



File: A119/20

Applicant: Mirella Spano

Address: 56 Canada Company Ave., Woodbridge

Agent: Sofia Nian - NBY Designs Corp

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection	<input checked="" type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	
Cultural Heritage (Urban Design)	<input checked="" type="checkbox"/>	
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	
By-law & Compliance		
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Ministry of Transportation	<input checked="" type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)		

Adjournment History: N/A

Background History: N/A

Staff Report Prepared By: Lenore Providence
Hearing Date: Thursday, December 3, 2020



Minor Variance
Application

Agenda Item: 09

A119/20

Ward: 2

Staff Report Prepared By: Lenore Providence, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing: Thursday , December 03, 2020 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

Please submit written comments by mail or email to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

To make an electronic deputation at the meeting please contact the Committee of Adjustment at cofa@vaughan.ca or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

Applicant: Mirella Spano

Agent: Sofia Nian - NBY Designs Corp

Property: 56 Canada Company Avenue, Woodbridge

Zoning: The subject lands are zoned RUV1, Residential Urban Village Zone One, and subject to the provisions of Exception 9(1102) under By-law 1-88 as amended.

OP Designation: Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential" & "Natural Areas"

Related Files: None.

Purpose: Relief from By-law 1-88, as amended, is being requested to permit the proposed expansion of the existing driveway and to permit a reduced front yard setback to the existing garage.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum setback of 5.0 metres is required.	1. To permit a minimum setback of 4.36 metres to a garage.
2. A minimum of 50% landscaped area is required	2. To permit a minimum of 34.10% of front yard landscaping.

Background (previous applications approved by the Committee on the subject land): N/A

Adjournment History: N/A

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:
Public notice was mailed on November 18, 2020

Applicant confirmed posting of signage on November 16, 2020

Property Information	
Existing Structures	Year Constructed
Dwelling	2010
Deck	2010

Applicant has advised that they cannot comply with By-law for the following reason(s): The existing driveway causes the front yard is fully exposed to the municipal road (Canada Company Avenue). For privacy and family (kids) safety, the proposed driveway location makes the front yard separate from the public. For vehicle access, the entrance of the driveway and the front yard soft landscaping area cannot meet the Zoning By-law requirement.

Adjournment Request: N/A

Building Standards (Zoning Review):
There are no outstanding Orders on file

Building Permit No. 08-000912 for Single Detached Dwelling - New, Issue Date: May 16, 2008.
Building Permit No. 20-108474 for Attached Garage - Alteration, Issue Date: (Not Yet Issued).

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

Building Inspections (Septic):
No comments or concerns

Development Planning:
Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential" & "Natural Areas"

The Owner is requesting permission to make alterations to the existing garage, driveway and front yard landscaping with the above noted variances. The proposal will incorporate new doors on the front elevation of the existing garage and reorientation of the driveway to incorporate more soft landscaping to provide enhanced screening along Canada Company Avenue.

On November 10th, 2020, Development Planning staff attended the site and observed the existing landscaping and driveway configuration in the front yard. The reduced setback of 4.36 m to the garage is considered a technical variance as the wall is an existing condition. The variance requirement is triggered as the Owner is proposing to install garage doors on the elevation facing the front lot line. As the driveway is being oriented toward the new garage doors and access to the existing garage doors on the north elevation remain, the requested variance has no negative impacts on the streetscape.

While the proposal effectively increases the amount of soft landscaping currently on site, a substantial amount of soft landscaping is proposed between the wall of the existing garage and the wall containing the front entrance to the dwelling. This soft landscaped area is outside of the defined "Front Yard" by Zoning By-law 1-88 and is consequently excluded from the soft landscaping calculations. Despite this Staff are of the opinion that the proposal achieves an appropriate aesthetic balance between soft landscaping and parking areas and is therefore considered minor in nature.

The subject property is entirely within Toronto and Region Conservation Authority's ('TRCA') Regulated Area due to the presence of a valley corridor associated with a tributary of the Humber River and a Provincially Significant Wetland ('PSW') feature. Based on a review of the submitted materials, TRCA staff are of the opinion that the proposed site alteration works will not adversely impact the adjacent Natural System. As such, TRCA has no objections to the proposed variances.

Accordingly, the Development Planning Department is of the opinion that the requested variances are minor in nature, maintain the general intent and purpose of the Official Plan and Zoning By- law, and are desirable for the appropriate development of the land.

The Development Planning Department recommends approval of the application.

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Cultural Heritage (Urban Design):
No comment no concerns

Development Engineering:

The Development Engineering (DE) Department does not object to variance application A119/20 subject to the following condition(s):

1. The Owner/applicant shall demonstrate appropriate LID (Low-impact Development) measures to the satisfaction of DE to address the reduced soft landscaping coverage from 50% to 34.10% in order to mitigate potential impacts on the municipal stormwater system.

Parks, Forestry and Horticulture Operations:

No comment no concerns

By-Law and Compliance, Licensing and Permit Services:

No comment no concerns

Financial Planning and Development Finance:

No comment no concerns

Fire Department:

No comment no concerns

Schedule A – Plans & Sketches

Schedule B – Public Correspondence

None.

Schedule C - Agency Comments

TRCA – comments with conditions
MTO – Located outside of MTO permit control area
Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

Schedule D - Previous Approvals (Notice of Decision)

None.

Staff Recommendations:

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	Development Engineering Farzana Khan 905-832-8585 x 3608 farzana.khan@vaughan.ca	The Owner/applicant shall demonstrate appropriate LID (Low-impact Development) measures to the satisfaction of DE to address the reduced soft landscaping coverage from 50% to 34.10% in order to mitigate potential impacts on the municipal stormwater system.
2	TRCA Hamedeh Razavi 416-661-6600 x 5256 hamedeh.razavi@trca.ca	That the applicant provides the required fee amount of \$580.00 payable to the Toronto and Region Conservation Authority.

Conditions
It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department;

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil). To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit www.vaughan.ca

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

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PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

For further information please contact the City of Vaughan, Committee of Adjustment

