

CITY OF VAUGHAN

EXTRACT FROM COUNCIL MEETING MINUTES OF OCTOBER 21, 2020

Item 5, Report No. 47, of the Committee of the Whole, which was adopted without amendment by the Council of the City of Vaughan on October 21, 2020.

5. DEMOLITION OF AN EXISTING NON-CONTRIBUTING BUILDING AT 256 WOODBRIDGE AVENUE, AND CONSTRUCTION OF A SEVEN-STOREY RESIDENTIAL BUILDING AT 248-260 WOODBRIDGE AVENUE, WOODBRIDGE HERITAGE CONSERVATION DISTRICT VICINITY OF WOODBRIDGE AVENUE AND KIPLING AVENUE

The Committee of the Whole recommends:

- 1) That the recommendations contained in the report of the Deputy City Manager, Infrastructure Development dated September 16, 2020, be approved;**
- 2) That the technical report in respect of this file be brought forward at the first meeting of the Committee of the Whole in December 2020;**
- 3) That the recommendation from Heritage Vaughan, proceeding from its September 16, 2020 meeting be received; and**
- 4) That the comments by Mr. Leo Longo, Partner, Aird & Berlis LLP, Bay Street, Toronto, be received.**

Recommendations

The Deputy City Manager, Infrastructure Development, on behalf of Heritage Vaughan forwards the following recommendation from its meeting of September 16, 2020 (Item 5, Report No. 6), for consideration:

- 1) That a demolish permit shall not be issued for the property until a building permit has been issued for a new building, in accordance with the Woodbridge Heritage Conservation District Plan.

A vote was taken and failed to carry on the following recommendation contained in the report of the Deputy City Manager, Infrastructure Development, dated September 16, 2020:

Recommendation and Report of the Deputy City Manager, Infrastructure Development, dated September 16, 2020:

THAT Heritage Vaughan Committee recommend Council approve the proposed demolition of the existing building at 256 Woodbridge Avenue and the construction of a 7-storey residential building located at 248-260 Woodbridge Avenue under Section 42 of *Ontario Heritage Act*, subject to the following conditions:

- a. That the podium level of the proposed building be revised to provide additional transparency and articulation and the screening for the at-grade parking area be enhanced.

CITY OF VAUGHAN

EXTRACT FROM COUNCIL MEETING MINUTES OF OCTOBER 21, 2020

Item 5, CW Report 47 – Page 2

- b. That any significant changes to the proposal by the Owner may require reconsideration by the Heritage Vaughan Committee, determined at the discretion of the Acting Deputy City Manager, Planning & Growth Management.
- c. That Heritage Vaughan Committee recommendations to Council do not constitute specific support for any Development Application under the *Ontario Planning Act* or permits currently under review or to be submitted in the future by the Owner as it relates to the subject application.
- d. That the Owner submit at the Building Permit stage architectural drawings and building material specifications to the satisfaction of the Chief Building Official.

Committee of the Whole (2) Report

DATE: Wednesday, October 14, 2020

WARD(S): 2

TITLE: DEMOLITION OF AN EXISTING NON-CONTRIBUTING BUILDING AT 256 WOODBRIDGE AVENUE, AND CONSTRUCTION OF A SEVEN-STOREY RESIDENTIAL BUILDING AT 248-260 WOODBRIDGE AVENUE, WOODBRIDGE HERITAGE CONSERVATION DISTRICT VICINITY OF WOODBRIDGE AVENUE AND KIPLING AVENUE

FROM:

Nick Spensieri, Deputy City Manager, Infrastructure Development

ACTION: DECISION

Purpose

To forward a recommendation from the Heritage Vaughan Committee to demolish an existing non-contributing structure at 256 Woodbridge Avenue, and support the construction of a 7-storey residential building on the lands known municipally as 248-260 Woodbridge Avenue, a property located in the Woodbridge Heritage Conservation District and designated under Part V of the *Ontario Heritage Act*.

Report Highlights

- The Owner is seeking approval to demolish an existing non-contributing building (sales office) and to construct a 7-storey residential building
- The proposed building's design is consistent with the relevant policies of the Woodbridge Heritage Conservation District Plan
- Staff recommends additional revisions to the proposed 7-storey building to address Woodbridge Heritage Conservation District Plan guidelines
- Heritage Vaughan review and Council approval is required under the *Ontario Heritage Act*

Recommendations

The Deputy City Manager, Infrastructure Development, on behalf of Heritage Vaughan forwards the following recommendation from its meeting of September 16, 2020 (Item 5, Report No. 6), for consideration:

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A vote was taken and failed to carry on the following recommendation contained in the report of the Deputy City Manager, Infrastructure Development, dated September 16, 2020:

Recommendation and Report of the Deputy City Manager, Infrastructure Development, dated September 16, 2020:

THAT Heritage Vaughan Committee recommend Council approve the proposed demolition of the existing building at 256 Woodbridge Avenue and the construction of a 7-storey residential building located at 248-260 Woodbridge Avenue under Section 42 of *Ontario Heritage Act*, subject to the following conditions:

- a) That the podium level of the proposed building be revised to provide additional transparency and articulation and the screening for the at-grade parking area be enhanced.
- b) That any significant changes to the proposal by the Owner may require reconsideration by the Heritage Vaughan Committee, determined at the discretion of the Acting Deputy City Manager, Planning & Growth Management.
- c) That Heritage Vaughan Committee recommendations to Council do not constitute specific support for any Development Application under the *Ontario Planning Act* or permits currently under review or to be submitted in the future by the Owner as it relates to the subject application.
- d) That the Owner submit at the Building Permit stage architectural drawings and building material specifications to the satisfaction of the Chief Building Official.

Background

The property at 248-260 Woodbridge Avenue is within the Woodbridge Heritage Conservation District ('WHCD') Plan. The subject property is comprised of Lots 11 and 12 and Part of Lots 9 and 10, Registered Plan 385, City of Vaughan (Woodbridge). The property is adjacent to 268 Woodbridge Avenue, the Donald Grant House, and 69 William

Street, both being “contributing heritage properties” in the WHCD Plan. Lots 9-11 were sold to James S. Robinson in 1876. Lot 12 was sold to Alexander Locke in 1876. Over time, the original Lots 9 through 12 were reconfigured, with new north-south lot lines being created in the early 20th century. Lot lines were altered in 1915 and by 2005, Lots 9 through 12 were in the same ownership. and are under the same ownership.

The property was sold many times between 1900 and the present, culminating with the current owner’s [City Park (Woodbridge Gates North) Inc.] purchase in 2016. The subject property lies within *Character Area 2 “Woodbridge Avenue”* and is bounded on the north and east sides by *Character Area 3 “William and James Streets”* of the WHCD Plan.

Previous Reports/Authority

Not applicable.

Analysis and Options

All new development must respect the policies and guidelines within the Woodbridge Heritage Conservation District Plan (‘WHCD’).

The following is an analysis of the proposed development in consideration of the WHCD guidelines.

5.1 Objectives

The WHCD Plan states, the purpose of the Heritage Conservation District is to:

- 1. Identify, document, maintain and restore the unique heritage village character of Woodbridge.*
- 2. Conserve contributing buildings, landscapes, monuments and streetscapes.*
- 3. Ensure new designs contribute to the Woodbridge heritage character.*
- 4. Manage any development or redevelopment proposed within the district, in a manner that is sensitive and responsive to all aspects necessary to ensure the protection and conservation of the heritage resources, in order to maintain the village character of the Woodbridge District.*
- 5. Ensure individual heritage structures and landscapes are maintained, and new development or redevelopment sensitively integrated, as part of a comprehensive district.*
- 6. Maintain Woodbridge as both a local neighbourhood and a destination for residents of Vaughan and beyond.*
- 7. Support a welcoming, interesting pedestrian environment by encouraging pedestrian amenities and by maintaining human-scaled development and connections to adjacent neighbourhoods.*

The WHCD Plan includes several guidelines regarding building design including:

5.3.2.4 SCALE AND HEIGHT

Buildings in Woodbridge are primarily of a two to three storey scale and height that is pedestrian friendly and allows ample sun penetration and open views. (OPA #240 allows for a concentration of increased height and scale of up to four storeys

maximum at the historic commercial nodes of Woodbridge and Kipling Avenue, within the Woodbridge Avenue commercial core. A consideration for additional height to six storeys maximum, having a four-storey podium is envisioned at this intersection in the Kipling Corridor Study and Official Plan Amendment. This height recommendation is also supported in this Plan.)

Buildings include doors and windows facing directly onto the street, creating an animated environment for pedestrians. There are no blank walls.

The subject property is located on the portion of Woodbridge Avenue between Kipling Avenue and the rail line where an existing 6/7-storey building. The subject property is constrained by the presence of a rail line to the east requiring a 20m setback on the site and the proposed building is setback 11m from the Donald Grant House to the west and approximately 33 metres from the contributing building at 69 William Street to the north. The proposed development features a 7-storey residential building with the main lobby set back from Woodbridge Avenue and access to the underground garage via lateral doors. The proposed 7-storey and approximately 24m high (measured from average grade) building exceeds the 6-storey and 20m building height permitted by the WHCD Plan. However, the proposed building is contained within the 45-degree angular planes as applied in the WHCD Plan to west and the north. The façade of the existing building on the southeast corner of Kipling Avenue and Woodbridge Avenue contains a 7-storey portion beyond and including the main entrance/lobby along Woodbridge Avenue. In addition, there are existing 7-storey buildings within the Woodbridge Core Area. The proposed building height and massing is considered to be complementary to the existing context in this portion of the Woodbridge Avenue.

6.1.1 WOODBRIDGE AVENUE

Heritage Attributes:

- 1. Main Street character, with pedestrian oriented retail at grade level and a variety of other uses above grade, mostly residential.*
- 2. A street wall of buildings averaging between 3 and 4 floors, with some buildings rising up to 6 floors.*
- 3. Storefronts open directly onto the sidewalk and provide pedestrians with a variety of storefronts, which change every few steps.*
- 4. Buildings are often built with zero (or minimum) setback.*

The proposed 7-storey building is designed to front with an acceptable street setback onto Woodbridge Avenue, however, does not include pedestrian oriented retail at grade. Instead, the building setback area includes at-grade patios with direct access to the residential units. The podium of the building is located close to the street line (3.4m setback) with grade related residential units. The proposed building entrance design provides a sense of arrival for the building and integrates with the streetscape treatment along Woodbridge Avenue.

Staff support the proposed building setback and front yard/streetscape treatment along Woodbridge Avenue. However, it is recommended the Owner continue to work with staff to improve the level of transparency and better articulate the relationship of the ground floor and podium with Woodbridge Avenue.

6.1.1 WOODBRIDGE AVENUE

Guidelines

- 1. The ground level of buildings along Woodbridge Avenue must be flush with the sidewalk, with direct access from the street.*
- 2. Generally, new buildings along Woodbridge Avenue should be no taller than 4 floors (13m) and must be sympathetic to, and transition from, the height of adjacent contributing buildings with a minimum 45 degree angular plane, starting from the existing height of the contributing building, measured at the building's edge, (see section 6.4 - Built Form Framework).*
- 3. New buildings may be allowed an increase in building height to 6 storeys provided that they meet official plan policy. In such cases, a podium of a minimum 2 floors and a maximum of 4 floors is required, with the additional two floors stepping back on a 45-degree angular plane.*
- 4. Storefronts must be oriented towards the street and should be experienced as a collection of small scaled retail, with operable doors.*
- 5. New buildings should be built directly to the front property or street line to establish a continuous street wall. When located adjacent to existing contributing buildings that are set back from the property or street line, new buildings should transition back to the setback line of existing contributing buildings in order to maintain open views and vantage points from the street to the contributing buildings.*

The proposed 7-storey residential building exceeds the maximum permitted building height by one storey and includes a one-storey podium with a second storey masonry parapet stack to visually create a two-storey podium appearance to maintain the preferred human scale of the streetscape. The upper floors are setback between 7.1m along the Woodbridge Avenue frontage. The Owner has demonstrated the proposed building meets the 45-degree angular plane from the heritage dwellings to the west and north.

6.3.2 CONTEMPORARY DESIGN

Just as it is the characteristic of the Woodbridge HCD to contain contributing buildings in at least 12 recognizable styles, contemporary work should be “of its time”. This is consistent with the principles stated in the Venice Charter, Appleton Charter and other charters recognized internationally as a guide for heritage work. This does not mean that new work should be aggressively idiosyncratic but that it should be neighbourly and fit this “village” context while at the same time representing current design

philosophy. Quoting the past can be appropriate. It should, however, avoid blurring the line between real historic “artifacts”, and contemporary elements.

“Contemporary” as a design statement does not simply mean “current”. Current designs with borrowed detailing inappropriately, inconsistently, or incorrectly used, such as pseudo-Victorian detailing, should be avoided.

The proposed residential development presents a coherent “contemporary” architectural style and conforms to the requirements of the WHCD Plan. Staff supports the architectural style of the development as it is complementary to the heritage architecture of the immediately adjacent contributing buildings, and appropriately addresses the building materials of other contemporary development in the immediate surroundings.

6.3.3 ARCHITECTURAL GUIDELINES

Material Palette

There is a very broad range of materials in today’s design palette, but materials proposed for new buildings in the district should include those drawn from ones historically in use in Woodbridge. This includes brick, stone, traditional stucco; wood siding and trim, glass windows and storefronts, and various metals. The use and placement of these materials in a contemporary composition and their incorporation with other modern materials is critical to the success of the fit of the proposed building in its context. The proportional use of materials, use of extrapolated construction lines (window head, or cornices for example) projected from the surrounding context, careful consideration of colour and texture all add to the success of a composition.

Proportions of Parts

Architectural composition has always had at its root the study of proportion. In various styles, rules of proportion have varied from the complex formulas of the classical orders to a more liberal study of key proportions in buildings of the modern movement. For new buildings in this heritage district, the design should take into account the proportions of buildings in the immediate context and consider a design with proportional relationships that will make a good fit.

An example of this might be windows. Nineteenth century buildings were arranged without fail using a vertical proportioning system, organizing windows singly or in groups. This proportioning system extends to the arrangement of panes within individual windows. In buildings of the Art Deco and Art Moderne period windows are often of a horizontal proportion. Although this horizontality is not universally the case, it is a character defining feature of these styles.

Solidity vs Transparency

It is a characteristic of historic buildings of the 19th century to have solid walls with punched windows. This relationship of solid to void makes these buildings less transparent in appearance. It was a characteristic that was based upon technology

(the ability to make large windows and to heat space came later, and changed building forms), societal standards for privacy, and architectural tradition. Buildings of many 20th century styles in contrast use large areas of glass and transparency as part of their design philosophy.

In this historic district the relationship of solidity to transparency is a characteristic of new buildings that should be carefully considered. The nature of the immediate context for the new building in each of the defined character areas should be studied. The level of transparency in the new work should be set at a level that provides a good fit on the street frontages.

In the Woodbridge Avenue Character Area, a Main Street approach can be taken, and a more transparent building permitted between the ratios of 20% solid to 70% solid.

In the other character areas this proportion should reflect a more traditional residential proportion of 40% solid to 80% solid.

Detailing

In past styles structure was often hidden behind a veneer of other surfaces. “Detailing” was largely provided by the use of coloured, shaped, patterned or carved masonry and /or added traditional ornament, moldings, finials, cresting and so on. In contemporary buildings every element of a building can potentially add to the artistic composition. Architectural, structural, mechanical and even electrical systems can contribute to the final design.

For new buildings in the Woodbridge Heritage District, the detailing of the work should again refer to the nature of the immediate context and the attributes of the Character Area in which it is to be placed.

In the Woodbridge Avenue Character Area, detailing can be more contemporary yet with a deference to scale, repetition, lines and levels, beam and column, solid and transparent that relates to the immediate context.

In the other character areas, the detailing of new buildings should tend toward a more traditional approach. Whereas a contemporary approach is permitted, the use of moldings, brackets, architraves, entablatures, cornices and other traditional detailing is encouraged, to help ensure a good fit with the immediate context.

The proposed building includes a materials palette similar and complimentary to the heritage buildings immediately adjacent to the property and the more contemporary developments in the immediate surroundings. By nature of the multi-storey design, the windows and all façade elements are presented in a strong vertical context.

The WHCD Plan calls for commercial use on the ground floor (typically presenting a visually permeable glazed surface). The proposed building design includes a heavy masonry base detached visually from the upper floors by a recessed main entry. The remaining architectural detailing of the façade repeats the balcony and cladding pattern on the west elevation. The east elevation includes a reduced transparency and an increased solidity in an inversely proportional pattern. Staff recommend the material / design used for the podium of the proposed building be articulated to provide a more defined and transparent podium along the street in order to strengthen the human-scale aspect of the building and streetscape along Woodbridge Avenue.

6.4.1.2 WOODBRIDGE AVENUE (CHARACTER AREA – CA)

Heritage Attributes

- 1. Follow a Main Street character, buildings with retail at grade are often built with zero (or minimum) setback.*
- 2. Contributing buildings display a variety of setbacks and side yard conditions.*
- 3. Contributing buildings are most often built with zero or limited side yards. This creates a continuous street wall and contributes to the main street character.*

Guidelines

(See Section 6.5: Transitions of New Buildings in Relation to Heritage Resources)

- 1. New buildings should be built directly to the front property or street line to establish a continuous street wall.*
- 2. The historic setbacks of contributing buildings should be maintained and contributing buildings should not be relocated to a new setback line. New buildings must be sympathetic to the setbacks of adjacent contributing buildings.*
- 3. When located adjacent to existing contributing buildings that are set back from the property or street line, new buildings should transition back to the setback line of existing contributing buildings in order to maintain open views and vantage points from the street to the contributing buildings.*
- 4. Where heritage contributing buildings are located on either side of a new development site and are set further back from the zero-setback line; the setback for the development site will be the average of the front yard setbacks of the two properties on either side.*
- 5. Where heritage contributing buildings are set further back from the recommended zero setback line, any new development adjacent to the heritage contributing buildings must be set back, at a minimum, to a line measured at 45 degrees from the front corner of the existing heritage contributing building.*
- 6. Existing contributing buildings should retain their historic setbacks and side yard conditions and create front landscaped courtyards that open onto Woodbridge Avenue to build on the “green” character of the street.*
- 7. New buildings should have no side yards fronting onto Woodbridge Avenue, and should create a continuous street wall.*

The proposed building site plan is not consistent with the WHCD Plan guidelines for heritage front setback of new buildings along Woodbridge Avenue, when directly adjacent to contributing buildings. Locating the building with a similar front-yard setback as the Donald Grant House is not feasible in consideration of the depth of the subject property. The upper floors of the proposed building are setback from the street podium level by a distance less than the 45-degree angular plane guideline. However, in consideration of the context of the site (west of the rail line at the edge of the core area) and of the building on the southeast corner of Kipling and Woodbridge Avenue (which also does not include a 45-degree angular plane), the proposed step back of the upper floors is considered appropriate in its immediate surrounding context.

