per 100 sq ft)	120 lbs (55 kg)	Coverage (per 100 sq ft)	32 5/8" x 1200" sq ft	ASTM D3281 - Class I	
Weight (per 100 sq ft)	120 lbs (55 kg)	Coverage (per 100 sq ft)	32 5/8" x 1200" sq ft	ASTM D3281 - Class I	

**SHINGLE SPECIFICATION**

PROJECT NUMBER: 200131 DRAWING STATUS: ISSUED FOR HERITAGE


DATE: 12/03/20

DRAWN: Author

CHECKED: Checker

SCALE: REVISION

### 4.1.S – Proposed Material – Shingles



<https://ilmarincanada.com/wp-content/uploads/2019/02/Modern-Modem-Brochure.pdf>

**FEATURES**

- Large expanses of glass for maximum views with numerous configurations and sizes available
- Consistent panel thickness with narrow stiles and rails, regardless of configuration or size
- Minimal hardware designed for superior functionality, features a sleek and modern form
- These sill options are available in flush, performance, and high performance

**HARDWARE**

- Minimal pull and latch handles
- Keyed or non-keyed options available
- Multi-point lock
- Quad rollers with end adjustment

**GLASS OPTIONS**

- Dual or Triple Pane insulated glass
- Argon or Krypton-Argon blend gas
- Black spacer and silicone sealant
- Low E1, E2, E3, ELR, or ERS glass options
- Specialty glass: Frosted, Obscure, and Gray or Bronze tint

**ADD-ONS**

- Automatic Control
- Lock Status Sensor
- Screen options available

**PERFORMANCE RATINGS**

- Uni-Directional Stacked up to LC-PG45-SD
- Uni-Directional Pocket up to LC-PG40-SD
- Bi-Parting Stacked up to LC-PG40-SD
- Bi-Parting Pocket up to LC-PG40-SD
- Dual-Pane IG Low E2 with Argon 0.28 U-factor

**MULTI-SLIDE CONFIGURATIONS AND SIZING**

- Over 30 Configurations available
- Uni-Directional configurations: 1 to 6 panels, available in stacked or pocket
- Bi-Parting configurations: 2 to 10 panels, available in stacked or pocket
- Sized to order up to 6' x 12' panels
- Meeting stiles are less than 3" wide

### 4.1.T – Proposed Material Palette – Windows - 1

# Heritage Impact Assessment

## Khan Residence, 65 Wallace St., Vaughan (Woodbridge), Ontario

ALUMINUM WINDOWS BY MARVIN OR SIMILAR

**FEATURES**

- Large expanses of glass for maximum views with numerous configurations and sizes available
- Rectangular and polygon shapes
- Frame recess accepts a drywall return for seamless integration
- Horizontal or vertical ribbon mulling capabilities
- Non-certified mulling capabilities

**GLASS OPTIONS**

- Dual or Triple-Pane insulated glass
- Interior cover depths vary based on IG glass thickness
- Argon or Krypton-Argon blend gas
- Black spacer and silicone sealant
- Low-E1, E2, E3, E3L, or ERS glass options
- Specialty glass: Frosted, Obscure, and Gray or Bronze Tint

**MULLING**

- Mulled frames are less than 3" wide
- Approximate 3" frame divider simulates a mullied Direct Glaze frame

**CONFIGURATIONS AND SIZING**

- Max Frame Size Certified 141 1/4" x 93 1/4"
- Joint depth 4 1/2"
- Rectangle/Square
- Isosceles Triangle
- Right Triangle, right or left
- Trapezoid, right or left
- Pentagon

**SINGLE UNIT PERFORMANCE RATINGS**


Air Tested to PSF	6.24
Water Tested to PSF	12.1
WCMA Performance Grade	CW-PG40-FW
Max Frame Size Height	93 1/4"
Max Frame Size Width	141 1/4"


**VERTICAL OR HORIZONTAL MULLED UNITS PERFORMANCE RATINGS**


Air Tested to PSF	1.57
Water Tested to PSF	6.0
WCMA Performance Grade	CW-PG40-FW
Max Frame Size Height	96"
Max Frame Size Width	168"
Max Tributary Width or Height	84"

**NRFC THERMAL U-FACTOR**

Dual-Pane IG Low E2 with Argon	0.28
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MATTE BLACK

