

**File:** A182/19

**Applicant:** Mimi Khuu

**Address:** 1 Edison Pl Maple

**Agent:** None

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection	<input checked="" type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	
Cultural Heritage (Urban Design)	<input checked="" type="checkbox"/>	
Development Engineering	<input checked="" type="checkbox"/>	
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	
By-law & Compliance		
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	
TRCA		
Ministry of Transportation	<input checked="" type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	

Adjournment History: May 28, 2020 & December 3, 2020 (see next page for details)

Background History: N/A

Staff Report Prepared By: Pravina Attwala  
Hearing Date: Thursday, January 14, 2021



Minor Variance  
Application

Agenda Item: 10

A182/19

Ward: 4

Staff Report Prepared By: Pravina Attwala, Assistant Secretary Treasurer

**Date & Time of Live Stream Hearing:** Thursday, January 14, 2021 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

Please submit written comments by mail or email to:

City of Vaughan  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
[cofa@vaughan.ca](mailto:cofa@vaughan.ca)

To make an electronic deputation at the meeting please contact the Committee of Adjustment at [cofa@vaughan.ca](mailto:cofa@vaughan.ca) or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

**Applicant:** Mimi Khuu

**Agent:** None

**Property:** 1 Edison Pl Maple

**Zoning:** The subject lands are zoned RD3 and subject to the provisions of Exception 9(1234) under By-law 1-88 as amended.

**OP Designation:** Vaughan Official Plan 2010: "Low-Rise Residential"

**Related Files:** None

**Purpose:** Relief from By-law 1-88, as amended, is being requested to permit the existing deck and circular staircase located in the rear yard.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. The by-law requires that the minimum side yard setback is 1.2m. [4.22.3, Schedule A3]	1. The side yard setback of the proposed rear yard staircase is 0.34 metres.
2. The by-law requires that the minimum rear yard setback is 7.5m. [4.22.3, Schedule A3]	2. The rear yard setback of the proposed rear yard deck is 3.78 metres.
3. The by-law requires that the minimum side yard setback is 1.2m. [4.22.3, Schedule A3]	3. The side yard setback of the proposed rear yard deck is 1.18 metres.

Background (previous applications approved by the Committee on the subject land): N/A

For information on the previous approvals listed above please visit [www.vaughan.ca](http://www.vaughan.ca). To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

Adjournment History:

Hearing Date:	Members Absent from Hearing:	Status of Adjournment: (i.e. date/sine die)	Reason for Adjournment:
December 3, 2020	N/A	Adjourned	To permit time to complete Urban Design review.
May 28, 2020	N/A	Adjourned Sine Die	Applicant Request.

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:

Public notice was mailed on December 17, 2020

Applicant confirmed posting of signage on November 27, 2020

Property Information	
Existing Structures	Year Constructed
Dwelling	2012
Deck	2019

Applicant has advised that they cannot comply with By-law for the following reason(s): This is already constructed and my 95 years old father is enjoying it. Please understand as he can't go outside anywhere to enjoy his life except this deck area for fresh air.

Adjournment Request: N/A

Building Standards (Zoning Review):

Stop Work Order(s) and Order(s) to Comply: Order No. 19-000101, Order to Comply for Construction of a wood deck located in rear yard has been undertaken prior to obtaining the required building permit., Issue Date: Jul 10, 2019

Building Permit No. 19-001826 for Single Detached Dwelling - Alteration, Issue Date: (Not Yet Issued)

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

The subject lands may be subject to the Oak Ridges Moraine Conservation Act, RSO 2001.

Please note that the existing shed and pool in the rear yard were not reviewed as part of this application and are subject to section 4.1.1 of by-law 1-88 for Accessory Buildings and Structures.

Building Inspections (Septic):

No comments or concerns

Development Planning:

Official Plan: Vaughan Official Plan 2010: "Low-Rise Residential"

The Owner is requesting permission to maintain a 2<sup>nd</sup> floor rear deck and stairs with the above noted variances.

A site visit was conducted by Development Planning staff on November 11, 2020 to better understand the impacts caused by the variances being requested. Development Planning staff are of the opinion that the existing side yard setback of 0.34 m to the staircase and 1.18m to the existing deck is screened by the mature vegetation planted within the neighbour's property (north), thereby, minimizing its impact. In addition, the Development Engineering Department has reviewed the application and concluded that the requested reductions do cause any issues pertaining to water drainage on-site.

In order to mitigate the privacy issues that may be caused by the expansion of a 2<sup>nd</sup> floor builders' deck with a walk-out condition, Urban Design and Development Planning staff recommended the Owner place a privacy screen and potted planters along the east side of the deck. The Owner provided a revised site plan and images confirming these changes. In doing so, the Development Planning Department considers the rear yard setback of 3.78m to the existing deck to be appropriate and provides amenity space.

The Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

The Development Planning Department recommends approval of the application.

Cultural Heritage (Urban Design):

There are no cultural heritage concerns for this application.

Development Engineering:

The Development Engineering (DE) Department does not object to variance application A182/19.

Parks Development - Forestry:

No comments or concerns

**By-Law and Compliance, Licensing and Permit Services:**

No comment.