6.4.2.2 WOODBRIDGE AVENUE (CHARACTER AREA - CA)

Heritage Attributes

- 1. Woodbridge Avenue has a Main Street character, which includes heritage buildings that are 2 and 3 floors tall.*
- 2. More recent construction includes buildings that are 4 and 6 floors tall, facing Woodbridge Avenue.*

Guidelines

- 1. New buildings must have a building podium, lining the street, of 2 floors minimum and 4 floors maximum.*
- 2. Additional building height to a maximum of 6 floors (20m), may be considered only when there is no undue impact to the public realm and/or adjacent properties including an impact on sunlight penetration and views. Additional building height must step-back along a 45° angular plane from:*
 - the street, starting 13 metres, when facing a street, and*
 - starting at 9.5 metres, when facing another property; and*
 - the height of any contributing building, (see Section 6.5).*

The proposed 7-storey and 24m high building exceeds the maximum allowable storeys (6 storeys) and building height (20m) taken from the average grade. However, the proposed street-level one-storey podium design with a balcony feature perimeter on the second storey and with the remaining 5 storeys above set back from Woodbridge Avenue would establish a good relationship with Woodbridge Avenue complementary to the surrounding existing mixed-use development. As noted above, there are existing 7-storey buildings in the Woodbridge Core area.

6.5 TRANSITIONS OF NEW BUILDINGS IN RELATION TO HERITAGE RESOURCES

Key to the Woodbridge HCD is, first, conserving the structures and landscapes that contribute to the HCD's heritage character, and second, managing the introduction of

new structures and landscapes in such a way that they harmonize with contributing buildings and contribute to the district's heritage character.

The following guidelines, as established in the Woodbridge HCD Study, shall be used to assist in the process of achieving the proper transition of building scales, heights and presence in order to create a harmonious relationship between new structures and landscapes with contributing properties within the Heritage District.

Guidelines

2. Conservation of Heritage Character

Contributing buildings display a variety of setbacks and side yard conditions, reflecting the different construction periods and original use.

- New development must be sympathetic to this character and must develop in a way that does not detract, hide from view, or impose in a negative way, on existing heritage contributing resources, as per the following height and setback guidelines.*

3. Height Guidelines

The height of contributing buildings should be maintained.

- The setback requirement to adjacent contributing heritage buildings must be at least half the building height. This transition pertains to the back and side yards of a contributing building.*
- New buildings must transition from the height of adjacent contributing buildings with a minimum 45-degree angular plane, starting from the existing height of the contributing building. The height of a contributing building is measured from the average elevation of the finished grade at the front of the building to the mean height between the eaves and highest point of a gable, hip, or a gambrel roof.*

5. Front Yard Setback Guidelines

- The historic setbacks of contributing buildings should be maintained and contributing buildings should not be relocated to a new setback line. New buildings must be sympathetic to the setbacks of adjacent contributing buildings.*
- When new buildings are located adjacent to existing contributing buildings that are set back from the property or street line, new buildings should transition back to the setback line of existing contributing buildings in order to maintain open views and vantage points from the street to the contributing buildings.*
- Where heritage contributing buildings are located on either side of a new development site and are set further back from either a zero-building setback line along Woodbridge Avenue, the setback for the development site will be the average of the front yard setbacks of the two properties on either side. The majority of the existing heritage buildings along Woodbridge Avenue already reflect a zero-setback condition.*
- Where heritage contributing buildings are set further back from either a zero building setback line along Woodbridge Avenue, or a 3.0m minimum building*

setback line along Kipling Avenue, any new development adjacent to the heritage contributing building must be set back, at a minimum, to a line measured at 45 degrees from the front corner of the existing heritage contributing building.

As discussed above, the proposed building setback and design is considered appropriate and will complement the existing surrounding development in this area of Woodbridge Avenue and meets the 45-degree angular plane requirement to the existing heritage resources to the west and north.

6.7.1 ROADS, CURBS, SIDEWALKS AND STREETScape

Several of the roads within Woodbridge are significant in defining the heritage character of Woodbridge and contribute in terms of function and layout. These streets are defined by the majority of the heritage fabric that characterizes Woodbridge and are used as a neighbourhood walking trail.

Heritage Attributes

2. *Woodbridge Avenue is the “commercial main street” of Woodbridge and is defined by a 20-metre right-of-way, with on-street parking at the commercial core, and zero building setbacks with the exception of several heritage buildings with deeper setbacks. The commercial core is defined by special street paving along the sidewalks and the street crossings, and where there are pedestrian linkages to the river valley.*

Guidelines

2. Woodbridge Avenue:

- *Should continue to function as a mixed-use commercial street and promenade with commercial animation at grade.*
- *Should reflect a more formal landscape treatment and tree planting design that responds to at-grade retail amenities such as building shade canopies, café furnishings and ease of pedestrian movement. The sidewalks should have special paving to enhance the identity of the commercial core, and gateway treatments at the Kipling Avenue and Woodbridge intersection.*
- *Sidewalks should be primarily hard surfaced to accommodate pedestrian traffic and there should be continuous sidewalk on both sides of the street.*
- *Should have a continuous enhanced paving treatment and palette of furnishings such as special lighting standards and benches that demarcate it as a “special street” and enhances the identity of the Woodbridge Core.*
- *Should accommodate on street parking where possible.*

6. Topography

Maintain the alignment and hilled character of Meeting House Road, William Street, and Woodbridge Avenue in order to maintain the visual and physical experience of the rolling topography and the valley lands.

The proposed development does not include on-street lay-by parking. In addition, the plans submitted in support of the proposal should be revised to better identify the treatment, pattern, and materials to be used for sidewalk paving on the property to maintain a continuity of streetscape materials and treatments along Woodbridge Avenue. Staff recommend the drawings submitted in support of the streetscape elements for the development be updated to clearly reference the WHCD Plan requirements.

6.7.6 PARKING

- *On street parking is allowed along the main commercial and mixed-use streets: Kipling Avenue and Woodbridge Avenue.*
- *Where the right-of-way permits, on street parking should be accommodated on one side of residential streets: Wallace Avenue, Clarence Street.*
- *As intensification occurs, publicly accessible structured parking along Woodbridge Avenue should be considered.*
- *On-site parking, including structured parking should not be visible from the street or from public spaces. Parking areas should be concealed and buffered with buildings with active uses.*

The proposed site plan includes at-grade parking within the 20m CPR setback and offers a lateral entrance/exit to the underground parking not directly visible from the street. The at-grade parking along the east limit of the property is in view and accessed from the street. This grade parking area is not concealed by any structures and is proposed to be delineated from the public realm by a shallow planter and a tree. Staff recommends the proposed at-grade parking spaces be better screened through landscape buffering in consideration of the requirements of the WHCD Plan.

Financial Impact

There are no requirements for new funding associated with this report.

Broader Regional Impacts/Considerations

There are no broader Regional impacts or considerations.

Conclusion

The Development Planning Department is of the opinion the proposal is consistent with the general intent and vision of the policies and guidelines within the WHCD. The proposed development will complement the existing mid-rise development in the

surrounding area and provide appropriate transitions to the adjacent heritage resources (e.g. 45-degree angular plane) to the west and north.

Accordingly, staff supports Heritage Vaughan Committee recommendation to Committee of the Whole for approval of the proposed demolition of the non-conforming existing building at 256 Woodbridge Avenue under the *Ontario Heritage Act*, however, recommend additional revisions to the podium of the proposed 7-storey building and the screening of the parking area at 248-260 Woodbridge Avenue to adequately address the WHCD Plan guidelines as outlined in this report.

For more information, please contact Nick Borcescu, Senior Heritage Planner, ext. 8191

Attachments

Attachment 1 – 248-260 Woodbridge_Location Map
Attachment 2 – 248-260 Woodbridge_CHIA
Attachment 3 – 248-260 Woodbridge_Site Plan
Attachment 4 – 248-260 Woodbridge_Landscape Plan
Attachment 5 – 248-260 Woodbridge_Colour Renderings
Attachment 6 – 248-260 Woodbridge_Elevations

Prepared by

Nick R. Borcescu, Senior Cultural Planner, Development Planning, ext. 8191
Rob Bayley, Manager, Urban Planning and Cultural Services, ext. 8254
Mauro Peverini, Director of Development Planning, ext. 8407

Approved by

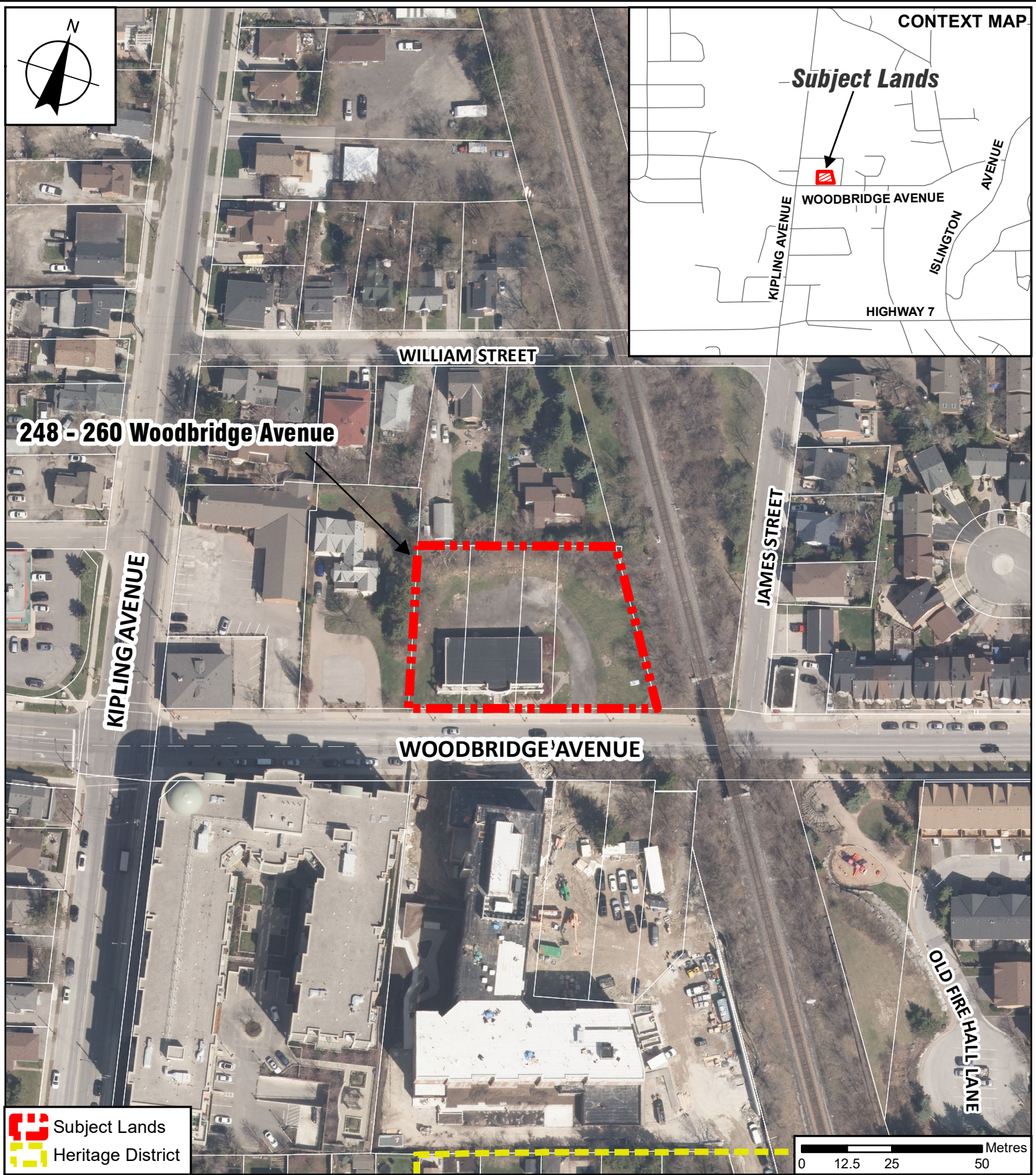
A handwritten signature in black ink, appearing to read 'Nick Spensieri', with a long horizontal line extending to the right.

Nick Spensieri,
Deputy City Manager,
Infrastructure Development

Reviewed by

A handwritten signature in black ink, appearing to read 'Jim Harnum', with a long horizontal line extending to the right.

Jim Harnum, City Manager



Location Map

LOCATION:
248 - 260 Woodbridge Avenue
Part of Lot 7, Concession 7



Attachment

DATE:
September 8, 2020

1

**Cultural Heritage Resource
Impact Assessment and
Heritage Conservation District
Conformity Report**

**248 - 260 Woodbridge Avenue
Woodbridge Heritage Conservation District (HCD)
City of Vaughan**



prepared by

CHC Limited

heritage consultants

87 Liverpool Street, Guelph, ON N1H 2L2

(519) 824-3210

email oscott87@rogers.com

September 19, 2017
amended July 20, 2020

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all photographs by Owen R. Scott of CHC Limited, November 15, 2016 unless otherwise noted.
cover photo: 248 - 260 Woodbridge Avenue

1.0 BACKGROUND

This amended Cultural Heritage Resource Impact Assessment (CHRIA) and Heritage District Conformity Report follows the City of Vaughan's *Guidelines for Cultural Heritage Impact Assessments, updated February 2016* and the requirements for a conformity report (see References).

The property at 248 - 260 Woodbridge Avenue is within the Woodbridge Heritage Conservation District (HCD). The Woodbridge Heritage Conservation District is shown on Figure 1; 248 - 260 Woodbridge Avenue is shown in green. The current building on the site is considered a "non-contributing property". The property is adjacent to 268 Woodbridge Avenue, Donald Grant House, and 69 William Street, both of which are "contributing heritage properties" (Figure 2).

The changes to the project that prompt this amendment are related to a revised building design, site and landscape plan, and more specifically:

- building height reduced by 3.2 m (1 storey);
- 5 storey podium reduced to 1 storey;
- servicing/loading area re-located within the building;
- south side setback increased by 2.6 m;
- GFA decreased by 1,351 m²;
- FSI reduced by 0.49;
- outdoor amenity increased by 1,281 m².

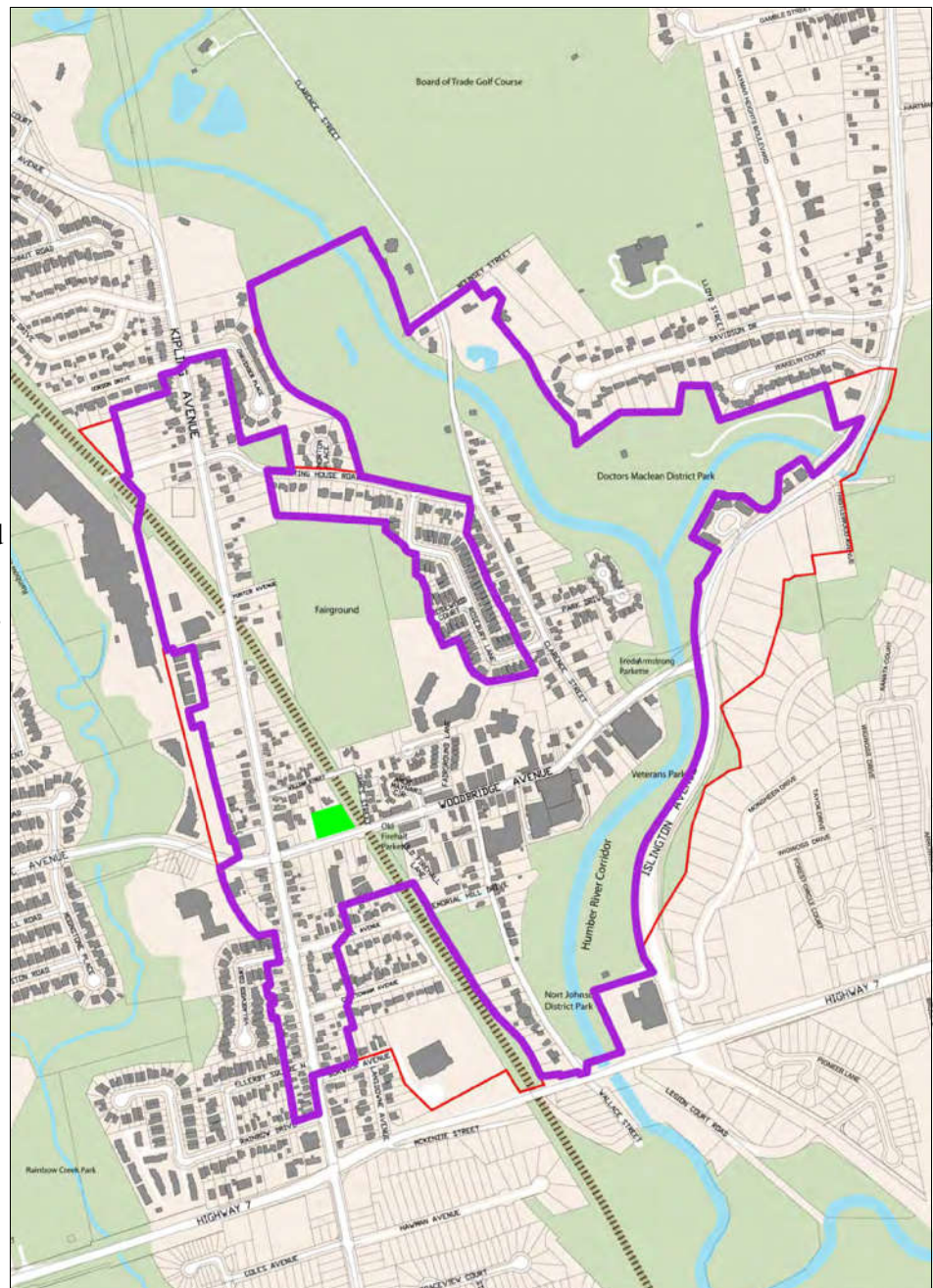


Figure 1 Woodbridge HCD boundaries - Schedule 10 from *Woodbridge Heritage Conservation District Study and Plan* subject property in green



Figure 2 subject property (green) and contributing properties (yellow) - Google Maps

Figure 3 shows the proposed development property, comprised of Lots 11 and 12 and Part of Lots 9 & 10, Registered Plan 385, City of Vaughan (Woodbridge).