<https://marvincanada.com/>

65 WALLACE ST. WOODBRIDGE ONTARIO L4L 2P2		No.	Description	Date	ARCHITECTS	 <p>TORONTO • CANADA info@qbsarchitects.com</p>	 <p>ONTARIO ASSOCIATION OF ARCHITECTS SANA AL-MATNI LICENCE 8903</p>	WINDOWS SPECIFICATION		
STAGE	DRAWING NO.	07	ISSUED FOR PAC MEETING	2020-12-07	PROJECT NUMBER			200131	DRAWING STATUS	ISSUED FOR HERITAGE
HRT	A4-008	06	ISSUED FOR HERITAGE	2020-12-03	DATE			12/14/20		
		05	ISSUED FOR TRCA	2020-11-30	DRAWN			JB		
		04	ISSUED FOR HERITAGE REPORT	2020-11-26	CHECKED			SA	SCALE	REVISION
		03	REISSUED FOR TRCA	2020-10-23						
		02	ISSUED FOR HERITAGE	2020-12-16						
		01	ISSUED FOR HERITAGE	2020-12-07						

### 4.1.U – Proposed Material Palette – Windows - 2

# Heritage Impact Assessment

Khan Residence, 65 Wallace St., Vaughan (Woodbridge), Ontario

## 5.0 Heritage Impact Assessment

### 5.1 Applicable Woodbridge Heritage Conservation District Plan Policies and Guidelines

The City of Vaughan enacted the Woodbridge Heritage District Conservation Plan in 2009 in an effort to preserve the historic character one of the City's early Villages. While the HCD Plan encourages the preservation of as much of the Heritage value of the community as possible, it recognizes that communities are constantly growing and evolving. Foreseeing this activity, the HCD Plan has policies and guidelines to guide proposed work needing to be done on existing and new buildings.

5.1.1 - The Objectives of the HCD are stated in Section 5.1 to:

- 1) *Identify, document, maintain and restore the unique heritage village character of Woodbridge.*
- 2) *Conserve contributing buildings, landscapes, monuments and streetscapes.*
- 3) *Ensure new designs contribute to the Woodbridge heritage character.*
- 4) *Manage any development or redevelopment proposed within the district, in a manner that is sensitive and responsive to all aspects necessary to ensure the protection and conservation of the heritage resources, in order to maintain the village character of the Woodbridge District.*
- 5) *Ensure individual heritage structures and landscapes are maintained, and new development or redevelopment sensitively integrated, as part of a comprehensive district.*
- 6) *Maintain Woodbridge as both a local neighbourhood and a destination for residents of Vaughan and beyond.*
- 7) *Support a welcoming, interesting pedestrian environment by encouraging pedestrian amenities and by maintaining human-scaled development and connections to adjacent neighbourhoods.*
- 8) *Involve are residents, property and business owners, and interested individuals in the ongoing evolution of the HCD.*

5.1.2 - Character Areas – Wallace Street has been identified as a Character Areas under section 5.3.3.1, as a well as being adjacent to The Humber River Corridor (Sections 5.3.3.5. & 5.3.3.6.) and Floodplain (Sections 5.3.3.5.).

5.1.3 – Heritage Attributes and District Guidelines – Wallace Street has been identified as a Character area with specific attributes as listed in Section 6.1.3:

# Heritage Impact Assessment

Khan Residence, 65 Wallace St., Vaughan (Woodbridge), Ontario

## Heritage Attributes:

1. *A residential street character, that is narrow in nature and pedestrian oriented, and includes a broad variety of housing types fronting onto Wallace Street.*
2. *The existing street cross section consists of a R.O.W. of only 12 meters, and a roadway width of 9 meters. This narrow roadway is meant to carry traffic associated with the established low density residential neighbourhood.*
3. *Provides pedestrian access to Woodbridge Avenue, from the south. Provides access and views to public open spaces, since most of the street fronts directly onto either Memorial Hill or the North Johnson District Park (part of the Humber River Corridor).*
4. *In addition to the parkland, front yards provide a significant greenery and tree canopy. Houses on the west side are setback from the street, while houses on the east side are built directly on the property line.*
5. *Houses are predominantly 2 to 3 storeys in height on Wallace Street.*
6. *Side yards provide views towards the hillside on the west, and the river valley to the east.*