**Financial Planning and Development Finance:**

No comment no concerns

**Fire Department:**

No comments or concerns

**Schedule A – Plans & Sketches**

**Schedule B – Public Correspondence**

- A182/19 – Public Correspondence (72 Oberfrick Avenue)
- A182/19 – Public Correspondence (86 Oberfrick Avenue)
- A182/19 – Public Correspondence (67 Oberfrick Avenue)
- A182/19 – Public Correspondence (12 Edison Place)
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- A182/19 – Public Correspondence (Than Giang Nguyen & Tin Long Tran)

**Schedule C - Agency Comments**

- Alectra (Formerly PowerStream) – No concerns or objections
- Region of York – No concerns or objections
- MTO – Located outside of MTO permit control area

**Schedule D - Previous Approvals (Notice of Decision)**

None

**Staff Recommendations:**

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended: N/A

**Conditions**

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**Please Note:**

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.



## Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

## Notice to Public

**PLEASE NOTE:** As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

**PUBLIC CONSULTATION DURING OFFICE CLOSURE:** Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
[cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**ELECTRONIC PARTICIPATION:** During the COVID-19 emergency, residents can view a live stream of the meeting [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil). To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit [www.vaughan.ca](https://www.vaughan.ca)

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

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**PUBLIC RECORD:** Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**For further information please contact the City of Vaughan, Committee of Adjustment**

T 905 832 8585 Extension 8002  
E [CofA@vaughan.ca](mailto:CofA@vaughan.ca)

Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

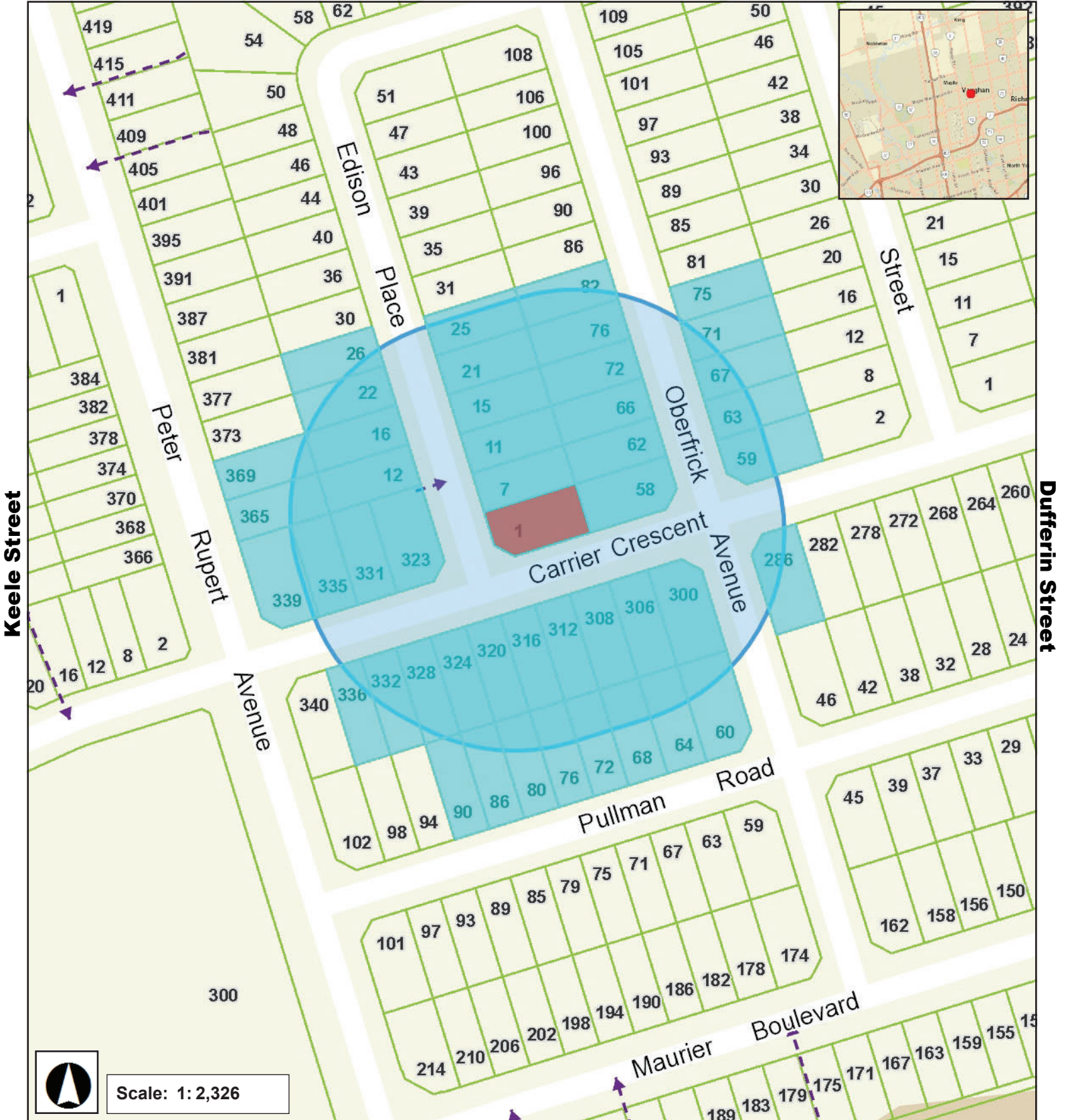
Location Map  
Plans & Sketches



# LOCATION MAP - A182/19

1 EDISON PLACE, MAPLE

## Major Mackenzie Drive



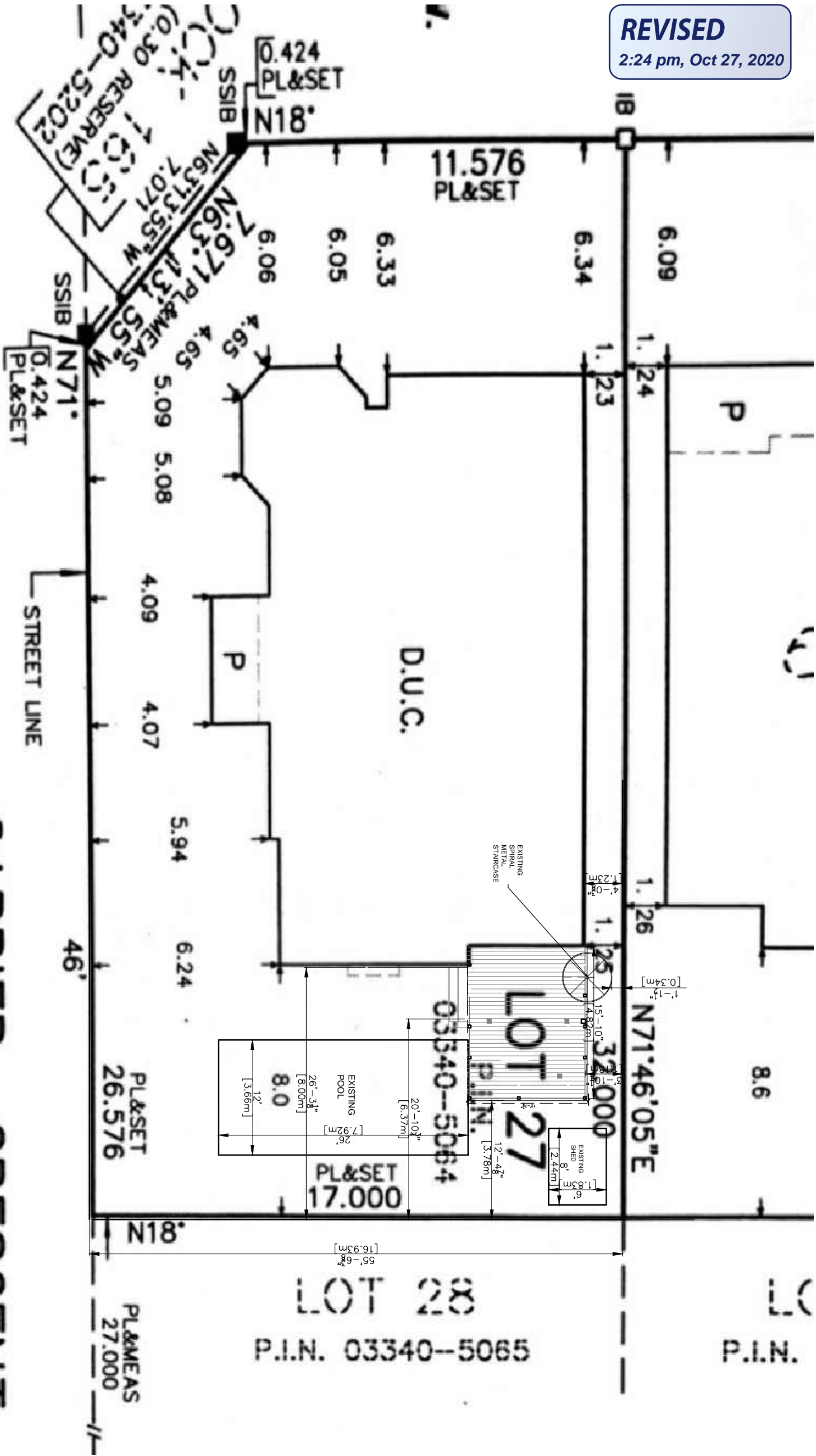
Rutherford Road

January 31, 2020 11:26 AM





REVISED  
2:24 pm, Oct 27, 2020



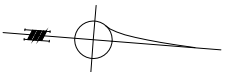
CARRIER CRESCENT  
(BY PLAN 65M--4253)  
P.I.N. 03340--5224

GENERAL NOTES  
ALL CONSTRUCTION TO BE CARRIED OUT IN CONFORMANCE WITH THE ONTARIO BUILDING CODE O. REG. 350/06 AND ALL OTHER APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL BUILDING CODES, AMENDMENTS AND THE MUNICIPAL BUILDING DEPARTMENT AND WILL ENSURE THAT ALL APPLICATIONS, WORK PERMITS, APPROVALS AND WORK ORDERS ARE COMPLETED AND OBTAINED.  
THE CONTRACTOR SHALL BE FAMILIAR WITH ALL SITE CONDITIONS AND SHALL VERIFY ALL RELEVANT STRUCTURE DIMENSIONS AND ELEVATIONS AS SHOWN ON THE DRAWING(S) PRIOR TO ANY WORK AND ADJUST AS REQUIRED TO MATCH EXISTING STRUCTURE DIMENSIONS.  
THE DESIGN AND CONTRACT DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE OWNER AND MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT THE PRIOR WRITTEN AUTHORITY OF THE OWNER.

No.	Revisions	Date

Contractor must check all dimensions. Do not scale drawings.