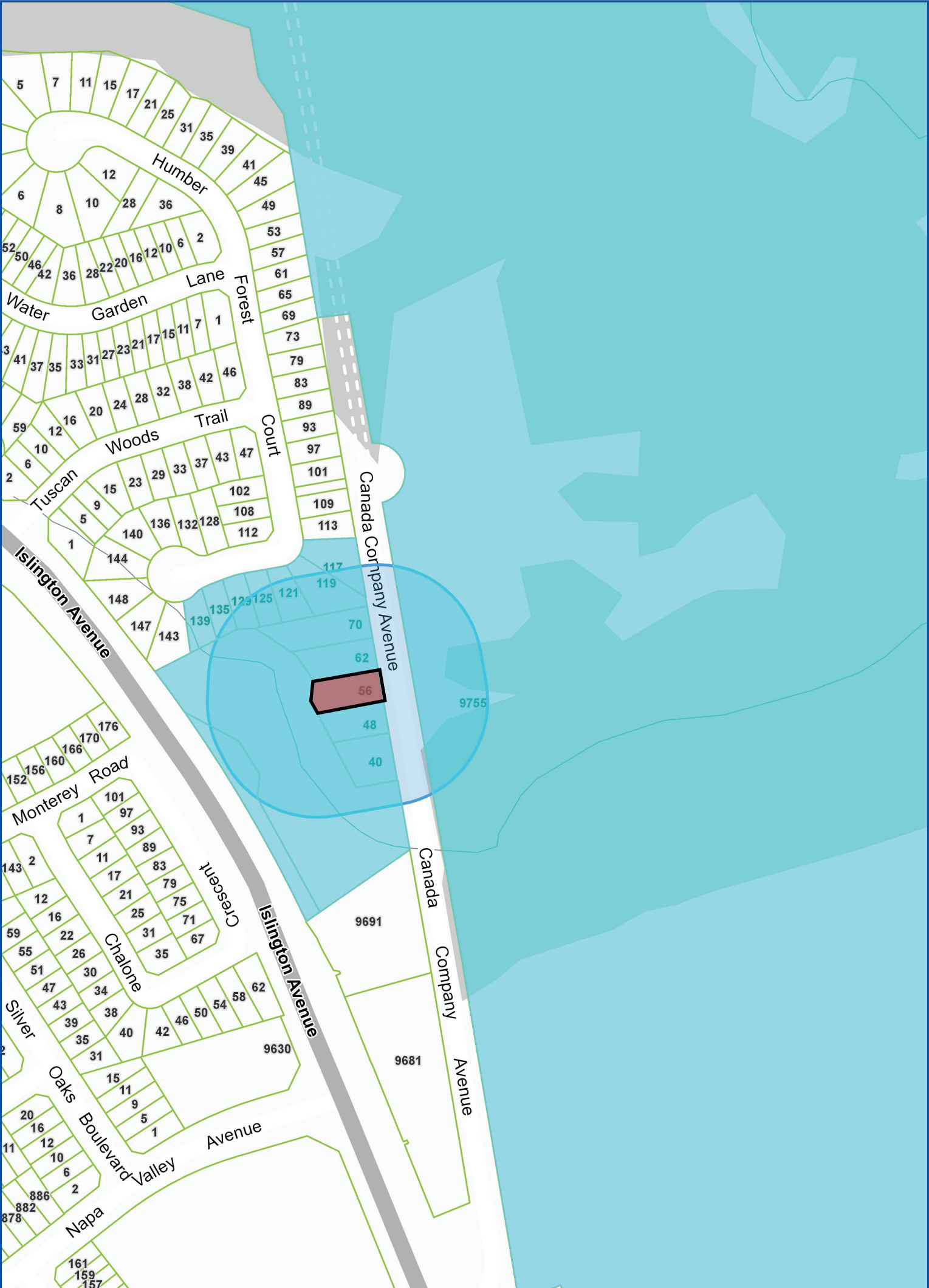
T 905 832 8585 Extension 8394
E CofA@vaughan.ca

Schedule A: Plans & Sketches

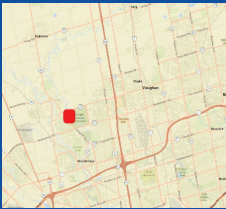
Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

Location Map
Plans & Sketches

MAJOR MACKENZIE DRIVE



Map Information:



Title:

56 CANADA COMPANY DRIVE, WOODBRIDGE

A119/20 - NOTIFICATION MAP

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:3,051

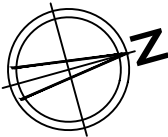
0 0.05 km



Created By:

Infrastructure Delivery
Department
November 9, 2020 10:33 AM

Projection:
NAD 83
UTM Zone
17N



SITE STATISTICS

LOT AREA: 861.19 m² (9,269.77 SQ.FT.) EXISTING
LOT FRONTAGE: 20.00 m (65.62 FT)
PROPOSED COVERAGE:(NO CHANGE)

FRONT YARD LANDSCAPE:

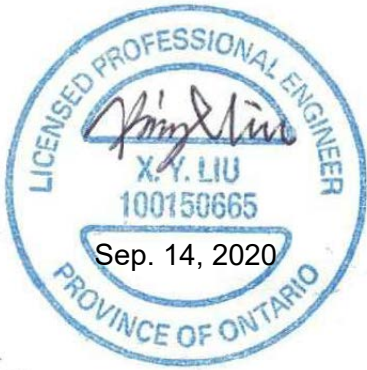
FRONT YARD AREA = 87.20 m² (938.61 S.F.)
PROPOSED DRIVEWAY AREA
= 57.46 m² (678.51 S.F.) (65.90%)
PROPOSED SOFT LANDSCAPE AREA
= 29.74 m² (320.10 S.F.) (34.10%)

REAR YARD LANDSCAPE:

KEEP EXISTING, NO CHANGE

No. 62
2 STOREY
DWELLING

1. To permit a minimum setback of 4.36 metres to a garage.
2. To permit a minimum of 34.10% of front yard landscaping.



EXISTING PLANTS TO BE RELOCATED

HIDDEN LINES INDICATE THE EXISTING DRIVEWAY TO BE REMOVED

CANADA COMPANY AVENUE

1
A2 PROPOSED SITE PLAN
SCALE: 1:150

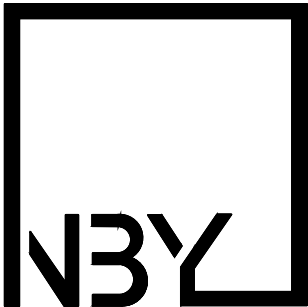
DRAWING TITLE:
PROPOSED SITE PLAN

PRINT DATE: 22-SEP-20
SCALE: AS NOTED
DRAWING NO:
A2
CHECKED BY: SN
PROJECT NO: 2020040

PROPOSED DRIVEWAY RELOCATE
56 CANADA COMPANY AVE.
VAUGHAN, ON

THIS DRAWING IS COPYRIGHT PROPERTY OF NBY DESIGNS CORP. NOT TO BE REPRODUCED
CONTRACTOR MUST VERIFY ALL JOB DIMENSIONS, DRAWINGS, DETAILS & SPECIFICATION & REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH WORK.