## Guidelines:

1. *The Street should retain the existing residential character with a single family detached building type and be designed to support a pedestrian streetscape. Where the Official Plan permits, duplexes, triplexes, and quadruplexes may be permitted provided they are carefully designed to appear as single detached dwellings, sensitive to abutting contributing buildings and landscapes, and provided they maintain existing side yard and front yard setbacks, are of a similar building height, and are of a building frontage width which is consistent with adjacent single detached dwellings.*
2. *Pedestrian connections to and from Woodbridge Avenue and the park system must be protected, maintained and additional opportunities to increase connections should be secured when new development applications are considered. Views and public access to parkland must be protected and enhanced.*
3. *Consistent setbacks should provide opportunities for landscape on the west side of the street.*

# Heritage Impact Assessment

Khan Residence, 65 Wallace St., Vaughan (Woodbridge), Ontario

4. *New buildings should be a minimum of 2 floors (8.5 m) high and a maximum of 3 floors (11 m).*
5. *Detached residential units must provide a side yard as per zoning with open east-west views.*

## 5.1.4 - Architectural Guidelines for New Buildings, Additions and Alterations

Section 6.2.5 sets out the Approach to Non-Contributing Buildings:

*Additions and alterations to non-contributing buildings can have an impact on contributing buildings and the overall character of Woodbridge. As non-contributing buildings are modified, and as new buildings are built, these should contribute to the heritage character of Woodbridge as a whole, and specifically to the heritage character of adjacent contributing properties.*

Section 6.3 sets out guideline for additions and alterations to non-contributing building:

*The intention in creating designs for new buildings should not be to create a false or fake historic building. Instead the objective must be to create a sensitive well-designed new structure “of its time” that is compatible with the character of the district and its immediate context.*

*The design of new buildings in the HCD should carefully consider requirements elsewhere in this document for density, scale, height, setbacks, coverage, landscape open space, view corridors, angular plane and shadowing. Further, character areas have been identified in the district. Each character area has identifiable characteristics ...which should also be understood and respected.*

## Section 6.3.2 Contemporary Design

*... contemporary work should be “of its time” ... . This does not mean that new work should be aggressively idiosyncratic but that it should be neighbourly and fit this “village” context while at the same time representing current design philosophy.*

## Section 6.3.3 Architectural Guidelines

*Material Palette: This includes brick, stone, traditional stucco; wood siding and trim, glass windows and storefronts, and various metals.*

# Heritage Impact Assessment

Khan Residence, 65 Wallace St., Vaughan (Woodbridge), Ontario

*Proportions of Parts: For new buildings in this heritage district, the design should take into account the proportions of buildings in the immediate context and consider a design with proportional relationships that will make a good fit.*

*Solid versus Transparency: In this historic district the relationship of solidity to transparency is a characteristic of new buildings that should be carefully considered.... this proportion should reflect a more traditional residential proportion of 40% solid to 60% transparent.*

## 5.1.5 – Built Form Framework

The assembly of buildings along the edge of a street create a “Street Wall” which establishes the scale and helps establish the character of a neighbourhood. Section 6.4 identifies these components:

### 6.4.1.1 Guidelines General

1. *New buildings must be sympathetic to the setbacks of adjacent contributing buildings.*

### 6.4.1.4 Wallace Street Guidelines

1. *New buildings on the east side may be built with no setback, and with a maximum setback of 2 metres.*
2. *New buildings must be sympathetic to the setbacks of adjacent contributing buildings.*

### 6.4.2. Street Wall Height and Scale

1. *Except where noted, new buildings should be a minimum of 2 floors (8.5 m) and a maximum of 3 floors (11 m).*
2. *New buildings must be sympathetic to, and transition from, the height of adjacent contributing buildings, with a minimum 45-degree angular plane.*

The above Objectives and Guidelines have been developed to assist in the evolution of the neighbourhood so as to maintain its historic character, yet meet the needs of an ever growing community.

# Heritage Impact Assessment

Khan Residence, 65 Wallace St., Vaughan (Woodbridge), Ontario

## 5.2 Heritage Conformity Assessment – “Non-Contributing”

The design of the renovation to the home at 65 Wallace Street has been undertaken with consideration given to the Guidelines listed in the Woodbridge HCD Plan. Given the unique condition of the property, the architects and their client have done their best to balance the design solution with requirement of the building program, the HCD guidelines and with those of other Authorities having jurisdiction.

