

CITY OF VAUGHAN

EXTRACT FROM COUNCIL MEETING MINUTES OF OCTOBER 21, 2020

Item 8, Report No. 47, of the Committee of the Whole, which was adopted without amendment by the Council of the City of Vaughan on October 21, 2020.

8. DEMOLITION OF EXISTING STRUCTURES AND CONSTRUCTION OF A THREE-STORY MIXED USE BUILDING WITH UNDERGROUND PARKING AT 10568 ISLINGTON AVENUE, IN THE KLEINBURG-NASHVILLE HERITAGE CONSERVATION DISTRICT

The Committee of the Whole recommends approval of the recommendation contained in the following report of the Deputy City Manager, Infrastructure Development, dated October 14, 2020:

Recommendations

The Acting Deputy City Manager, Planning and Growth Management, on behalf of Heritage Vaughan forwards the following recommendation from its meeting of September 16, 2020 (Item 1, Report No. 6), for consideration:

- 1) That the recommendation contained in the report of the Acting Deputy City Manager, Planning and Growth Management, dated September 16, 2020, be approved subject to the addition of the following:
 - d) That a demolish permit shall not be issued for the property until a building permit has been issued for a new building, in accordance with the Kleinburg Nashville Heritage Conservation District Plan.

Recommendation and Report of the Acting Deputy City Manager, Planning and Growth Management, dated September 16, 2020:

That Heritage Vaughan Committee recommend THAT Council approve an application to demolish the existing dwelling, detached garage and a proposed 3-storey mixed-use development, consisting of 6 ground floor retail units and 16 residential units above, with 32 underground parking space at 10568 Islington Avenue under Section 42 of Ontario Heritage Act, subject to the following conditions:

- a. Any significant changes to the proposal by the Owner may require reconsideration by the Heritage Vaughan Committee, to be determined at the discretion of the Acting Deputy City Manager, Planning and Growth Management;
- b. That Heritage Vaughan Committee recommendations to Council do not constitute specific support for any Development Application under the Ontario Planning Act or permits currently under review or to be submitted in the future by the Owner as it relates to the subject application; and

CITY OF VAUGHAN

EXTRACT FROM COUNCIL MEETING MINUTES OF OCTOBER 21, 2020

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- c. That the Owner submit Building Permit stage architectural drawings and building material specifications to the satisfaction of the Chief Building Official.

Committee of the Whole (2) Report

DATE: Wednesday, October 14, 2020

WARD(S): 1

**TITLE: DEMOLITION OF EXISTING STRUCTURES AND
CONSTRUCTION OF A THREE-STOREY MIXED USE BUILDING
WITH UNDERGROUND PARKING AT 10568 ISLINGTON
AVENUE, IN THE KLEINBURG-NASHVILLE HERITAGE
CONSERVATION DISTRICT**

FROM:

Nick Spensieri, Deputy City Manager, Infrastructure Development

ACTION: DECISION

Purpose

To forward a recommendation from the Heritage Vaughan Committee to approve the application to demolish of the existing principal and secondary dwellings including the detached garage/barn on the subject property; and, for the proposed construction of a 3-storey mixed use development, consisting of 6 ground floor retail units and 16 residential units above, with 32 underground parking spaces on the lands known municipally as 10568 Islington Avenue, a property located in the Kleinburg-Nashville Heritage Conservation District and designated under Part V of the *Ontario Heritage Act*.

Report Highlights

- The Owner is seeking a recommendation from Heritage Vaughan Committee to approve an application to demolish the existing structures at 10568 Islington Avenue and for a proposed 3-storey mixed-use development, consisting of 6 ground floor retail units and 16 residential units above, with 32 underground parking spaces
- The existing main dwelling is identified as a non-contributing property in the Kleinburg-Nashville Heritage Conservation District Plan ('KNHCD Plan')
- Heritage Vaughan review and Council approval is required under the *Ontario Heritage Act*
- Staff supports approval of the proposal as it conforms with the policies of the KNHCD Plan

Recommendation

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- a) Any significant changes to the proposal by the Owner may require reconsideration by the Heritage Vaughan Committee, to be determined at the discretion of the Acting Deputy City Manager, Planning and Growth Management;
- b) That Heritage Vaughan Committee recommendations to Council do not constitute specific support for any Development Application under the *Ontario Planning Act* or permits currently under review or to be submitted in the future by the Owner as it relates to the subject application; and
- c) That the Owner submit Building Permit stage architectural drawings and building material specifications to the satisfaction of the Chief Building Official.

Background

The subject property at 10568 Islington Avenue in Kleinburg holds three buildings. It is not listed in the Vaughan Heritage Inventory other than as being within the Kleinburg-Nashville Heritage Conservation District. The Owner of 10576 Islington Avenue believes the house on the subject property, the building at 10454 Islington Avenue, and the one at 40 Nashville Road were all moved to their present village sites from Howland's Mill where they may have been workers' housing (referenced by Paul Oberst Architect, co-author of the KNHCD Plan). The historical background research described in the Cultural Heritage Impact Assessment ('CHIA') notes there was a sequence of

blacksmiths operating on the property for about 50 years, but there is no documentation noting all of the blacksmiths used the same building, or any particular building.

The 1861 census lists a 1-1/2 storey frame house on the property, used as the principal dwelling; it has the general form of vernacular Loyalist cottage, but is much altered and with a large modern 2-storey addition and 1-storey connecting element. Other than the general form, there are no historic features visible on the exterior of the original house. There is a very small 1-storey stucco secondary dwelling of an undetermined date. At the extreme southwest corner of the property is a 3-bay flat-roofed garage, built onto the front of a barn or drive shed.

Previous Reports/Authority

Not applicable.

Analysis and Options

All new development must conform to the policies and guidelines within the Kleinburg-Nashville Heritage Conservation District PLAN (KNHCD').

The following is an analysis of the proposal to demolish the existing structures at 10568 Islington Avenue and construct 3-storey mixed-use development, consisting of 6 ground floor retail units and 16 residential units above, with 32 underground parking spaces, as shown on Attachments 3 to 7, in consideration of the KNHCD guidelines.

9.2 ARCHITECTURAL STYLES

Architectural style is a term used to refer to the identifying characteristics of construction as it has evolved under the force of changing technology and fashion. Before the industrial age, even minor details were custom-made for each building and it would be hard to find even two identical front door designs from the early 19th century. Nonetheless, each period produced buildings that shared a design vocabulary, including elements of massing, composition, proportions, window and door details, and decorative elements. This section shows the principal styles that have appeared in the Kleinburg Nashville community, both heritage styles and more recent ones.

The proposed development is designed in the style of a 19th Century Inn, being one of the approved and recognized styles within the KNHCD Plan. Cultural Heritage staff support the proposed architectural design, as it contributes positively to the overall character of the KNHCD.

9.5.1 NEW DEVELOPMENT OVERVIEW

“New development within the District should conform to qualities established by neighbouring heritage buildings, and the overall character of the setting. Designs should reflect a suitable local heritage precedent style.”

Cultural Heritage staff support the design of the proposed replacement building as its scale, massing proportions and architectural style are suitable to the area and will enhance the cultural heritage landscape of Islington Avenue in accordance with KNHCD policies (as shown on Attachment 5).

9.5.3.2 ARCHITECTURAL STYLE

“Design houses to reflect one of the local heritage Architectural Styles.”

The proposed “19th Century Inn” style includes a gable roof, attic dormers and a full-length porch along the front façade. Staff are satisfied the proposal is reflective of the 19th Century Inn building style with gable roof, repeating dormers and consistent second-storey balcony walk-outs. In addition, the central 19th Century Inn-style building articulates the massing of the façade with distinguishable building portions. This architectural composition is in keeping with the historical architectural proportions of this building type, thus enhancing and reinforcing the KNHCD Plan attributes.

The main body of the building is clad in brick on the ground floor and the central portion of the second floor, and the balance of the upper storeys are clad in lighter materials of horizontal siding and roof shakes appropriate for this architectural style. All components have adequately sized and geometrically positioned repeating dormers contributing positively to the overall character of the KNHCD (as shown on Attachment 4).

9.7.7.3 MANAGING EXISTING WOODLOTS

The District valleys and human settlement areas are largely dominated by trees found as forest blocks. These forests, the dramatic deep valleys, and the generally modest nature of the built form define the landscape character of the District. The forests range in age from mature, semi mature, and immature. Many of the mature district forests contain trees over 100 years of age. These forests provide beauty, abundant wildlife habitat and nourish and protect soils from wind and water erosion.

The proposed building design maximizes all available space on site and incorporates thoughtful landscaping along the streetscape, within the subject property and along the sides and rear of the development. Parking spaces located at grade are arranged to make optimal use of soft landscape plantings, to increase the site’s naturalized potential and conform to the intent of the KNHCD Plan (as shown on Attachment 7).

9.8.4 ISLINGTON AVENUE COMMERCIAL CORE

The Islington Avenue Commercial Core means the commercially zoned properties within the Kleinburg Village Core, which front on Islington Avenue and Nashville Road. This area contains almost all of the commercial uses in the District, and they comprise a mixture of locally oriented and tourism-oriented businesses. The intent of this Plan is to enhance the quality of the Commercial Core as a pedestrian-friendly village shopping environment.

The proposed building and site design incorporate a pedestrian-friendly and welcoming “podium” including grade level access to the proposed commercial units at the ground floor. Access between the raised level platform and the natural existing grade slope of Islington Avenue is accommodated at the north and south corners of the property, and a separate private elevator to the residential units above (as shown on Attachment 3).

9.10.1 HERITAGE BUILDINGS APPROPRIATE MATERIALS

“Smooth red clay face brick, with smooth buff clay face brick as accent” or “stucco”.

The proposed development employs a historically acceptable materials palette as shown on Attachment 6. The materials include a suitable integration of red brick, stone veneer, horizontal lap siding, and roof shakes cladding noted as acceptable within the KNHCD Plan.

Financial Impact

There are no requirements for new funding associated with this report.

Broader Regional Impacts/Considerations

There are no broader Regional impacts or considerations.

Conclusion

The Development Planning Department is satisfied the demolition of the existing structures and the subject lands proposed 3-storey development conforms to the policies and guidelines within the Kleinburg-Nashville Heritage Conservation District Plan.

Accordingly, staff can support a Heritage Vaughan Committee recommendation to the Committee of the Whole for approval of the proposed demolition of the existing two buildings and detached garage/barn, and for the proposed construction of a 3-storey mixed use development, consisting of 6 ground-floor retail units and 16 residential units above, with 32 underground parking spaces on the lands known municipally as 10568 Islington Avenue, a property located in the Kleinburg-Nashville Heritage Conservation District and designated under Part V of the *Ontario Heritage Act*.

For more information, please contact Nick Borcescu, Senior Heritage Planner, ext. 8191

Attachments

Attachment 1 – 10568Islington_Location Map

Attachment 2 – 10568Islington_Heritage Evaluation of Existing Structures

Attachment 3 – 10568Islington_Context Plan

Attachment 4 – 10568Islington_Rendering
Attachment 5 – 10568Islington_Elevations
Attachment 6 – 10568Islington_Materials Palette
Attachment 7 – 10568Islington_Landscape Plan
Attachment 8 – 10568Islington_Arborist Report

Prepared by

Nick Borcescu, Senior Heritage Planner, ext. 8191

Rob Bayley, Manager of Urban Design/Cultural Services, ext. 8254

Mauro Peverini, Director of Development Planning, ext. 8407

Approved by

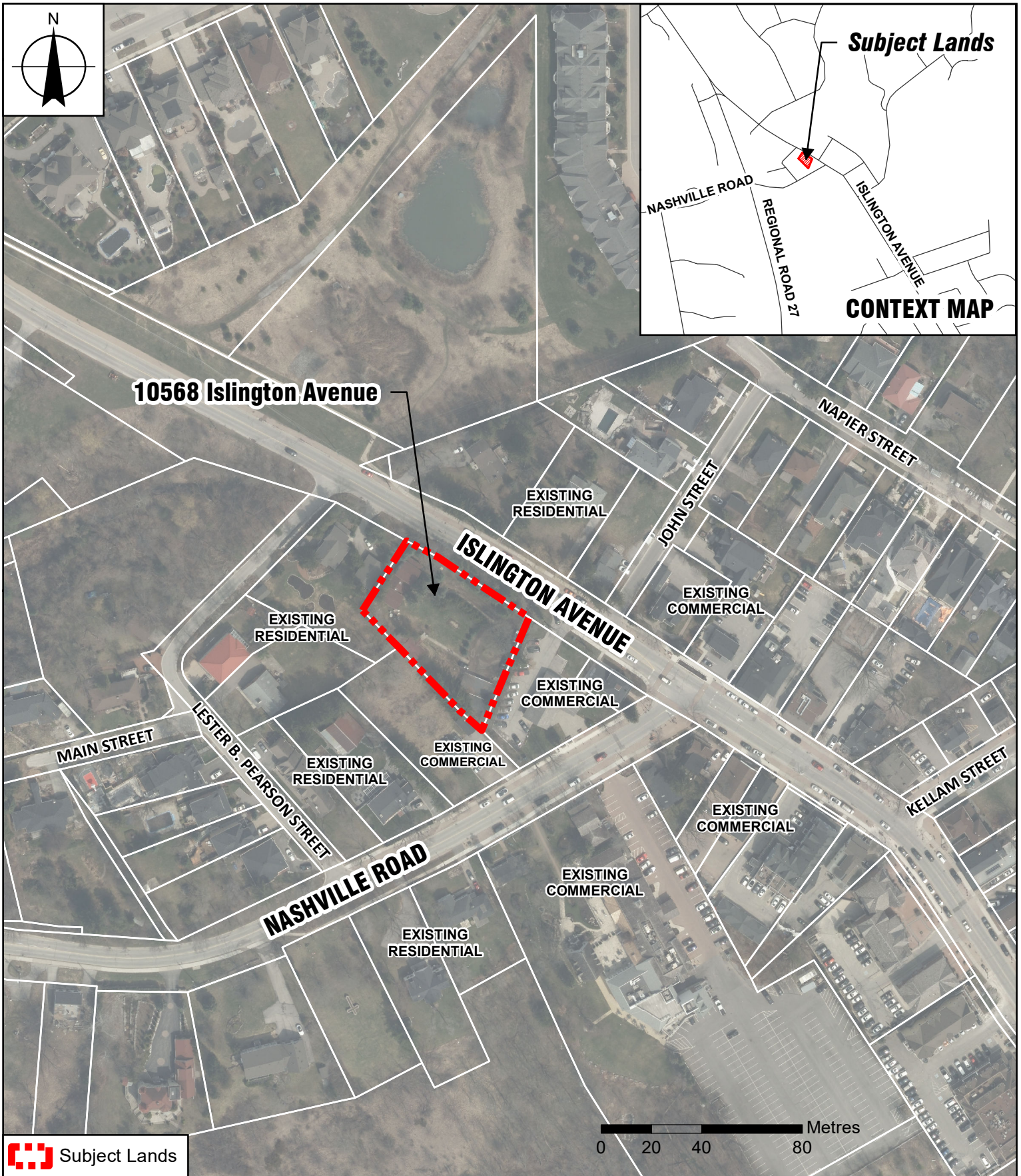
A handwritten signature in black ink, appearing to read 'Nick Spensieri', with a long horizontal line extending to the right.