#	Date	Description	Dwn
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NBY
DESIGNS
CORP.

201A, 61 ALNESS STREET
NORTH YORK, ON M3J 2H2
Info@nbydesigns.com
647.352.6629

EXISTING

No. 62
2 STOREY
DWELLING

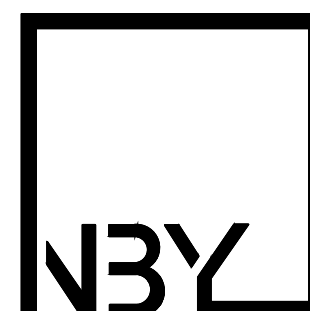
KEEP EXISTING, NO CHANGE



1
A1

EXISTING SITE PLAN
SCALE: 1:150

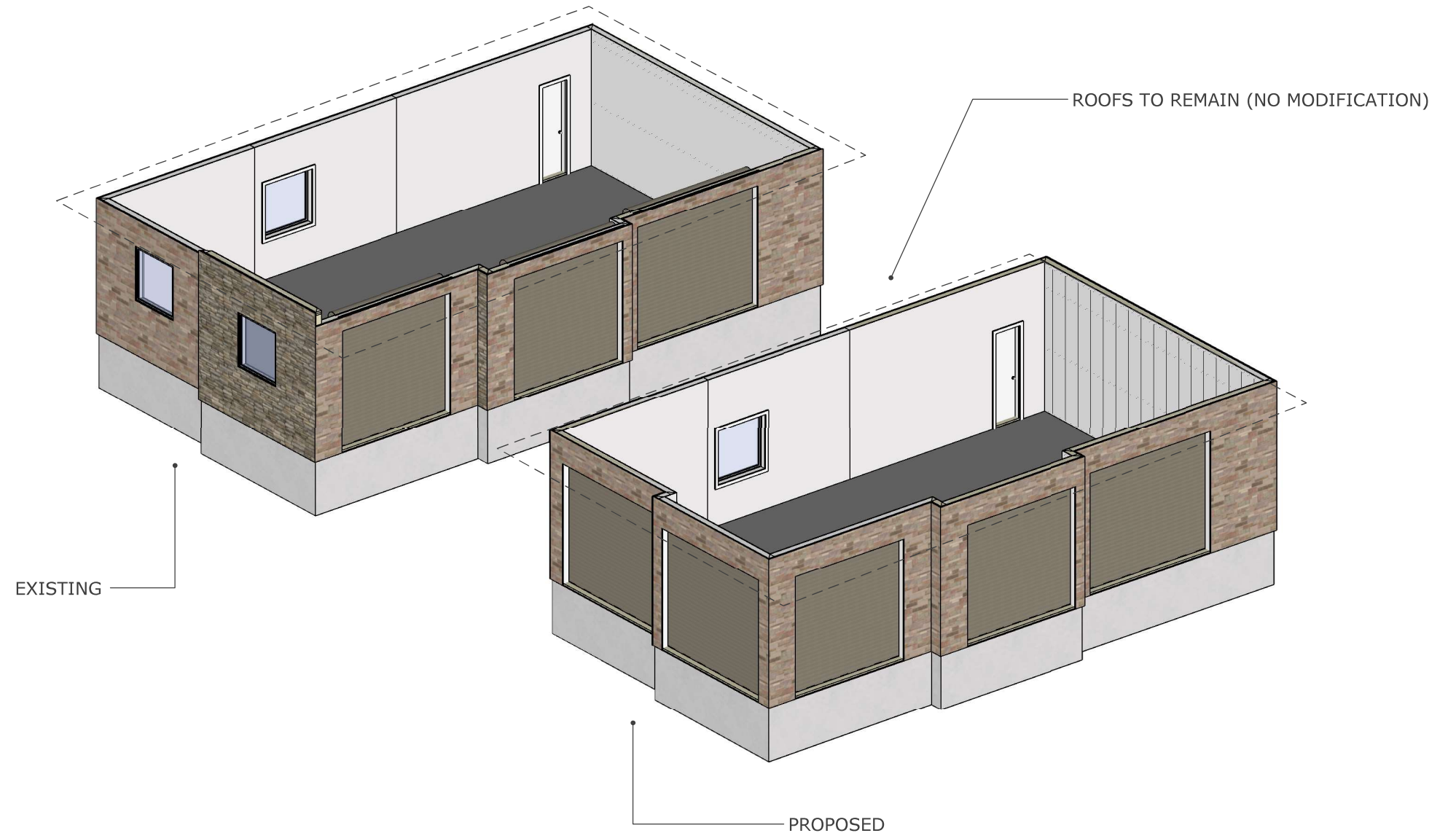
#	Date	Description	Dwn
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201A, 61 ALNESS STREET
NORTH YORK, ON M3J 2H2
Info@nbydesigns.com
647.352.6629

GENERAL NOTES

INDIVIDUAL DRAWINGS, NOTES AND/OR DETAILS MUST BE READ IN CONJUNCTION WITH THE ENTIRE PLAN. THE CONTRACTOR IS TO REVIEW ALL DIMENSIONS AND REPORT ANY DISCREPANCIES, ERRORS OR OMISSIONS TO THE DESIGNER PRIOR TO THE START OF CONSTRUCTION. ALL WORK MUST CONFORM TO THE ONTARIO BUILDING CODE (LATEST EDITION) AND ANY MUNICIPAL BY-LAWS AND / OR CONSERVATION AUTHORITY REGULATIONS. SUPPLIERS OF ENGINEERED MATERIAL (LVL, LSL, PSL, ENGINEERED JOISTS, ROOF TRUSSES ETC.) MUST SUBMIT DESIGN DRAWINGS BEARING THE STAMP OF A PROFESSIONAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO. ALL LUMBER TO BE GRADE #2 S-P-F OR BETTER. THE DESIGNER SHALL NOT BE LIABLE FOR ANY ERRORS OR OMISSIONS, UNLESS ADVISED IN WRITING PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. PLEASE ADVISE OF ANY ERRORS NOTICED SO CORRECTIONS AND SOLUTIONS MAY BE FOUND. ALL MATERIALS TO BE INSTALLED TO MANUFACTURERS' SPECIFICATIONS AND INSTRUCTIONS. AFTER EVALUATING THE PLAN SET IF ANY UNCERTAINTY REMAINS TO THE MEANING, INTENT, DESIRED OUTCOME OF ANY ASPECT OF THE WORK, PLEASE OBTAIN CLARIFICATION FROM THE DESIGNER BEFORE PROCEEDING. IF DURING THE COURSE OF THE WORK UNKNOWN CONDITIONS ARE DISCOVERED WHICH COULD NOT BE REASONABLY ASSUMED TO HAVE BEEN PRESENT OR ANTICIPATED, PLEASE NOTIFY THE DESIGNER. SITE VERIFY ALL DIMENSIONS, PRIOR TO PRODUCTION OF ROOF TRUSSES. WINDOW AND DOOR STYLES TO BE VERIFIED WITH OWNER PRIOR TO ORDERING. WINDOWS AND DOORS SHALL MEET THE PERFORMANCE GUIDELINES OF THE ENERGY EFFICIENCY DESIGN SUMMARY, IN ACCORDANCE WITH PERFORMANCE GUIDELINE SB-12. CONCRETE MIN: 25 MPA AT 28 DAYS



2 NEW OPENNINGS ON WALL FOR GARAGE DOORS
56 CANADA COMPANY AVE. VAUGHAN ON L4H 0A3



JAZ PARAMOUNT ENGINEERING CORP.

5063 N. SERVICE RD. UNIT 200 BURLINGTON ONTARIO L7L 5H6 PHONE : 289-219-0469
PERMIT SET FOR SINGLE DETACHED HOME
SCALE AS NOTED

56 CANADA COMPANY AVE. VAUGHAN ON



NEIGHBOUR

6'-8"

NEIGHBOUR

48'-2"

46'-8"

**CANADA
COMPANY
AVE**

9'-3"