1 Edison Pl.  
Vaughan

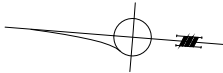
Site Plan

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[illegible]

1 Edison Pl.  
Vaughan

Existing Porch  
F.F. Plan

Date: Sep. 2019

Scale: 3/8"=1'

Drawn: \_\_\_\_\_

Checked: \_\_\_\_\_

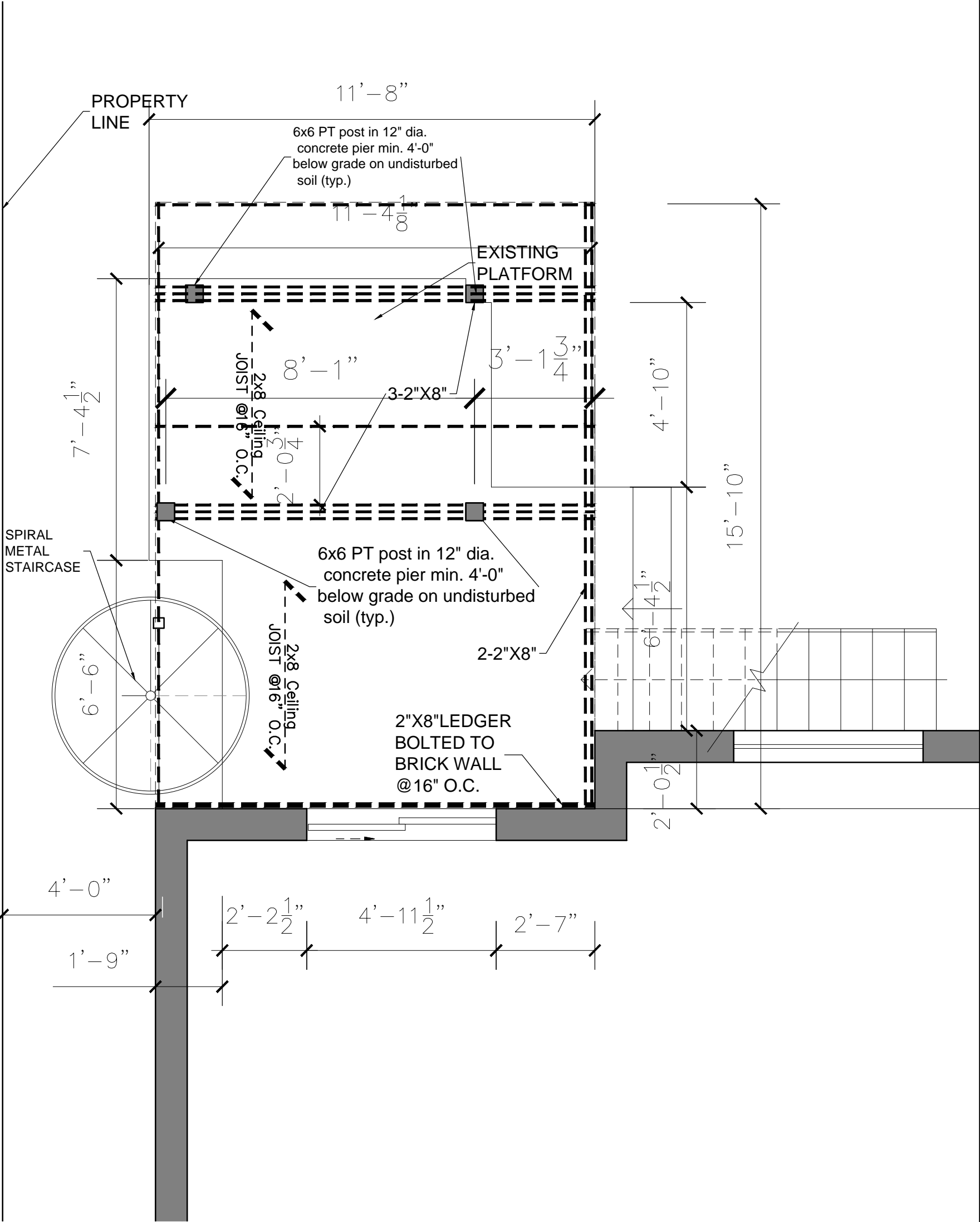
Job: \_\_\_\_\_

# A-2

Sheet \_\_\_\_\_

**REVISED**

2:27 pm, Oct 27, 2020





















Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

- A182/19 – Public Correspondence (72 Oberfrick Avenue)
- A182/19 – Public Correspondence (86 Oberfrick Avenue)
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**Attwala, Pravina**

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**From:** dorothy pan [REDACTED]  
**Sent:** May-22-20 12:52 PM  
**To:** Committee of Adjustment  
**Subject:** [External] Re: City of Vaughan File Reference: A182/19, Backyard Deck of #1 Edison Place

Dear Sir/Madam,

We are writing to oppose to the oversized deck structure.

It is with disappointment and regret to see that the house owner of 1 Edison Place would have built such a huge deck in violation of the Vaughan City-bylaw. A MINIMUM 7.5-metre setback has been reduced to 3.78 meters only. This is a 3.72- meter advance towards the neighbor’s backyard.

This violation sets a very bad example for other neighbors on Edison Place. We could hardly imagine if all neighbors go ahead and build such structures without applying for a permit in advance and the least consideration for their neighbors’ privacy and interest in mind.

We look forward to an impartial and unbiased hearing decision from the city that will protect all taxpayers’ interest.