Nick Spensieri,
Deputy City Manager,
Infrastructure Development

Reviewed by

A handwritten signature in black ink, appearing to read 'Jim Harnum', with a long horizontal line extending to the right.

Jim Harnum, City Manager



Location Map

LOCATION:
 Part of Lot 24, Concession 8;
 10568 Islington Avenue

APPLICANT:
 N/A



Attachment

DATE:
 February 12, 2020

1

Revised
Heritage Evaluation of Existing Structures
10568 Islington Avenue, Kleinburg, ON
In the City of Vaughan



View of principal dwelling from the southeast.

Phillip H. Carter Architect and Planner
And
Paul Oberst Architect

With Property Ownership Chronology
By Su Murdoch Heritage Consulting

December 2019

Mandate:

The Provincial Policy Statement addresses the situation of development of protected heritage resources in Section 2.6.1:

2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.

Conserved is defined in the Provincial Policy Statement as follows:

Conserved means the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained. This may be addressed through a conservation plan or heritage impact assessment.

This document is a preliminary heritage evaluation in preparation for a Heritage Impact Assessment to be completed at a later date.

Property Owner: Portside Developments (Kleinburg) Inc
495 Deerhurst Drive, Brampton ON L6T 5K3

Heritage Consultant: Phillip H. Carter Architect and Planner
And Paul Oberst Architect
789 Queen Street West, Toronto ON, M6J 1G1
phcarch@bellnet.ca

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Note: Appendix A has its own bibliography.

Appendices:

A- Property Ownership Chronology 10568 Islington Avenue, Kleinburg Village,
City of Vaughan, by Su Murdoch Historical Consulting

B- Heritage Consultant’s CVs

1. Executive Summary

This document has been revised to include additional information about pedigree of the original main dwelling and secondary dwelling.

The property at 10568 Islington Avenue in Kleinburg holds three buildings. The property is not listed in the Vaughan Heritage Inventory other than as being within the Kleinburg-Nashville Heritage Conservation District. The principal dwelling is a small 1 ½-storey 19th century dwelling, much altered and with a large modern 2-storey addition and 1-storey connecting element. Other than the general form, there are no historic features visible on the exterior of the original house. Windows and doors are all replacements, and the dwelling has been covered in and EIFS stucco finish with large false quoining. There is a very small 1-storey stucco secondary dwelling of an undetermined date. At the extreme southwest corner of the property is a 3-bay flat-roofed garage, built onto the front of a barn or drive shed.

The proposed development would remove all three of the existing buildings in order to erect a mixed commercial residential building.

In our professional opinion, the existing buildings do not have sufficient heritage value to merit retention.



Figure 1. Original house in the shade to the right. Additions to the left.



Figure 2. The secondary dwelling.



Figure 3. The garage, with the roof of the drive-shed rising behind it.

2. Engagement

We were engaged by the owner, Portside Developments (Kleinburg) Inc, to produce a Heritage Impact Assessment the project. We made site visits on October 22, 2015, March 1, 2016, and April 27, 2016 to examine the existing buildings, make measurements and document them with photographs. We engaged Su Murdoch Historical Consulting to undertake a historical background and chain of ownership study, which is included as an appendix to this document.

Our assessment of the heritage value of the property relies on our own expertise—we are architects and professional members of the Canadian Association of Heritage Professionals—taking guidance from accepted standards for heritage conservation in Ontario.

3. Introduction to the Site

The property is as an irregular rhomboid, located on the west side of Islington Avenue with about 57m of frontage. The southern lot line is about 57m north of the north boundary of Nashville Road, and it runs back at an obtuse angle for about 49m. The north lot line is at a near right angle to the frontage and runs for about 33m. The rear lot line is about 67m long.

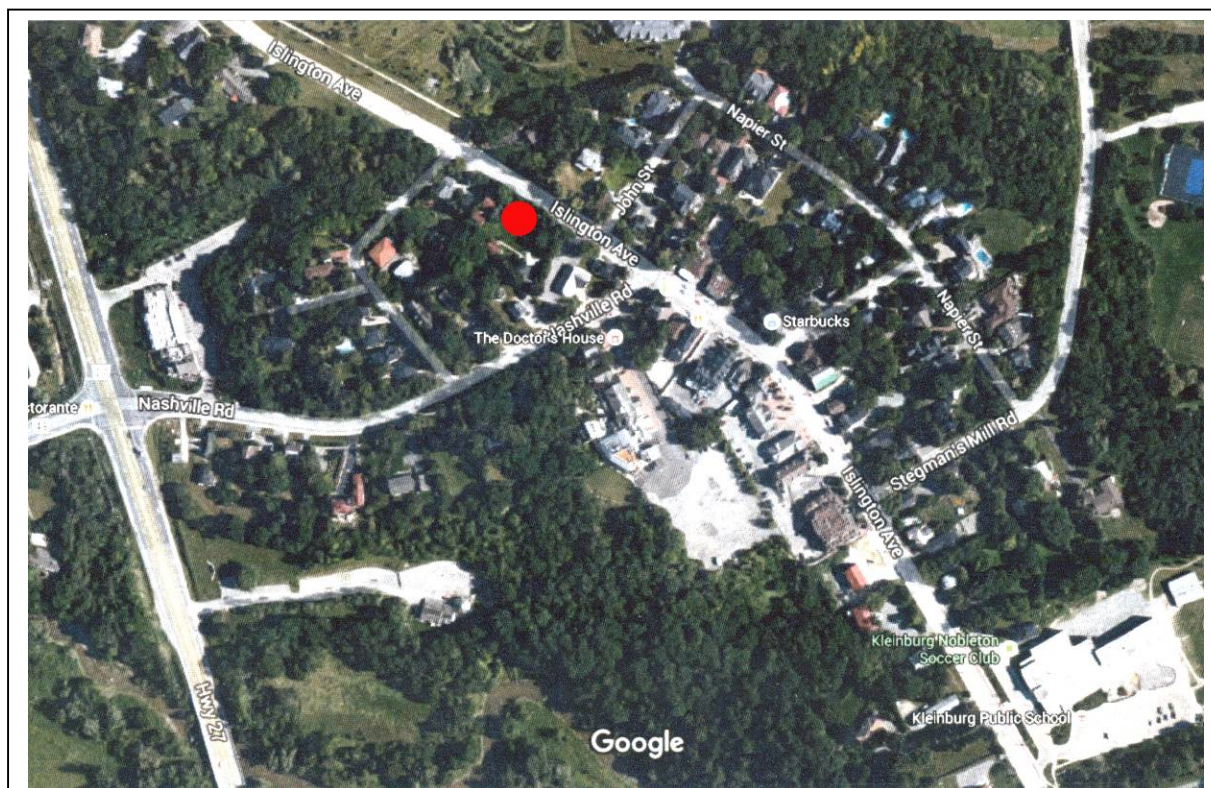


Figure 4. Aerial view of central Kleinburg from Google Maps. Site is indicated by red dot..

4. Introduction to the Buildings

The two outbuildings will be briefly described first. The principal house will be described in greater detail last.

Description of the Secondary Dwelling

The secondary dwelling is described in the survey as a ‘stucco shed’. It is in fact a very small bungalow, set up for residential use. It is located near the rear lot line, separated from the southwest corner of the principal dwelling by about 10m. It consists of three elements: a small 1-storey block under a mid-slope side-gable roof, about 7.4m width and 5m depth; a narrower and lower wing to the north (right) under a similar roof, about 3.5m square; and a projecting front-gable vestibule just wide enough to contain the entry door and about 2m deep. All of the windows and doors are modern replacements. The exterior of the building is of EIFS acrylic stucco, similar to what was applied to the principal house, though without the false quoining found there. The building is of a generic form, and has no identifiable features to suggest its date of construction. There is some drywall cut away in the smaller northern room, and it is of recent construction. The current owner states that a drywall repair in the larger southern portion revealed older framing.

The historical background research, found in Appendix A, notes that there was a sequence of blacksmiths operating on the property for about 50 years. There is some local speculation that this building was once a blacksmith shop, but this is not documented. Neither is it documented that all of the blacksmiths used the same building.

In our opinion, the small size and particularly the low eaves and ceiling (7 ft.) make it unlikely that the building housed a working smithy. You couldn’t walk a horse into the building. There is currently no chimney.



Figure 6. View of the secondary dwelling from the southeast.



Figure 7. The north of the lower and smaller northern wing.



Figure 8. Interior.

Description of the Garage/Drive Shed

This building is located opposite the vehicular entrance, at the extreme southwest corner of the property. It is about 4m from the south lot line, and almost touching the rear lot line. The eastern 44% of the footprint is occupied by a modern, flat-roofed, three-bay garage, about 12.4m wide by 7.1m deep. The western half is occupied by a barn-form drive shed with a loft above having a width of about 7.4 m and a depth of about 6.2m. Attached to the north end of drive shed is a one-storey extension under a shed roof. The extension is about 4m wide by about 5m deep and it appears to be of recent construction. The eaves of the drive shed are about 0.9m above the flat roof of the garage, and internally, the buildings have been joined by the removal of the siding of the drive shed below the garage roof. All parts of the building are clad in barn-red wood siding.

The siding on the garage and the shed-roof extension on the drive shed being 1x6 v-joint material in contrast to the 1x4 boards on the drive shed. This suggests that the extension is contemporaneous with the garage. The uniform exterior of the drive shed conceals the construction beneath, where the lower level appears to be of plank-on-plank construction, while the upper level is barn framed with posts, braces, and infill studding, resting on a header on top of the lower wall. Our timber specialist, Vic Snow, tells us that there are some similarly constructed barns in King Township. There is no stone foundation evident, and the lower boards on the south end of the west wall are bowed and deteriorated (see Figure 13).

The drive shed has plain white corner boards, and small Georgian-sash windows set in simple board frames, including one very small window to the loft at each gable end. The windows and frames are white. There is an internal single-flue chimney near the south wall and west of the ridge that rises from the ground. It may be that this chimney served a forge, and that a blacksmith shop was operated here.



Figure 9. View from the north. Garage to the left, drive shed rising to its rear.



Figure 10. The south end of the drive shed. The garage is visible behind the pine tree.



Figure11. Looking through the garage into the drive shed. Ladder to loft is visible at the left of the opening into the drive shed.



Figure 12. Top of the ladder shows large header on top of lower plank on plank wall, supporting frame of loft level. It's possible that the loft was added later.



Figure 13. There is a significant bow at the base of the west wall near the south corner.



Figure 14. The upper level is barn framed with corner posts, braces, and infill studding. Brick chimney is visible on the right. It is at the centre of the south gable. Water damage to the sheathing boards is visible. Daylight is coming through one gap to the left. Note brick chimney to right of loading door.

Description of the Principal Dwelling

This building is located close to the northern lot line, with a side set-back of around 2m. The building dwelling, with an enclosed verandah without any entry on the front, and more recent additions to the rear. A 1-storey element in the middle of the current building is constructed over a basement, that is probably the remains of an original kitchen tail. At the rear of the building is a 2-storey recent addition with a stair linking the downstairs living room with a master bedroom suite above. The entire building has been clad with an EIFS finish of tan acrylic stucco over Styrofoam. The finish includes oversized false quoins, and window surrounds and a band at the second floor level on the rearmost addition—all in a slightly darker tan colour.

The total footprint of the building as it stands today is 143 sq m, including the front verandah of 14 sq m. The combined second floor area is 81 sq m, giving a total gross floor area of 224 sq m.

The following pages show measured drawings of the current building and photographs of the interior of the building.



Figure 15. East (front) of the house showing enclosed verandah.



Figure 16. South side of the original house to the right. One-storey connection, with principal entry to the right.



Figure 17. Southwest corner of rear 2-storey addition. One-storey connection and entry gable is visible to the right.