The property has been identified as “Non-contributing” to the Heritage character of the neighbourhood. The HCD Plan encourages any work on “Non-contributing” properties to make the property more in keeping with the Heritage character of the District.

The proposed design has been generated with attention to the HCD design guidelines for the Wallace Street character area in the following manner:

- 1) Site Plan – The Addition is proposed to the front of the property towards the street line. The proposed new front yard setback is 2.04m. This approach re-establishes the traditional small front yard setback previously existing on the east side of Wallace Street, bringing the front façade of the home more in line with the older heritage “Contributing” homes to the north side of the property and to the far south. This design approach reinforces the pedestrian scale of the street;
- 2) Side yard setbacks – the Addition maintains the existing side yard setbacks, thereby preserving views between the homes to the valley, as proposed in the HCD Plan;
- 3) Rear Yard Setback – the home is not being extended into the rear yard thereby preserving the existing conditions and minimizing the impact on the Humber River valley; the widening of the rear balcony respects the existing encroachment setback; the proposed second floor terrace is set within the building envelope, all in keeping with the HCD Plan guidelines;
- 4) Building Height -The proposed building height is maintained at 2 storeys and is within the 8.50m maximum height proposed by the HCD Plan guidelines and the Zoning By-law, in keeping with them;
- 5) Transition in Height – The Addition respects the 45-degree angular plane from the “Contributing” property to the north and - though not required to do so - the “Non-contributing” property to the south. The maintaining of the building height contributes to respecting the existing transition between the buildings, as suggested in the HCD plan;
- 6) Building Massing – The Addition largely retains the existing, 2 storey building mass, by respecting the existing side yard setbacks and massing volume, as suggested in the HCD Plan;

# Heritage Impact Assessment

Khan Residence, 65 Wallace St., Vaughan (Woodbridge), Ontario

- 7) Proportion in Parts – The Addition largely retains the existing proportions of the existing building in scale, as suggested in the HCD plan;
- 8) Integration into the streetscape – By maintaining the existing building height, the existing side yards and moving the front wall closer to the street line, the building better integrates into the streetscape by re-establishing and reinforcing the original heritage street wall, as suggested in the HCD plan;
- 9) Elevation composition (Solid versus Void) The Georgian inspired, rational window composition is respectful of the residential 40% - 80% ratio Heritage compositional approach suggested in the HCD;
- 10) Materials – The material palette proposes masonry as the main cladding material and asphalt roof shingles in keeping with the suggested material palette in the HCD Plan;
- 11) Street wall – The moving of the home closer to the street reinforces the street wall proportions for the Wallace Street area character as prescribed in the HCD Plan guidelines;
- 12) Heritage Pedestrian scale – The accumulative effects of the design elements in the proposed design solution create a project which re-establishes the Heritage pedestrian scale of Wallace Street.
- 13) The wood shed, having no contribution to the Heritage character, can be demolished to preserve the Humber River Flood plain.

# Heritage Impact Assessment

Khan Residence, 65 Wallace St., Vaughan (Woodbridge), Ontario

## 6.0 Summary Statements and Recommendations

### 6.1 The Additions and Alterations at 65 Wallace Street – “Non-Contributing”

The property at 65 Wallace Street is located within the Woodbridge Heritage Conservation District in the Wallace Street Heritage Character Area – East side. It has been identified as “Non-contributing” to the Heritage character of the neighbourhood. The HCD Plan encourages any work on “Non-contributing” properties to make the property more in keeping with the Heritage character of the District. The proposed design solution to the home at 65 Wallace Street has been undertaken with consideration to the Guidelines listed in the Woodbridge HCD Plan.

The Additions and Alterations to the Home at 65 Wallace Street propose to execute the HCD Plan Guidelines in the following manner:

- 1) The Addition is located to the front of the property towards the street line;
- 2) The Addition maintains the existing side yard setbacks;
- 3) The Home is not being extended into the rear yard thereby preserving the existing rear yard conditions;
- 4) The widening of the rear balcony respects the existing encroachment setback;
- 5) The proposed second floor terrace is set within the building envelope;
- 6) The proposed building height is maintained at 2 storeys and is within the 8.50m maximum height;
- 7) The Addition respects the 45-degree angular plane from the “Contributing” property to the north and the “Non-contributing” property to the south;
- 8) The Addition retains the existing, 2 storey building mass;
- 9) The Addition largely retains the existing proportions of the existing building scale;
- 10) The Addition better integrates into and reinforces the streetscape;
- 11) The window composition is a “punched” look, and generally respectful of the residential 40% - 80% void to solid ratio;
- 12) The material palette is in keeping with the suggested material palette in the HCD Plan;