Best Regards,

Dorothy. Z Pan and Y. Zhang

72 Oberfrick Ave  
Vaughan ON  
L6A 4N8

**Subject:** FW: [External] Re: Case No.:A182/19

-----Original Message-----

From: James Li [redacted]  
Sent: July-09-20 9:42 AM  
To: Committee of Adjustment <CofA@vaughan.ca>  
Subject: [External] Re: Case No.:A182/19

A182/19 Oversized Deck issue

To Committee of Adjustment,

We have noticed that owner of Edison Pl. #1 built a higher and bigger deck since 2018 summer. This is definitely not minor variance. It is obviously oversized deck, and the height is more over neighbour’s rear fence, which is very close to backyard fence of #58 Oberfrick Ave. and impact to other neighbour’s space in our area as well.

The major issue is the City zoning by-law requires that the minimum rear yard setback is 7.5 meters, but the actual rear yard setback is now only 3.78 meters. It is not acceptable that setback is reduced by half of the minimum setback distance.

We have been worried about such this huge deck more and more to be built up in the future. It’s unfair to every inhabitant in our communities, so we strongly against keeping this oversized structure in our community.

Sincerely

House owner: James Li

Neighbor at 86 Oberfrick Avenue, Vaughan

[redacted]

[redacted]



To: City of Vaughan  
Office of the City Clerk – Committee of Adjustment

From: Kevin X. Zhang  
67 Oberfrick Avenue  
Vaughan ON L6A4T4

Date: May 23, 2020

Hi there,

I am responding to the Notice of Hearing – Minor Variance Application with the following File reference:

City of Vaughan File Ref#: **A182/19**

Property: **1 Edison Place Maple**

**I OPPOSE TO** the oversized deck structure.

I moved to this beautiful community last summer. The humongous and transparent deck sticks so much further towards the fence with the rear yard neighbor caught my eye the first time I went to pick my mail. It is way too close to the neighbor's backyard.

The immediate thought coming to my mind was how the neighbor's family could enjoy any good precious summer time in their backyard when they are so **closely watched over!** I hate but to say that such behavior exhibited no respect to the Vaughan city By-Law and eroded the privacy of the neighbors. Honestly, this is a privacy concern. I certainly hope I am joining a community, where everyone enjoys life but not at the cost of the interest and privacy of others.

I have every reason to believe and remain in good faith that the city By-Law will be respected and followed by all city of Vaughan residents.

Sincerely,

Kevin X. Zhang



25/05/2020



To: City of Vaughan  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Drive,  
Vaughan, ON L6A 1T1

From: Lucy L. Liu  
12 Edison Place  
Vaughan ON L6A 4N8

Date: May 22, 2020

Hi there,

Thank you for reaching out to me on the subject hearing regarding your  
File# **A 182/19** and the property at **1 Edison Place**.

I **do not support** this structure.

I am a firm believer that mutual respect is important between neighbors with  
reasonable consideration of each other's privacy needs.

I hope our city By-Laws are observed and proper measures will be taken to  
solve the issue to the satisfaction of all involved.

Thank you,



Lucy L. Liu

To: City of Vaughan  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Drive,  
Vaughan, ON L6A 1T1

From: Lucy L. Liu  
12 Edison Place  
Vaughan ON L6A 4N8

Date: May 22, 2020

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I hope our city By-Laws are observed and proper measures will be taken to  
solve the issue to the satisfaction of all involved.

Thank you,



Lucy L. Liu



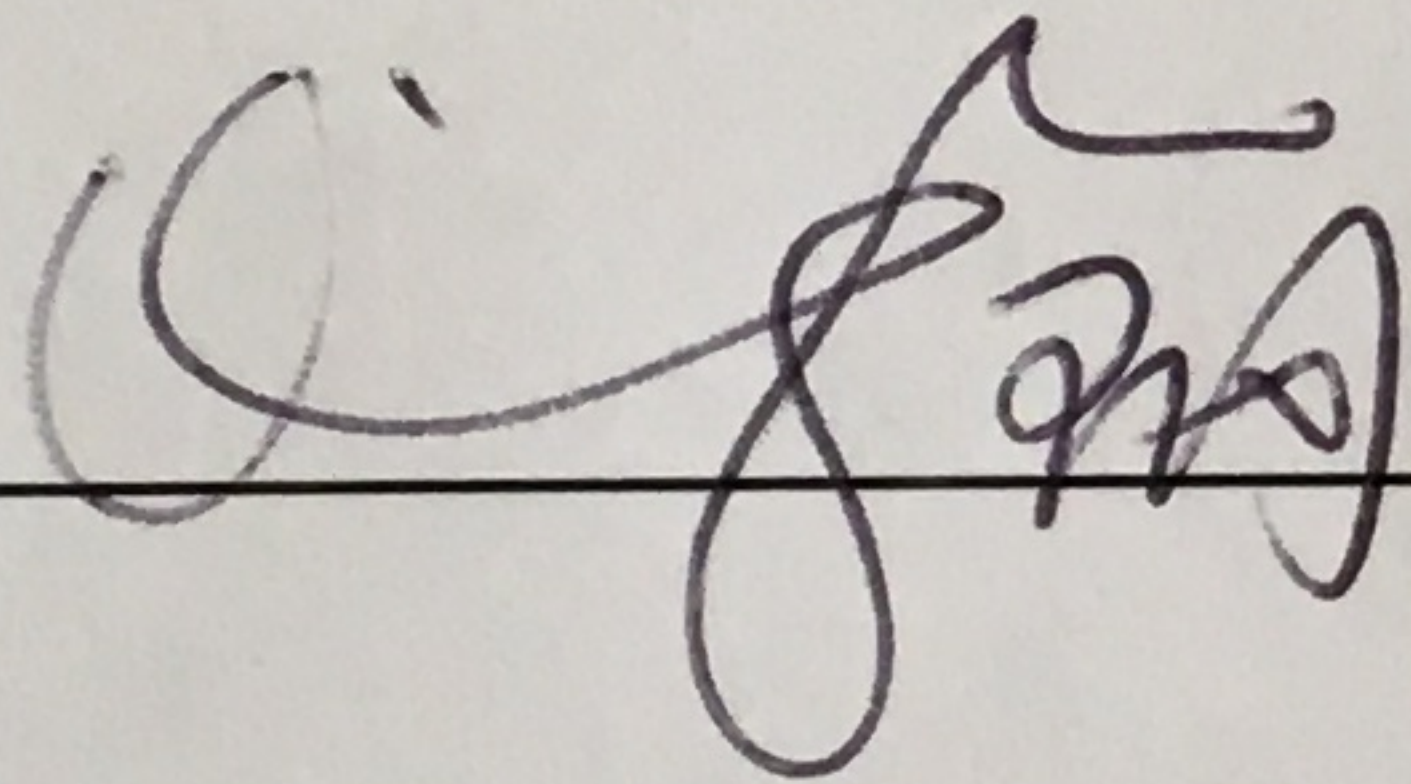
REF: Backyard Deck of #1 Edison Place (A182/19)