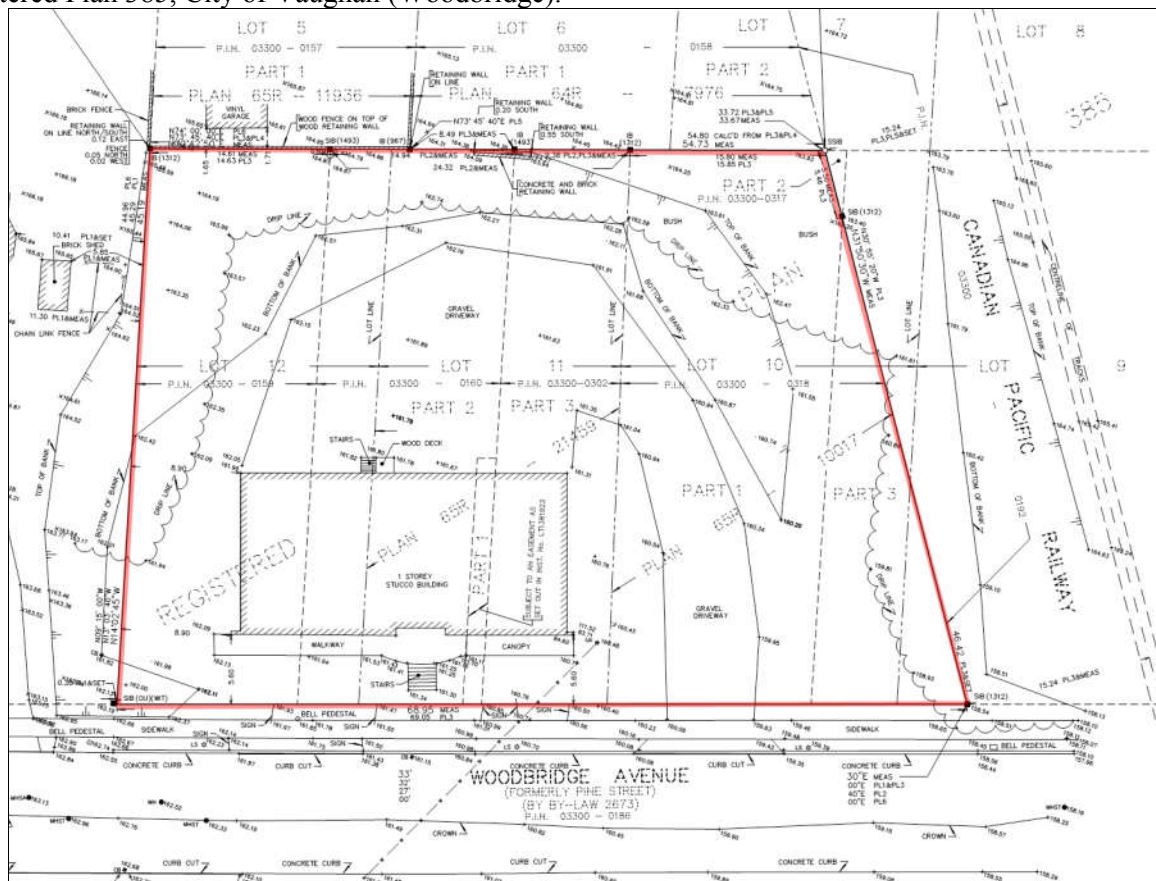


Figure 3 Survey - Lots 11 & 12 and Part of Lots 9 & 10, Registered Plan 385 - Rady-Pentek & Edward Surveying Limited, 8 October 2015

2.0 THE ASSESSMENT

2.1 History of the properties and evolution to date

The history of the Village of Woodbridge is described in the *Woodbridge Heritage Conservation District Study and Plan*.¹ A map of the village is found in the 1878 historical atlas of York County. Overlaid on that map is the subject property and the current CP railway for context (Figure 4).

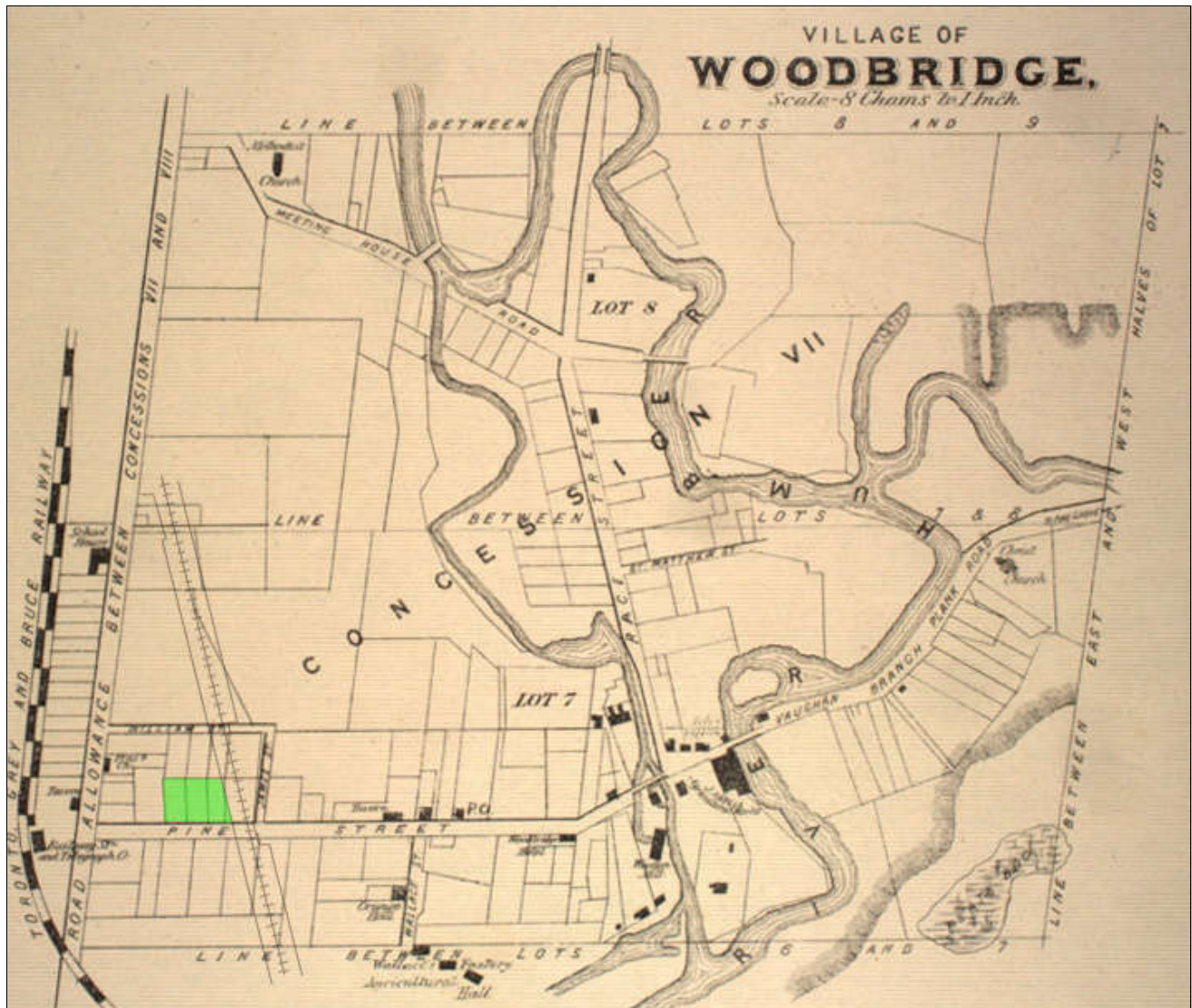


Figure 4

from: *Illustrated historical atlas of the county of York 1878*
CP railway line added for context

Woodbridge Avenue was named Pine Street and nearby Kipling Avenue (Eighth Avenue) was the road allowance between Concessions 7 and 8. James Hamilton McClure owned most of the lands that are bounded by Woodbridge Avenue, Kipling Avenue, William Street and James Street. McClure (1844 - 1898) was born and died in Woodbridge. He was the son of Andrew McClure and Mary Ann Hamilton. A few years later, he

¹ *Woodbridge Heritage Conservation District Study and Plan, Final Document* April 2009, Office for Urbanism. In association with Goldsmith Borgal and Company Architects (GBCA), pp. 29-33

sold the subject property lots - Lots 9 to his brother, Andrew in 1875; Lots 10 and 11 to James S. Robinson in 1876; and Lot 12 to Alexander Locke, also in 1876 (Figure 5). The subject property is shown in green; Lots 9-12 are outlined in red. See appendix 1 for the detailed Chains of Title.



Figure 5

Plan of Subdivision, James H. McClure, "Pine Grove" May 5, 1875

Over time, the original Lots 9 through 12 were reconfigured, with new north-south lot lines being created in the early 20th century (Figures 6 & 7).

In 1894, the east part of Lot 9, which later found itself on the town side of the relocated railway, was sold to Mary Hugill. The west part of Lot 9 was transferred to John McClure the same year. The Toronto Grey and Bruce Railway (Figure 4) had been acquired by Canadian Pacific in 1883, and the former narrow gauge TG&B line was relocated across Pine Street (Woodbridge Avenue) through Lot 9 of the subject property in 1907 (Figure 10). The remaining westerly portion of Lot 9 housed a frame and metal garage, now demolished (Figure 6).

Lot 10 (248 Woodbridge Avenue) was sold by James Robinson to Sarah Wiggins in 1894 and then to John Hallet in 1896. A small triangle in the northeast corner was sold to the Canadian Pacific Railway in 1907. A two storey frame house occupied Lot 10 for many years (Figure 6). The current owner, City Park (Woodbridge Gates North) Inc. purchased the property in 2016.

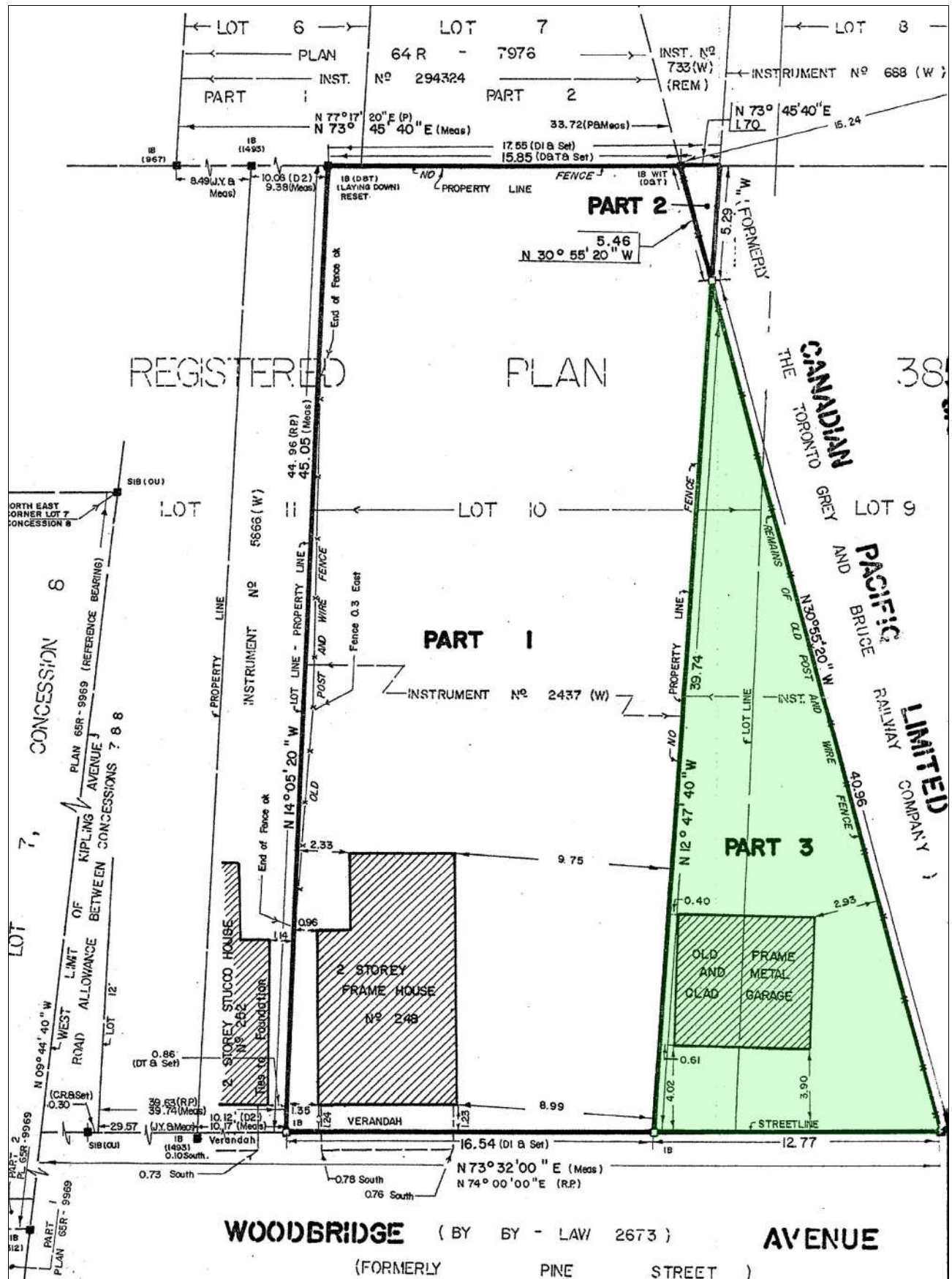
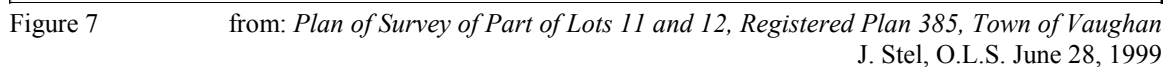


Figure 6 from: Plan of Survey of Part of Lots 9 and 10, Registered Plan 385, Town of Vaughan, J. Stel, O.L.S. December 17, 1986 (Lot 9 in green)



Lot 11 (252 and 256 Woodbridge Avenue) was sold by its second owner, James Robinson, to Alice Robinson in 1876. Alice had dealings with Joseph Rowan including mortgages, ultimately resulting in possession of the Lot by Rowan c. 1890. Lot lines were altered in 1915 and by 2005, Lots 9 through 12 were in the same ownership. The 1999 Plan of Survey (Figure 7) shows a 2-storey stucco dwelling on the property, since demolished. The property changed hands many times between 1900 and the present, culminating with the current owner's (City Park [Woodbridge Gates North] Inc.) purchase in 2016.

The second owner (Alexander Locke) of Lot 12 (256 and 260 Woodbridge Avenue) sold the property to Frederick Wise in 1900. It appears that there was a house on the property at that time (since demolished). After many subsequent owners (see Chain of Title), the property was purchased by the current owner, City Park (Woodbridge Gates North) Inc. in 2016.

Figures 8 and 9 are an aerial oblique photograph from 1954, showing the results of Hurricane Hazel in that year. The Figure 9 excerpt from Figure 8 shows the buildings referred to above at 248 through 260 Woodbridge Avenue at that time. Note the rural character of the south side of Woodbridge Avenue in Figure 9.



Figure 8 aftermath of Hurricane Hazel 1954, *City of Vaughan Archives* - Figure 9 outline in red



Figure 9

excerpt from Figure 8 - subject buildings circled in red

A temporary sales office building has occupied the subject property for the past few years (Figure 2).

Figure 10 is a sketch from the August 1907 *Indenture in Pursuance of the Act Respecting Short Form of Conveyance* between John A. McClure, Tailor and the Toronto Grey and Bruce Railway Company (Canadian Pacific Railway), acquiring the right-of-way for the new CP rail line.

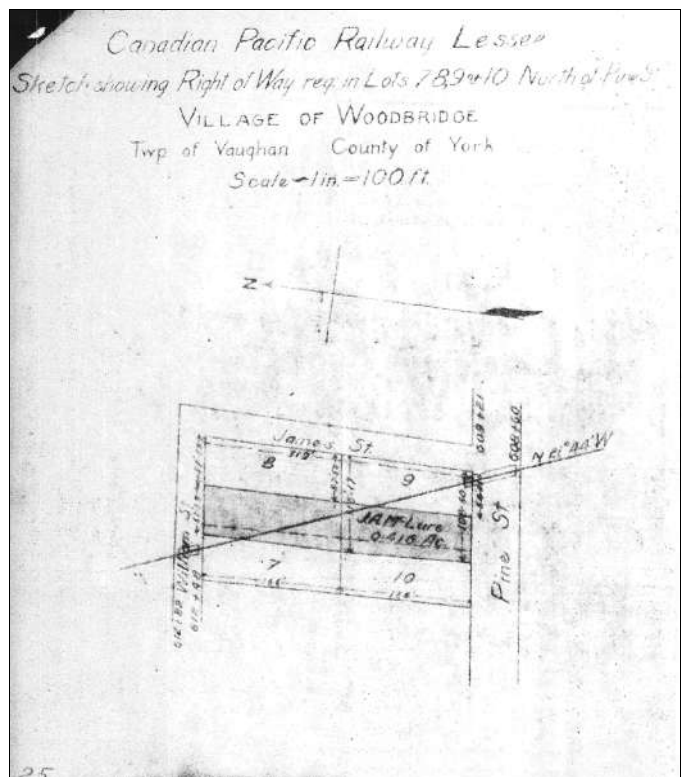


Figure 10 from conveyance of lands to CPR, August 1907

2.2 Context and setting of the subject property

The subject property lies within Character Area 2 “Woodbridge Avenue” and is bounded on the north and east sides by Character Area 3 “William and James Streets” (Figure 11) of the HCD Plan.²