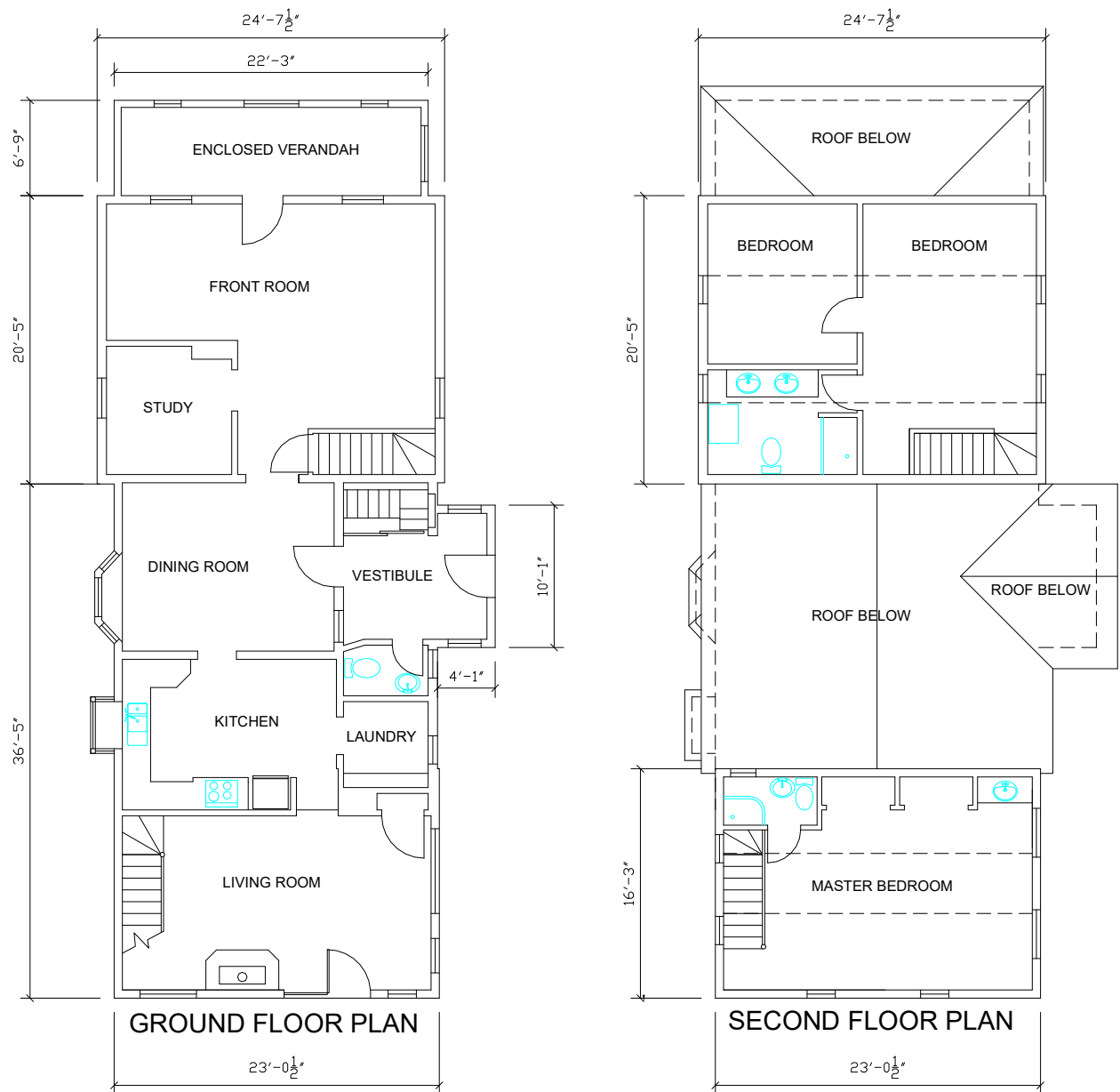
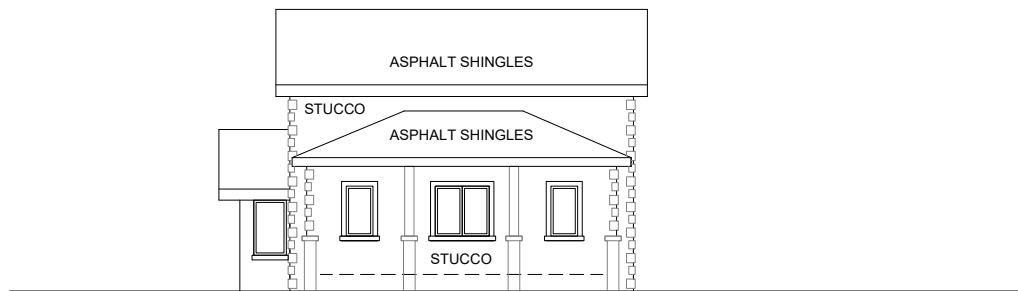
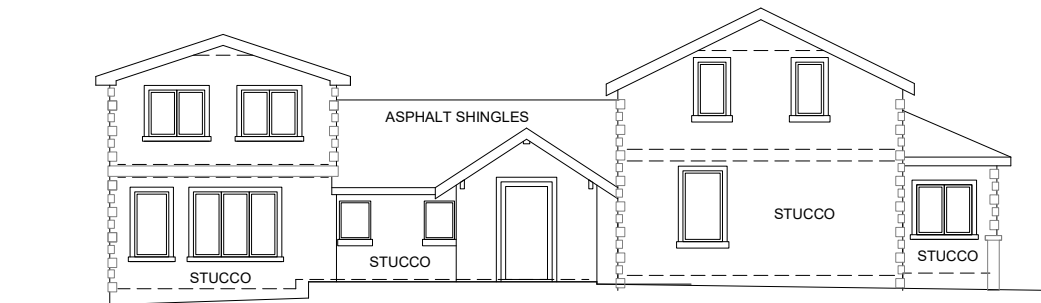


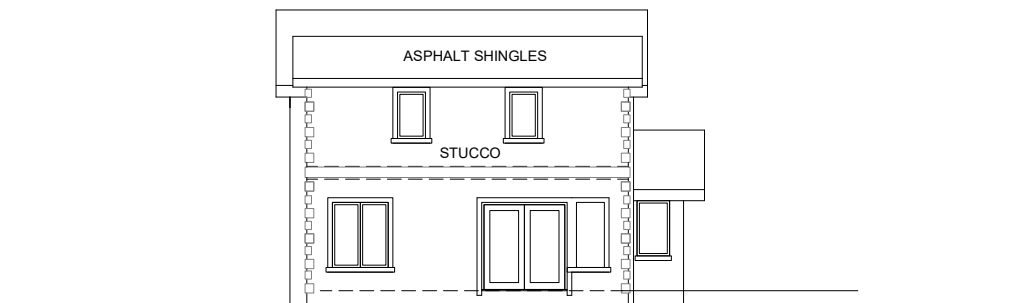
Figure 18. Existing Floor Plans



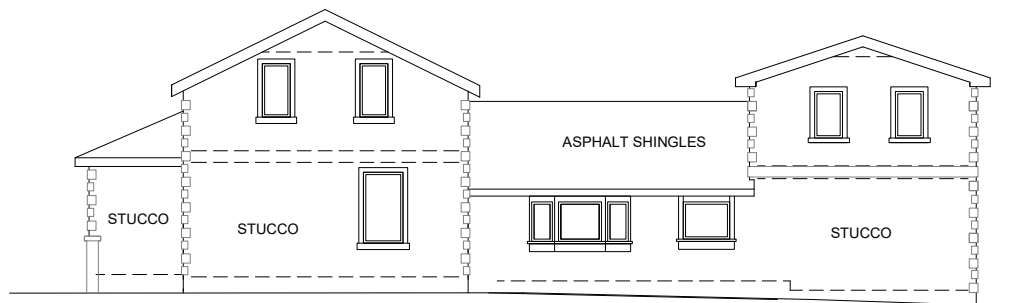
EAST (FRONT) ELEVATION



SOUTH ELEVATION



WEST (REAR) ELEVATION



NORTH ELEVATION

Figure 19. Existing Elevations

The first two pages of photographs are within the original front part of the house..



Figure 20. Looking from the entry door into the central 1-storey dining room. We believe this window and door openings were once in the exterior wall of the tail of the house.



Figure 21. Ground floor, verandah, looking south. The window on the right looks into the front room. We believe it is in an original exterior opening, left from the previous version of the house. Being interior, it didn't require a thermal upgrade when the last alterations occurred. This window and the matching one behind us are the only surviving exterior elements of the mid-20th century iteration of the building.

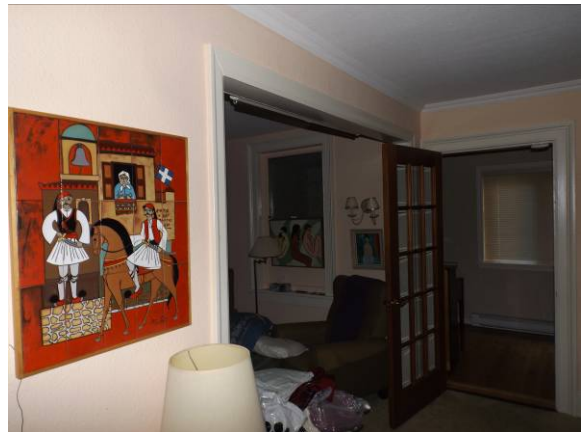


Figure 22. Ground floor, front and centre. The window seen in the previous photo is on the left. The central door leading onto the verandah is on the right.



Figure 23. Ground floor, southeast corner. The window is the same one shown in the previous picture.



Figure 24. Second floor, southwest corner, top of the stair.



Figure 25. Second floor, southeast corner. Roof slope evident, and original window opening behind the curtain.



Figure 26. Second floor, northeast corner. Tiny bedroom, roof slope evident, original window opening in the far wall.



Figure 27. Second floor, northwest corner contains bathroom. Roof slope and original window opening are evident, as well as wide-plank pine floor.



Figure 28. Second floor, very wide plank door. The bathroom and the tiny bedroom are the only two rooms that retain these doors.

The following photographs are within the later additions and altered tail.



Figure 29. Bay window in north wall of middle dining room. It's visible in Figure x, before the furnishings were removed. Second floor, southwest corner, top of the stair.



Figure 30. Kitchen, immediately behind the dining room, looking north to small square bay window.



Figure 31. View south from the kitchen into the laundry. Passage to living room is on the right.



Figure 32. Ground floor, living room, looking south. Passage to kitchen is on the left.



Figure 33. Ground floor, looking out the back doors in the living room. .



Figure 34. Ground floor, northwest corner of living room, showing stairs leading to master bedroom.



Figure 35. Second floor, master bedroom. Top of the stair leading to the living room below.



Figure 36. Second floor, master bedroom, stair to the left. View looking east into the bathroom.



Figure 37. Second floor, master bedroom, view to the southwest.



Figure 38. Second floor, master bedroom, looking south. Mirrored closet doors on the left, washstand in the corner.



Figure 39. Second floor, master bedroom. Detail of washstand, with closet to the left.

5. Conjectural Reconstruction of the Principal Dwelling

After close examination of the principal residence, and the available documentation, we have produced conjectural drawings of the architectural form of the building as we think it would have appeared prior to the recent alterations and additions. It is notable that the house was a very modest dwelling, with a width of less than 25 feet, in comparison with a common width of 30 feet or more in houses of a similar age and type.

The 1861 census lists a 1 ½ storey frame house on the property. The second-floor plank floors and plank doors suggest that this might be a house of that date, but if so, these are the only surviving elements. Since we have no physical evidence of exterior features of a 19th century version, the drawings below show what we are certain of, the house as it appeared in the mid-20th century.

The house has the general form of vernacular Loyalist cottage. It is very similar in layout and footprint to the house across the street at 10545 Islington Avenue. We conjecture that the front verandah, now awkwardly enclosed, was similar to that found across the street. The siding we found under the recent stucco is identical to that found across the street.

There is no evidence of chimney breasts in the interior of either floor. We conjecture that heating may have been provided by a box stove at the centre of the south side wall, with the stove pipe rising through the second floor into a bracketed chimney thereby providing some heat to the upper rooms. We also conjecture that there was a cooking/heating stove in the centre of the rear wall of the kitchen tail.

There is an existing basement under the middle of the building. We assume that this defines the extent of the original kitchen tail of the house. There is a stone stair descending to this basement from a location outside of the kitchen tail. This is not uncommon in houses of this age, and there is a window (now blind) on the south side of the stair, we conjecture that this stair was enclosed under a porch.



Figure 40. 10545 Islington Avenue, almost directly across the street from the south end of the property. The house is very similar to the principal dwelling at 10568, and informs our reconstruction.



Figure 41. Kitchen tail with porch at 10545 Islington. We believe that 10568 was similarly configured.

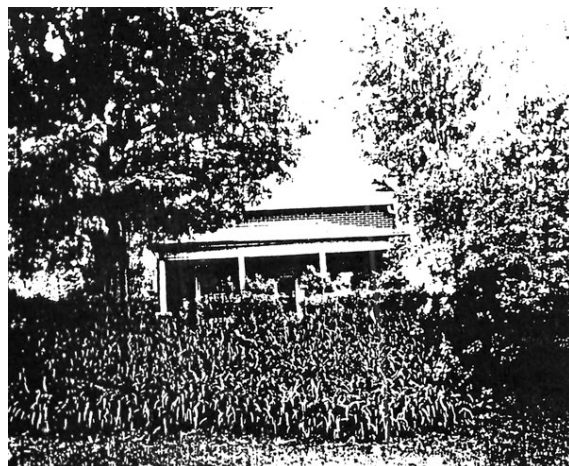


Figure 42. Image from 1993 Preliminary Study for a Kleinburg HCD, showing insulbrick siding which was removed to install the current stucco finish..