NEIGHBOUR

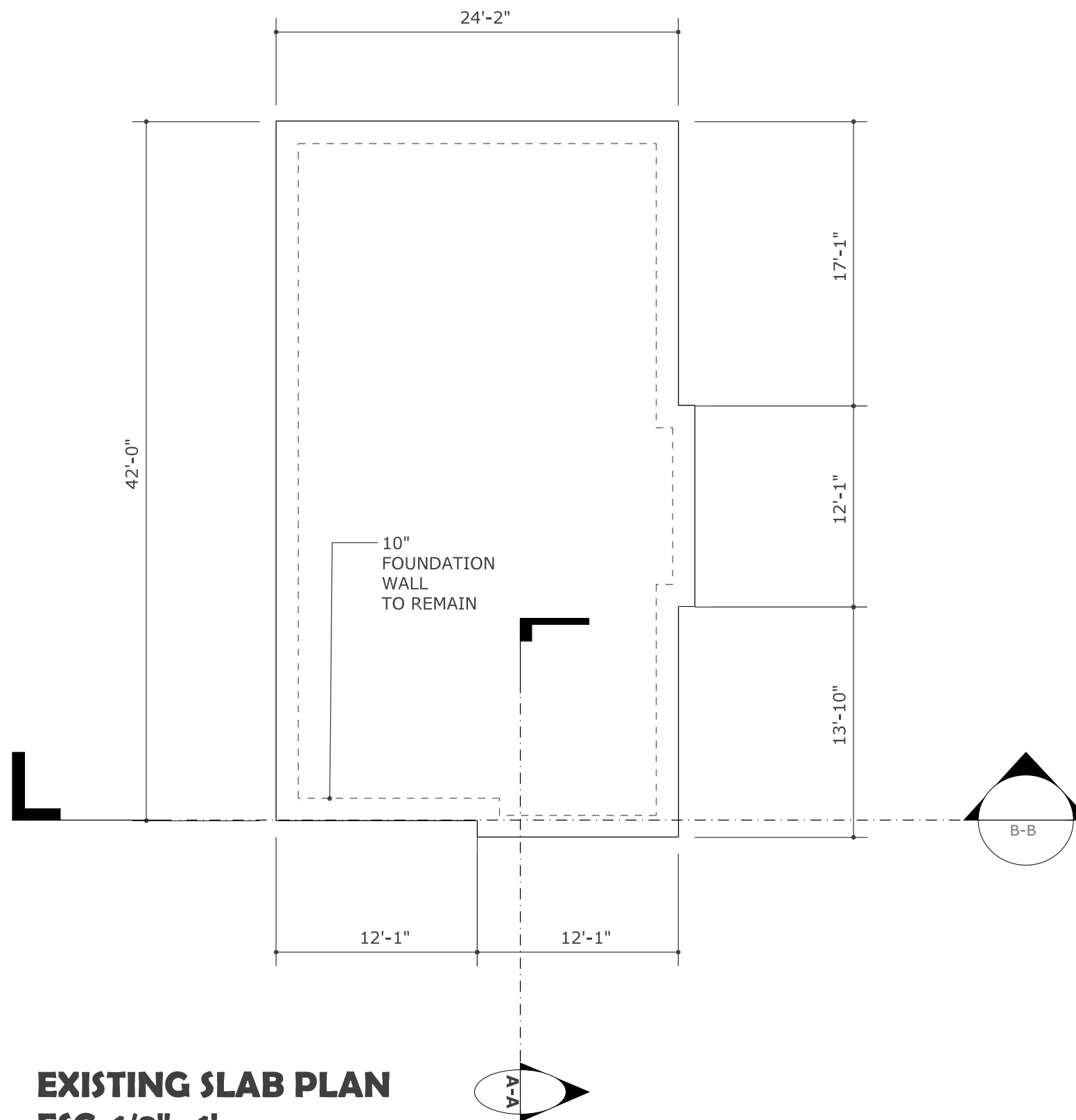
6'-8"

AREA OF RENOVATION

EXISTING HOUSE (NO MODIFICATIONS)

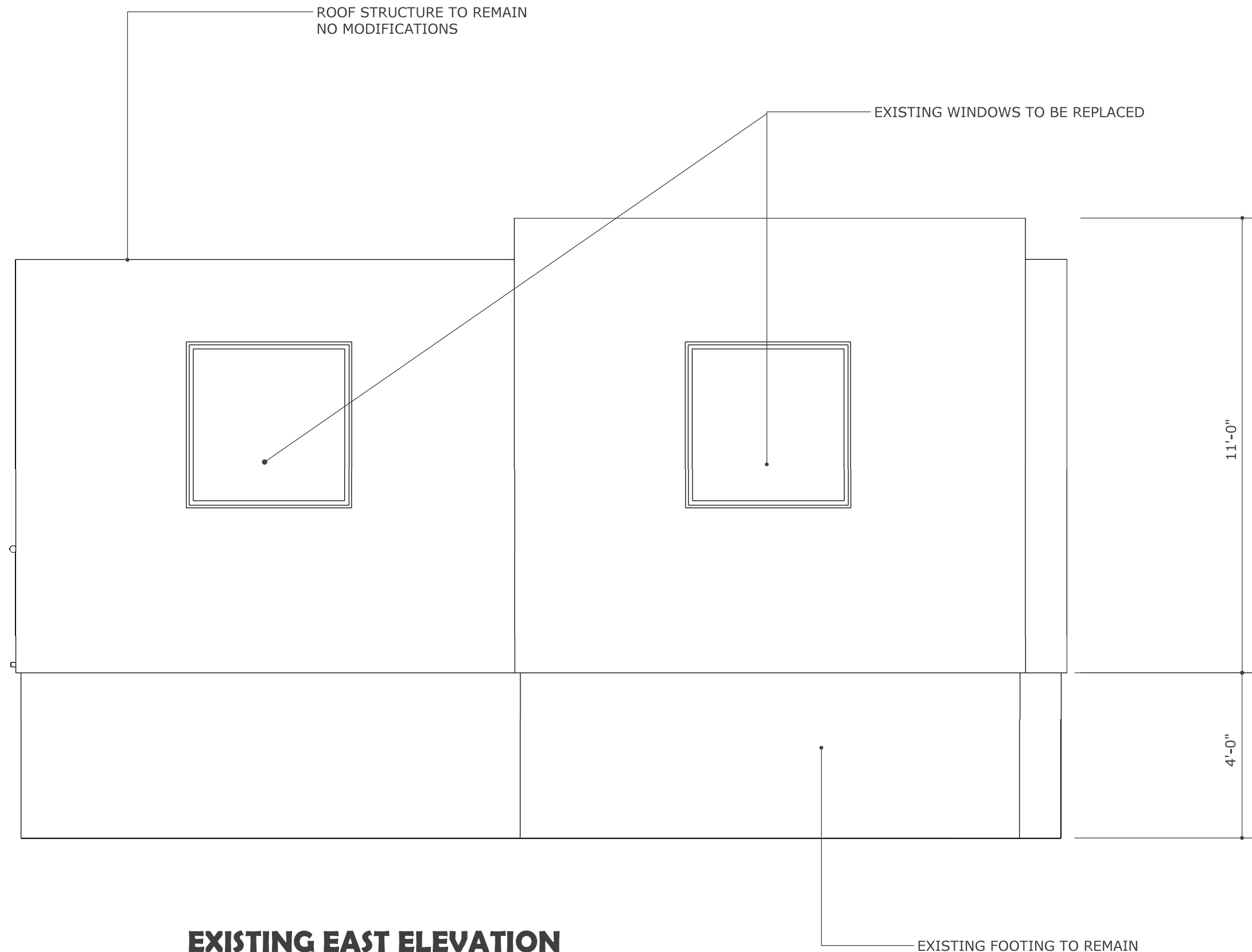


SITE PLAN
ESC: 1/16" : 1'