We intended to participate in the hearing in person on March 19th, 2020. We may not be able to do so anymore due to COVID-19; therefore, we have decided to hand in this letter instead.

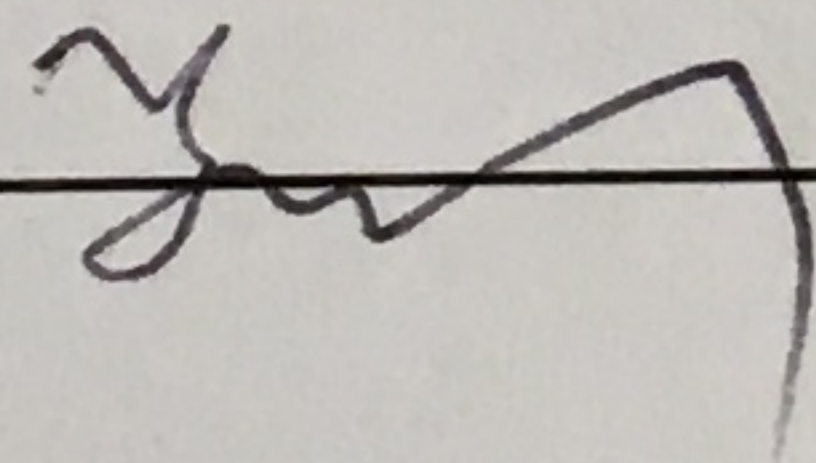
It is to the great enjoyment of the house owner with this oversized deck structure however at the cost of the privacy of their neighbors.

The City zoning by-law requires that the minimum rear yard setback is 7.5 meters, but the actual rear yard setback is now only 3.78 meters. Due to the nature of the deck for a walk-out basement, it already overlooks the whole backyard of the neighbor at #58 Oberfrick Avenue. The additional 3.72-meter further towards the neighbor's backyard exacerbate the intrusion of privacy, which is very unfair and we are strongly against this kind of land modifications. Our fear is that if this is allowed, many others can follow suit in the community.

Qinggang Zhang



Yongming Liu



Neighbors

at #306 Carrier Crescent



**Attwala, Pravina**

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**Subject:** FW: [External] Opposition to the Proposed Variance for 1 Edison Pl, Maple

**From:** R Shahan [REDACTED]

**Sent:** May-24-20 5:33 PM

**To:** Committee of Adjustment <CofA@vaughan.ca>

**Subject:** [External] Opposition to the Proposed Variance for 1 Edison Pl, Maple

City of Vaughan  
Office of the City Clerk - Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1

**RE: 1 Edison PL Maple**

On behalf of the owners of a neighboring property and referring to the *Notice of Hearing* to be held on Thursday, May 28, 2020 at 6:00 p.m., related the proposed variance for the property located at 1 Edison Pl, Maple, kindly accept this e-mail as our submissions in opposition to the proposed variance for the following reasons:

1) The existing structure for which relief from the applicable legislation is sought is abutting the street and is in clear view, hindering the uniformity of the neighborhood, and in our opinion, diminishing the value of the surrounding properties (and the neighborhood as a whole) whose views are obstructed.

2) As you will appreciate, the set-back requirements, notably the rear yard setback are not minor in nature and are inconsistent with the purpose and intent of the by-laws. Allowing a "post-construction" relief that is not minor in nature is prejudicial to the rights of those Applicants that follow procedures and are in compliance with the applicable by-laws and legislation.