There is a very poor photograph in a 1993 study, which is shown in Figure 42. This seems to show a brick house, but the current owner was told by the prior owner that the house was once clad in insulbrick-type asphalt siding.

We removed a patch of the recent EIFS stucco finish on the north side of the house, as seen in Figure 43. It is evident that the insulbrick was removed prior to the application of the stucco which was installed over the prior wood siding. We found wood siding under the stucco. The siding is milled to a drop channel pattern profile, which became popular around 1880, although it had originally appeared earlier. The rabbetted channel of the upper part of the board is unusually wide. The same siding profile is found on 10454 Islington across the street, and a similar profile, though with narrower channel, is found in the house immediately to the north at 10576 Islington Avenue. The front verandah on 10576 is similar to that on 10454.

The owner of 10576 believes that his house, the subject property, 10454, and 40 Nashville Road were all moved to their present village sites from Howland's Mill where they may have been workers' housing. (40 Nashville Road is much altered and added to.) He has told me that several local people shared this information with him, although he doesn't know of any documentation. The story is plausible, but can't be accepted as proven.



Figure 43. Cut out of recent EIFS stucco over Styrofoam, showing underlying wood drop channel shiplap siding. We believe the nail holes once secured the insulbrick siding.

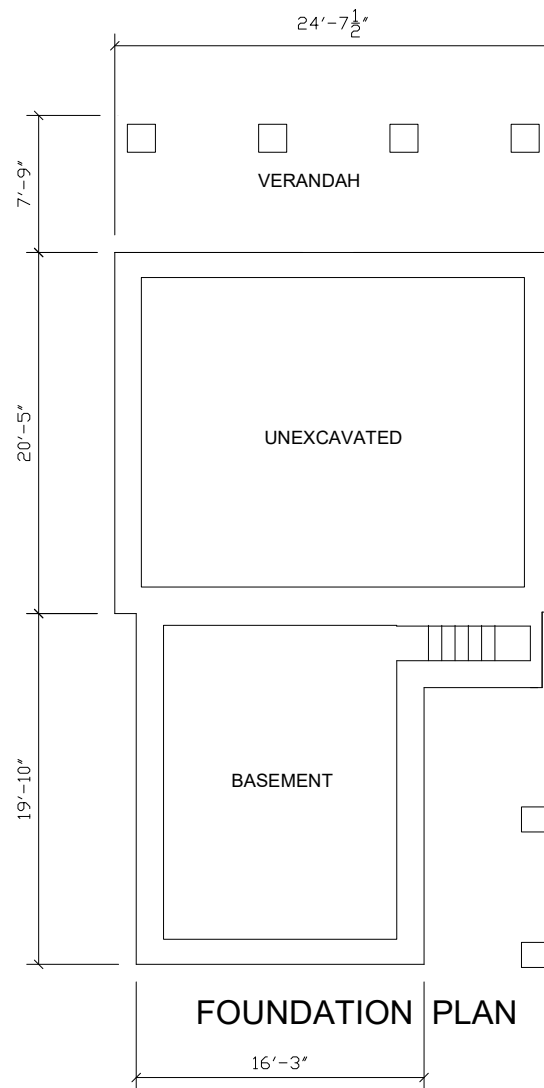


Figure 44. Conjectural Foundation Plan

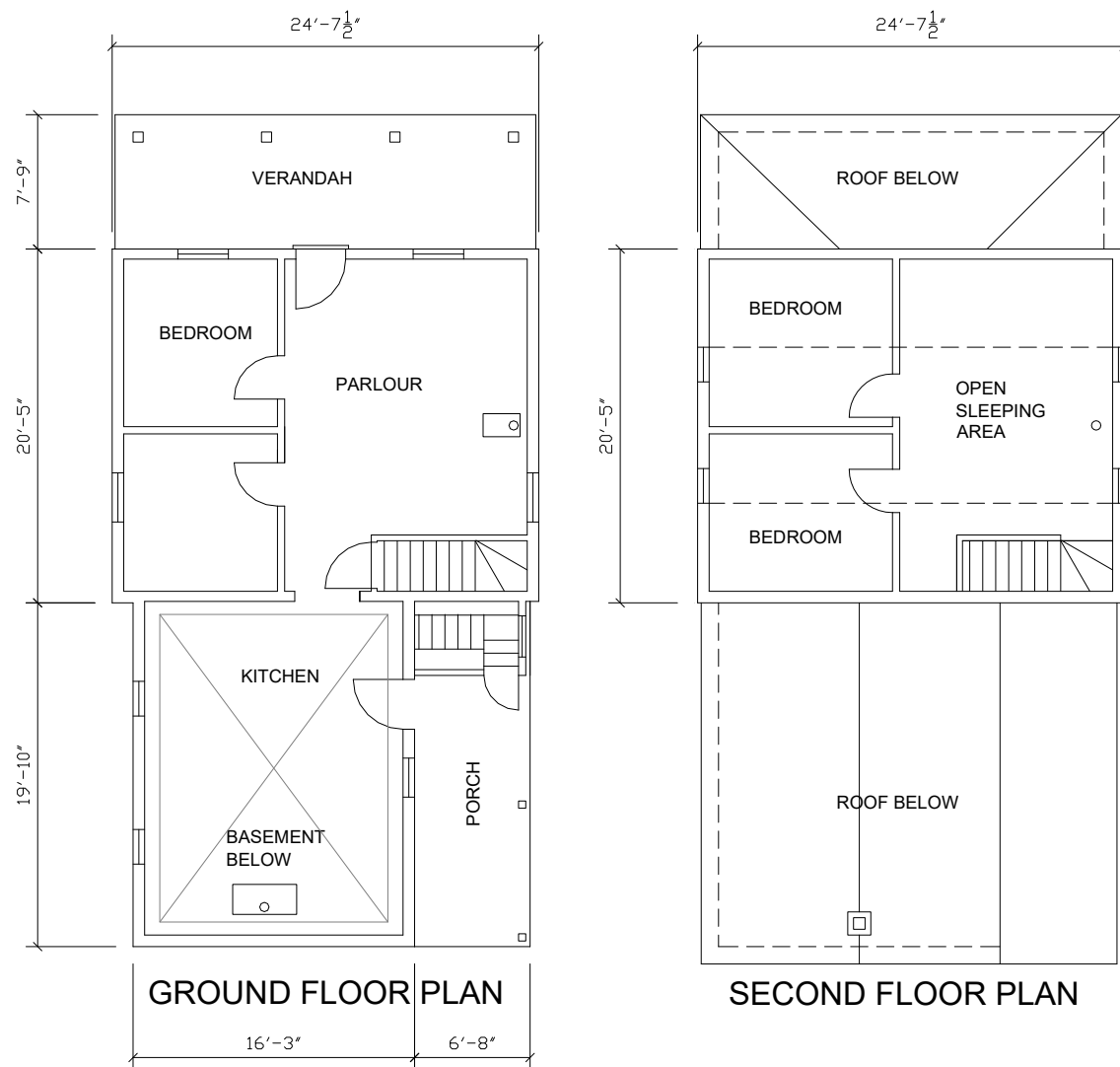


Figure 45. Conjectural Floor Plans

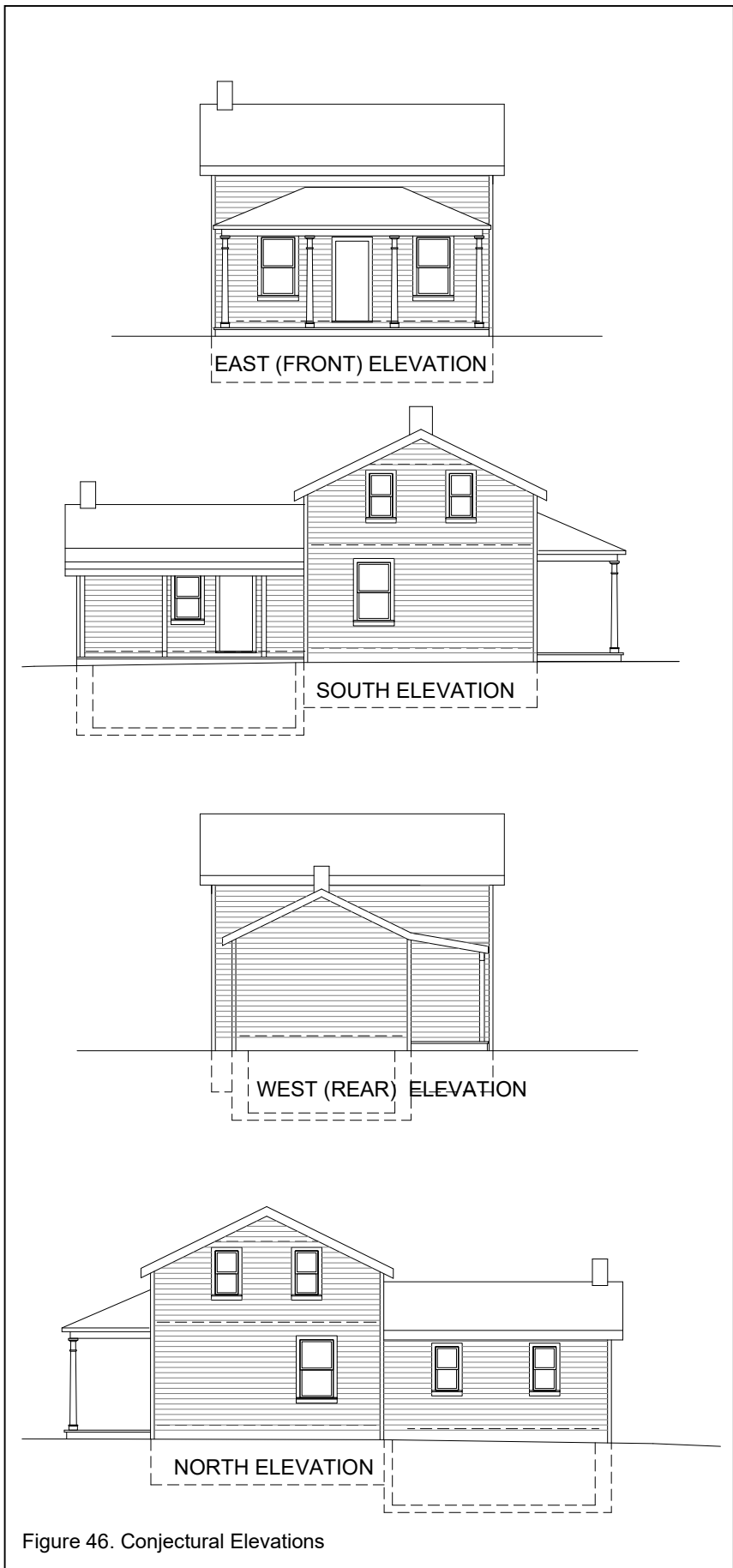


Figure 46. Conjectural Elevations

6. Heritage Evaluation of the Buildings

In terms of the heritage character of the Kleinburg-Nashville Heritage Conservation District, none of the buildings can be said to contribute to that character, since there are no heritage attributes visible from the public realm. Even without the screening effect of the thick planting along Islington Avenue, the character of the buildings is obscured by later interventions.

1. Except for a side view of its gable roof, the drive shed is concealed by the large three-car garage set in front of it, as seen from Islington Avenue. The garage in front, and the contemporaneous extension to the north are without heritage value. The sheathing appears to have suffered some damage from water infiltration. Additionally, the bowing of the wall which is in contact with the soil, and the removal of the siding adjacent to the garage makes it an unlikely candidate for conservation or re-use.

2. The north end wing of the secondary dwelling is recent and has no heritage value as shown by exposed construction. Whatever character the larger southern portion may have had is no longer recoverable. It not possible to know what the original use of this building was. In our professional opinion it is unlikely to have been a blacksmith shop.

3. The original architectural character of the principal dwelling has also been concealed by its recent EIFS stucco finish, the erection of additions in the middle and back of the building, and the fitting of modern replacement doors and windows and their trim. There are no longer any heritage-defining characteristics on the exterior of the building other than the basic shape of the main front portion of the original house. The original tail is buried in the later additions, and no longer legible.

The interior has also been highly altered. A few of the door and window casings, a bit of second-floor baseboard, two of the second-floor doors, and some second-floor flooring boards appear to be original. The rest of the visible fabric is relatively recent.

In our professional opinion, a successful restoration of the 19th century portion of the building is unlikely to be practical. Removal of the stucco encasement will likely reveal damaged siding and missing details of corner boards, fascias, trims and other details. The



Figure 47. From Islington Avenue, the drive shed is almost entirely concealed by the 1957 garage addition.



Figure 48. Modern framing in the north wing of the secondary dwelling.



Figure 49. The original attributes of the principal dwelling have been removed or concealed by 20th century alterations.

existence of two other nearby building of almost identical design but in substantially unaltered condition means that this building would not provide additional information or value to the community. We don't consider it a good candidate for conservation.

7. Conclusions

In our professional opinion, there is not sufficient heritage value in the buildings on the property to merit their retention.

We recommend that the buildings be dismantled in such a way that their method of construction can be documented. In the case of the drive shed, the principal item of interest is the intersection of the construction of the upper level with that of the lower level. In the case of the secondary dwelling, removal of the interior finish of the main south portion should reveal its original construction and so indicate the range of its construction dates. In the case of the principal dwelling, removal of interior finish should likewise reveal its form of construction. All of these discoveries should be photographed, with dates and locations of each photograph noted. The few items that appear to be original and useful should be carefully removed and offered for re-use.