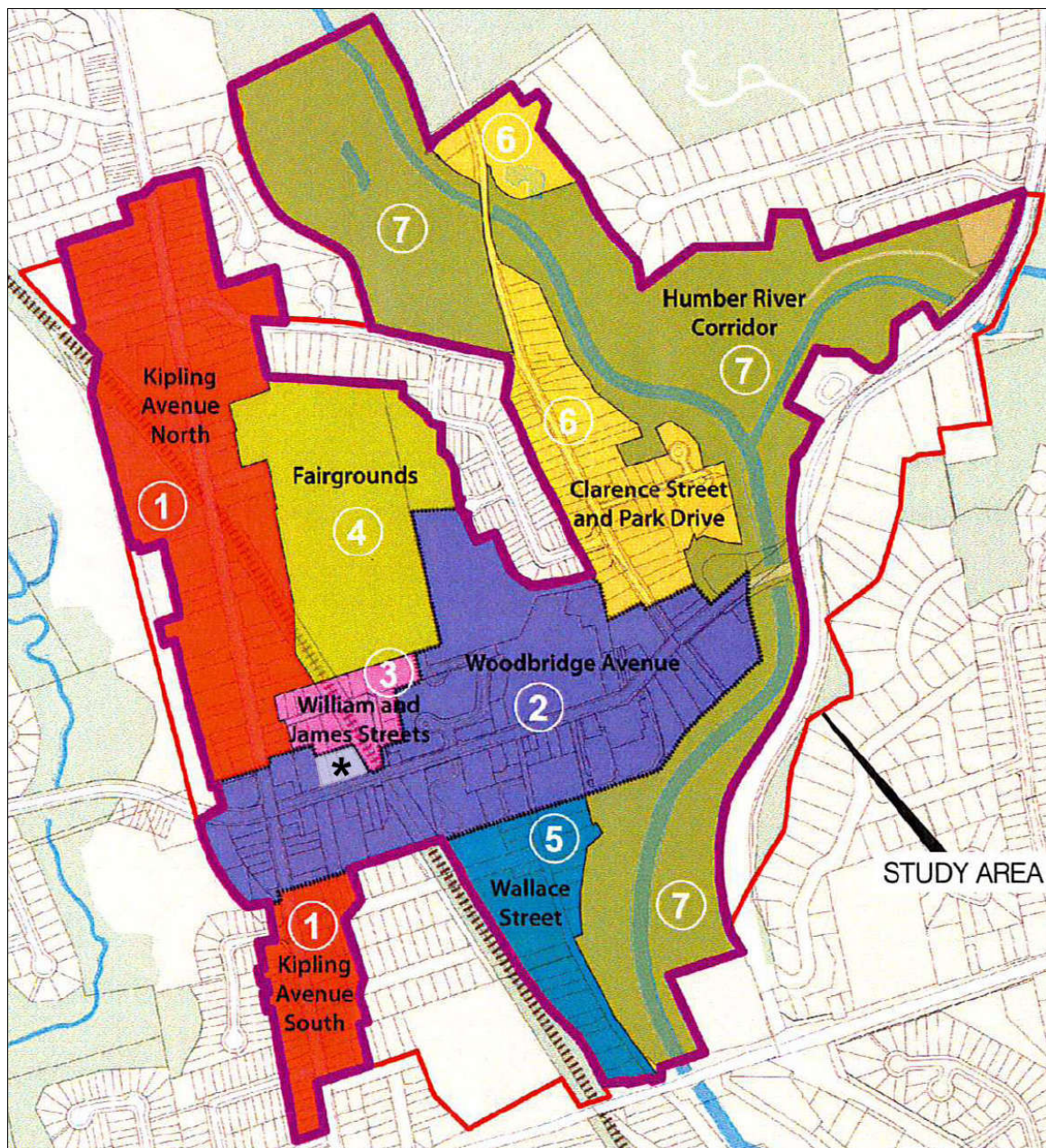


Figure 11 heritage character areas from: *Woodbridge HCD Plan*, p. 59 - asterisk marks subject property

The heritage attributes of Area 2 are:

1. *Main Street character, with pedestrian oriented retail at grade level and a variety of other uses above grade, mostly residential.*
2. *A street wall of buildings averaging between 3 and 4 floors, with some buildings rising up to 6 floors.*

² *Ibid*, p. 59

3. Storefronts open directly onto the sidewalk and provide pedestrians with a variety of storefronts, which change every few steps.
4. Buildings are often built with zero (or minimum) setback.³

Within and surrounding the subject property, clusters of contributing and non-contributing buildings to the heritage character were inventoried in the Plan⁴ (Figure 12).

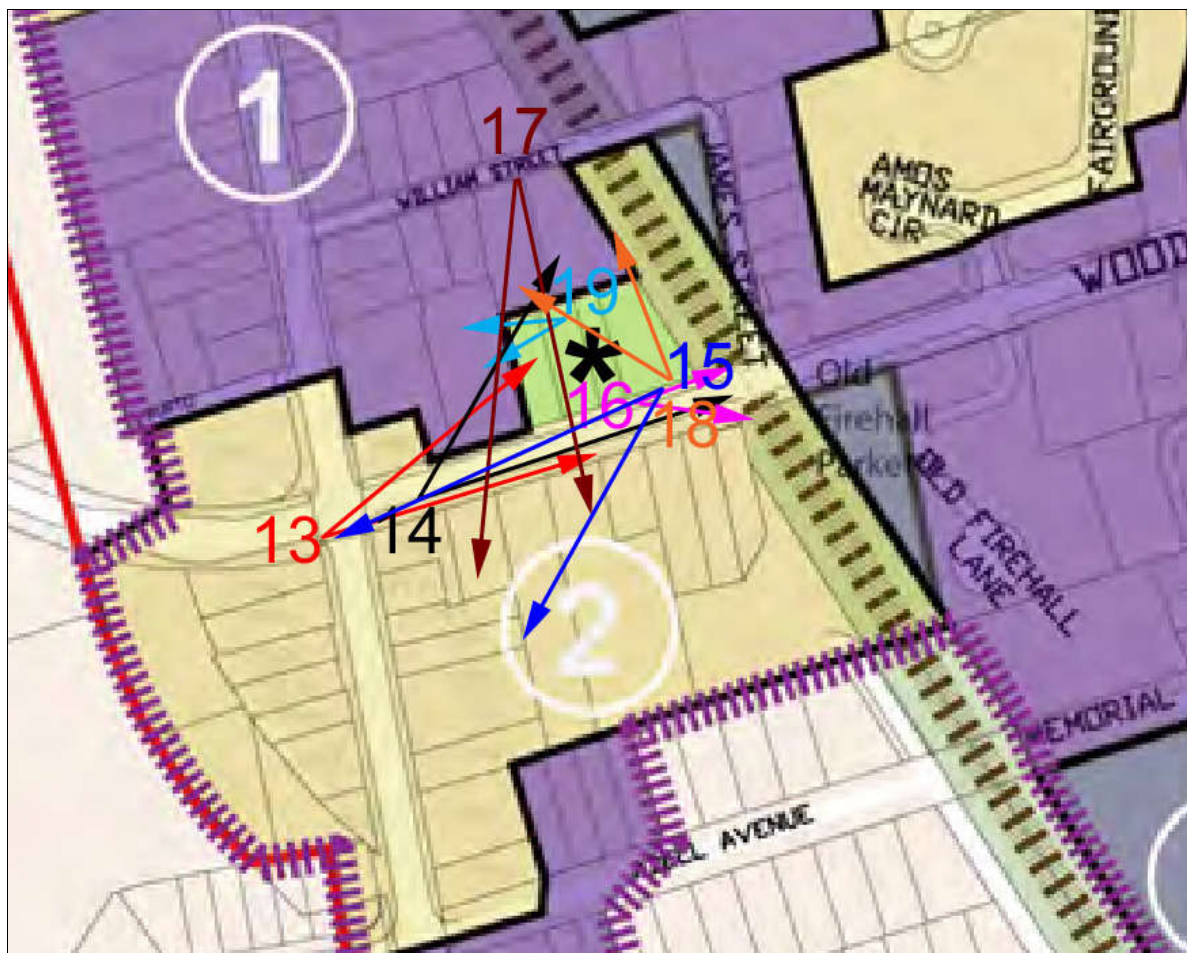


Figure 12 photo key & contributing (1) and non-contributing (2) buildings - asterisk marks subject property from: *Woodbridge HCD Plan*, p. 58

The subject property is within a large cluster of non-contributing buildings, with a contributing building adjacent on the west boundary and contributing buildings adjacent on the north boundary. The railway bridge over Woodbridge Avenue (Figure 16) is a contributing structure and a visual gateway to the village downtown.

Figures 13 through 19, as keyed on Figure 12, illustrate the context within which the subject property is situated. Figure 13 shows the property in the left distance from the intersection of Kipling and Woodbridge. The 6 - 8-storey building on the right and the 2-storey building on the left are non-contributing buildings.

³ *Ibid*, p. 71

⁴ *Ibid*, p. 58

Figure 14, from the sidewalk in front of 281 Woodbridge Avenue, shows the neighbouring contributing building at 268 Woodbridge Avenue, Donald Grant House with the subject property in the background.

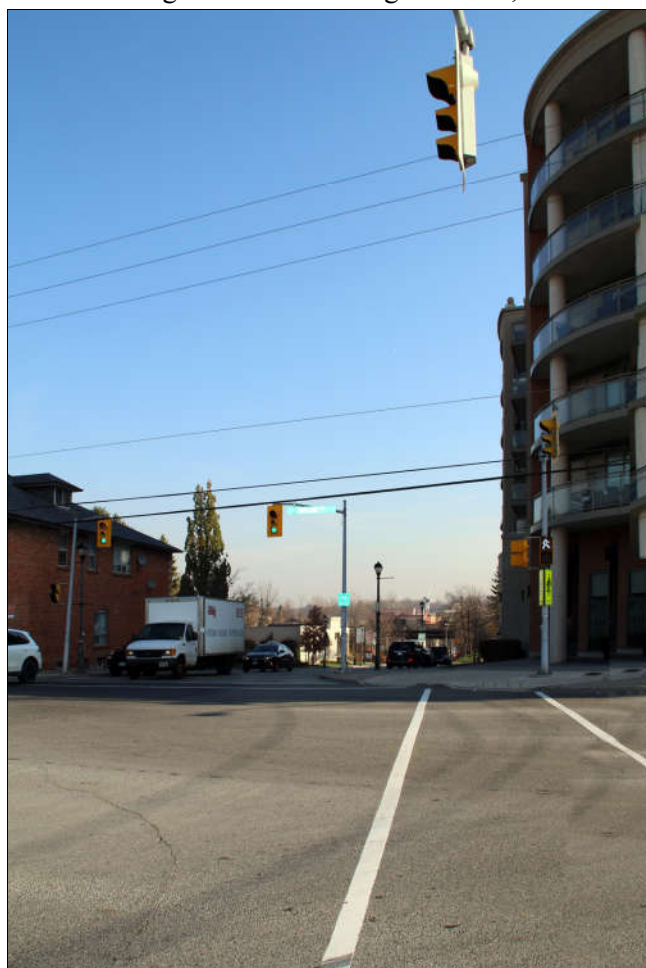


Figure 13 Kipling & Woodbridge, looking east to property



Figure 14 from 281 Woodbridge Ave looking northeast



Figure 15 from 248 Woodbridge Ave looking southwest

Figure 15 shows the non-contributing properties on the south side of Woodbridge Avenue as seen from the subject property at 248 Woodbridge Avenue near the railway bridge (Figure 16).

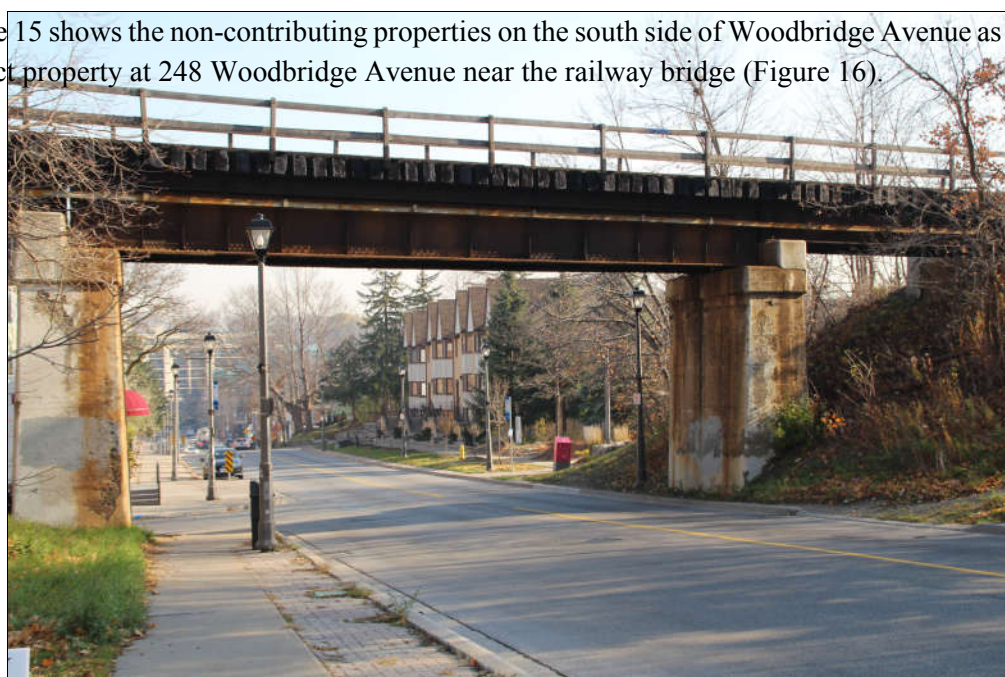


Figure 16

CPR bridge over Woodbridge Avenue looking east

Figure 17 shows the view from 69 William Street, a contributing building, to Woodbridge Avenue.



Figure 17

from 69 William Street to Woodbridge Avenue looking south



Figure 18

from Woodbridge Avenue to rear of subject property - William Street properties behind trees

Figure 18 shows the properties on William Street as seen from the subject property.



Figure 19

268 Woodbridge Avenue from subject property looking west



Figure 20

adjacent heritage resource - 268 Woodbridge Avenue

The HCD Plan contains an inventory of buildings in the District at 2009. Figure 21 (2008 photo) is an excerpt from the inventory sheet for the area on Woodbridge between Kipling and the CPR. Note is made of the previously existing buildings on Lots 252, 256 and 260.

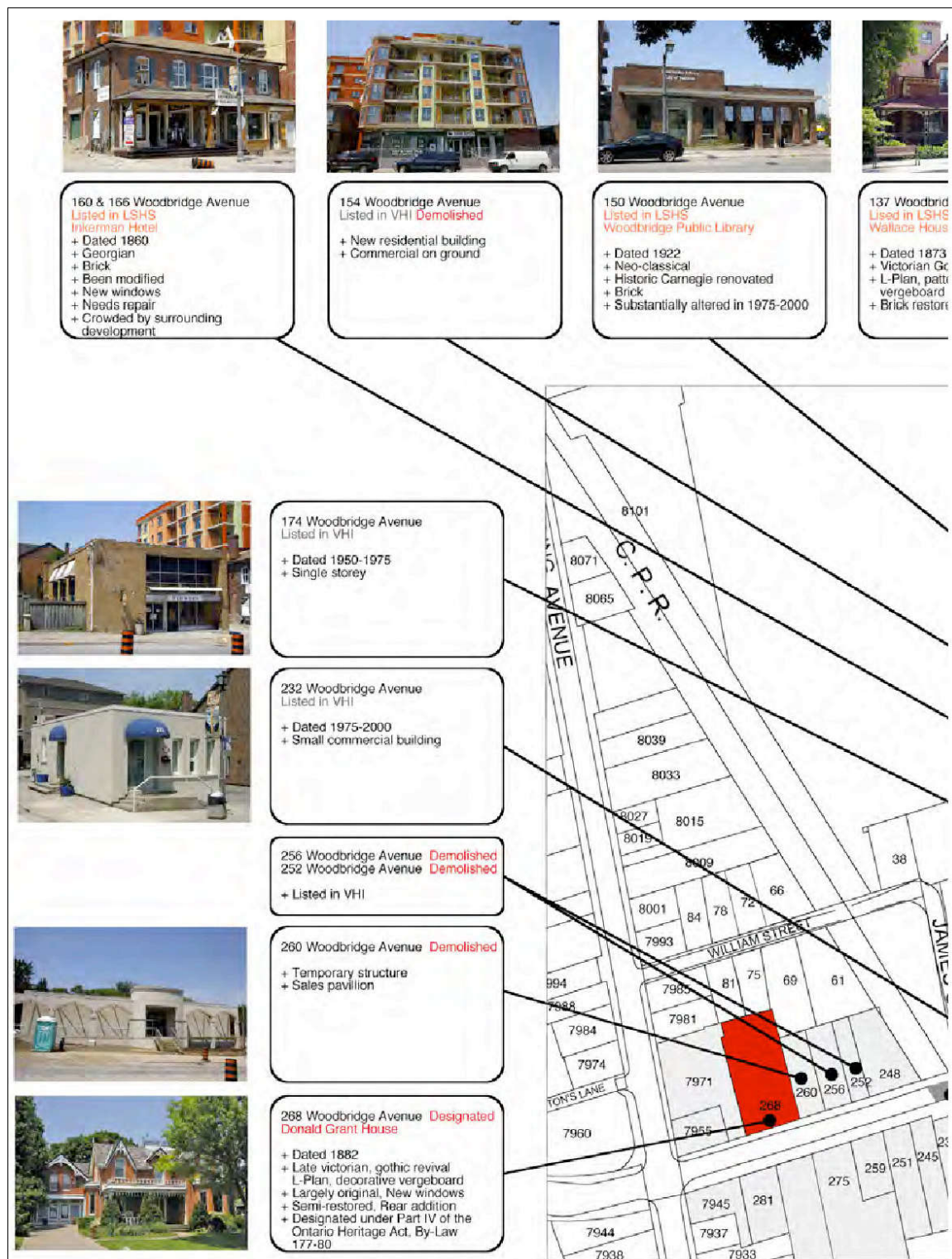


Figure 21

excerpt from *Woodbridge HCD Plan - inventory sheet 5a*, p. 154

Figure 22 is the inventory sheet for the William Street area.



Figure 22

excerpt from *Woodbridge HCD Plan - inventory sheet 3*, pp. 150 & 151

The area in which the subject property is located is bounded by topography in the form of the railway embankment to the east, the higher elevation of William Street to the north, and also of the south side of Woodbridge Avenue. The land also rises to the west towards Kipling. With the added height of buildings on the south side of Woodbridge, the subject property is visually contained to a large extent. The character of the immediate environs is varied, ranging from a 6 - 8-storey building on Woodbridge to a single-storey residence on William Street. Woodbridge Avenue buildings between Kipling and the CPR bridge range from 2 to 8-storeys, with the tallest structure at the highest elevation of land.

The property itself is occupied by a temporary sales office building (Figure 24). The site is relatively flat. It is 3 to 4 metres lower than the lots on William Street and screened by a dense hedgerow (Figure 18). It is also 2 to 3 metres lower than the adjacent 268 Woodbridge Avenue property at the rear where the house is located. The Donald Grant House is heavily screened by mature coniferous and deciduous vegetation (Figure 19). The adjacent CP Railway tracks are 4 to 5 metres above the grade of the property (Figure 23).



Figure 23 C.P.R. railway and Woodbridge Avenue railway bridge from project site



Figure 24 268 Woodbridge Avenue from the east

268 Woodbridge Avenue is set well back of the street and is only visible from the east at or near the westerly property line (Figure 24).

2.3 Architectural evaluation of the subject property

The only structure on the 248 - 260 Woodbridge Avenue property is a 21st century temporary sales office (Figure 24). There is no heritage resource on the property.