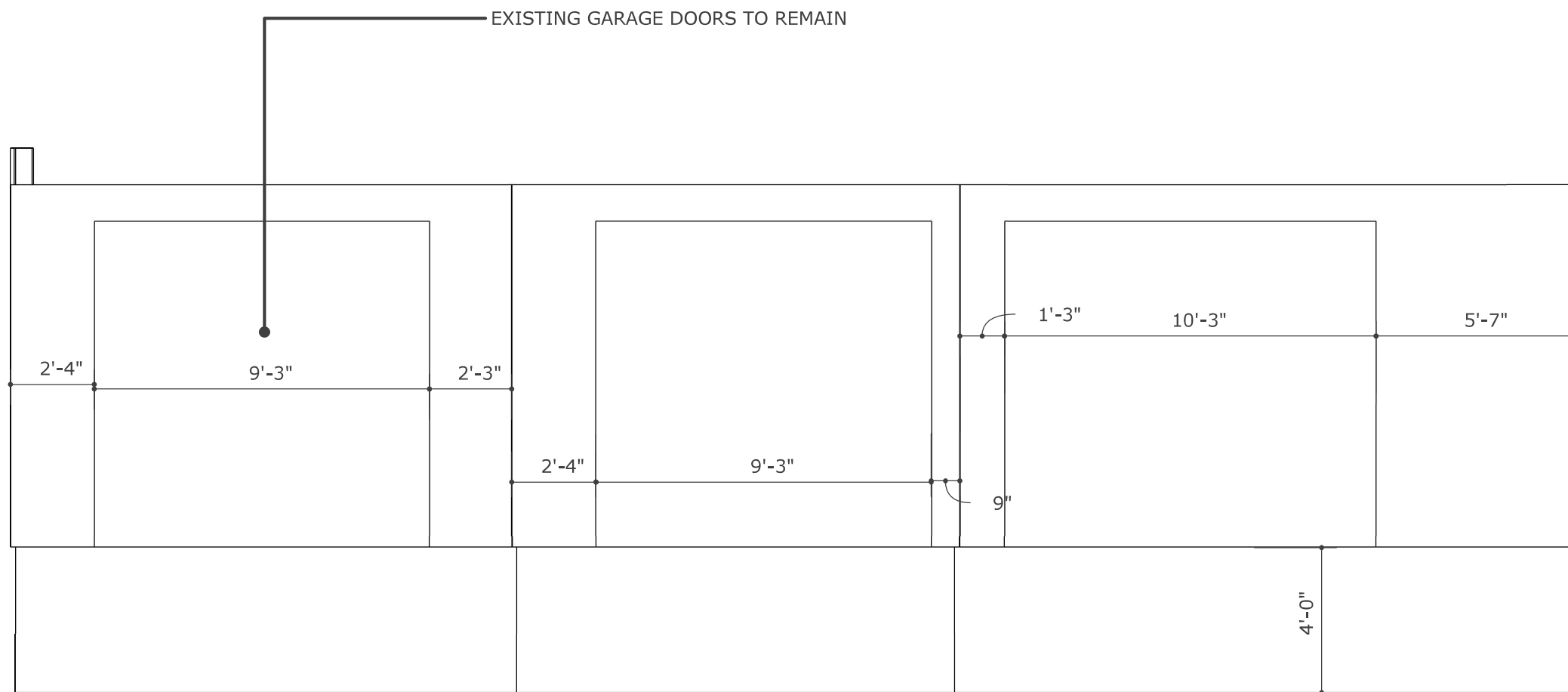
EXISTING SLAB PLAN
ESC: 1/8" : 1'





EXISTING EAST ELEVATION
ESC: 3/8" : 1'