The proposed project should include a plaque indicating that the property once housed the home and workshop of a succession of blacksmiths from 1856 to 1913.

8. Bibliography

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Weaver, Martin E. *Conserving Buildings: A Guide to Techniques and Materials*. New York: John Wiley & Sons, Inc., 1993

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Ontario Ministry of Culture, Tourism and Recreation. *Heritage Property Evaluation*. Queen's Printer for Ontario, 2006

Appendices:

- A. Property Ownership Chronology
10568 Islington Avenue,
Kleinburg Village, City of Vaughan
By Su Murdoch Historical Consulting**

- B. Heritage Consultant's CV**

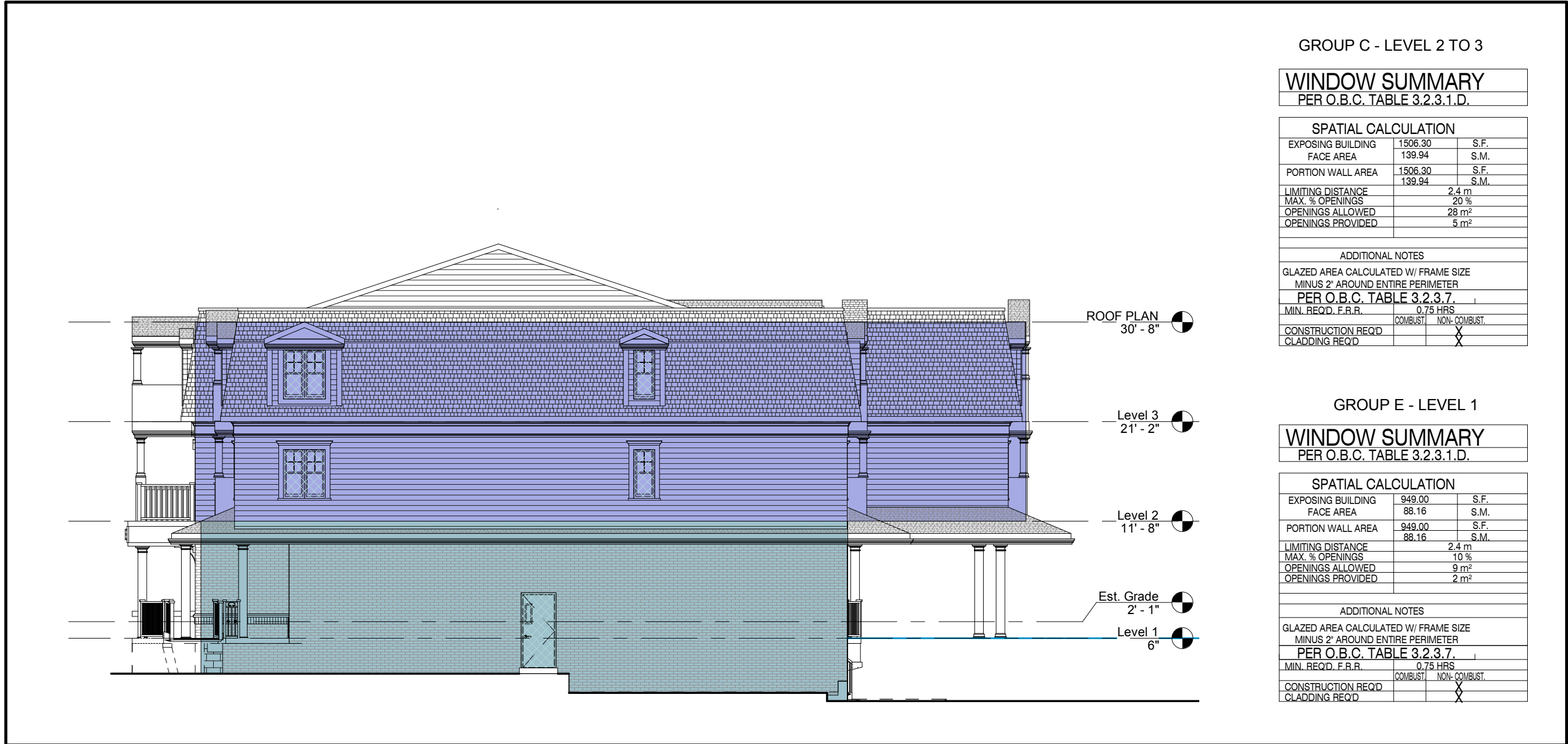


ATTACHMENT 3





ATTACHMENT 5



APPLICATION NUMBER: DA-17-042

APPLICATION NUMBER:

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SUBMITTALS

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2.	ISSUED FOR SITE PLAN APPROVAL	2019.11.12	DG
1.	ISSUED FOR SITE PLAN APPROVAL	2017.08.17	DG

No. Description YYYY.MM.DD By

NORTH:

STAMP:

4 ARCHITECTURE INC.

8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7

T. (905) 470 7212 / F. (905) 737 7326 email: mail@4architecture.ca

PORTSIDE DEVELOPMENT

215067

ELEVATIONS

2019.11.12

3/32" = 1'-0"

MD DG

215067 - PORTSIDE.rvt

A2.2

ATTACHMENT 6

APPLICATION NUMBER:
DA-17-042

APPLICATION NUMBER:

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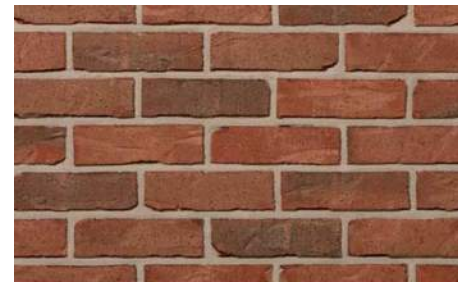
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MATERIAL LEGEND

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COLOR: GRAY
MANUF.: BRAMPTON BRICK



STANDARD BRICK
COLOR: GIBSON
MANUF.: BRAMPTON BRICK



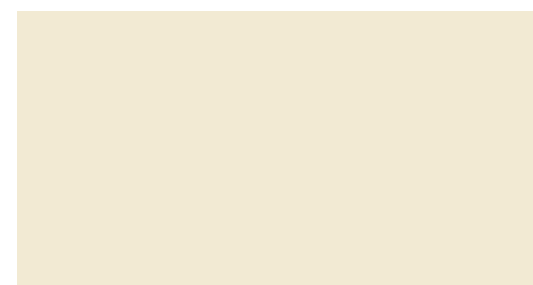
HORIZONTAL CEDAR MILL LAP SIDING
COLOR: WOODSTOCK BROWN
MANUF.: JAMES HARDIE



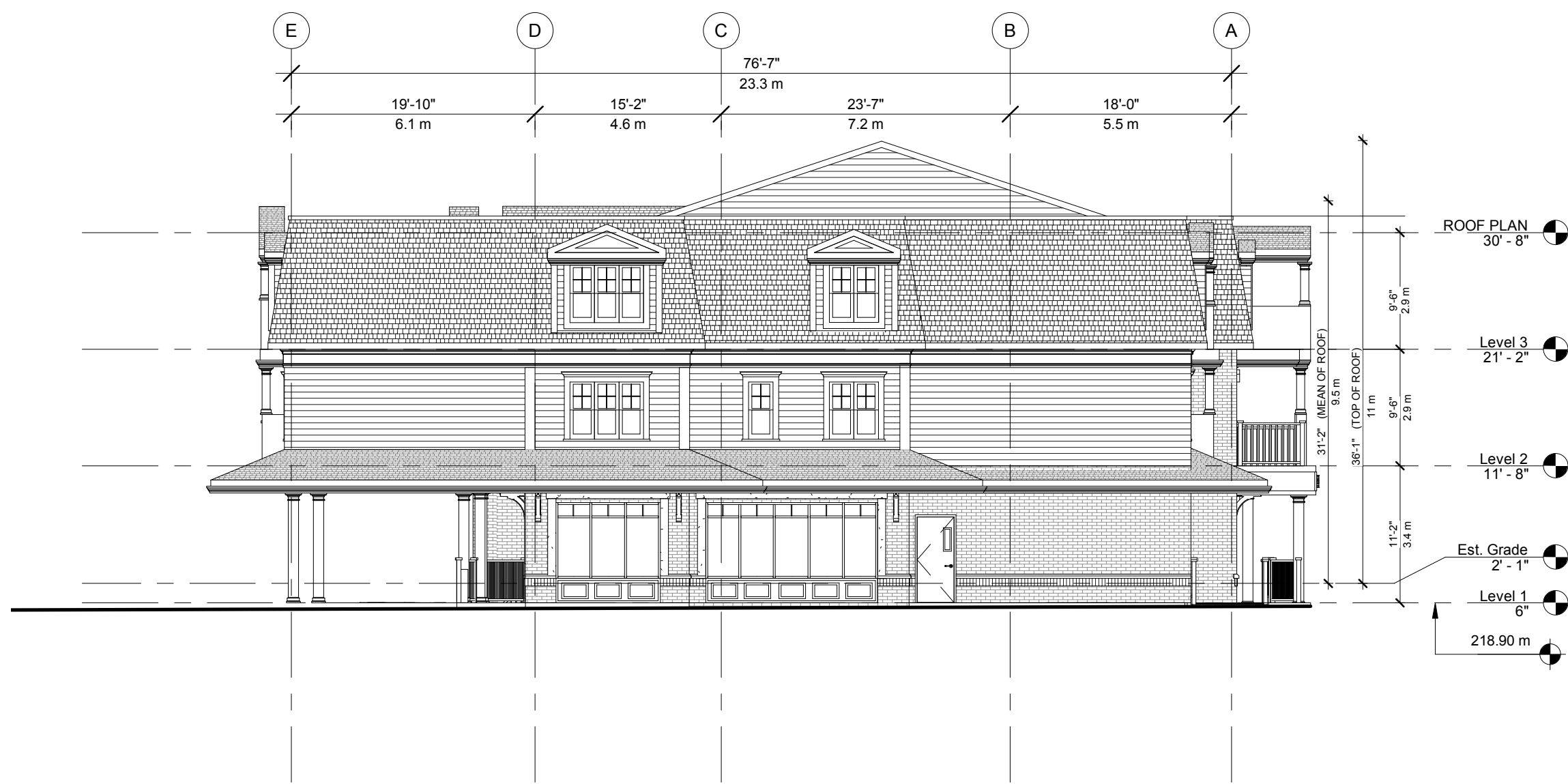
SHAKES
COLOR: SLATE GRAY
MANUF.: TBD



TRIM BOARD
COLOR: SW 7557 - SUMMER WHITE
MANUF.: JAMES HARDIE



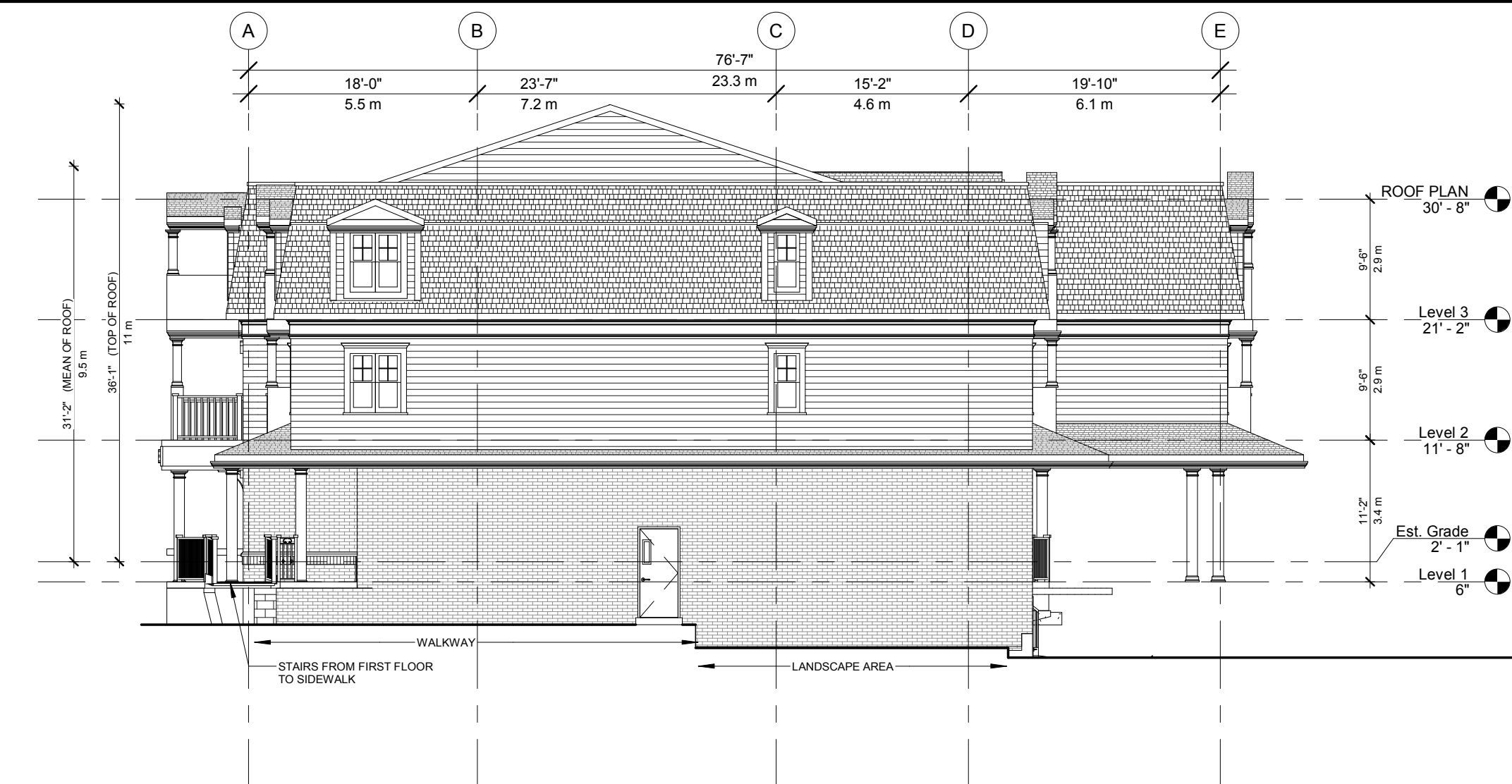
MATERIAL LEGEND
1 : 50



4 ELEVATION - EAST
A2.0 3/32" = 1'-0"



02 ELEVATION - NORTH
A2.0 3/32" = 1'-0"



3 ELEVATION - WEST
A2.0 3/32" = 1'-0"



01 ELEVATION - SOUTH
A2.0 3/32" = 1'-0"

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2.	ISSUED FOR SITE PLAN APPROVAL	2019.11.12 DG
1.	ISSUED FOR SITE PLAN APPROVAL	2017.08.17 DG
No.	Description	YYYY.MM.DD By