Please let us know if any further information is required for the acceptance of this submission

Regards,  
Rae Shahangian  
Hons. BA., JD

**RECEIVED MAY 26, 2020**

To: City of Vaughan  
Office of the City Clerk – Committee of Adjustment

From: Song Wang  
26 Edison Place  
Maple ON L6A 4N8

Date: May 25, 2020

Re: City of Vaughan File Reference No: A182/19  
The oversized Backyard Deck at 1 Edison Place Maple  
For consideration @ the Hearing to be held on May 28, 2020

To whom it may concern,

This is to express our concern over the oversized deck structure, which -  
based on the information provided - violates By-Law 1-88 of Vaughan.

In particular, we believe the proposed 3.78 meters rear yard setback of the  
deck structure is not acceptable and disagree the deviation from required  
minimum setback of 7.5 meters is to be considered as “minor in nature”.

As part of this friendly neighborhood we hope the issue can be resolved in a  
fair and reasonable manner while ensuring city By-Law requirements are met.

Best regards,

Song Wang



23/05/2020

Re: A182/19

Dear Sir/Madam,;

RE: 1 Edison Place

We are okay with the neighbour's deck as it looks transparent and clear, it doesn't block any of our view, it's quite alright for them to keep the current deck.

They spent a Lot of money to get the most up to date glass railings and the life time maintenance free materials.

It is directly looking toward from our front porch and we have no problem as it's clear glass all around.

Just let it remains as is will be alright.

Sincerely,

308 L6A4  
E. Safar

Amin Farbod,  
Owner of 308 Carrier Cres,  
Vaughan ON  
L4E 4N8

## Attwala, Pravina

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**Subject:** FW: RE: Minor Variance Application A182/19  
**Attachments:** Notice of Hearing Minor Variance App A182-19 - 1 Edison Pl. Written Comment - Owner 332 Carrier Cres - David Green.pdf

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**From:** Green, David [REDACTED]  
**Sent:** May-26-20 11:37 PM  
**To:** Committee of Adjustment <CofA@vaughan.ca>  
**Subject:** [External] [Newsletter/Marketing] RE: Minor Variance Application A182/19

ATTN:  
City of Vaughan  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
Email: [coA@vaughan.ca](mailto:coA@vaughan.ca)

Enclosures: 1 signed attachment of this email

To Whom It May Concern:

I received the notice of hearing for a Minor Variance Application A182/19 for 1 Edison Pl Maple (Applicant: Mimi Khuu).

**Please note: I am huge proponent and in favour of providing relief from By-Law-188 at 1 Edison Place for the 2 points listed in this Minor Variance Application.**

I do not personally know Ms. Khuu but every day I walk to my mailbox and this overlooks the yard of this property. I really enjoy looking at their backyard landscape!!! Their deck, staircase and pool and overall appeal of their property stand out as one of the most beautiful properties in the neighbourhood!!! That is until we finished our recent landscaping in our yard and now I am biased and they have the second nicest looking property in the neighbourhood, behind ours ☺

I can only surmise that Ms. Khuu must not have received the right advice from her landscaper and now needs relief from By-Law-188.

Most other properties in the neighbourhood do not have any appreciable landscaping or deck structures and lack this appeal that 1 Edison Place has. Having just done a renovation to alter our property the way the wife and I like, I now understand not everyone will undertake this risk with the bill being over \$200,000 that we spent. With less income for many after the COVID-19 pandemic, renovations will be even less likely to occur because they are expensive and take a lot of effort to make the properties more appealing.

When I see a home owner take the initiative to make their property look great, build a pool and make their property have appeal I want to commend them! It is a lot of extra effort dealing with contractors to make the property look better. From our CoA process (332 Carrier Crescent), I was glad our neighbours were reasonable and made me feel like we made the right decision moving from downtown Toronto to our current house and we have loved our location living here for the last 8 years.

We have 3 beautiful children (Madeleine 3, Matthew 8, and Ethan 9) that are growing up in Vaughan and it resonates with me when I occasionally walk to my mailbox and hear the sounds of a lovely family enjoying their pool at 1 Edison Place. Hopefully there are no drastic changes being considered to remove the deck and stairs or alter this pool setting? The outdoor space is crucially important during the isolation caused by the COVID-19 pandemic and hopefully the same family-friendly neighbours would agree and not want a drastic change? Hopefully we have ~40 other family-friendly neighbours who were mailed this notice of hearing and the Committee of Adjustment feel the same way and relief from the by-law will be granted.

Please do not hesitate to contact me (8am-10pm) if you should require any additional clarification regarding this email, and our family hopes the relief from By-law is granted.

Best regards,

David Green  
Property Owner - 332 Carrier Crescent  
Vaughan, ON L6A 4N8

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[Redacted text block]

[Redacted text block]

[Redacted text block]

## Attwala, Pravina

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**Subject:** FW: [External] ATTN: Christine Vigneault - Minor Variance 1 Edison Place, Maple, ON

-----Original Message-----

From: Emilia Campo [REDACTED]

Sent: May-27-20 2:18 PM

To: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] ATTN: Christine Vigneault - Minor Variance 1 Edison Place, Maple, ON

May 27, 2020

To Whom It May Concern:

I have received the Notice of Hearing for a Minor Variance Application A182/19 for 1 Edison Place, Maple, Ontario for the Applicant Mimi Khuu.

I am in favour of providing relief from By-Law 188 at 1 Edison Place listed in this minor variance application.

I have known the applicant Mimi Khuu for the past 6 years or so and personally think that she is a wonderful neighbour, she is very friendly and takes good care of her attractive landscaped property. Her backyard has a beautiful deck with staircase and pool and is designed very nicely. It is people like her that make the neighborhood look appealing. She puts hard work in making her property look as beautiful as it does. I'm sure this will add value to her home.