Figure 25

temporary sales office at 248 - 260 Woodbridge Avenue

2.4 Development proposal for the subject lands

The architecture of the proposed building draws inspiration from the heritage buildings found in the neighbourhood. It is articulated in traditional architecture with classical proportions, details and materials that are integrated with the existing community. It is a 7-storey building on the south (Woodbridge) elevation and 6 storeys at the rear as a result of the topography. The first storey constitutes a street related podium element with step back occurring at the 2nd floor. The podium creates a scaled interface with the existing sidewalks and street frontages and is composed of mainly masonry with punch windows. The upper floors provide a contemporary expression of the traditional elements of the podium level. The grid arrangement of the masonry pilasters and the glass spandrels echo the proportion of the post and lintel components of the base. The architectural style and materiality of the entire building is such that both traditional and contemporary languages are blended. The aesthetic balance between the traditional cornice and pilaster details and the contemporary glass entrance and balconies achieves a harmonious overall look.

The proposed building is set back 20 m on the east due to the railway, which provides a buffer to mitigate noise. This creates the service and landscape spaces. The majority of the building faces south and west with adequate exposure to sunlight and open views. The building steps back to the north creating a play of terraced levels. Figure 26 is a proposed Site Plan for the development of the property.

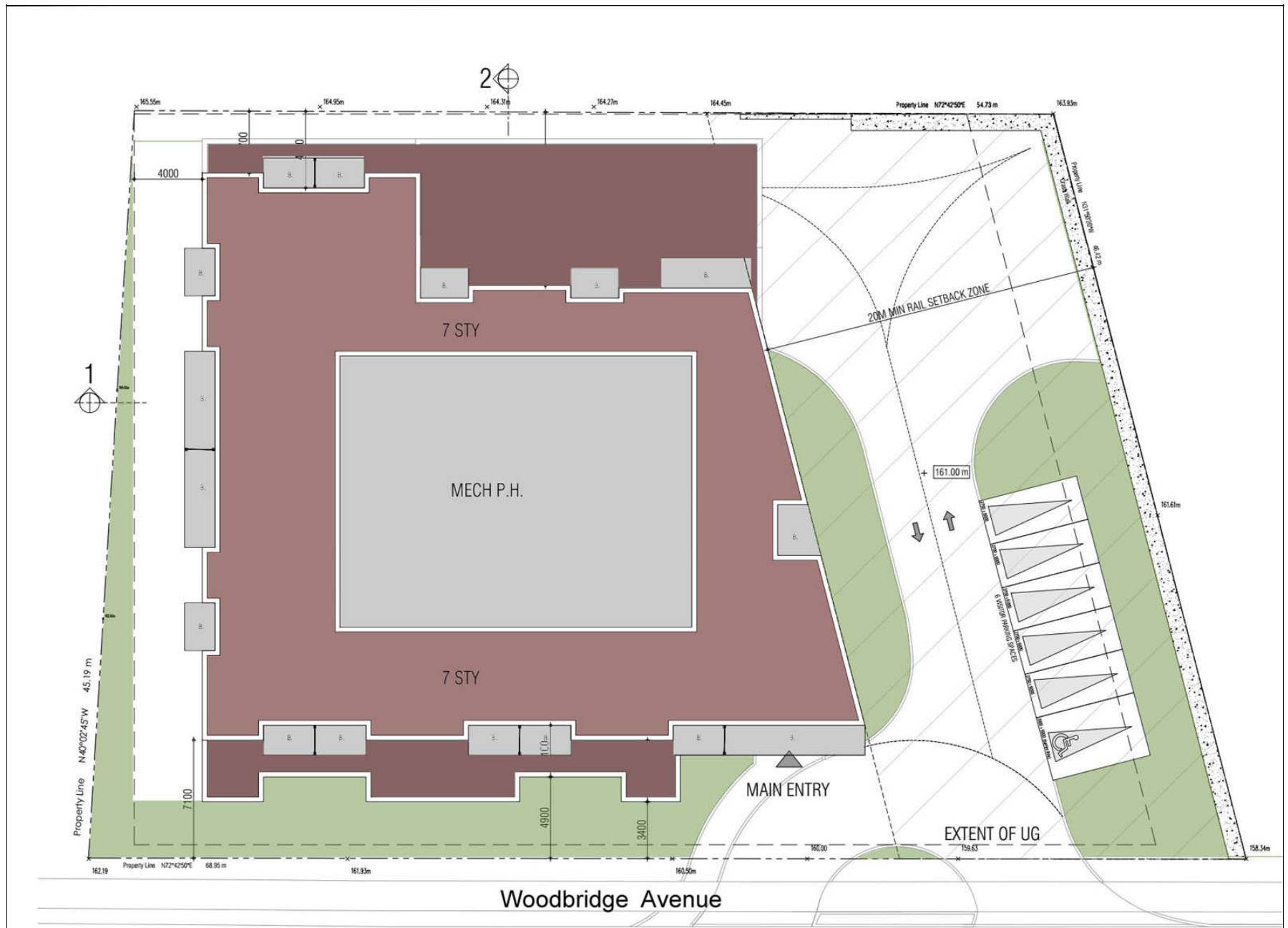
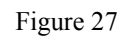


Figure 26

Site Plan - after Graziani + Corraza Architects Inc., May 28, 2020



Landscape Plan - Terraplan Landscape Architects, 15 July 2020



Figure 28

south elevation (Woodbridge Avenue) - *Graziani + Corraza Architects Inc.*, June 2020

Figure 28 is a view of the 7 storey building from the southeast, showing the railway crash wall to the east, a single storey podium of 4.5 metres, and the main entrance facing the street.



Figure 29

south (Woodbridge Avenue) elevation - *Graziani + Corraza Architects Inc.*, June 2020

Figure 29 is a view from the southwest along Woodbridge Avenue. The railway bridge is in the background.

2.5 Potential Impacts on Identified Cultural Heritage Resources and the HCD

Potential impacts per InfoSheet #5, Heritage Impact Assessments and Conservation Plans⁵

<i>Potential Impact</i>	<i>Assessment</i>
<ul style="list-style-type: none"> • destruction of any, or part of any, significant heritage attributes or features 	no destruction of any part of any significant heritage attribute or feature
<ul style="list-style-type: none"> • isolation of a heritage attribute from its surrounding environment, context or a significant relationship 	not applicable
<ul style="list-style-type: none"> • a change in land use where the change in use negates the property's cultural heritage value 	not applicable
<ul style="list-style-type: none"> • alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance 	not applicable
<ul style="list-style-type: none"> • shadows created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden 	there is no shadow cast on the listed building at 69 William Street - the shadow cast on the listed building at 268 Woodbridge Ave. is coincident with the shadow cast by the mature coniferous trees on the east side of that property (see Appendix 2)
<ul style="list-style-type: none"> • direct or indirect obstruction of significant views or vistas within, from, or of built and natural features 	the proposal blocks no significant views of adjacent contributing resources
<ul style="list-style-type: none"> • land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect an archaeological resource 	not applicable

2.6 Evaluation of Proposed Development

Following is an evaluation of the project according to Section 6. (Heritage Attributes and District Guidelines) of the Woodbridge HCD Plan ⁶

<i>Guideline 6.1</i>	<i>Evaluation</i>
<ul style="list-style-type: none"> • Main Street character, with pedestrian oriented retail at grade level and a variety of other uses above grade, mostly residential with ground level of buildings along Woodbridge Avenue flush with the sidewalk, with direct access from the street. 	The building is exclusively residential. It satisfies the Guidelines, no negative impact

⁵ Provincial Policy Statement (PPS, 2005) Cultural Heritage and Archaeology Policies 2.6, InfoSheet #5, Heritage Impact Assessments and Conservation Plans, p. 3

⁶ Heritage Attributes and Guidelines from: *Woodbridge Heritage Conservation District Plan*, Part 2, pp. 71, 80-83

<ul style="list-style-type: none"> Generally, new buildings along Woodbridge Avenue should be no taller than 4 floors (13m) and must be sympathetic to, and transition from, the height of adjacent contributing buildings with a minimum 45 degree angular plane, starting from the existing height of the contributing building, measured at the building's edge. New buildings may be allowed an increase in building height to 6 storeys provided that they meet official plan policy. In such cases, a podium of a minimum 2 floors and a maximum of 4 floors is required, with the additional two floors stepping back on a 45° angular plane. 	<p>The proposed building is 7 storeys on Woodbridge Ave., stepping back from a first floor podium. The building main roof is at a geodetic height of 184.86, based on 7 storeys exposed on the Woodbridge Ave frontage (p1 + 6 floors), and 6 storeys on the north, west and east sides. The mechanical penthouse roof is at a geodetic height of 190.86. The 7 storey building across the street is at a geodetic height of 192.10.</p>
<ul style="list-style-type: none"> Storefronts must be oriented towards the street and should be experienced as a collection of small scaled retail, with operable doors 	<p>Not applicable - there are no storefronts.</p>
<ul style="list-style-type: none"> New buildings should be built directly to the front property or street line to establish a continuous street wall. When located adjacent to existing contributing buildings that are set back from the property or street line, new buildings should transition back to the setback line of existing contributing buildings in order to maintain open views and vantage points from the street to the contributing buildings. 	<p>The proposed building is located directly at the front property or street line to establish a continuous street wall. It does not transition back to the setback line of the existing contributing building to the west which is set to the rear of the lot. Open views are afforded to that building from the street.</p>
<ul style="list-style-type: none"> Existing contributing buildings should retain their historic setbacks, and create front landscaped courtyards that open onto Woodbridge Avenue to build on the "green" character of the street. 	<p>Not applicable - there are no contributing buildings on the property.</p>

6.3 Architectural Guidelines for New Buildings, Additions and Alterations

Guideline 6.3.2. Contemporary Design

- Contemporary work should be 'of its time'. It should avoid blurring the line between real historic 'artifacts' and contemporary elements. Current designs with borrowed detailing inappropriately, inconsistently, or incorrectly used, such as pseudo-Victorian detailing, should be avoided. Architectural Guidelines for design include: material palette, proportions of parts, solidity verses transparency and detailing.

Evaluation

The proposed development is clearly of its own time and place with a contemporary style that does not reproduce historic detailing. Brick in red tones is used as a reference to the materiality and colour palette found along Woodbridge Avenue

6.4 Built Form Framework

- Materials proposed for new buildings in the district should include those drawn from ones historically in use in Woodbridge. This includes brick, stone, traditional stucco, wood siding and trim, glass windows and storefronts and various metals.
- New buildings in the district must consider the proportions of immediate neighbouring buildings, but must also consider portions of historical precedents (e.g. window height, base-body-cap, etc.)
- The level of transparency in the new work should be set at a level that provides a good fit on the street frontages. In the Woodbridge Avenue Character Area, a Main Street approach can be taken and a more transparent building permitted between the ratios of 20% solid to 70% solid.
- For new buildings in the Woodbridge Heritage District, the detailing of the work should again refer to the nature of the immediate context and the attributes of the Character Area in which it is to be placed. In the Woodbridge Avenue Character Area, detailing can be more contemporary yet with a deference to scale, repetition, lines and levels, beam and column, solid and transparent that relates to the immediate context.
- When new buildings are located adjacent to existing contributing buildings that are set back from the property or street line, new buildings should transition back to the setback line of existing contributing buildings in order to maintain open views and vantage points from the street to the contributing buildings.
- All buildings must have active uses facing the street. No building shall have a blank wall facing a street or public space.
- Where heritage contributing buildings are located on either side of a new development site, and are set further back from the zero setback line; the setback for the development site will be the average of the front yard setbacks of the two properties on either side.

Evaluation

The development is clad primarily in red brick tones. Windows are of clear glass..

The development has appropriately proportioned windows based on the volume of the building as well as appropriate pilaster separations to add rhythm to the facade.

The solid-to-transparency ratio is appropriate in this development and fits well with this part of the streetscape along Woodbridge Avenue.

The detailing in the development is appropriate as the pilasters on the facades add rhythm to the building, referencing historical proportions with a contemporary style.

The adjacent contributing building to the west is set at the rear of the property and is currently only visible from the east on Woodbridge Ave. at or near the property line (see Figure 24). The proposed building does not block views of the adjacent building.

No blank walls face Woodbridge Avenue.

*Does not comply.

6.4 Built Form Framework

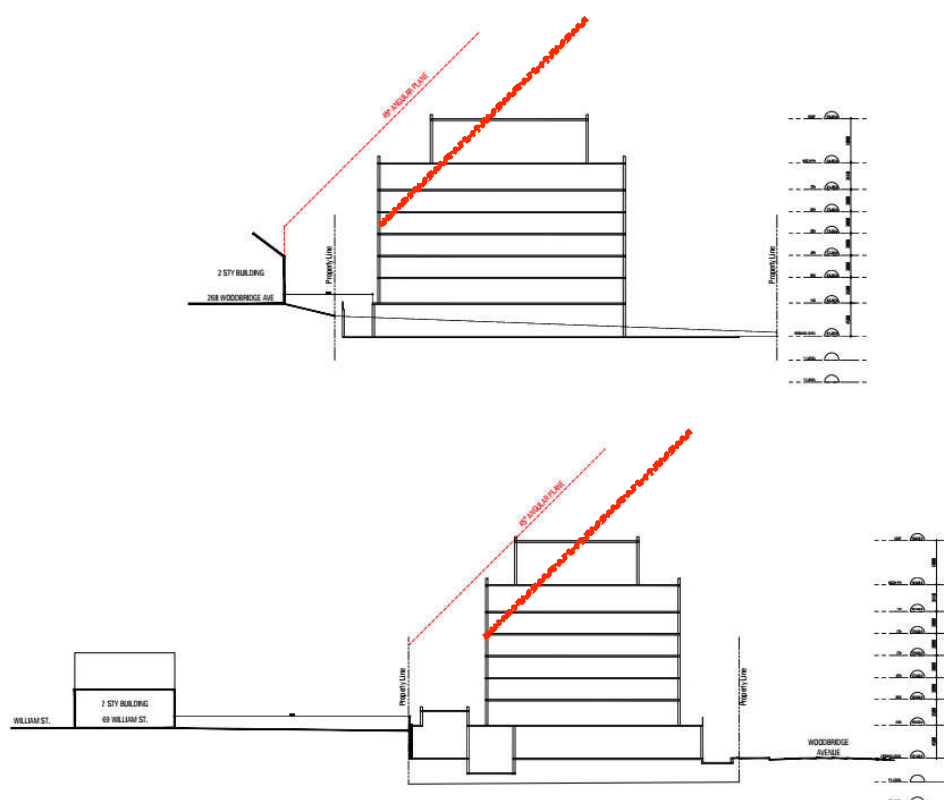
- Where heritage contributing buildings are set further back from the recommended zero setback line, any new development adjacent to the heritage contributing building must be set back, at a minimum, to a line measured at 45 degrees from the front corner of the existing heritage contributing building.
- New buildings should have no side yards fronting onto Woodbridge Avenue, and should create a continuous street wall.
- The height of existing contributing buildings should be maintained. New buildings must be sympathetic to, and transition from, the height of adjacent contributing buildings, with a minimum 45 degree angular plane.

Evaluation

*Does not comply.

Separation from the railway is a safety requirement, resulting in a 20 m side yard on the east.

The proposed development is adjacent to the back yard of a contributing residence to the north. It is stepped back from it and the 45 degree angular plane is respected. The proposed development is also adjacent to a contributing, former residential to the west. It is stepped back from it and the 45 degree angular plane is respected.



- New buildings must have a building podium, lining the street, of 2 floors minimum and 4 floors maximum.

Podium height is 1 floor; however at 4.5 m it is equivalent to 1½ storeys.

6.6 Open Space Framework

- The accommodation of pedestrians will have priority over the accommodation of vehicles.
- Streetscapes should conserve the existing green canopy and provide new tree planting where none exists, in order to create a continuous tree canopy along the street.

Evaluation

The parking garage door is at the rear of the east wall, well back from the property line minimizing its view from Woodbridge Ave.

The streetscape is currently devoid of trees. Street trees are proposed in the landscape plan (Figure 27.)

6.6 Open Space Framework

- Trees on public and private property, having a tree diameter of twenty (20) centimetres or more or having a base diameter of twenty (20) centimetres or more, must be conserved, and the requirements of the City of Vaughan Tree Bylaw 185-2007 must be adhered to.

A number of trees with diameters of 20cm or more are proposed to be removed. Refer to the Arborist Report for further information.

6.7 Urban Design

- Woodbridge Avenue should continue to function as a mixed use commercial street and promenade with commercial animation at grade.
- The street section should reflect a more formal landscape treatment and tree planting design that responds to at-grade retail amenities.
- The sidewalks should be primarily hard surfaced to accommodate pedestrian traffic and there should be continuous sidewalk on both sides of the street.
- Woodbridge Avenue should have a continuous enhanced paving treatment and palette of furnishings such as special lighting standards and benches that demarcate it as a “special street” and enhances the identity of the Woodbridge Core.
- Woodbridge Avenue should accommodate on street parking where possible.
- On-site parking, including structured parking should not be visible from the street or from public spaces. Parking areas should be concealed and buffered with buildings with active uses.

Does not comply. The building is residential.

Not applicable - see above.

Sidewalks are hard surfaced accommodating pedestrian traffic.

See Landscape Plan.

A drop-off area is included at the main entrance. There is currently no on-street parking.

Short-term parking is provided at the railway side of the property. Structured parking is not visible from the street.

* To comply with these guidelines would be in conflict with the guideline to establish a continuous street wall and would relegate development of the property primarily to the rear and east (railway line) side of the property. The contributing building to the west is set at the extreme rear of the lot and is screened from the

subject property in a manner that does not afford views of it travelling from the east on Woodbridge until at or near its easterly property line. The HCD Guidelines provide that consideration may be given to the setback requirements of new buildings only when new construction is set back from the street frontage of the contributing building to maintain open views and vantage points from the street, and where the parts of the contributing building that will be enclosed or hidden from view by the new construction do not contain significant heritage attributes and the three dimensional form of contributing buildings can be maintained. No parts of the contributing building are hidden from view and the new development is of appropriate architectural quality, contributing to the district's heritage character. It would appear that consideration is warranted.

3.0 CONCLUSION

Section 2 of the *Planning Act* indicates that City of Vaughan Council shall have regard to matters of Provincial interest such as the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest. In addition, Section 3 of the *Planning Act* requires that decisions of Council shall be consistent with the *Provincial Policy Statement* (PPS 2014). Policy 2.6.3 of the PPS requires that *...Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved..*⁷

*“Conserved” means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained under the Ontario Heritage Act.*⁸

Located within the Woodbridge Heritage Conservation District, the property contains no potential built heritage resources; two contributing heritage properties are adjacent. The proposal meets, with two exceptions, (front yard setback and height), the Guidelines of the Woodbridge Heritage Conservation District Plan. The exceptions, in the opinion of this author, should not prevent a positive recommendation regarding the proposed development.