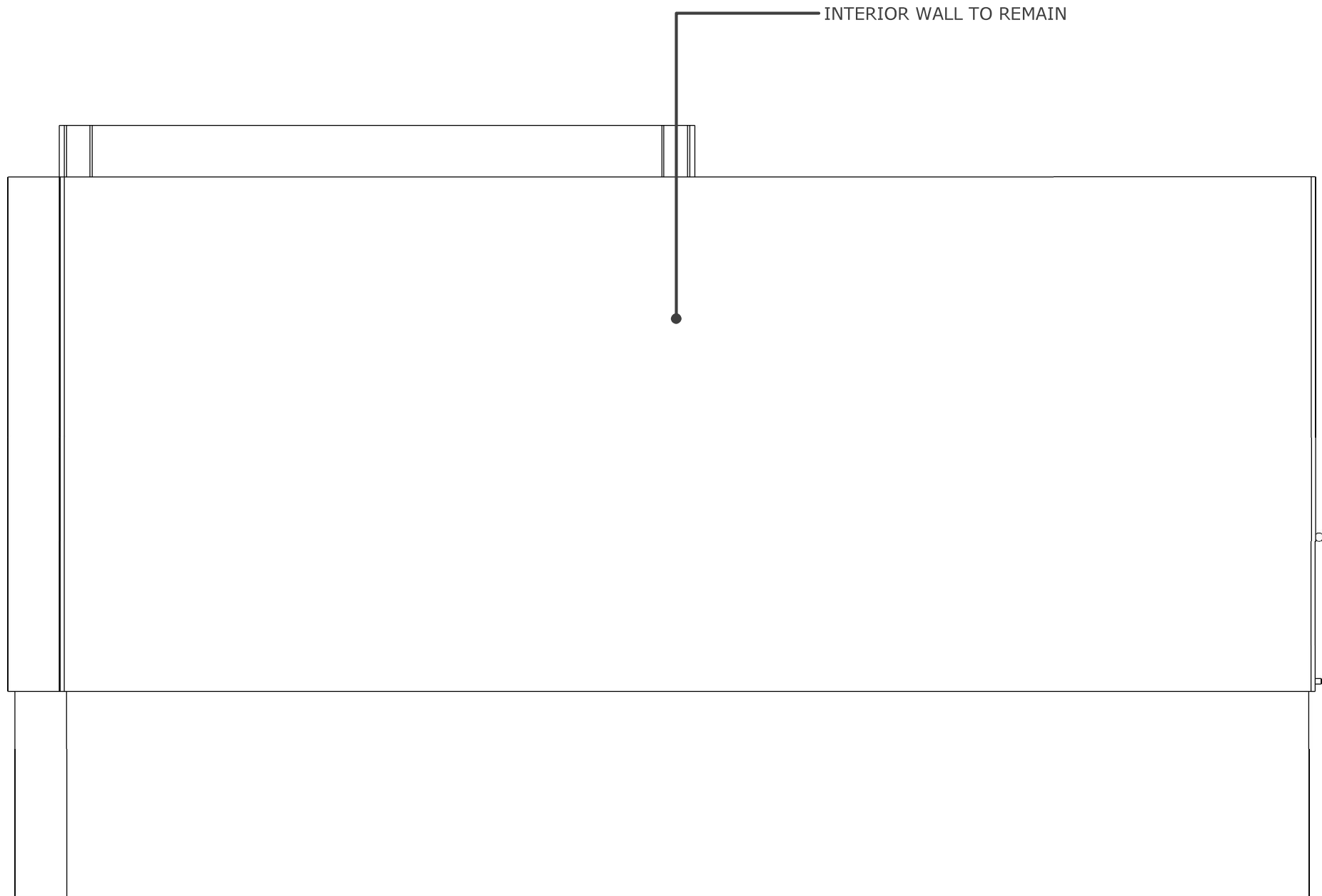




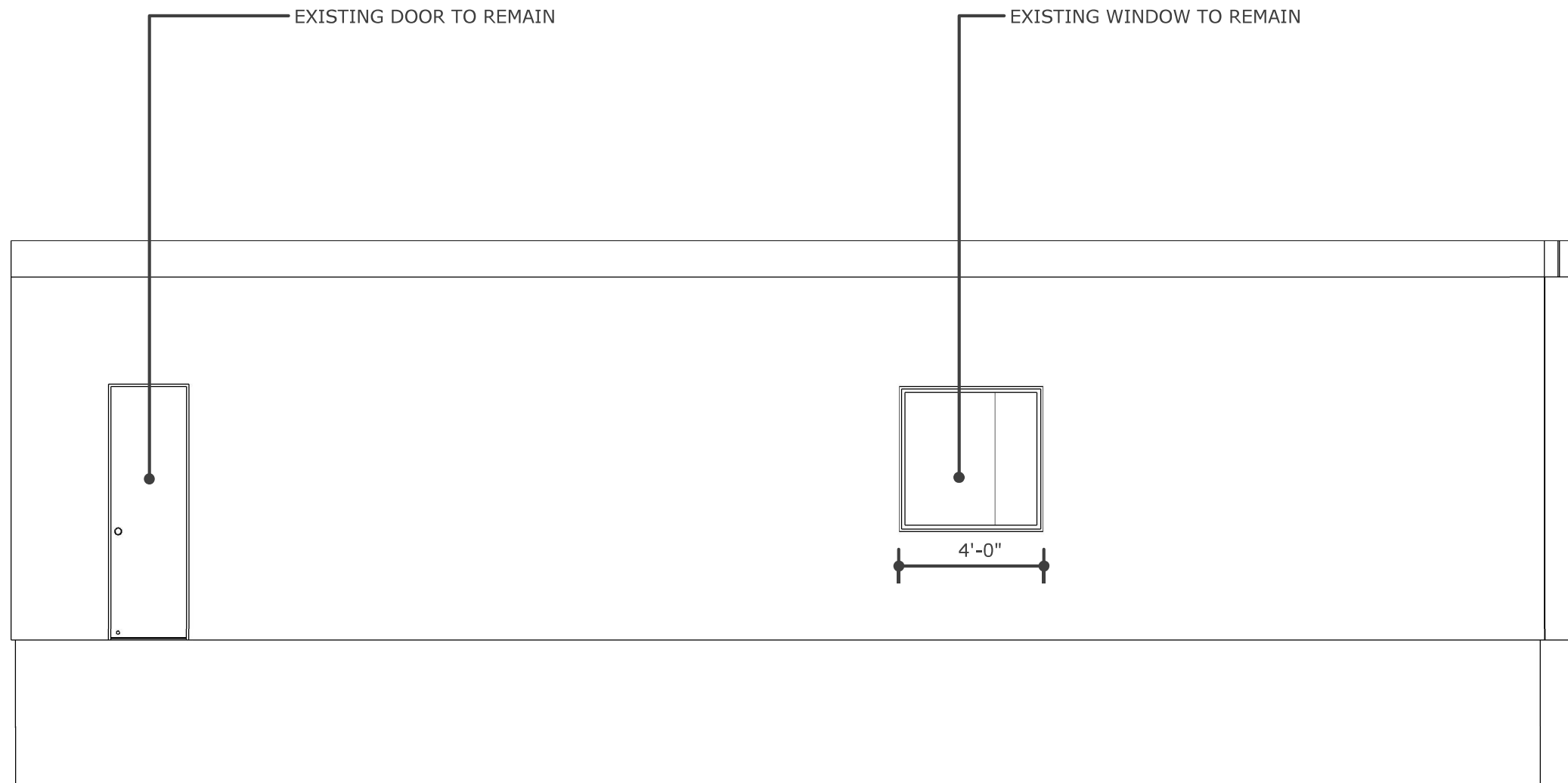
JZC - PENG



EXISTING NORTH ELEVATION ESC: 1/4" : 1'



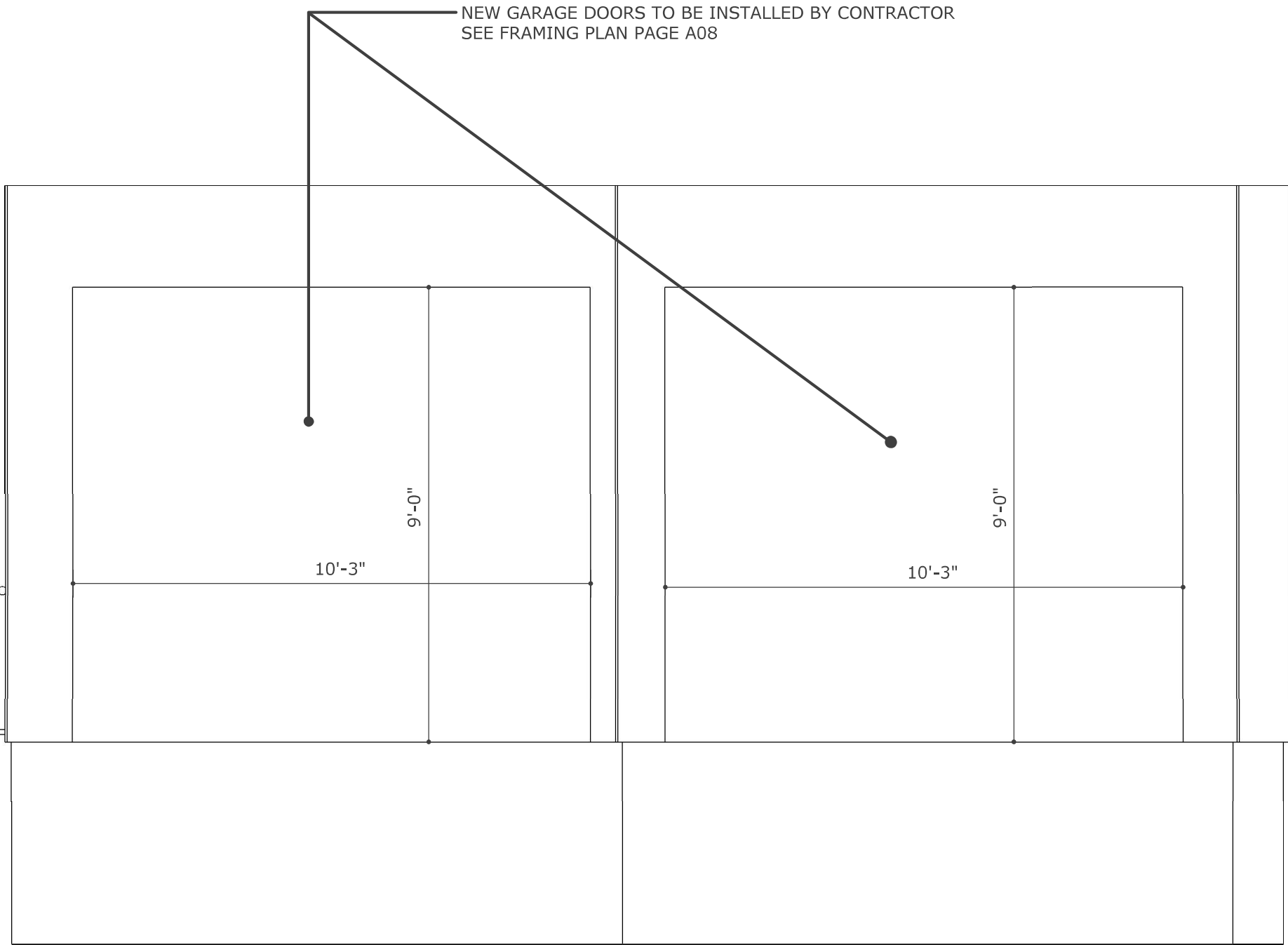
EXISTING WEST ELEVATION VIEW
ESC: 3/8" : 1'