# Heritage Impact Assessment

Khan Residence, 65 Wallace St., Vaughan (Woodbridge), Ontario

- 13) The Addition reinforces the street wall proportions for the Wallace Street Heritage Character area;
- 14) The Addition re-establishes the Heritage pedestrian scale of Wallace Street;
- 15) The demolition of the wood shed, having no contribution to the Heritage character, contributes to improving the Humber River Flood plain.

The above components of the proposed design solution illustrate the attention to the HCD Plan Guidelines paid by the Khan family and their Architects, and thereby have not only created a project which satisfies the Client's spatial needs but also successfully fits the proposed Addition into the Wallace Street Heritage Character area, complying with the goals of the Woodbridge HCD Plan.

## 7.0 Mandatory Recommendations:

### 7.1 Mandatory Recommendation regarding the Addition and Alterations to the Non-Contributing Property at 65 Wallace Street in the Woodbridge Heritage Conservation District:

With respect to the proposed Addition and Alterations to the Non-contributing Home at 65 Wallace Street, it is recommended that:

- 1) The Addition and Alterations to the Home are largely in compliance with the Objectives and Guidelines of the Woodbridge Heritage Conservation District Plan;
- 2) The Addition and Alterations to the Home do not negatively impact the Heritage character of the Wallace Heritage Character Area of the Woodbridge HCD;
- 3) The Addition and Alterations to the Home add to the Heritage character of the Wallace Heritage Character Area of the Woodbridge HCD;
- 4) The Addition and Alterations to the Home do not negatively impact the Heritage value of the Listed and Contributing Property at 57 Wallace Street;
- 5) The demolition of the wood shed be approved;
- 6) The Additions and Alterations to the Home be approved.

# Heritage Impact Assessment

Khan Residence, 65 Wallace St., Vaughan (Woodbridge), Ontario

## 8.0 Authorship

Report Prepared By:

VINCENT J. SANTAMAURA, ARCHITECT INC.

Date:

16 December 2020



Vincent J. Santamaura, B. Arch, OAA, MRAIC, CAHP  
Principal Architect

# Heritage Impact Assessment

Khan Residence, 65 Wallace St., Vaughan (Woodbridge), Ontario

## Appendix 1: Biography of Author:

### SELECTED PROFESSIONAL RESUME

**Vincent J. Santamaura**, B. Arch, MOAA, MRAIC

#### Overview:

Vincent has evolved his over to 35 years of experience in the Construction Industry from Vincent J. Santamaura, Architect into a founding partner of SRN Architects Inc. A creative designer, familiar with a variety of Building systems, and the Building and Approvals process, he applies his knowledge to solving the building needs of his clients.

Trained and registered as an Architect, Vincent graduated from the University of Toronto. He has been active in the Greater Toronto Area – from downtown infill housing to new communities to historic renovations, adaptive re-use to high-rise. Vincent has worked for award winning architectural firms and has run his own practice. He has worked for a large land developer/home builder as Staff Architect and Community Planner where he was responsible for designing new communities, lotting modules and commercial and residential unit forms. Fully versed in the grand picture, Vincent applies his knowledge and experience back into the urban and architectural design fields.

Familiar with a variety of building systems, Vincent is comfortable designing in steel frame, cast-in place concrete or wood or light gauge steel framing. His design solutions balance urban concerns, client needs, and budget demands. Sustainability has always been an interest of Vincent's since his university days having been involved in passive energy design since the first oil crisis, and this has led to an interest in building envelope systems and an exploration of the new techniques. Fundamentally, though, it is the satisfaction of the client's needs that drives the building design solution and the delivery of it on time and on budget.

Vincent derives a large amount of his design inspiration from our Ontario Heritage. He's been the Chair of the Uxbridge LACAC and has been active in the preservation efforts of the Foster Memorial and the Lucy Maud Montgomery House, both in Leaskdale. He designed the York/Durham Heritage Railway/Go Train Station in Stouffville, and renovations to the Goodwood Town Hall (1875) and the Uxbridge Music Hall (1901). With these works, Vincent has developed strong interpersonal skills interacting with various communities, committees and municipal governments. This sensitivity to the existing built (and social) environment ensures that any design intervention will respect its neighbours.