This Cultural Heritage Resource Impact Assessment and Heritage District Conformity Report is respectfully submitted by:

CHC Limited



per: Owen R. Scott, OALA, FCSLA, CAHP

⁷ *Provincial Policy Statement (PPS, 2014) Cultural Heritage and Archaeology Policies 2.6, InfoSheet #5, Heritage Impact Assessments and Conservation Plans, Winter 2006*

⁸ *Ibid, p.40*

REFERENCES

City of Vaughan *Guidelines for Cultural Heritage Impact Assessments, Updated February 2016*

Illustrated historical atlas of the county of York and the township of West Gwillimbury & town of Bradford in the county of Simcoe, Ont. Toronto : Miles & Co., 1878.

Provincial Policy Statement (PPS, 2014) Cultural Heritage and Archaeology Policies 2.6, InfoSheet #5, Heritage Impact Assessments and Conservation Plans, Winter 2006

Plan of Survey Showing Topographical Detail of Lots 11 & 12 and Part of Lots 9 & 10, Registered Plan 385 City of Vaughan Regional Municipality of York - Rady-Pentek & Edward Surveying Limited, 8 October 2015

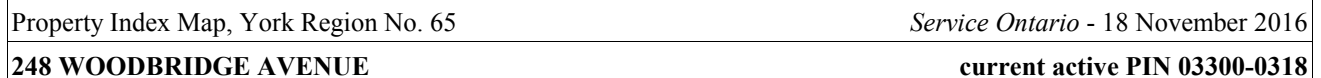
Vaughan Official Plan Volume 2 Chapter 12, Area Specific Policies

Woodbridge Heritage Conservation District Study and Plan, Final Document April 2009, Office for Urbanism. In association with Goldsmith Borgal and Company Architects (GBCA)

A Heritage Conservation District Conformity Report: *a report prepared for development on any lands located within a designated Heritage Conservation District in the City's Official Plan to ensure that any development on these lands are in conformance with the Heritage Conservation District Guidelines referred to in the City's Official Plan. This report must be prepared by a Certified Heritage Consultant. The professional preparing the material must have the expertise relating to the conservation of the type of the subject heritage resource, such as being registered in the "building specialist" category, under the Canadian Association of Heritage Professionals.* "Pre-application Consultation Understanding" PAC Meeting April 6, 2016 (PAC.16.019), City of Vaughan

Provincial Policy Statement (PPS, 2014) Cultural Heritage and Archaeology Policies 2.6, InfoSheet #5, Heritage Impact Assessments and Conservation Plans, Winter 2006

Indenture in Pursuance of the Act Respecting Short Form of Conveyance between John A. McClure, Tailor and the Toronto Grey and Bruce Railway Company (Canadian Pacific Railway), August 1907



date	instrument	from - to	amount	instrument no.
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Part of Lot 9, Plan 385, City of Vaughan

01 Nov 1875	Grant	James W. McClure to Andrew McClure	\$600	1863
13 Feb 1894	Grant	Estate of Andrew McClure to John A. McClure (W pt Lot 9)		384
30 Aug 1907	Grant	John A. McClure to Toronto Grey & Bruce Ry Company	\$800	688
25 Aug 1995	Quit Claim	Toronto Grey & Bruce Ry Company & Ontario and Quebec Railway Company & Canadian Pacific Limited to Armando Mastropaolo		663978
01 Nov 1875	Grant	James W. McClure to Andrew McClure	\$600	1863
13 Feb 1894	Grant	Estate of Andrew McClure to Sarah G. Wiggins	\$240	377
13 Feb 1894	Grant	Estate of Andrew McClure to John A. McClure (E pt Lot 10)		684
28 Mar 1896	Grant	Sarah G. Wiggins to John G. Hallett		432
22 July 1907	Grant	Estate of Andrew McClure to John A. McClure (E pt Lot 10)		690
30 Aug 1907	Grant	John A. McClure to Toronto Grey & Bruce Ry Co (pt Lot 10)	\$600	688
17 Jan 1912	Grant	John G. Hallett to Jane Gordon	\$550	836
01 June 1920	Grant	Jane Burkitt (Gordon) to Thomas S. Wise	\$1,000	1040
12 Oct 1949	Grant	Estate of Thomas Wise to Winnifred E. Wise		2437
30 Jan 1987	Grant	Winnifred Ellen Wise to Patrick Luciani		422993
07 Aug 1987	Grant	Patrick Luciani to Frank Mazzone		442551
18 May 1988	Quit Claim	Toronto Grey & Bruce Ry Co to Patrick Luciani		468428
19 May 1988	Grant	Frank Mazzone to Italo & Rinaldo Zeppieri and Peter Moncada		468525

248 WOODBRIDGE AVENUE			current active PIN 03300-0318	
date	instrument	from - to	amount	instrument no.
19 May 1988	Mortgage	Royal Bank of Canada to Italo & Rinaldo Zeppieri and Peter Moncada	\$135,000	468526
14 June 1988	Quit Claim	Frank Mazzone to Italo & Rinaldo Zeppieri and Peter Moncada		471339
10 Jan 1994	Transfer	Royal Bank of Canada to Armando Mastropaolo	\$125,000	632492
25 Aug 1995	Quit Claim	Toronto Grey & Bruce Ry Company & Ontario and Quebec Railway Company & Canadian Pacific Limited to Armando Mastropaolo		663978
27 Oct 2005	Transfer	Armando Mastropaolo to Armando Mastropaolo		R750387
16 Nov 2005	Transfer	Armando Mastropaolo to 2071228 Ontario Limited	\$3,200,000	YR732800
2005 - Lots 9, 10, 11 & 12 assembled by 2071228 Ontario Limited				

252 WOODBRIDGE AVENUE			current active PIN 03300-0302	
date	instrument	from - to	amount	instrument no.
Part of Lot 10, Plan 385, City of Vaughan				
04 Feb 1875	Grant	James McClure to James S. Robinson	\$275	1942
18 Nov 1876	Grant	James S. Robinson to Alice Robinson	\$300	2141
Aug 1888	Mortgages	Joseph Rowan to Alice Robinson	\$1,209	174 & 255
29 Dec 1902	Grant (POS)	Joseph Rowan to Joseph W. Rowan	\$400	710
24 Dec 1907	Grant	Joseph W. Rowan to David Stewart	\$475	711
03 Jan 1908	Quit Claim	Joseph W. Rowan to David Stewart		725
02 June 1915	Grant	Estate of David Stewart to Henry C. Stewart		923
10 Mar 1932	Grant	Henry Carruthers Stewart to Annie Margaret Stewart		1491
22 Oct 1935	Grant	Estate of Annie Stewart to William J. Mitchell		??
10 Jan 1952	Grant	Estate of William J. Mitchell to Martha E. Hetherington		2671
03 June 1965	Grant	Martha Hetherington to Sylvester & Dorothy Elizabeth Caster		5866
14 Apr 1989	Transfer	Dorothy Elizabeth Caster to Frank Fragate	\$240,000	504386
13 Oct 1989	Transfer	Frank Fragate to Zeppieri Construction Limited		523653
03 Feb 1994	Transfer (POS)	CIBC Mortgage Corporation to Mary & Domenic Leone	\$109,000	633828
30 May 1994	Transfer	Mary & Domenic Leone to Mary Leone		640600
23 July 1999	Transfer	Mary Leone to Victor DaSilva	\$170,000	LT1381925
17 July 2001	Transfer	Victor DaSilva to Carlo & Maria Pellegrino	\$253,000	YR22982
02 May 2005	Transfer	Carlo & Maria Pellegrino to 2071228 Ontario Limited	\$450,000	YR633113
2005 - Lots 9, 10, 11 & 12 assembled by 2071228 Ontario Limited				

Appendix 1

Chains of Title (to November 18, 2016)

248 - 260 Woodbridge Avenue, Woodbridge, ON

256 WOODBRIDGE AVENUE			current active PIN 03300-0160	
date	instrument	from - to	amount	instrument no.
Lot 11, Plan 358, City of Vaughan				
04 Feb 1875	Grant	James McClure to James S. Robinson	\$275	1942
18 Nov 1876	Grant	James S. Robinson to Alice Robinson	\$300	2141
Aug 1888	Mortgages	Joseph Rowan to Alice Robinson	\$1,209	174 & 255
29 Dec 1902	Grant (POS)	Joseph Rowan to Joseph W. Rowan	\$400	710
24 Dec 1907	Grant	Joseph W. Rowan to David Stewart	\$475	711
03 Jan 1908	Quit Claim	Joseph W. Rowan to David Stewart		725
16 Apr 1915	Grant	Estate of David Stewart to Lizzie Hook (W 33')	\$150	915
05 Oct 1920	Grant	Lizzie Hook to T. Alex Smithers (W 33')		1058
?? Oct 1949	Grant	Estate of Thomas A. Smithers to George A. Bagg (W 33')	\$300	2393
29 July 1982	Grant	Estate of George A. Bagg to Keshodat & Kathleen Kumar (W 33')		297120
15 Oct 1985	Grant	Keshodat & Kathleen Kumar to Andrew Chlebus (W 33')		381011
05 July 1996	Transfer	Andrew Chlebus to Guiseppe Giglio and Jim Rocovitis	\$218,500	680691
16 July 1999	Transfer	Guiseppe Giglio and Jim Rocovitis to Osorio Santiago	\$500,000	LT1379794
26 Aug 2005	Transfer	Osorio Santiago to 2071228 Ontario Limited		YR691009
2005 - Lots 9, 10, 11 & 12 assembled by 2071228 Ontario Limited				

260 WOODBRIDGE AVENUE			current active PIN 03300-0159	
date	instrument	from - to	amount	instrument no.
Lot 12, Plan 358, City of Vaughan				
04 Feb 1876	Grant	James H. McClure to Alexander Locke	\$250	1941
11 May 1888	Vesting Order	High Court of Justice to Simon Skunk (does not appear to have effected Lot 12)		244
05 Apr 1900	Grant	Alexander & Sarah Jane Locke to Frederick Wise	\$900	502
31 May 1907	Grant	Frederick W. Wise to Mary E. Locke	\$1,000	685
07 June 1913	Grant	Mary E. Locke to Frank Postlethwaite	\$850	865
07 June 1913	Grant	Frank Postlethwaite to James Gilchrist		868
18 Mar 1914	Grant	James Gilchrist to Lizzie Hook	\$1,000	892
07 Apr 1919	Lease	Lizzie Hook to William H. Frayer (for 3 years)	\$180	1007
06 Oct 1920	Grant	Lizzie Hook to T. Alex Smithers		1058
06 Oct 1920	Quit Claim	William H. Frayer to Lizzie Hook		1065
28 June 1943	Grant	Estate of Thomas A. Smithers to Lorne Carr	\$4,500	1853
20 Oct 1970	Grant	Lorne Carr to Lorne & Ellen B. Carr		7247
02 May 2005	Survivorship Application	to Ellen Blanche Linnerth		YR633006
03 May 2005	Transfer	Ellen Blanche Linnerth to 2071228 Ontario Limited		YR633306

Appendix 1

Chains of Title (to November 18, 2016)

248 - 260 Woodbridge Avenue, Woodbridge, ON

260 WOODBRIDGE AVENUE			current active PIN 03300-0159	
date	instrument	from - to	amount	instrument no.
2005 - Lots 9, 10, 11 & 12 assembled by 2071228 Ontario Limited				

11 Feb 2016 - Lots assembled by 2071228 Ontario Limited in 2005 purchased by City Park (Woodbridge Gates North) Inc.				
11 Feb 2016	Transfer	2071228 Ontario Limited to City Park (Woodbridge Gates North) Inc.	\$3,200,000	YR2429873

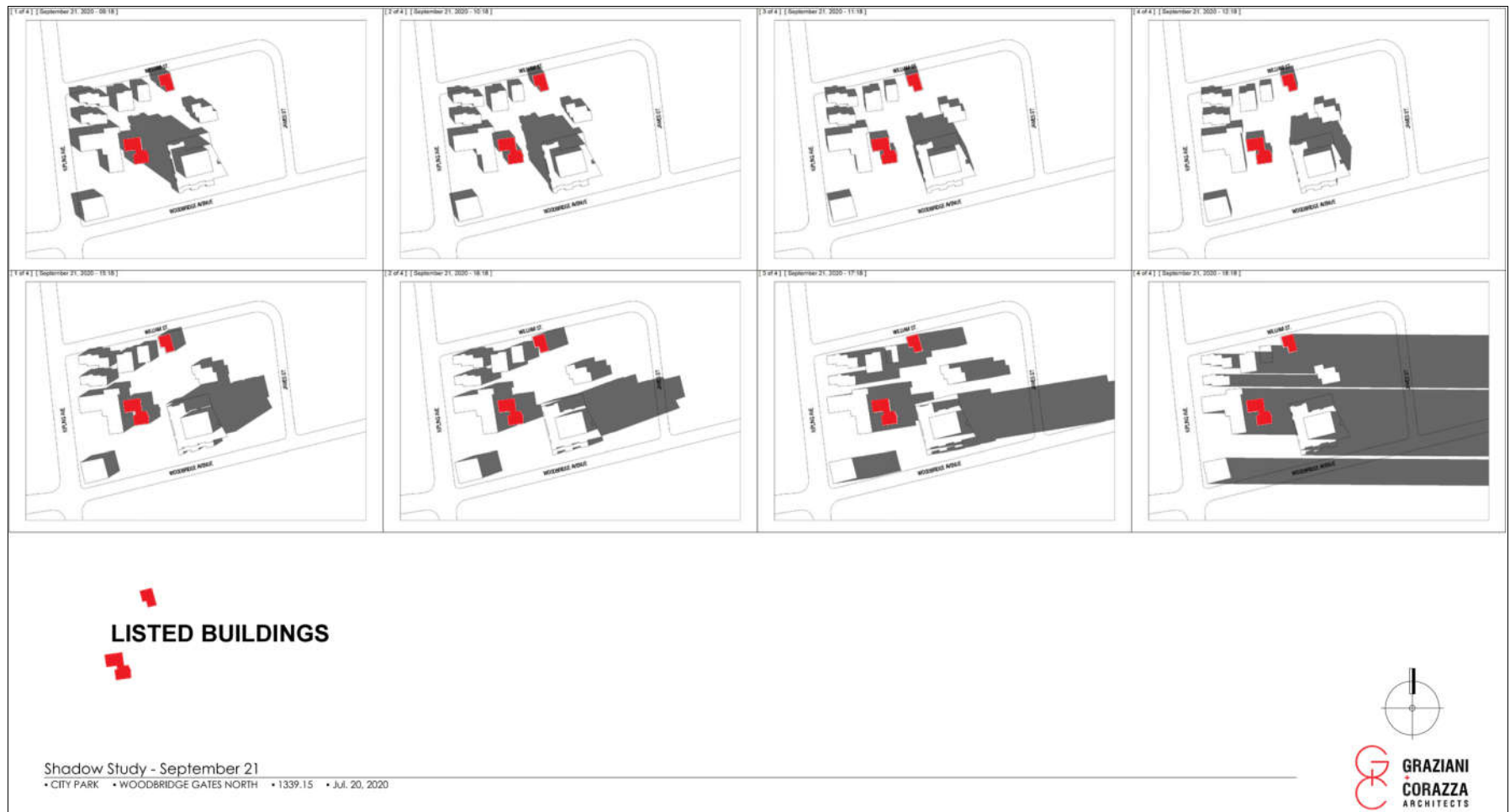
Appendix 2 Shadow Study



The listed building at 69 William Street is not affected by the proposed building on Woodbridge Avenue.

The listed building at 268 William Street is in partial to full shadow from 4:00 PM to evening from the church building on Kipling Avenue. It is not affected by the proposed building on Woodbridge Avenue.

Appendix 2 Shadow Study



The listed building at 69 William Street is in partial shadow from the building to the west from 5:00 PM on. It is not affected by the proposed building on Woodbridge Avenue.

The listed building at 268 Woodbridge Avenue is in partial to full shadow from 4:00 PM to evening from the church building on Kipling Avenue. It is in full to partial shadow from the proposed building on Woodbridge Avenue from 9:00AM to 10:20AM. However, what is not taken into account is the shadows created by the mature coniferous trees on the lot on its easterly property boundary and that created by the building on the south side of Woodbridge Avenue as shown in the photographs on the following page.

Appendix 2 Shadow Study



Tall coniferous trees create year-round shadow on the Woodbridge Avenue listed building.