JZC - PENG

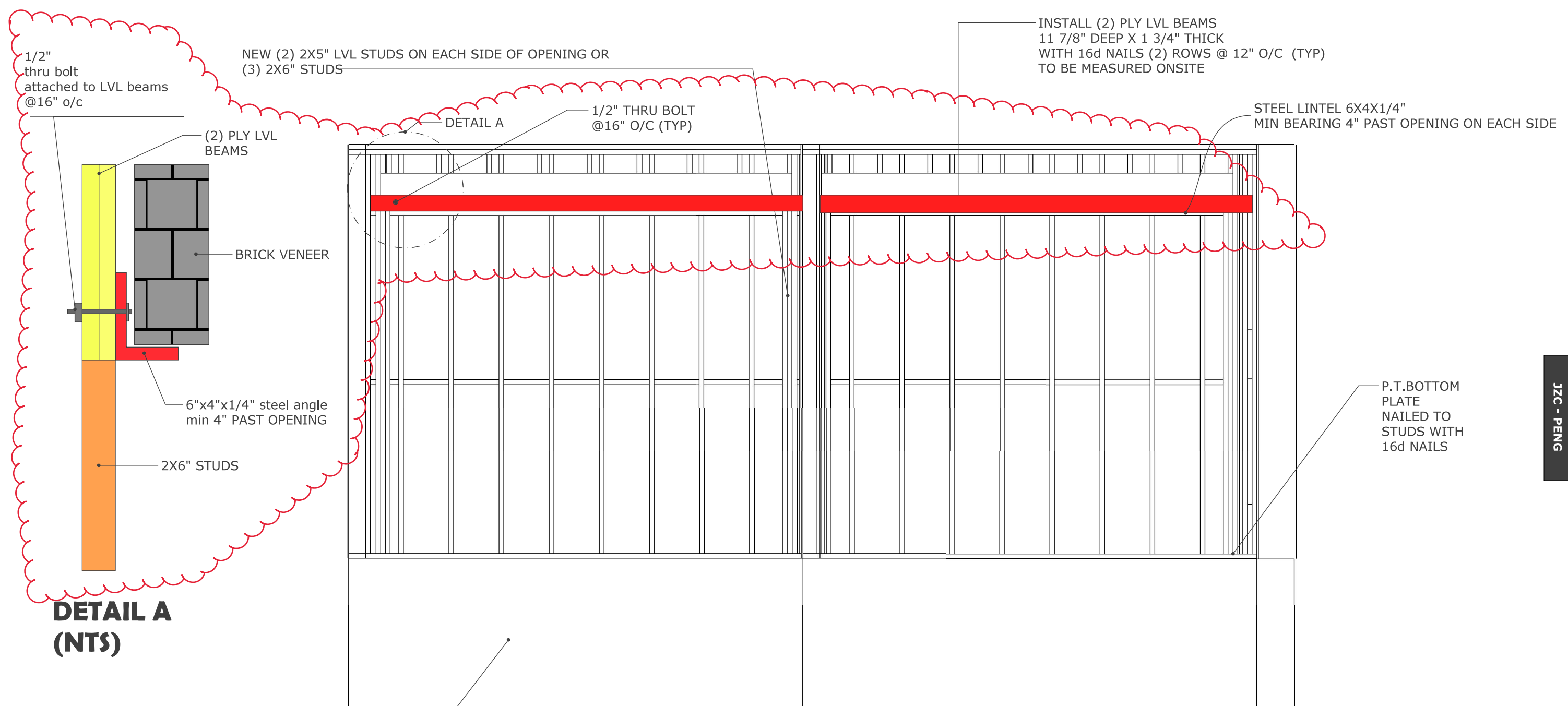


EXISTING SOUTH ELEVATION ESC: 1/4" : 1'



PROPOSED NEW EAST ELEVATION
ESC: 3/8":1'



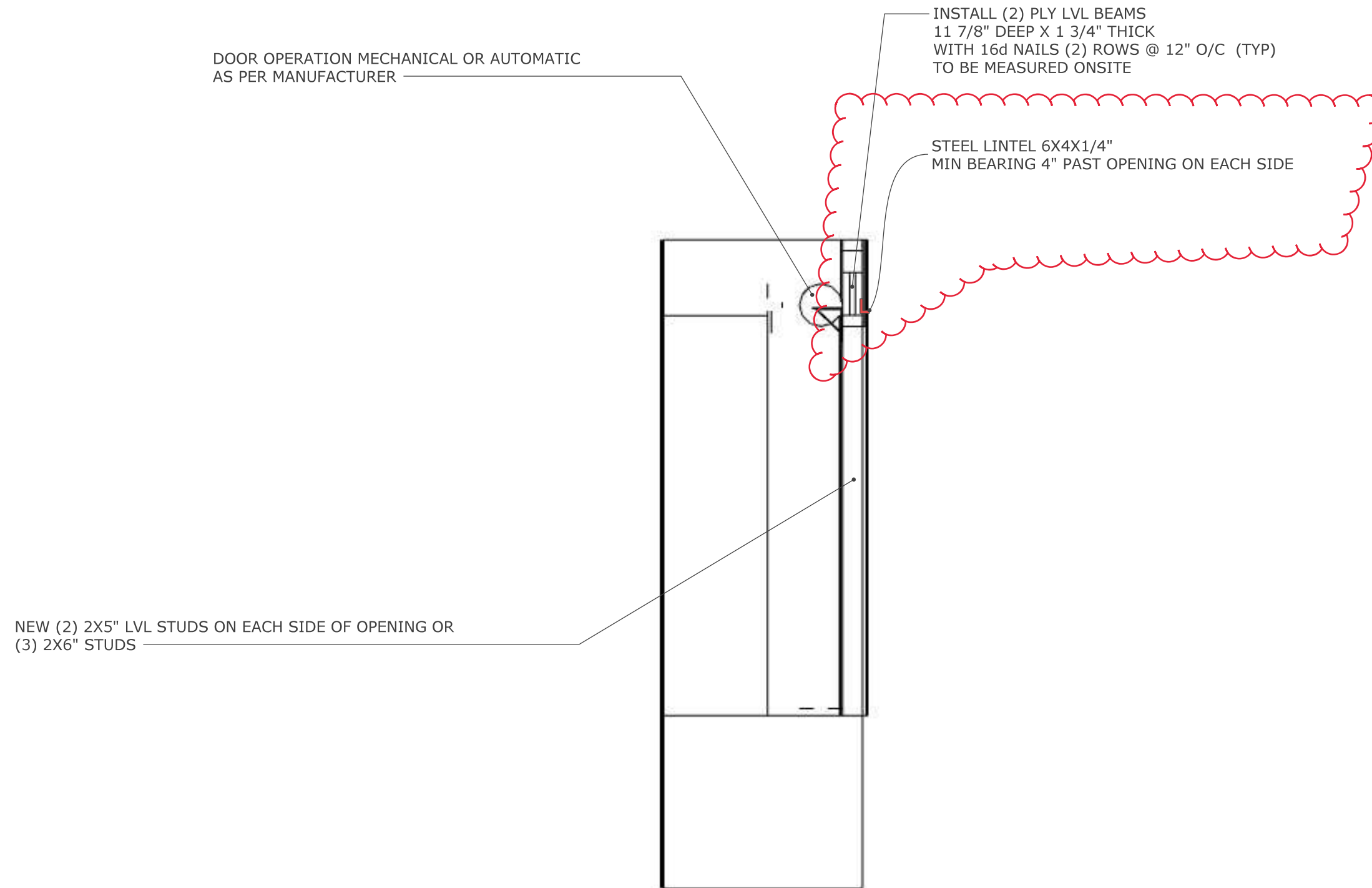


**DETAIL A
(NTS)**

**SECTION B-B
ESC: 3/8":1'**



JZC - PENG



SECTION A-A
ESC: NTS





1
A3

CONCEPT ELEVATION 1
SCALE: 1/4"=1'-0"

THE EXISTING ROOF, ROUND TRANS AND WALL FINISH TO BE REMAIN. EXISTING CEILING HEIGHT TO BE REMAIN. THIS ELEVATION IS A DESIGN CONCEPT,. FINAL CONSTRUCTION TO BE CONFIRMED ON SITE BY OWNER.AND CONSTRUCTORS.