NORTH: STAMP:

4 ARCHITECTURE INC.
8966 Woodbine Avenue, Suite 300, Markham, ON L3R 0J7
T: (905) 470 7212 / F: (905) 737 7326 email: mail@4architecture.ca

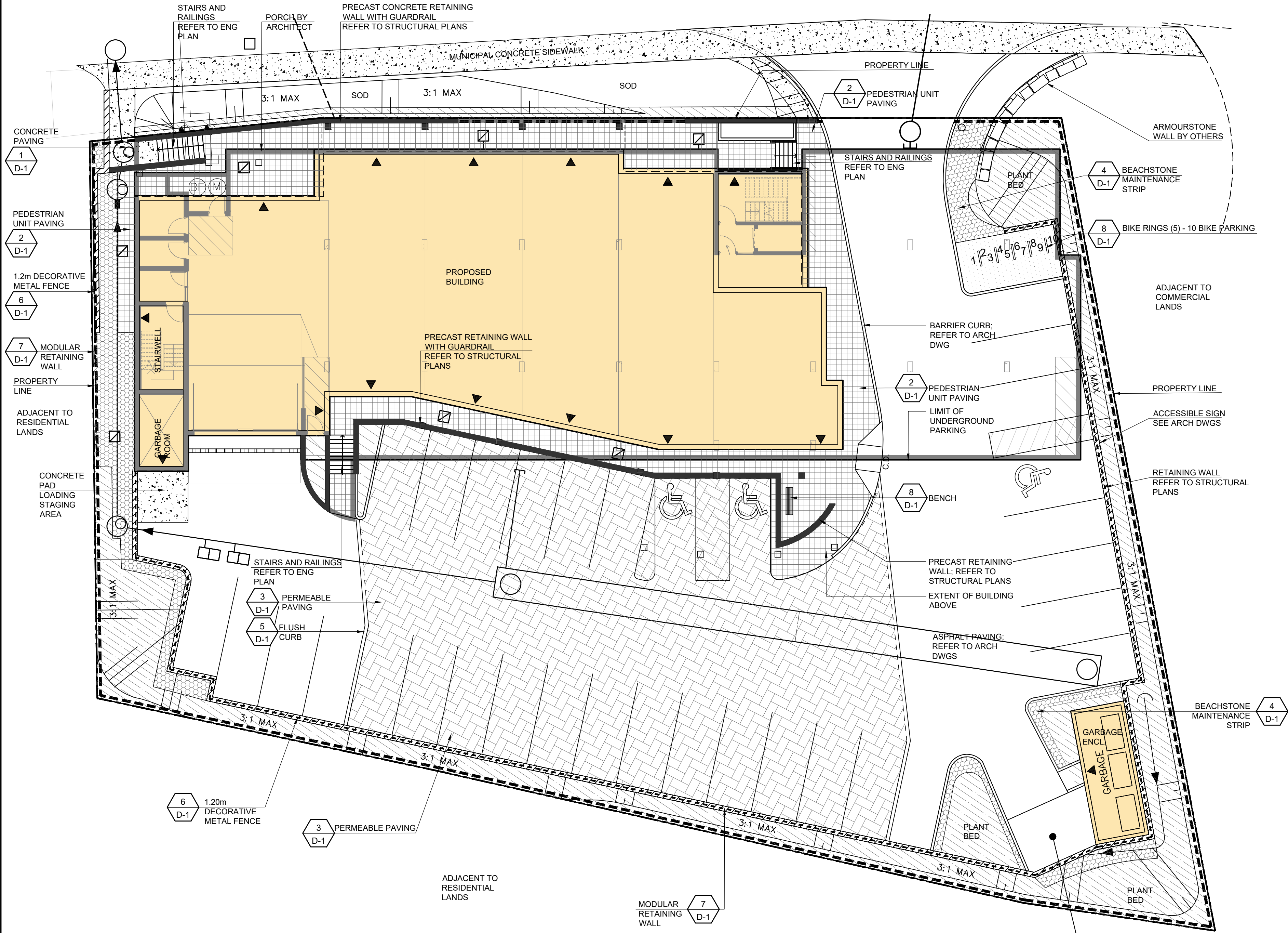
PORTSIDE DEVELOPMENT
215067

MATERIALS PALETTE

2019.11.12
As indicated MD DG
215067 - PORTSIDE.rvt

A2.0

ISLINGTON AVENUE



- GENERAL NOTES:
- CONTRACTOR SHALL BE REQUIRED TO HAVE A FLAGMAN DIRECTING ALL DELIVERIES OF MACHINERY OR MATERIALS TO THE SITE.
 - CONTRACTOR SHALL PROTECT ALL IRON BARS. ANY DISTURBED BARS SHALL BE REPLACED BY OWNER AT CONTRACTOR'S EXPENSE.
 - CONTRACTOR SHALL REVIEW AND VERIFY SITE GRADES AND CONDITIONS AND REPORT ANY DISCREPANCIES TO THE INSPECTOR. COMMENCEMENT OF WORK SHALL CONSTITUTE ACCEPTANCE OF SITE CONDITIONS; NO CLAIMS FOR EXTRAS WILL BE ENTERTAINED THEREAFTER.
 - STORAGE OF MATERIALS, VEHICLES AND EQUIPMENT SHALL NOT BE PERMITTED WITHIN THE MUNICIPAL ROAD ALLOWANCE AREAS FOR THE STORAGE OF MATERIALS AND EQUIPMENT SHALL BE APPROVED BY INSPECTOR.
 - CONTRACTOR SHALL BE RESPONSIBLE TO CLEAN ROADS DAILY TO THE SATISFACTION OF THE INSPECTOR.
 - SITE SHALL BE MAINTAINED IN A CLEAN AND ORDERLY STATE FOR THE DURATION OF CONSTRUCTION; ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT.
 - ALL TEMPORARY PROTECTIVE FENCING INCLUDING TREE PROTECTIVE FENCING SHALL BE MAINTAINED BY THE CONTRACTOR TO THE SATISFACTION OF THE INSPECTOR FOR THE DURATION OF CONSTRUCTION AND REMOVED FOLLOWING SUBSTANTIAL COMPLETION UPON APPROVAL BY INSPECTOR; FENCING LOCATIONS TO BE REVIEWED AND APPROVED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 - CONTRACTOR SHALL SUPPLY AND INSTALL FILTER FABRIC PROTECTION ON ALL EXISTING CATCH BASINS AND UTILITIES THAT ARE TO REMAIN AND THAT MAY BE AFFECTED BY THE CONSTRUCTION.
 - CONTRACTOR SHALL ENSURE THAT EXISTING FENCING TO RETAIN IS PROTECTED AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR SHALL REPAIR AT HIS COST ANY DAMAGE ARISING DURING CONSTRUCTION.
 - ALL EXISTING VEGETATION AND UTILITIES SHALL BE PROTECTED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION. REFER TO DETAILS FOR APPROVED FENCING TYPES. ANY DAMAGES NOTED TO BE RECTIFIED AT THE COST OF THE CONTRACTOR.
 - EXISTING UTILITIES SHOWN ON THE DRAWINGS ARE FOR REFERENCE PURPOSES ONLY. THE CONTRACTOR SHALL CONTACT THE UTILITY COMPANIES FOR UTILITY STAKEOUT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES CAUSED TO EXISTING UTILITIES DURING CONSTRUCTION.
 - ALL CONSTRUCTION TO BE CARRIED OUT IN ACCORDANCE WITH THE MOST CURRENT PROVINCIAL AND MUNICIPAL STANDARDS AND SPECIFICATIONS.
 - THE CONDITION OF CURBS, SIDEWALKS, STREET TREES AND UTILITIES LOCATED WITHIN THE R.O.W. SHALL BE REVIEWED AND DOCUMENTED BETWEEN ALL PARTIES PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGES SHALL BE RECTIFIED AT THE CONTRACTOR'S COST.
 - DUST CONTROL: CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO CONTROL DUST ON THIS PROJECT SITE ON A DAILY BASIS AND TO THE SATISFACTION OF THE CONSULTANT.
 - NO HOARDING FENCING COMPONENT, INCLUDING BRACES AND FOOT SUPPORTS, SHALL ENCUMBER THE PUBLIC SIDEWALK AT ANY TIME.

LEGEND

- 1 D-1 DETAIL # SHEET #
- PEDESTRIAN UNIT PAVING. (FINAL PRODUCT SELECTION TO BE CONFIRMED) SRI = ≥ 29
- PERMEABLE PAVERS.
- CONCRETE PAVING. SRI = ≥ 35
- RIVERSTONE.
- BED PLANTING BED AREAS
- RETAINING WALL
- 1.20m DECORATIVE METAL FENCE
- C.D CURB DEPRESSION
- PROPOSED LIGHTING

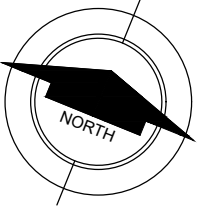
no.	revision	date	by
R4	ISSUE FOR SPA APPROVAL	1/16/2020	GB
R3	ISSUE FOR SPA APPROVAL	12/9/2019	AG
R2	ISSUED FOR SPA	9/24/2019	JR
R1	ISSUED FOR SPA	6/13/2019	JR
R0	ISSUED FOR SPA	05/24/2019	JR

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reviewed by JS drawn by JR

date DECEMBER 2016

scale 1:150 m



drawing title

LANDSCAPE PLAN

drawing number

L-1

client

Portside Development

project title

Mixed Use Development
Kleinberg ON

10568 ISLINGTON AVENUE

project number

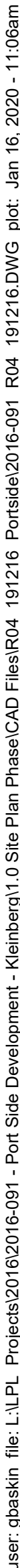
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Richmond Hill, ON L4B 3G2
905-869-6838 | fax 905 869-3815
email: lp@landscapeplan.ca
www.landscapeplan.ca



ATTACHMENT 7



Count	KEY	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	ROOT	SPREAD	NOTE
3	ABA	Abies balsamea	Balsam Fir	-	250	W.B.	120	UNCLIPPED
7	PST	Pinus strobus	White Pine	-	250	W.B.	120	UNCLIPPED (COLUMNAR)

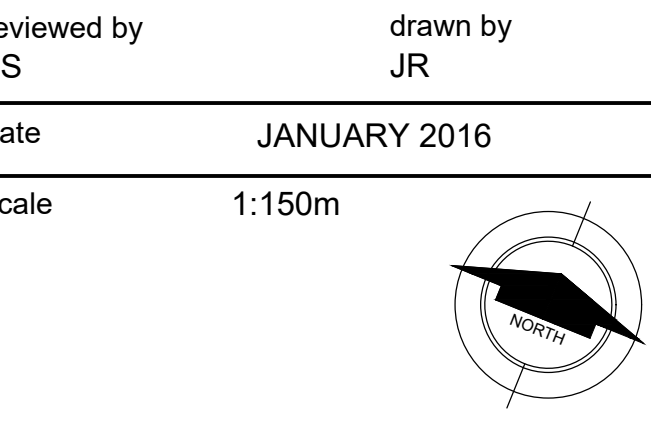
Count	KEY	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	ROOT	SPREAD	NOTE
4	AFJ	Acer x freemanii "Jeffersred"	Autumn Blaze Maple	60	550-600	W.B.	150	-
3	PCH	Pyrus calleryana "Chanticleer"	Chanticleer Ornamental Pear	60	550-600	W.B.	150	-
4	QR	Quercus robur	English Oak	60	550-600	W.B.	150	-
3	TAR	Tilia americana "Redmond"	Redmond Linden	60	550-600	W.B.	150	-

Count	KEY	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	ROOT	SPREAD	NOTE
5	EAC	Euonymus alata "Compacta"	Dwarf Burningbush	-	60	POT	60	-
63	TOE	Thuja occidentalis 'Emerald'	Emerald Cedar	-	60	POT	60	-
67	TXW	Taxus media "Ward"	Ward's Yew	-	60	POT	60	-

Count	KEY	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	ROOT	SPREAD	NOTE
37	HA	Hydrangea arborescens "Annabelle"	Annabelle Hydrangea	-	60	POT	60	-
9	PDI	Physocarpus opulifolius 'Diabolo'	Diabolo Ninebark	-	60	POT	60	-
48	SJS	Spiraea japonica "Shirobana"	Shirobana Spirea	-	60	POT	60	-
41	Spf	Spiraea japonica "Goldflame"	Goldflame Spirea	-	60	POT	60	-

Count	KEY	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	ROOT	SPREAD	NOTE
57	Cak	Calamagrostis acutiflora "Karl Foerster"	Karl Foerster Feather Reed Grass	-	-	1 GAL.	-	-
60	Cao	Calamagrostis arundinacea "Overdam"	Variegated Reed Grass	-	-	1 GAL.	-	-
36	Hcw	Hemerocallis "Catherine Woodbury"	Catherine Woodbury Daylily	-	-	1 GAL.	-	-
36	Hek	Hemerocallis "Wayside King Royale"	Deep Purple Daylily	-	-	1 GAL.	-	-
36	Het	Hemerocallis fulva	Wild Orange Daylily	-	-	1 GAL.	-	-
31	Hsd	Hemerocallis "Stella D'Oro"	Stella D'Oro Daylily	-	-	1 GAL.	-	-

1. Contractors shall obtain stakeouts from all Utilities prior to landscape installations.





**Arborist Report (Updated)
10568 Islington Avenue
City of Vaughan (Kleinburg)
Regional Municipality of York**

Prepared for:
Portside Developments

Prepared by:
Azimuth Environmental
Consulting, Inc.