RESUME

OWEN R. SCOTT, OALA, FCSLA, CAHP

Education:

Master of Landscape Architecture (MLA) University of Michigan, 1967

Bachelor of Science in Agriculture (Landscape Horticulture), (BSA) University of Guelph, 1965

Professional Experience:

1965 - present President, CHC Limited, Guelph, ON
1977 - 2018 President, The Landplan Collaborative Ltd., Guelph, ON
1977 - 1985 Director, The Pacific Landplan Collaborative Ltd., Vancouver and Nanaimo, BC
1975 - 1981 Editor and Publisher, *Landscape Architecture Canada*, Ariss, ON
1969 - 1981 Associate Professor, School of Landscape Architecture, University of Guelph
1975 - 1979 Director and Founding Principal, Ecological Services for Planning Limited, Guelph, ON
1964 - 1969 Landscape Architect, Project Planning Associates Limited, Toronto, ON

Historical Research, Heritage Planning and Conservation Experience and Expertise

Current Professional and Professional Heritage Associations Affiliations:

Member: Alliance for Historic Landscape Preservation (AHLP) - 1978 -
Member: Canadian Association of Heritage Professionals (CAHP) - 1987 -
Member: Ontario Association of Landscape Architects (OALA) - 1968 - (Emeritus 2016)
Member: Canadian Society of Landscape Architects (FCSLA) - 1969 - (Fellow 1977, Life Member 2016)

Community and Professional Society Service (Heritage):

Director: Canadian Association of Heritage Professionals (CAHP), 2002 - 2003
Member: Advisory Board, Architectural Conservancy of Ontario, 1980 - 2002
Member: City of Guelph Local Architectural Conservation Advisory Committee (LACAC), 1987 - 2000 (Chair 1988 - 1990)
Member: Advisory Council, Centre for Canadian Historical Horticultural Studies, 1985 - 1988

Professional Honours and Awards (Heritage):

Merit Award	2016	Canadian Association of Heritage Professionals Awards, City of Kitchener Cultural Heritage Landscapes
National Award	2016	Canadian Society of Landscape Architects (CSLA), City of Kitchener Cultural Heritage Landscapes
Mike Wagner Award	2013	Heritage Award - Breithaupt Block, Kitchener, ON
People's Choice Award	2012	Brampton Urban Design Awards, Peel Art Gallery, Museum and Archives, Brampton, ON
Award of Excellence	2012	Brampton Urban Design Awards, Peel Art Gallery, Museum and Archives, Brampton, ON
National Award	2009	Heritage Canada Foundation National Achievement, Alton Mill, Alton, ON
Award of Merit	2009	Canadian Association of Heritage Professionals Awards, Alton Mill, Alton, ON
Award	2007	Excellence in Urban Design Awards, Heritage, Old Quebec Street, City of Guelph, ON
Award	2001	Ontario Heritage Foundation Certificate of Achievement
Award	1998	Province of Ontario, Volunteer Award (10 year award)
Award	1994	Province of Ontario, Volunteer Award (5 year award)
Regional Merit	1990	CSLA Awards, Britannia School Farm Master Plan
National Honour	1990	CSLA Awards, Confederation Boulevard, Ottawa
Citation	1989	City of Mississauga Urban Design Awards, Britannia School Farm Master Plan
Honour Award	1987	<i>Canadian Architect</i> , Langdon Hall Landscape Restoration, Cambridge, ON
Citation	1986	<i>Progressive Architecture</i> , The Ceremonial Routes (Confederation Boulevard), Ottawa,
National Citation	1985	CSLA Awards, Tipperary Creek Heritage Conservation Area Master Plan, Saskatoon, SK
National Merit	1984	CSLA Awards, St. James Park Victorian Garden, Toronto, ON
Award	1982	Ontario Ministry of Municipal Affairs Ontario Renews Awards, Millside, Guelph, ON

Appendix 3

Qualifications of the Author

Selected Heritage Publications:

- Scott, Owen R., The Southern Ontario “Grid”, *ACORN* Vol XXVI-3, Summer 2001. *The Journal of the Architectural Conservancy of Ontario*.
- Scott, Owen R. *19th Century Gardens for the 20th and 21st Centuries*. Proceedings of “Conserving Ontario’s Landscapes” conference of the ACO, (April 1997). Architectural Conservancy of Ontario Inc., Toronto, 1998.
- Scott, Owen R. *Landscapes of Memories, A Guide for Conserving Historic Cemeteries*. (19 of 30 chapters) compiled and edited by Tamara Anson-Cartright, Ontario Ministry of Citizenship, Culture and Recreation, 1997.
- Scott, Owen R. Cemeteries: A Historical Perspective, *Newsletter, The Memorial Society of Guelph*, September 1993.
- Scott, Owen R. The Sound of the Double-bladed Axe, *Guelph and its Spring Festival*. edited by Gloria Dent and Leonard Conolly, The Edward Johnson Music Foundation, Guelph, 1992. 2 pp.
- Scott, Owen R. Woolwich Street Corridor, Guelph, *ACORN* Vol XVI-2, Fall 1991. Newsletter of the Architectural Conservancy of Ontario Inc. (ACO)
- Scott, Owen R. guest editor, *ACORN*, Vol. XIV-2, Summer 1989. Cultural Landscape Issue, Newsletter of the ACO.
- Scott, Owen R. Heritage Conservation Education, Heritage Landscape Conservation, *Momentum 1989*, Icomos Canada, Ottawa, p.31.
- Scott, Owen R. Cultivars, pavers and the historic landscape, *Historic Sites Supplies Handbook*. Ontario Museum Association, Toronto, 1989. 9 pp.
- Scott, Owen R. Landscape preservation - What is it? *Newsletter, American Society of Landscape Architects - Ontario Chapter*, vol. 4 no.3, 1987.
- Scott, Owen R. Tipperary Creek Conservation Area, Wanuskewin Heritage Park. *Landscape Architectural Review*, May 1986. pp. 5-9.
- Scott, Owen R. Victorian Landscape Gardening. Ontario Bicentennial History Conference, McMaster University, 1984.
- Scott, Owen R. Canada West Landscapes. *Fifth Annual Proceedings Niagara Peninsula History Conference (1983)*. 1983. 22 pp.
- Scott, Owen R. Utilizing History to Establish Cultural and Physical Identity in the Rural Landscape. *Landscape Planning*, Elsevier Scientific Press, Amsterdam, 1979. Vol. 6, No. 2, pp. 179-203.
- Scott, Owen R. Changing Rural Landscape in Southern Ontario. *Third Annual Proceedings Agricultural History of Ontario Seminar (1978)*. June 1979. 20 pp.
- Scott, Owen R., P. Grimwood, M. Watson. George Laing - Landscape Gardener, Hamilton, Canada West 1808-1871. *Bulletin, The Association for Preservation Technology*, Vol. IX, No. 3, 1977, 13 pp. (also published in *Landscape Architecture Canada*, Vol. 4, No. 1, 1978).
- Scott, Owen R. The Evaluation of the Upper Canadian Landscape. Department of Landscape Architecture, University of Manitoba. 1978. (Colour videotape).

Following is a **representative listing of some of the heritage consultations undertaken by Owen R. Scott** in his capacity as a principal of The Landplan Collaborative Ltd., and principal of CHC Limited.

Heritage Master Plans and Landscape Plans

- Alton Mill Landscape, Caledon, ON
- Black Creek Pioneer Village Master Plan, Toronto, ON
- Britannia School Farm Master Plan, Peel Board of Education/Mississauga, ON
- Confederation Boulevard (Sussex Drive) Urban Design, Site Plans, NCC/Ottawa, ON
- Doon Heritage Crossroads Master Plan and Site Plans, Region of Waterloo/Kitchener, ON
- Downtown Guelph Private Realm Improvements Manual, City of Guelph, ON
- Downtown Guelph Public Realm Plan, City of Guelph, ON
- Dundurn Castle Landscape Restoration Feasibility Study, City of Hamilton, ON
- Elam Martin Heritage Farmstead Master Plan, City of Waterloo, ON
- Exhibition Park Master Plan, City of Guelph, ON
- George Brown House Landscape Restoration, Toronto, ON
- *Grand River Corridor Conservation Plan*, GRCA/Regional Municipality of Waterloo, ON
- Greenwood Cemetery Master Plan, Owen Sound, ON
- Hamilton Unified Family Courthouse Landscape Restoration Plan, Hamilton, ON
- John Galt Park, City of Guelph, ON

Appendix 3

Qualifications of the Author

- Judy LaMarsh Memorial Park Master Plan, NCC/Ottawa, ON
- Langdon Hall Gardens Restoration and Site Plans, Cambridge, ON
- London Psychiatric Hospital Cultural Heritage Stewardship Plan, London, ON
- McKay / Varley House Landscape Restoration Plan, Markham (Unionville), ON
- Museum of Natural Science/Magnet School 59/ Landscape Restoration and Site Plans, City of Buffalo, NY
- Muskoka Pioneer Village Master Plan, MNR/Huntsville, ON
- Peel Heritage Centre Adaptive Re-use, Landscape Design, Brampton, ON
- Phyllis Rawlinson Park Master Plan (winning design competition), Town of Richmond Hill, ON
- Prime Ministerial Precinct and Rideau Hall Master Plan, NCC/Ottawa, ON
- Queen/Picton Streets Streetscape Plans, Town of Niagara-on-the-Lake, ON
- Regional Heritage Centre Feasibility Study and Site Selection, Region of Waterloo, ON
- Rockway Gardens Master Plan, Kitchener Horticultural Society/City of Kitchener, ON
- St. George's Square, City of Guelph, ON
- St. James Cemetery Master Plan, Toronto, ON
- St. James Park Victorian Garden, City of Toronto, ON
- Tipperary Creek (Wanuskewin) Heritage Conservation Area Master Plan, Meewasin Valley Authority, Saskatoon, SK
- Whitehern Landscape Restoration Plan, Hamilton, ON
- Woodside National Historic Park Landscape Restoration, Parks Canada/Kitchener, ON

Cultural Heritage Evaluation Reports (CHER), Cultural Heritage Inventories and Cultural Heritage Landscape Evaluations

- Adams Bridge (Structure S20) Cultural Heritage Evaluation Report, Southgate Township, ON
- Belanger Bridge Cultural Heritage Evaluation Report, Casey Township, ON
- Belfountain Area Heritage Inventory for Environmental Assessment, Peel Region, ON
- Bridge #9-WG Cultural Heritage Evaluation Report, Township of Centre Wellington, ON
- Bridge #20 Cultural Heritage Evaluation Report, Blandford-Blenheim Township, ON
- Bridge #25 Cultural Heritage Evaluation Report, Blandford-Blenheim Township, ON
- Chappell Estate / Riverside / Mississauga Public Garden Heritage Inventory, Mississauga, ON
- 8895 County Road 124 Cultural Heritage Opinion Report, Erin (Ospringle), ON
- County of Waterloo Courthouse Building Cultural Heritage Evaluation Report, Kitchener, ON
- Cruickston Park Farm & Cruickston Hall - Cultural Heritage Resources Study, Cambridge, ON
- Doon Valley Golf Course - Cultural Heritage and Archaeological Resources Inventory, Kitchener/Cambridge, ON
- Government of Ontario Light Rail Transit (GO-ALRT) Route Selection, Cultural and Natural Resources Inventory for Environmental Assessment, Hamilton/Burlington, ON
- Hancock Woodlands Cultural Heritage Assessment, City of Mississauga, ON
- Hespeler West Secondary Plan - Heritage Resources Assessment, City of Cambridge, ON
- Highway 400 to 404 Link Cultural Heritage Inventory for Environmental Assessment, Bradford, ON
- Highway 401 to 407 Links Cultural Heritage Inventory for Environmental Assessment, Pickering/Ajax/Whitby/Bowmanville, ON
- Holland Mills Road Bridge Cultural Heritage Evaluation Report, Wilmot Township, ON
- Homer Watson House Cultural Heritage Evaluation Report, Kitchener, ON
- Irvine Street (Watt) Bridge Cultural Heritage Evaluation Report, Township of Centre Wellington, ON
- Lakewood Golf Course Cultural Landscape Assessment, Tecumseh, ON
- Landfill Site Selection, Cultural Heritage Inventory for Environmental Assessment, Region of Halton, ON
- Niska Road Cultural Heritage Landscape Addendum, City of Guelph, ON
- 154 Ontario Street, Historical - Associative Evaluation, Guelph, ON
- 35 Sheldon Avenue North, Cultural Heritage Evaluation Report, Kitchener, ON
- Silvercreek (LaFarge Lands) Cultural Landscape Assessment, Guelph, ON
- South Kitchener Transportation Study, Heritage Resources Assessment, Region of Waterloo, ON
- 53 Surrey Street East and 41, 43, 45 Wyndham Street South Cultural Heritage Evaluation Guelph, ON
- Swift Current CPR Station Gardens condition report and feasibility study for rehabilitation/reuse, Swift Current, SK
- University of Guelph, McNaughton Farm House, Cultural Heritage Resource Assessment, Puslinch Township, ON
- University of Guelph, Trent Institute Cultural Heritage Resource Assessment, Guelph, ON
- University of Guelph, 1 and 10 Trent Lane Cultural Heritage Resource Assessments, Guelph, ON

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Qualifications of the Author

- Uno Park Road Bridge, Cultural Heritage Evaluation Report, Harley Township, ON
- 2007 Victoria Road South Heritage Evaluation, Guelph, ON
- Waterloo Valleylands Study, Heritage and Recreational Resources mapping and policies, Region of Waterloo
- 69 Woolwich Street (with references to 59, 63-67, 75 Woolwich Street) Cultural Heritage Evaluation Report, Guelph, ON

Cultural Heritage Resource Impact Assessments (CHRIA/CHIA/HIS/HIA) and Cultural Landscape Heritage Impact Statements

- Adams Bridge (Structure S20) Heritage Impact Assessment, Southgate Township, ON
- 33 Arkell Road Heritage Impact Assessment, Guelph, ON
- 86 Arthur Street, Heritage Impact Assessment, Guelph, ON
- William Barber House, 5155 Mississauga Road , Heritage Impact Assessment, Mississauga, ON
- Barra Castle Heritage Impact Assessment, Kitchener, ON
- 72 Beaumont Crescent Heritage Impact Assessment, Guelph, ON
- Biltmore Hat Factory Heritage Impact Assessment, Guelph, ON
- 140 Blue Heron Ridge Heritage Impact Assessment, Cambridge, ON
- 25 Breithaupt Street Heritage Impact Assessment, Kitchener, ON
- 51 Breithaupt Street Heritage Impact Assessment, Kitchener, ON
- Bridge #20 Heritage Impact Assessment, Blandford-Blenheim Township, ON
- Bridge #25 Heritage Impact Assessment, Blandford-Blenheim Township, ON
- 215 Broadway Street Heritage Impact Statement, Mississauga, ON
- Cambridge Retirement Complex on the former Tiger Brand Lands, Heritage Impact Assessment, Cambridge, ON
- Cambridge Retirement Complex on the former Tiger Brand Lands, Heritage Impact Assessment Addendum, Cambridge, ON
- 27-31 Cambridge Street, Heritage Impact Assessment, Cambridge, ON
- 3075 Cawthra Road Heritage Impact Statement, Mississauga, ON
- 58 Church Street Heritage Impact Assessment, Churchville Heritage Conservation District, Brampton, ON
- City Centre Heritage Impact Assessment, Kitchener, ON
- 175 Cityview Drive Heritage Impact Assessment, Guelph, ON
- 12724 Coleraine Drive Cultural Heritage Impact Statement, Caledon (Bolton), ON
- 12880 Coleraine Drive Cultural Heritage Impact Statement, Caledon (Bolton), ON
- Cordingly House Heritage Impact Statement, Mississauga, ON
- 264 Crawley Road Heritage Impact Assessment (farmstead, house & barn), Guelph, ON
- 31-43 David Street (25 Joseph Street) Heritage Impact Assessment, Kitchener, ON
- 35 David Street (Phase II) Heritage Impact Assessment, Kitchener, ON
- 75 Dublin Street Heritage Impact Assessment, Guelph, ON
- 24, 26, 28 and 32 Dundas Street East Heritage Impact Statement, Mississauga, (Cooksville), ON
- 1261 Dundas Street South Heritage Impact Assessment, Cambridge, ON
- 172 - 178 Elizabeth Street Heritage Impact Assessment, Guelph, ON
- 19 Esandar Drive, Heritage Impact Assessment, Toronto, ON
- 14 Forbes Avenue Heritage Impact Assessment, Guelph, ON
- 369 Frederick Street Heritage Impact Assessment, Kitchener, ON
- 42 Front Street South Heritage Impact Assessment, Mississauga, ON
- Grey Silo Golf Course/Elam Martin Farmstead Heritage Impact Assessment, City of Waterloo, ON
- GRCA Lands, 748 Zeller Drive Heritage Impact Assessment Addendum, Kitchener, ON
- Hancock Woodlands Heritage Impact Statement, City of Mississauga, ON
- 132 Hart's Lane, Hart Farm Heritage Impact Assessment, Guelph, ON
- Holland Mills Road Bridge Heritage Impact Assessment, Wilmot Township, ON
- 9675, 9687, 9697 Keele Street Heritage Impact Assessment, City of Vaughan (Maple) ON
- 13165 Keele Street Cultural Heritage Resource Impact Assessment, King Township (King City), ON
- 151 King Street North Heritage Impact Assessment, Waterloo, ON
- Kip Co. Lands Developments Ltd. Cultural Heritage Resource Impact Assessment - Woodbridge Heritage Conservation District, City of Vaughan (Woodbridge) ON
- 20415 Leslie Street Heritage Impact Assessment, East Gwillimbury, ON
- 117 Liverpool Street Heritage Impact Assessment, Guelph, ON

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Qualifications of the Author

- 36-46 Main Street Heritage Impact Assessment, Mississauga, ON
- 30 - 40 Margaret Avenue Heritage Impact Assessment, Kitchener, ON
- 19 - 37 Mill Street Scoped Heritage Impact Assessment, Kitchener, ON
- 2610, 2620 and 2630 Mississauga Road, Cultural Landscape Heritage Impact Statement, Mississauga, ON
- 4067 Mississauga Road, Cultural Landscape Heritage Impact Statement, Mississauga, ON
- 1142 Mona Road, Heritage Impact Assessment, Mississauga, ON
- 1245 Mona Road, Heritage Impact Statement, Mississauga, ON
- 15 Mont Street, Heritage Impact Assessment, Guelph, ON
- Proposed Region of Waterloo Multimodal Hub at 16 Victoria Street North, 50 & 60 Victoria Street North, and 520 & 510 King Street West, Heritage Study and Heritage Impact Assessment, Kitchener, ON
- 6671 Ninth Line Heritage Impact Statement, Cordingley House Restoration & Renovation, Mississauga, ON
- 266-280 Northumberland Street (The Gore) Heritage Impact Assessment, North Dumfries (Ayr), ON
- 324 Old Huron Road Heritage Impact Assessment, Kitchener, ON
- 40 Queen Street South Heritage Impact Statement, Mississauga, (Streetsville), ON
- Rockway Holdings Limited Lands north of Fairway Road Extension Heritage Impact Assessment, Kitchener, ON
- 259 St. Andrew Street East Cultural Heritage Assessment, Fergus, ON
- 35 Sheldon Avenue, Heritage Impact Assessment, Kitchener, ON
- 2300 Speakman Drive Heritage Impact Assessment, Mississauga, ON
- 10431 The Gore Road Heritage Impact Assessment, Brampton, ON
- Thorny-Brae Heritage Impact Statement, Mississauga, ON
- 7 Town Crier Lane, Heritage Impact Assessment, Markham, ON
- University of Guelph, 3 - 7 Gordon Street Houses, Heritage Impact Assessment, Guelph, ON
- University of Guelph, Harrison House, Heritage Impact Assessment, Guelph, ON
- Uno Park Road Bridge, Heritage Impact Assessment, Harley Township, ON
- Victoria Park Proposed Washroom Cultural Heritage Impact Assessment, Kitchener, ON
- 927 Victoria Road South (barn) Heritage Impact Assessment, Guelph, ON
- 272-274 Victoria Street Heritage Impact Assessment, Mississauga, ON
- 26 - 32 Water Street North Heritage Impact Assessment, Cambridge (Galt), ON
- Winzen Developments Heritage Impact Assessment, Cambridge, ON
- 248-260 Woodbridge Avenue Cultural Heritage Resource Impact Assessment and Heritage Conservation District Conformity Report, Woodbridge Heritage Conservation District, City of Vaughan (Woodbridge)
- 35 Wright Street Cultural Heritage Resource Impact Assessment, Richmond Hill, ON
- 1123 York Road Heritage Impact Assessment, Guelph, ON
- 14288 Yonge Street, Heritage Impact Assessment, Aurora, ON