Keenly aware of the complex issues and interests in building communities, Vincent uses his design skills, his consensus building skills and his experience to arrive at a balanced solution to any design challenge.

#### Education:

2001 to present – OAA Professional Development Continuing Education Course Certificates  
1986 to 1989 – AutoCAD Certificate courses, Ontario CADD/CAM Centre, Cambridge, Ontario  
1985 – Construction Specifications Course, CSC, Toronto  
1983 – Bachelor of Architecture, University of Toronto

# Heritage Impact Assessment

Khan Residence, 65 Wallace St., Vaughan (Woodbridge), Ontario

## Professional Memberships:

2012 to 2017 – Member, Alberta Association of Architects  
2010 to present – Member, Building Specialist, Canadian Association of Heritage Professionals  
1981 to present – Member, Ontario Association of Architects, Registered 1989  
1983 to present – Member, Royal Architectural Institute of Canada

## Community Memberships:

2015 to 2018 – Member, Heritage Whitby/LACAC, Town of Whitby  
2009 to 2012 – involved in Local Architectural Conservation Advisory Committee to the Town of Whitby  
1993 to 1996 – Member/Chairman, Heritage Uxbridge/LACAC, Town of Uxbridge  
– involved in Local Architectural Conservation Advisory Committee to the Town of Uxbridge  
1993 to 2002 – Member, Friends of the Foster Memorial, Town of Uxbridge  
– involved in the fund raising, preservation and designation efforts for the Foster Memorial in the Town of Uxbridge  
1994 to 2002 – Member, York/Durham Heritage Railway Association, Stouffville  
– involved in the running of the heritage railway between Stouffville and Uxbridge  
1995 to 1998 – Member, Celebration of the Arts Committee, Town of Uxbridge  
– involved in organizing the annual Cultural Celebration in the Town of Uxbridge

## Professional Activities and Selected Projects:

### Expert Witness – Heritage Matters:

**Expert Witness – Heritage Matters: Ontario Municipal Board -**  
Recognized as an Expert in Heritage Matters by the Ontario Municipal Board for Testimony during Dunbar Homes Appeal of the City of Mississauga Refusal to Enact By-Law no. 0225-2007

**Expert Witness – Heritage Matters: Ontario Municipal Board**  
Recognized as an Expert in Heritage Matters by the Ontario Municipal Board for Testimony during Testimony for Vitmont Holding Inc Appeal of the Town of Aurora Non-Decision on Site Plan for 15160 Yonge Street & No. 5 Tyler Street, Aurora

**Expert Witness – Heritage Matters: Ontario Municipal Board -**  
Recognized as an Expert in Heritage Matters by the Ontario Municipal Board for Testimony during Ballantry Homes Appeal of the Town of Markham By-Law no. 2006-78

### Heritage Impact Statements/Reports:

**Heritage Impact Statement/Preservation Plan – 68 Daisy Street, City of Toronto (Etobicoke):**  
Analyzed and authored a Heritage Impact Assessment and Preservation Plan for the Vincent Massey Public School on the impact of a new cluster of townhouses proposed around it in the City of Toronto.

**Heritage Impact Statement – 4583, 4589 & 4601 Mississauga Road, City of Mississauga:**  
Analyzed and authored a Heritage Impact Statement for the impact of a new cluster of homes on the Credit River Cultural Landscape (Heritage Registered Inventory) and the Mississauga Road Scenic Route (Heritage Register Inventory) in the City of Mississauga.

# Heritage Impact Assessment

Khan Residence, 65 Wallace St., Vaughan (Woodbridge), Ontario

## **Heritage Impact Assessment - 6 Mann Street, Clarington (Bowmanville):**

Analyzed and authored a Heritage Impact Assessment for the impact of an infill project of three single detached homes in the Town of Clarington (Bowmanville).

## **Heritage Impact Statement – 4390 Mississauga Road, City of Mississauga:**

Analyzed and authored a Heritage Impact Statement for the impact of a proposed semi-detached and townhouse development on the Mississauga Road Scenic Route (Heritage Register Inventory) in the City of Mississauga.