December 2019

AEC 15-347



Environmental Assessments & Approvals

December 9, 2019

AEC 15-347

Portside Developments
495 Deerhurst Drive
Brampton, Ontario
L6T 5K3

Attention: Mr. Daniel Montagner

Re: Arborist Report (Updated)
10568 Islington Avenue, City of Vaughan, Region of York

Dear Mr. Montagner:

Azimuth Environmental Consulting, Inc. (Azimuth) is pleased to submit our updated Arborist Report for the proposed development located at 10568 Islington Avenue, in the City of Vaughan (Kleinburg), Regional Municipality of York.

This report includes the results of our tree inventory completed for all trees on the property with a Diameter at Breast Height (DBH) ≥ 10 cm, a list of all trees located on neighbouring properties anticipated to be impacted by the proposed development, and tree replacement recommendations for the trees to be removed. A species at risk (SAR) screening was also completed to address the City of Vaughan's comment regarding this potential issue.

If you have any questions pertaining to the information within this report, please do not hesitate to contact myself directly.

Yours truly,

AZIMUTH ENVIRONMENTAL CONSULTING, INC.

Drew West, A.Sc.T.
Certified Arborist (ISA #ON-1429A)

Jim Broadfoot, H. B.Sc.
Terrestrial Ecologist



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2.0 SCOPE OF FIELD INVENTORY WORK	1
3.0 TREE INVENTORY RESULTS	1
4.0 IDENTIFICATION OF POTENTIAL TREE IMPACTS	2
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Figure 2: Tree Locations
Figure 3: Proposed Development Plan

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List of Appendices

- Appendix A: Tree Inventory and Assessment Table



1.0 INTRODUCTION

Azimuth Environmental Consulting, Inc. was retained to complete an Arborist Report for the proposed residential development located at 10568 Islington Avenue, in the City of Vaughan (Kleinburg), Regional Municipality of York (see Figure 1). The purpose of this study was to assess and inventory the existing trees on the subject property, as the proponent wishes to remove all trees on-site to accommodate the proposed multi-building development. The original inventory and report was completed in 2015, and the original report has been updated follow comments from the City of Vaughan.

The following report documents the findings of our field investigation and describes a recommended compensation plan for the proposed tree removals.

2.0 SCOPE OF FIELD INVENTORY WORK

To comply with the requirements of the City of Vaughan, a tree inventory was completed on November 16th, 2015. This field visit included the following duties:

- Completed an inventory of all trees located on the property or within an expected zone of impact with a DBH equal to or greater than 10 cm. DBH was taken at 1.37 metres (4.5') above ground surface at the base of each tree; and
- Recorded species, DBH (cm), and condition/health status of all applicable trees. Tree health assessments were graded on a scale ranging from Dead, Poor, Fair and Good based on general health characteristics (trunk integrity, canopy structure and canopy vigour).

The majority of inventoried tree locations have been surveyed to accurately plot on the proposed site plan (see Figure 3). The trees which were not surveyed have been included in the plan using UTM coordinates collected using a GPS unit.

3.0 TREE INVENTORY RESULTS

A total of 56 trees with a DBH \geq 10cm were documented either on or within 5 metres of the subject property during the inventory process. The site primarily contained planted landscape and/or invasive tree species. Overall, the residential site is composed of a mixed community containing the following species:



Table A: Tree Species Composition

Tree Species	Percentage on Site
Colorado Blue Spruce (<i>Picea pungens</i>)	32%
Norway Maple (<i>Acer platanoides</i>)	16%
Eastern White Cedar (<i>Thuja occidentalis</i>)	14%
White Spruce (<i>Picea glauca</i>)	12%
Norway Spruce (<i>Picea abies</i>)	11%
Black Locust (<i>Robinia pseudoacacia</i>)	7%
Scotch Pine (<i>Pinus sylvestris</i>)	2%
White Ash (<i>Fraxinus americana</i>)	2%
Sugar Maple (<i>Acer saccharum</i>)	2%
Manitoba Maple (<i>Acer negundo</i>)	2%

The subject property contains trees primarily around the perimeter, with immature spruce and cedar hedging in the middle. The site also contains multiple structures including two dwellings and a separate garage structure.

A full tree inventory and assessment table is presented in Appendix A.

4.0 IDENTIFICATION OF POTENTIAL TREE IMPACTS

All of the 56 trees ($\geq 10\text{cm DBH}$) found on-site are recommended for removal due to the proposed development encompassing the entire property. Factors such as grading, excavations, paving, retaining walls and building construction will impact all trees on-site (see Figure 3). For these reasons, tree preservation is not recommended in this scenario.

Trees are not likely to thrive if major disruptions occur in their micro-environment. Significant changes in grade, drainage and wind pattern are all factors that can contribute to a tree's decline and eventual death. This can result in future falling hazards and very costly removal fees once the development is constructed. Thus, the removal of any tree anticipated to be impacted by the development is recommended.

Of the 56 trees inventoried, 12 were either found to be located on adjacent land (within 5 metres of property boundary) or directly on the property boundary. Trees #22 (see Figure 2) is located on the neighbouring property to the south which should be preserved. Trees #47 - #56 are located on City property (Islington Avenue right-of-way). These trees will require permission from the City to be removed. Considering Tree #22 is close on



neighbouring lands and close to the property boundary, a Certified Arborist should be onsite to supervise excavations in proximity to this tree. If roots of Tree #22 are exposed during excavations, the Arborist should be present to perform root pruning to minimize damage to the tree.

5.0 TREE COMPENSATION RECOMMENDATIONS

A total of 55 (Tree #22 only tree recommended for preservation) trees are recommended for removal, of which 44 require compensation (based on City of Vaughan Tree Replacement Tree Requirements policy). According to this policy, all trees 20cm or greater require compensation, with the required compensation amount based on current DBH (diameter at breast height) of the trees to be removed. The compensation requirements are stated below:

- 20cm – 30cm = 1 replacement tree
- 31cm – 40cm = 2 replacement trees
- 41cm – 50cm = 3 replacement trees
- 50cm or greater = 4 replacement trees

Using the ratios stated above, the removal of 55 trees within the subject site will require a total of 76 replacement trees to be planted. Considering the small scale nature of the site and lack of open space within the site plan, a portion of the replacement trees would have to be planted off-site or a cash-in-lieu payment could be added to fulfill the City's compensation requirement. As per the City's Tree Replacement Requirements policy, replacement trees should be native species and be at least 200 cm (6.5 ft.) tall for coniferous species and have a caliper of 60mm (2.3in) for deciduous species.

6.0 SPECIES AT RISK SCREENING

The Ministry of the Environment, Conservations and Parks (MECP) assumed responsibility for the administration of the Endangered Species Act, 2007 (ESA) in April 2019. The MECP's Client's Guide to Preliminary Screening for Species at Risk (MECP Species at Risk Branch, Permissions and Compliance, DRAFT - May 2019) directs proponents to "initiate species at risk screenings and seek information from all applicable information sources identified in this guide prior to contacting Government of Ontario ministry offices for further information or advice". Section 2.0 of the Guide outlines steps to follow indicating that the range of data sources providing species at risk related information and directing proponents to review and "determine whether any species at risk or their habitat exist or are likely to exist at or near their proposed activity, and



whether their proposed activity is likely to contravene the ESA. If the preliminary species at risk screening indicates potential species at risk concerns, proponents may contact the MECP for advice on whether the proposed activity is deemed to require ESA permitting or if species at risk concerns can be avoided. As per MECP guidance, it is the responsibility of the proponent/landowner to comply with the ESA.

6.1 Preliminary Species At Risk Screening

Given the urban landscape setting of the subject and adjacent lands (i.e., no natural cover, wetlands, watercourses or other habitat features normally supporting species at risk), the following information sources were consulted:

- Natural Heritage Information Centre (online)
- The Breeding Bird Atlas (online)

6.2 Results

The results of the preliminary species at risk search are listed below.

NHIC:

- Redside Dace (*Clinostomus elongates*)
- Rapids Clubtail (*Gomphus quadricolor*)
- Butternut (*Juglans cinerea*)
- Rusty-patched Bumble Bee (*Bombus affinis*)

OBBA:

- Chimney Swift (Threatened)
- Barn Swallow (Threatened)
- Bank Swallow (Threatened)
- Bobolink (Threatened)
- Eastern Meadowlark (Threatened)
- Eastern Wood-pewee (Special Concern)
- Wood Thrush (Special Concern)
- Grasshopper Sparrow (Special Concern)

6.3 Discussion

Ontario's ESA protects individuals and habitat of Endangered and Threatened species but not Special Concern species. Redside Dace (fish) and Rapids Clubtail (dragonfly) are aquatic species and hence not relevant to the proposed development. Rusty-patched Bumble Bee is a meadow species and as the subject lands are urban-residential and treed,



they provide no habitat for this species. Bobolink and Eastern Meadowlark are grassland breeding birds and as the subject lands are developed and urban, they provide no habitat for these species. Bank Swallow have specific requirements for eroding slopes (generally associated with watercourses or sand/gravel pits) and/or large fill piles – habitat not present on or adjacent to the property. Barn Swallow typically nest in barns or other built features (culverts, bridges, etc.) in rural environments. Given the highly urbanized nature of the subject and adjacent lands the proposed development is unlikely to impact Barn Swallow. Chimney Swift nest in chimneys and other built features providing openings for ingress/egress and often frequent urban areas. Built structures on-site are relatively new and hence do not provide old brick chimneys characteristics of those inhabited by Chimney Swift and hence the proposed development is unlikely to impact Chimney Swift. The results of the tree inventory revealed no Butternut on or adjacent to the subject lands.

The species at risk assessment indicates no particular species at risk concerns associated with the proposed development. Therefore, MECP consultation with respect to avoidance and/or ESA permitting appears warranted.

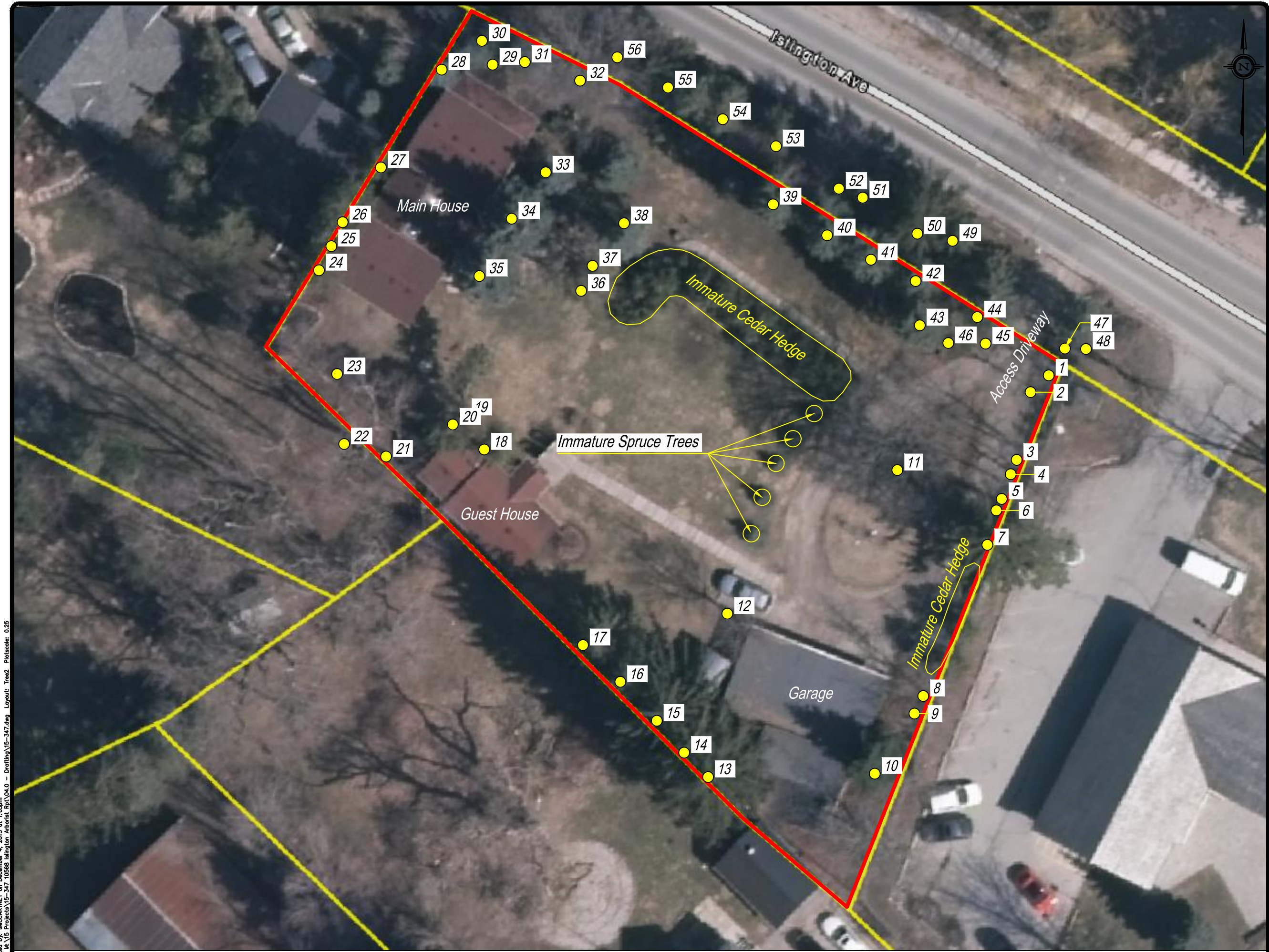
7.0 REFERENCES

Ministry of the Environment, Conservation and Parks. 2019. Client's Guide to Preliminary Screening for Species at Risk. MECP Species at Risk Branch, Permissions and Compliance – DRAFT.