Heritage Conservation Plans

- William Barber House, 5155 Mississauga Road , Heritage Conservation Plan, Mississauga, ON
- 51 Breithaupt Street Heritage Conservation Plan, Kitchener, ON
- Hamilton Psychiatric Hospital Conservation Plan, for Infrastructure Ontario, Hamilton, ON
- Harrop Barn Heritage Conservation Plan, Milton, ON
- 120 Huron Street Conservation Plan, Guelph, ON
- 324 Old Huron Road Conservation Plan, Kitchener, ON
- 264 Woolwich Street Heritage Conservation Plan, Guelph, ON
- 14288 Yonge Street Heritage Conservation Plan, Aurora, ON
- 1123 York Road Heritage Conservation Plan, Guelph, ON

Heritage Conservation District Studies and Plans

- Downtown Whitby Heritage Conservation District Study and Plan, Town of Whitby, ON
- MacGregor/Albert Heritage Conservation District Study and Plan, City of Waterloo, ON
- Queen Street East Heritage Conservation District Study, Toronto, ON
- University of Toronto & Queen's Park Heritage Conservation District Study, City of Toronto, ON

Appendix 3

Qualifications of the Author

Cultural Heritage Landscape Inventories/Studies

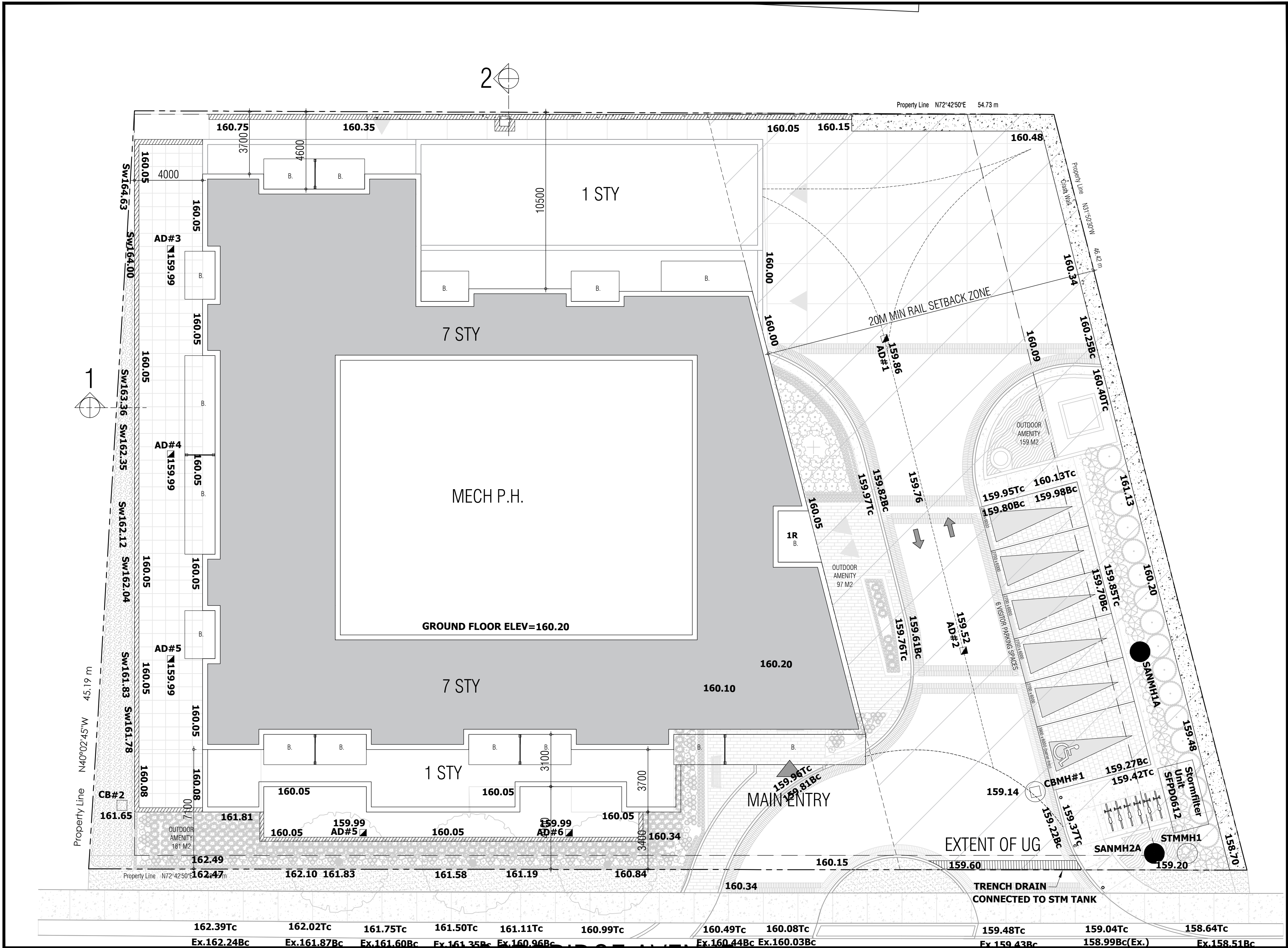
- Cultural Heritage Landscape Study, City of Kitchener, ON
- Cultural Heritage Landscape Inventory, City of Mississauga, ON
- Cultural Heritage Scoping Study, Township of Centre Wellington, ON

Peer Reviews

- Acton Quarry Cultural Heritage Landscape & Built Heritage Study & Assessment Peer Review, Acton, ON
- Belvedere Terrace - Peer Review, Assessment of Proposals for Heritage Property, Parry Sound, ON
- Forbes Estate Heritage Impact Assessment Peer Review, Cambridge (Hespeler), ON
- Heritage Square Heritage Impact Assessment Peer Review for Township of Centre Wellington (Fergus), ON
- Little Folks Heritage Impact Assessment Peer Review for Township of Centre Wellington (Elora), ON
- Potter Foundry and the Elora South Condos Heritage Impact Assessment Peer Review for Township of Centre Wellington (Elora), ON

Expert Witness Experience

- Oelbaum Ontario Municipal Board Hearing, Eramosa Township, ON, 1988
- Roselawn Centre Conservation Review Board Hearing, Port Colborne, ON, 1993
- Halton Landfill, Joint Environmental Assessment Act and Environmental Protection Act Board Hearing, 1994
- OPA 129 Ontario Municipal Board Hearing, Richmond Hill, ON, 1996
- Diamond Property Ontario Municipal Board Hearing, Aurora, ON, 1998
- Harbour View Investments Ontario Municipal Board Hearing, Town of Caledon, ON, 1998
- Aurora South Landowners Ontario Municipal Board Hearing, Aurora, ON, 2000
- Ballycroy Golf Course Ontario Municipal Board Hearing, Palgrave, ON, 2002
- Doon Valley Golf Course Ontario Municipal Board Hearing, Cambridge, ON, 2002
- Maple Grove Community Ontario Municipal Board Hearing, North York, ON, 2002
- Maryvale Crescent Ontario Municipal Board Hearing, Richmond Hill, ON, 2003
- LaFarge Lands Ontario Municipal Board Mediation, Guelph, ON, 2007
- 255 Geddes Street, Elora, ON, heritage opinion evidence - Ontario Superior Court of Justice, 2010
- Downey Trail Ontario Municipal Board Hearing, Guelph, ON, 2010
- Wilson Farmhouse Conservation Review Board Hearing, Guelph, ON, 2014
- 85 Victoria Street, Churchville Heritage Conservation District, Ontario Municipal Board Hearing, Brampton, ON, 2016
- Haylock / Youngblood Development OMB Mediation Hearing, Centre Wellington, ON, 2018
- Riverbank Drive LPAT Mediation Hearing, Cambridge, ON, 2019



PROJECT STATISTICS				
PROJECT STATISTICS JOB No: 1339.15 DATE: May 28, 2020				
01. SITE AREA	(m ²)	(ha)	(ft ²)	(ac)
PROPOSED	2784.39	0.28	29970.90	0.69
REQUIRED (BY-LAW 1-88)				
02. G.F.A. (m ²)				
RESIDENTIAL	6995			
TOTAL	6995			
03. F.S.I	2.51			
04. SETBACKS * (m)				
BELOW GRADE	NORTH	0.00		
	EAST	5.00		
	SOUTH	0.80		
	WEST	0.00		
ABOVE GRADE	NORTH	0.00		
	EAST	20.00		
	SOUTH	3.40		
	WEST	4.00		
05. UNIT BREAKDOWN				
RESIDENTIAL UNITS	1 Bedroom	38	41%	
	2 Bedroom	55	59%	
TOTAL		93	100%	
06. B.F. UNIT BREAKDOWN				
RESIDENTIAL UNITS	1 Bedroom	6	15%	
	2 Bedroom	8	15%	
TOTAL		14		
07. PARKING				
RESIDENTIAL	Studio			
	1 Bedroom	114		
	2 Bedroom			
	3 Bedroom			
NON RESIDENTIAL/VISITOR	Visitor	6		
TOTAL		120		163
08. ESTABLISHED GRADE	PROPOSED			
	162.8			
09. BUILDING HEIGHT (m)	PROPOSED			
TO MAIN ROOF SLAB	29.86m			
TO MECH. PENTHOUSE	23.86m			
10. AMENITY (m ²)				
	INDOOR	120	1 Bedroom	38
	OUTDOOR	1446	2 Bedroom	55
TOTAL		1566		3785
NOTES:				
* setbacks to main building face				
** actual unit count may vary depending on market demand				
TOWER A # STY				
G.F.A. BREAKDOWN	FLR	G.C.A. (m ²)	G.C.A. (m ²)	EXCLUSIONS (m ²)
	P2	2,434.2	26,201.7	2,434.2
	P1	2,434.2	26,201.7	2,434.2
	1ST	1,326.2	14,275.1	252.6
	2ND	1,028.9	11,075.0	42.0
	3RD	1,028.9	11,075.0	42.0
	4TH	1,028.9	11,075.0	42.0
	5TH	1,028.9	11,075.0	42.0
	6TH	1,028.9	11,075.0	42.0
	7TH	1,028.9	11,075.0	42.0
	TOTAL	12,366.0	133,128.5	5,373.0
				6,995.0
				65,678.0
				81.4%
* EFFICIENCY DOES NOT INCLUDE BELOW GRADE GCA				

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1. ERRORS, OMISSIONS, INCOMPLETENESS DUE TO LOSS OF INFORMATION IN WHOLE OR PART WHEN INFORMATION IS TRANSFERRED.
2. TRANSMISSION OF ANY VIRUS OR DAMAGE TO THE RECEIVING ELECTRONIC SYSTEM WHEN INFORMATION IS TRANSFERRED.

1. JUL.21.2020 ISSUED FOR ZBA 86



OBC CLASSIFICATION
Group C, Residential Occupancy, Any Storey-Part 3
SURVEY INFORMATION
Radly-Pentek & Edward Surveying Ltd. Ontario Land Surveyors 643 Chrislea Road, Suite 7 Woodbridge, Ontario L4L 8A3 Tel: 416 635 5000, 905 264 0881 Fax: 416 635 5001, 905 264 2099

LIST OF DRAWINGS
A.100 - Cover Sheet A.101 - Site Plan A.201 - P2 Floor Plan A.202 - P1 Floor Plan A.301 - Ground Floor Plan A.302 - 2nd Floor Plan A.303 - 3rd-7th Floor Plan A.401 - East Elevation A.402 - North Elevation A.403 - South Elevation A.404 - West Elevation A.501 - Section 1 A.502 - Section 2 A.601 - North West Perspective View A.602 - North East Perspective View A.603 - Streetscape Rendering A.701 - Shadow Study

GENERAL NOTES
1. For Landscaping, refer to landscape drawings. 2. For proposed grading, refer to landscape drawings. 3. All perimeter existing information indicated taken from survey. 4. All work to be done in conformance with the 2012 Ontario Building Code(O.B.C., as amended).

ESTABLISHED GRADE
Established grade is 162.80

issued for revisions

**GRAZIANI
CORAZZA
ARCHITECTS**
1320 SHAWANSON DRIVE, SUITE 100
MISSISSAUGA, ONTARIO L4W 1C3
T.905.795.2841 F.905.795.2844 WWW.GC-ARCHITECTS.COM

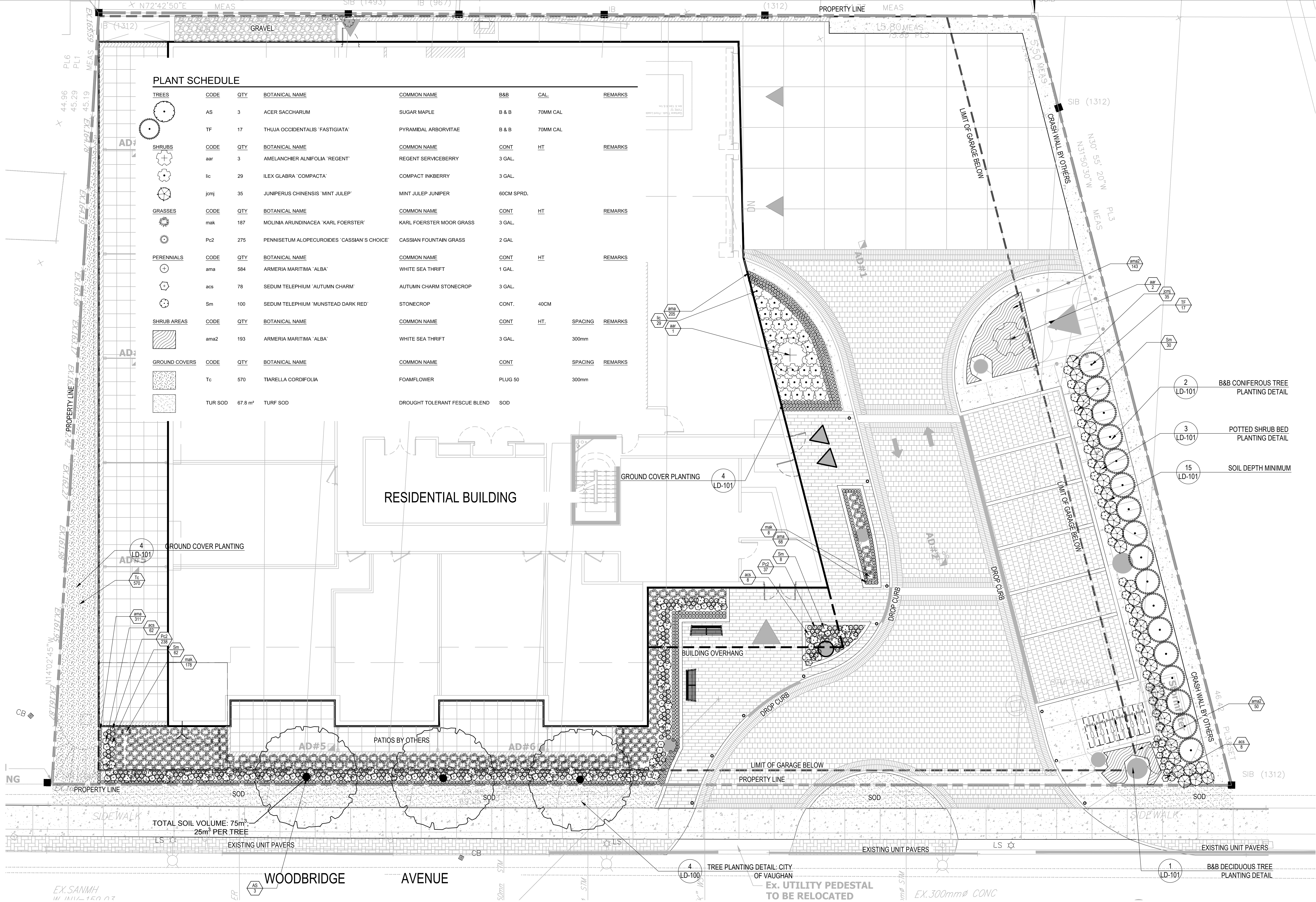
ONTARIO ASSOCIATION
OF
ARCHITECTS
BERARDO E. GRAZIANI
LICENCE
4684

Residential Development

City Park (Woodbridge Gates North) Inc.	
248-260 Woodbridge Ave.	
Vaughan	Ontario
PROJECT ARCHITECT:	B. Graziani
ASSISTANT DESIGNER:	R. Lincoln
DRAWN BY:	R. Lincoln, J. Lanoue
CHECKED BY:	D. Biase
PLOT DATE:	JUL.21.2020
JOB #	1339.15

SITE PLAN

JUL 20, 2020 3:58 PM I:\01-PROJECTS\2016\16-192 WOODBRIDGE GATES\02-CADD\01-CURRENT\PLANTING\01-192 PLANTING PLAN.DWG



NOT FOR CONSTRUCTION

LEGEND

- CONCRETE
- EXISTING PAVERS
- CONCRETE UNIT PAVERS, COLOUR 1; SRI < 28
- CONCRETE UNIT PAVERS, COLOUR 2; SRI < 28
- GRAVEL
- PATIO PAVERS BY OTHERS
- LIGHT BOLLARD
- BENCH
- BIKE RACK

05	ISSUED FOR SPA	2020-07-20	GFT/UT
04	ISSUED FOR SPA	2017-11-10	SAS/TUI
03	ISSUED FOR COORDINATION	2017-11-06	SAS/TUI
02	ISSUED FOR COORDINATION	2017-10-30	SAS/TUI
01	ISSUED FOR COORDINATION	2017-09-18	SAS/TUI
no.	revision	date	by

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE LANDSCAPE ARCHITECT WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK.
ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY WHEN SIGNED BY THE LANDSCAPE ARCHITECT.

signed _____ date _____

STUDIO **tla**

20 Champlain Blvd. Suite 102 - Toronto ON M3H 2Z1 info@terraplan.ca www.terraplan.ca

CLIENT

WOODBRIDGE GATES II
248-260 WOODBRIDGE AVENUE
VAUGHAN, ONTARIO

PROJECT
PLANTING PLAN

DRAWING
DRAWN: TUI
CHECKED: GF
SCALE: 1:100
DATE: 2016-10-24
PROJECT NO.: 16-192

SHEET NO.:
LP-100



ATTACHMENT 4

ATTACHMENT 5





ATTACHMENT 6

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- Errors, omissions, incompleteness due to loss of information in whole or part when information is transferred.
 - Transmission of any virus or damage to the receiving electronic system when information is transferred.



issued for revisions

GRAZIANI + CORAZZA ARCHITECTS INC.

1320 Shawcross Drive, Suite 100 Mississauga, Ontario L4W 1C3
Phone: 905.795.2601 Fax: 905.795.2844 www.gc-architects.com

Residential Development

Woodbridge+Kipling

Vaughan		Ontario
Project Architect:	B. Graziani	
Assistant Designer:	R.Lincoln	
Drawn By:	R.Lincoln, S. Salari	
Checked By:	D. Biase	
Plot Date:	Aug. 25, 2020	
Job #	1339.15	

SOUTH ELEVATION