DRAWING TITLE:
CONCEPT ELEVATIONS

PRINT DATE:
01-SEP-20

SCALE:
AS NOTED

DRAWING NO:

DRAWN BY:
SN

CHECKED BY:
SN

PROJECT NO:
2020040

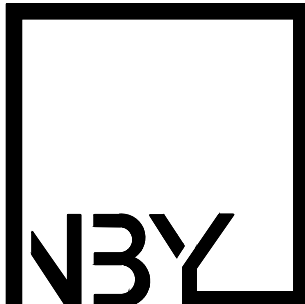
PROPOSED
DRIVEWAY RELOCATE

56 CANADA COMPANY AVE.
VAUGHAN, ON

THIS DRAWING IS COPYRIGHT PROPERTY OF NBY DESIGNS CORP NOT TO BE REPRODUCED

CONTRACTOR MUST VERIFY ALL JOB DIMENSIONS, DRAWINGS, DETAILS & SPECIFICATION & REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH WORK.

#	Date	Description	Dwn
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NBY
DESIGNS
CORP.

201A, 61 ALNESS STREET
NORTH YORK, ON M3J 2H2
Info@nbydesigns.com
647.352.6629



A119/20

RECEIVED
from Planning site visit
Nov. 16//2020
Committee of Adjustment





RECEIVED
from Planning site visit
Nov. 16//2020
Committee of Adjustment





RECEIVED
from Planning site visit
Nov. 16//2020
Committee of Adjustment



Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

None.

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

- TRCA – comments with conditions
- MTO – Located outside of MTO permit control area
- Alectra (Formerly PowerStream) – No concerns or objections
- Region of York – No concerns or objections



November 18, 2020

CFN 62574.31

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Ms. Christine Vigneault, Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A119/20
56 Canada Company Avenue, PLAN 65M3532 Block 50 PLAN 65R27194 Part 3
City of Vaughan, Region of York
Owner: Mirella Spano
(Agent: NBY Designs Corp. c/o Sofia Nian)**

This letter acknowledges receipt of the above noted application, received by the Toronto and Region Conservation Authority (TRCA) on November 5, 2020. TRCA staff has reviewed the application and offers the following comments for the consideration of the Committee of Adjustment.

Background

The purpose of application A119/20 is to request the following:

1. To permit a minimum setback of 4.36 metres to a garage.
2. To permit a minimum of 34.10% of front yard landscaping.

The purpose of the noted variances is to permit the realignment of the existing driveway..

Applicable TRCA Policies and Regulations

Living City Policies (LCP):

The Living City Policies for Planning and Development in the Watersheds of the Toronto and Region Conservation Authority (LCP) describes a 'Natural System' made up of natural features and areas, water resources, natural hazards, potential natural cover and/or buffers. The LCP recommends that development not be permitted within the Natural System and that it be conveyed into public ownership for its long-term protection and enhancement. The LCP also provides policies for developing adjacent to, and in, the Natural System (where permitted), while meeting natural hazard management requirements, and maintaining and enhancing the functions of the protected Natural System. These policies also seek to integrate the natural and built environments, maximizing opportunities for ecosystem services from across the entire landscape. It is these policies that guide TRCA's review of the subject application, along with those found in other Provincial and municipal plans, documents and guidelines.

Ontario Regulation 166/06:

Based on a review of our current mapping, the subject property is entirely within TRCA's Regulated Area due to the presence of a valley corridor associated with a tributary of the Humber River and a Provincially Significant Wetland (PSW) feature. In accordance with *Ontario Regulation 166/06 (Regulation of Development, interference with Wetlands and Alterations to Shorelines and Watercourses)*, development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, pollution, or the conservation of land will not be affected.

Application-Specific Comments

Based on a review of the submitted materials, it is the opinion of TRCA staff that the proposed site alteration works will not adversely impact the adjacent Natural System. As such, TRCA has no objections to the proposed variances.

Fees

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$580.00 (Variance-Residential-Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

Recommendation

Based on the above, TRCA staff have **no objection** to the approval of Minor Variance Application A119/20, subject to the following conditions:

1. That the applicant provides the required fee amount of \$580.00 payable to the Toronto and Region Conservation Authority.

We trust these comments are of assistance. Should you have any questions, please contact me at extension 5256 or at Hamedeh.Razavi@trca.ca

Sincerely,



Hamedeh Razavi
Planner I,
Development Planning and Permits

HR/jb

C: Bell, Brandon Brandon.Bell@vaughan.ca

Providence, Lenore

Subject: FW: A119-20 - REQUEST FOR COMMENTS - 56 Canada Company Ave., Woodbridge (full circulation)

From: Hajjar, Alexander (MTO) <Alexander.Hajjar@ontario.ca>

Sent: November-05-20 12:00 PM

To: Providence, Lenore <Lenore.Providence@vaughan.ca>

Cc: Scholz, Kevin (MTO) <Kevin.Scholz@ontario.ca>; Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A119-20 - REQUEST FOR COMMENTS - 56 Canada Company Ave., Woodbridge (full circulation)

Good Afternoon Lenore

MTO has reviewed the subject land(s) located at 56 Canada Company Ave. in the City of Vaughan. The subject lands are outside the MTO permit control area and therefore do not require a permit from this office.

Best Regards,

Alexander Hajjar

Transportation Technician

Highway Corridor Management Section

Ministry of Transportation, MTO

437.833.9453

From: Della Mora, Dan (MTO) <Dan.DellaMora@ontario.ca>

Sent: November 5, 2020 10:50 AM

To: Hajjar, Alexander (MTO) <Alexander.Hajjar@ontario.ca>

Subject: FW: A119-20 - REQUEST FOR COMMENTS - 56 Canada Company Ave., Woodbridge (full circulation)

Dan Della Mora

Senior Project Manager

Dan.DellaMora@ontario.ca

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mr. Tony D'Onofrio
Supervisor, Subdivisions (Alectra East)
Phone: 1-877-963-6900 ext. 24419

Email: tony.donofrio@alectrautilities.com

Providence, Lenore

Subject: FW: A119-20 - REQUEST FOR COMMENTS - 56 Canada Company Ave., Woodbridge (full circulation)

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: November-11-20 1:37 PM

To: Providence, Lenore <Lenore.Providence@vaughan.ca>

Subject: [External] RE: A119-20 - REQUEST FOR COMMENTS - 56 Canada Company Ave., Woodbridge (full circulation)

Food afternoon Lenore,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Regards,

Gabrielle

Gabrielle Hurst MCIP RPP | Community Planning and Development Services | The Regional Municipality of York | 1-877 464 9675 ext 71538 | Gabrielle.hurst@york.ca | www.york.ca