Natural Heritage Information Centre (NHIC) internet web page. 2019. Government of Ontario, Ministry of Natural Resources (www.mnr.on.ca/MNR/nhic).

Breeding Birds Atlas internet web page. 2019.
(<http://www.birdsontario.org/atlas/index.jsp?lang=en>)

Plotted by: JMCARTNEY on December 4, 2015 at 1:05pm
File: M:\15 Projects\15-347 10568 Islington Arborist Rpt\04.0 - Drafting\15-347.dwg Layout: Tree2 PlotScale: 0.25

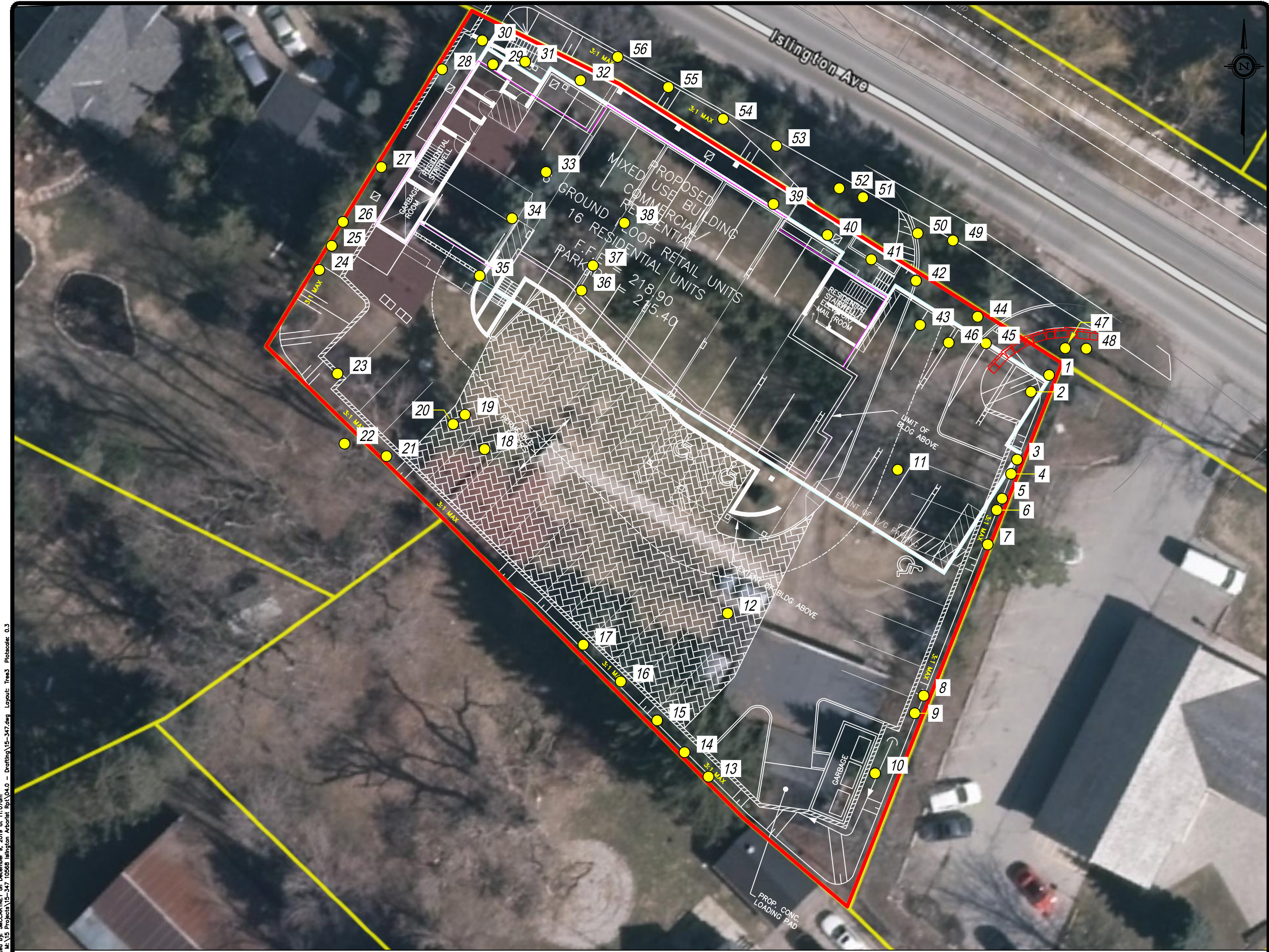


LEGEND:

- Approx. Property Boundary
- Tree Locations
- Immature Tree Locations



Tree Locations		
10568 Islington Ave., Kleinburg, ON		
DATE ISSUED:	December 2015	Figure No. 2
CREATED BY:	JLM	
PROJECT NO.:	15-347	
REFERENCE:	First Base Solutions	



LEGEND:

- Approx. Property Boundary
- Tree Locations

5m 0 10m
HORIZONTAL SCALE 1:300

AZIMUTH ENVIRONMENTAL CONSULTING, INC.

Proposed Development Plan

10568 Islington Ave.,
Kleinburg, ON

DATE ISSUED:	December 2015	Figure No.
CREATED BY:	JLM	3
PROJECT NO.:	15-347	
REFERENCE:	First Base Solutions	



Appendix A: Tree Inventory and Assessment Table

Tree Inventory and Assessment Table

Tree #	Common Name	Scientific Name	DBH (cm)	Replacement Value	Comments	Action
1	Norway Maple	<i>Acer platanoides</i>	23	1	Good Overall Health - Invasive Species	Remove
2	Norway Maple	<i>Acer platanoides</i>	23	1	Good Overall Health - Invasive Species	Remove
3	Norway Maple	<i>Acer platanoides</i>	29	1	Good Overall Health - Invasive Species	Remove
4	Norway Maple	<i>Acer platanoides</i>	21	1	Fair Health - Poor Crown Structure - Hazard Tree	Remove
5	Norway Maple	<i>Acer platanoides</i>	21	1	Poor Health - Crown Dieback - Hazard Tree	Remove
6	Scot's Pine	<i>Pinus sylvestris</i>	38	2	Poor Health - Crown Dieback/Leaning - Hazard Tree	Remove
7	Norway Maple	<i>Acer platanoides</i>	47	3	Good Overall Health - Invasive Species	Remove
8	Black Locust	<i>Robinia pseudoacacia</i>	20	1	Good Overall Health - Invasive Species	Remove
9	Black Locust	<i>Robinia pseudoacacia</i>	14	0	Good Overall Health - Invasive Species	Remove
10	White Spruce	<i>Picea glauca</i>	25	1	Good Overall Health	Remove
11	Norway Maple	<i>Acer platanoides</i>	70	4	Good Overall Health - Invasive Species	Remove
12	Norway Maple	<i>Acer platanoides</i>	34	2	Good Overall Health - Invasive Species	Remove
13	Norway Spruce	<i>Picea abies</i>	62	4	Good Overall Health	Remove
14	Norway Spruce	<i>Picea abies</i>	42	3	Good Overall Health	Remove
15	Norway Spruce	<i>Picea abies</i>	52	4	Good Overall Health	Remove
16	Norway Spruce	<i>Picea abies</i>	35	2	Good Overall Health	Remove
17	Norway Spruce	<i>Picea abies</i>	42	3	Good Overall Health	Remove
18	Eastern White Cedar	<i>Thuja occidentalis</i>	24	1	Good Overall Health	Remove
19	Eastern White Cedar	<i>Thuja occidentalis</i>	23	1	Poor Health - Extreme Lean - Hazard Tree	Remove
20	Eastern White Cedar	<i>Thuja occidentalis</i>	25	1	Good Overall Health	Remove
21	White Ash	<i>Fraxinus americana</i>	18	0	Tree on Property Boundary	Remove
22	Black Locust	<i>Robinia pseudoacacia</i>	60	0	Tree on Neighbouring Property - Invasive Species	Preserve
23	Black Locust	<i>Robinia pseudoacacia</i>	33	2	Fair Health - Invasive Species	Remove
24	Eastern White Cedar	<i>Thuja occidentalis</i>	27	1	Good Overall Health	Remove
25	Eastern White Cedar	<i>Thuja occidentalis</i>	30	1	Good Overall Health	Remove
26	Eastern White Cedar	<i>Thuja occidentalis</i>	32	2	Good Overall Health	Remove
27	Eastern White Cedar	<i>Thuja occidentalis</i>	15	0	Poor Health - Poor Crown Structure - Hazard Tree	Remove
28	Colorado Blue Spruce	<i>Picea pungens</i>	14	0	Good Overall Health	Remove
29	Colorado Blue Spruce	<i>Picea pungens</i>	13	0	Good Overall Health	Remove
30	Colorado Blue Spruce	<i>Picea pungens</i>	10	0	Good Overall Health	Remove
31	Colorado Blue Spruce	<i>Picea pungens</i>	11	0	Good Overall Health	Remove
32	Sugar Maple	<i>Acer saccharum</i>	78	4	Good Overall Health - Large, Very Mature	Remove

Tree #	Common Name	Scientific Name	DBH (cm)	Replacement Value	Comments	Action
33	Colorado Blue Spruce	<i>Picea pungens</i>	21	1	Fair Health - Poor Crown Structure - Hazard Tree	Remove
34	Colorado Blue Spruce	<i>Picea pungens</i>	34	2	Fair Health - Poor Crown Structure - Hazard Tree	Remove
35	Colorado Blue Spruce	<i>Picea pungens</i>	31	2	Good Overall Health	Remove
36	Colorado Blue Spruce	<i>Picea pungens</i>	22	1	Fair Health - Poor Crown Structure - Hazard Tree	Remove
37	Colorado Blue Spruce	<i>Picea pungens</i>	15	0	Fair Health - Poor Crown Structure - Hazard Tree	Remove
38	Colorado Blue Spruce	<i>Picea pungens</i>	20	1	Good Overall Health	Remove
39	Colorado Blue Spruce	<i>Picea pungens</i>	39	2	Fair Health - Poor Crown Structure - Hazard Tree	Remove
40	Colorado Blue Spruce	<i>Picea pungens</i>	39	2	Fair Health - Poor Structure/Dieback - Hazard Tree	Remove
41	Colorado Blue Spruce	<i>Picea pungens</i>	32	2	Fair Health - Poor Structure/Dieback - Hazard Tree	Remove
42	Colorado Blue Spruce	<i>Picea pungens</i>	30	1	Fair Health - Poor Structure/Dieback - Hazard Tree	Remove
43	Colorado Blue Spruce	<i>Picea pungens</i>	32	2	Fair Health - Poor Structure/Dieback - Hazard Tree	Remove
44	Colorado Blue Spruce	<i>Picea pungens</i>	16	0	Fair Health - Poor Structure/Dieback - Hazard Tree	Remove
45	Colorado Blue Spruce	<i>Picea pungens</i>	33	2	Fair Health - Poor Structure/Dieback - Hazard Tree	Remove
46	Eastern White Cedar	<i>Thuja occidentalis</i>	18	0	Fair Health - Crown Dieback - Hazard Tree	Remove
47	Norway Maple	<i>Acer platanoides</i>	28	1	Tree on City Property (Islington Ave.)	Remove
48	Colorado Blue Spruce	<i>Picea pungens</i>	28	1	Tree on City Property (Islington Ave.)	Remove
49	White Spruce	<i>Picea glauca</i>	24	1	Tree on City Property (Islington Ave.)	Remove
50	Norway Spruce	<i>Picea abies</i>	47	3	Tree on City Property (Islington Ave.)	Remove
51	White Spruce	<i>Picea glauca</i>	25	1	Tree on City Property (Islington Ave.)	Remove
52	Manitoba Maple	<i>Acer negundo</i>	24	1	Tree on City Property (Islington Ave.)	Remove
53	White Spruce	<i>Picea glauca</i>	20	1	Tree on City Property (Islington Ave.)	Remove
54	White Spruce	<i>Picea glauca</i>	28	1	Tree on City Property (Islington Ave.)	Remove
55	White Spruce	<i>Picea glauca</i>	15	0	Tree on City Property (Islington Ave.)	Remove
56	White Spruce	<i>Picea glauca</i>	22	1	Tree on City Property (Islington Ave.)	Remove