Mimi has invited us on many occasions to swim in her pool and I always admire her backyard whenever we go. I assume with the current situation of Covid-19, she will be enjoying her deck and pool very often with her kids as it is a very stressful time dealing with today's pandemic. My hope is that the relief from the by-law 188 at 1 Edison Place will be granted and she and her lovely family can enjoy this summer and many more in the future.

Feel free to contact me if you require any additional information.

Regards,

Emilia Campo  
339 Carrier Crescent  
Maple, Ontario  
L6A 4N8

22/05/2020

Hi there,

We are neighbour of 1 Edison Place, this family is applying for the minor variance of their deck, we notice their glass railings deck looks very decent, and it doesn't bother us at all.

We notice that there is an elderly living in this home, so the deck is important for him to leisure in the warm weather during the summer and fall.

We are ok with the deck the where it is, there is no issues for them to keep it.

Thanks,

  
(Revathy Skanthan)

Owner of  
316 Carrier Cres,  
Vaughan ON  
L4E 4N8



23/05/2020

Re: A182/19

Dear Sir/Madam,;

RE: 1 Edison Place

We are okay with the neighbour's deck as it looks transparent and clear, it doesn't block any of our view, it's quite alright for them to keep the current deck.

They spent a Lot of money to get the most up to date glass railings and the life time maintenance free materials.

It is directly looking toward from our front porch and we have no problem as it's clear glass all around.

Just let it remains as is will be alright.

Sincerely,

308 LG A4

E. Saffari

Amin Farbod,  
Owner of 308 Carrier Cres,  
Vaughan ON  
L4E 4N8

*Dear Sir/Madam;*

*My family live here for over 6 years and we noticed that our neighbour had built a small size deck and looks very simple and beautiful.*

*We understand that they need to get minor adjustment as the deck is a bit close to their fence but still good space in between the 2 neighbours, which I saw they are talking very often so no objection of the new deck and their staircase at all.*

*Both my wife and I support our neighbour at the corner house to keep their exterior construction as is.*

*Please do not hesitate to contact us if you have any issues.*

Cheers,

Nov 13th, 2019

11 Edision Place, Maple, ON L6A 4N8

A handwritten signature in black ink, appearing to read 'Chellim', with a long horizontal line extending from the end of the signature.

Kim Kieu Huynh & Hung Pham

November 12th, 2019

*The purpose of this communication is to help your decision to approve the minor variance and to support my neighbour across our home.*

*My family strongly feel that their deck and the stairs have added the characteristic of this prestigious neighbourhood. She used the best materials and the size is not as big as other nearby neighbour's deck but we really enjoy the summer time together on her beautiful deck.*

*Her Father is over 95 and it's a must for them to maintain this deck as is for his mental and physical well being - get some sun from the deck walk out from their kitchen patio door.*

*Hope the process goes well for her and her family.*

*Sincerely Yours,*



*Thanh Giang Nguyen. Tin Long Tran*

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

- Alectra (Formerly PowerStream) – No concerns or objections
- Region of York – No concerns or objections
- MTO – Located outside of MTO permit control area

**COMMENTS:**

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

**References:**

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI  
**Phone:** 1-877-963-6900 ext. 31297  
**Fax:** 905-532-4401  
**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mr. Tony D'Onofrio  
Supervisor, Subdivisions & New Services  
**Phone:** 1-877-963-6900 ext. 24419  
**Fax:** 905-532-4401  
**Email:** [tony.donofrio@alectrautilities.com](mailto:tony.donofrio@alectrautilities.com)

**Attwala, Pravina**

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**Subject:** FW: A182/19 - REQUEST FOR COMMENTS

**From:** Hajjar, Alexander (MTO) <Alexander.Hajjar@ontario.ca>

**Sent:** October-28-20 3:34 PM

**To:** Attwala, Pravina <Pravina.Attwala@vaughan.ca>

**Cc:** Scholz, Kevin (MTO) <Kevin.Scholz@ontario.ca>; Committee of Adjustment <CofA@vaughan.ca>

**Subject:** [External] RE: A182/19 - REQUEST FOR COMMENTS

Good Afternoon Pravina,

MTO has reviewed the subject land(s) located at 1 Edison Place in the City of Vaughan. The subject lands are outside the MTO permit control area and therefore do not require a permit from this office.

Best Regards,

**Alexander Hajjar**

*Transportation Technician*

*Highway Corridor Management Section*

*Ministry of Transportation, MTO*

*437.833.9453*

## Attwala, Pravina

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**Subject:** FW: A182/19 - REQUEST FOR COMMENTS

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**From:** Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

**Sent:** November-09-20 3:05 PM

**To:** Attwala, Pravina <Pravina.Attwala@vaughan.ca>; Providence, Lenore <Lenore.Providence@vaughan.ca>; MacPherson, Adriana <Adriana.MacPherson@vaughan.ca>

**Subject:** [External] RE: A182/19 - REQUEST FOR COMMENTS

Good afternoon Pravina,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Regards,

*Gabrielle*

**Gabrielle Hurst MCIP RPP** | Community Planning and Development Services | The Regional Municipality of York | 1-877 464 9675 ext 71538 | [Gabrielle.hurst@york.ca](mailto:Gabrielle.hurst@york.ca) | [www.york.ca](http://www.york.ca)