## **Cultural Heritage Impact Review Assessment/Preservation Plan – The Thomas Wright House and the McGillivray-Shore House**

**8161 & 8177 Kipling Avenue, City of Vaughan:**  
Analyzed and authored a Cultural Heritage Impact Statement and Preservation plan for the re-location and renovation of two Designated Homes and the impact of a proposed stacked townhouse project in the Woodbridge Heritage Conservation District, in the City of Vaughan.

**Heritage Impact Statement – 10056 & 10068 Keele Street, City of Vaughan:**  
Analyzed and authored a Cultural Heritage Impact Statement for a proposed townhouse project in the Maple Heritage Conservation District, in the City of Vaughan.

## **Heritage Impact Statement/Preservation Plan - Stiver Tenant House**

**9721 Kennedy Road, City of Markham**  
Analyzed and authored a Cultural Heritage Impact Statement Preservation plan for the re-location, renovation, and addition of a Designated Stiver Tenant Home project in the Town of Markham. (on-going)

## **Cultural Heritage Impact Review Assessment/Preservation Plan – The Thomas Watson House**

**8934 Huntington Road, City of Vaughan:**  
Analyzed and authored a Cultural Heritage Impact Statement and Preservation plan for the renovation of a formerly Designated Home as part of the proposed Arlington Estate Banquet Hall re-development project in the City of Vaughan.

## **Heritage Impact Assessment/Preservation Plan – 6 & 12 Durham Street , Town of Whitby:**

Analyzed and authored a Heritage Impact Assessment and prepared a Preservation plan for the re-location, renovation, and addition of two homes of Heritage value as part of “Olde Whitby-The Mews” redevelopment project in the Town of Whitby (Brooklin).

## **Restoration:**

**St. Francis Xavier (1856),**

**Parish of St. James – Tottenham**

**Architect** for the planned restoration and expansion of this Heritage church will ensure the unique features of this building will be preserved.

## **The Music Hall (1901), Uxbridge:**

Architect for the renovation of the cultural centre of the thriving artistic life of Uxbridge since 1901. The facilities of the Historically Designated Music Hall were updated, and the stage was restored.

## **The Mapes House (Designated)**

**9920 Leslie St, Richmond Hill**

Architect for the preparation of a Preservation plan for this Designated Home moving as a result of development pressures.

## **The Horner House (Designated)**

**9940 Leslie St, Richmond Hill**

Architect for the preparation of a Preservation plan for this Designated Home moving as a result of development pressures.

# Heritage Impact Assessment

Khan Residence, 65 Wallace St., Vaughan (Woodbridge), Ontario

## Adaptive Re-Use:

### 11 Woodlawn Avenue, Toronto:

**Project Architect** for a conversion of a church building into condominium suites. The existing 4,000 sf building shell had another 8,000 sf of building area inserted into its envelope to create six luxury 2-storey units.

## Mixed Use Projects:

### Old Brooklin-The Mews, Brooklin:

**Architect** for the infill and extension of downtown Brooklin's Heritage District's main street with a mixed-use project using traditional living above retail programming and local heritage architectural styles.

### Broadway Grande, Orangeville:

Located in the heart of old Orangeville, **Architect** for this Mixed-Use Commercial/ Residential Condominium re-creates the "Renaissance Revival" façade of the former Broadway Grande Hotel.

## Institutional:

### Go Transit Stouffville and York Durham Heritage Railway Terminus, Stouffville:

**Architect** for the Heritage inspired Go Transit Station Stouffville which also acts as a terminus station for the York Durham Heritage Railway line between Stouffville and Uxbridge.

## Commercial:

### 10 Richmond Street, Maple:

**Architect** for a commercial infill building in Downtown Maple's Heritage, currently approved by the City of Vaughan Heritage Committee, the Maple Streetscape Committee and City of Vaughan Council.

## Architectural Control Guidelines:

### Spring Creek, Waterdown:

**Control Architect** who created Architectural Control Guidelines which selected all components for the accurate re-creation of Georgian, Edwardian, Queen Anne, Arts & Crafts and Canadiana styles in this heritage inspired residential community.

### Kleinburg Estates, Vaughan (Kleinburg):

**Control Architect** who created Architectural Control Guidelines which selected all components for the accurate re-creation of Georgian, Queen Anne, Second Empire and Victorian styles in this residential community in the Heritage Conservation District of Kleinburg.

# **Heritage Impact Assessment**

**Khan Residence, 65 Wallace St., Vaughan (Woodbridge), Ontario**

**End of Report**