



File: A084/20

Applicant: Elias Tiamiyu

Address: 126 Beaconsfield Drive, Kleinburg

Agent: TenHouse Building Workshop

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection	<input checked="" type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	
Cultural Heritage (Urban Design)		
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Parks, Forestry and Horticulture Operations		
By-law & Compliance		
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department		
TRCA		
Ministry of Transportation	<input checked="" type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)		

Adjournment History: None

Background History: None

Staff Report Prepared By: Adriana MacPherson
Hearing Date: Thursday, October 22, 2020



Minor Variance Application

Agenda Item: 6

A084/20

Ward: 1

Staff Report Prepared By: Adriana MacPherson, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing: Thursday, October 22, 2020 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at Vaughan.ca/LiveCouncil

Please submit written comments by mail or email to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

To make an electronic deputation at the meeting please contact the Committee of Adjustment at cofa@vaughan.ca or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

Applicant: Elias Tiamiyu

Agent: TenHouse Building Workshop

Property: **126 Beaconsfield Drive, Kleinburg**

Zoning: The subject lands are zoned RD4 Residential Detached Dwelling Four, and subject to the provisions of Exception No. 9(1376) under By-law 1-88 as amended.

OP Designation: Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Related Files: None

Purpose: Relief from By-law 1-88, as amended is being requested to permit the construction of a proposed rear deck and stairs to be located in the rear yard. The proposed stairs will access the existing walkout basement.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum rear yard setback of 5.7 metres is required to the stairs and landing for the deck.	1. To permit a minimum rear yard setback of 2.72 metres to the stairs and landing.
2. A minimum rear yard setback of 5.7 metres is required to the deck.	2. To permit a minimum rear yard setback of 4.24 metres to the deck.
3. A minimum interior side yard setback of 1.2 metres is required to the deck.	3. To permit a minimum westerly interior side yard setback of 0.85 metres to the deck.

Background (previous applications approved by the Committee on the subject land): None

For information on the previous approvals listed above please visit www.vaughan.ca. To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

Adjournment History: None

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:

Public notice was mailed on October 7, 2020

Applicant confirmed posting of signage on October 5, 2020

Property Information	
Existing Structures	Year Constructed
Dwelling	2017
Deck	TBC

Applicant has advised that they cannot comply with By-law for the following reason(s): Required rear yard setback setback of 5.7m only allows for a 1.9 meter deep deck which cannot accommodate desired use of deck (dining, lounging etc.).

Stairs are desired at west side of lot to maintain existing side yard entry to backyard (on east side). Stairs along the south side of deck begin to greatly encroach the rear yard. At west side, stairs must encroach required side yard to maintain existing walkout basement entry.

Adjournment Request:

None

Building Standards (Zoning Review):

Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2.

The applicant confirms that the air conditioning unit is wall mounted and is setback a minimum of 0.46 metres.

Building Inspections (Septic):

No comments or concerns

Development Planning:

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

The Owner is proposing to construct a deck in the rear yard with the above-noted variances. At the request of the Development Planning Department, the Owner revised their proposal to address concerns with the proposed rear yard setback.

On October 2nd, 2020, Development Planning staff attended the subject property and observed existing walkout conditions and decks on adjacent lots. While the neighbouring properties in the rear yards do not have walkout conditions, the landscaping plan submitted by the Owner proposes additional vegetation and provides for adequate open space for the rear yard.

As the proposed deck complements the existing walkout condition and allows the Owner to safely access their backyard, the Development Planning Department is of the opinion that the proposal is minor in nature, meets the intent of the Official Plan and Zoning By-law and is desirable for the appropriate development of the land.

The Development Planning Department recommends approval of the application.

Cultural Heritage (Urban Design):

No comments.

Development Engineering:

The Development Engineering (DE) Department does not object to variance application A084/20 subject to the following condition(s):

Staff have confirmed that the property is located within an un-assumed subdivision. The Owner/applicant shall provide satisfactory notification to the developer/builder and approval (Letter or email) of the minor variance and proposed work to the property in question and provide a copy of the notification and approval to the City's Development Engineering Department.

Parks, Forestry and Horticulture Operations:

No comments, no conditions.

By-Law and Compliance, Licensing and Permit Services:

No comments.

Financial Planning and Development Finance:

No comment, no concerns

Fire Department:

No comments.

Schedule A – Plans & Sketches

Schedule B – Public Correspondence

None

Schedule C - Agency Comments

Alectra (Formerly PowerStream) – No concerns or objections

Region of York – No concerns or objections

MTO – Located outside of MTO permit control area

Staff Recommendations:

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	Development Engineering Jason Pham 905-832-8585 x 8716 jason.pham@vaughan.ca	Staff have confirmed that the property is located within an unassumed subdivision. The Owner/applicant shall provide satisfactory notification to the developer/builder and approval (Letter or email) of the minor variance and proposed work to the property in question and provide a copy of the notification and approval to the City's Development Engineering Department.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department;

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting Vaughan.ca/LiveCouncil. To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit www.vaughan.ca

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

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PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**For further information please contact the City of Vaughan, Committee of Adjustment
Adriana MacPherson
T 905 832 8585 Extension 8360
E CofA@vaughan.ca**

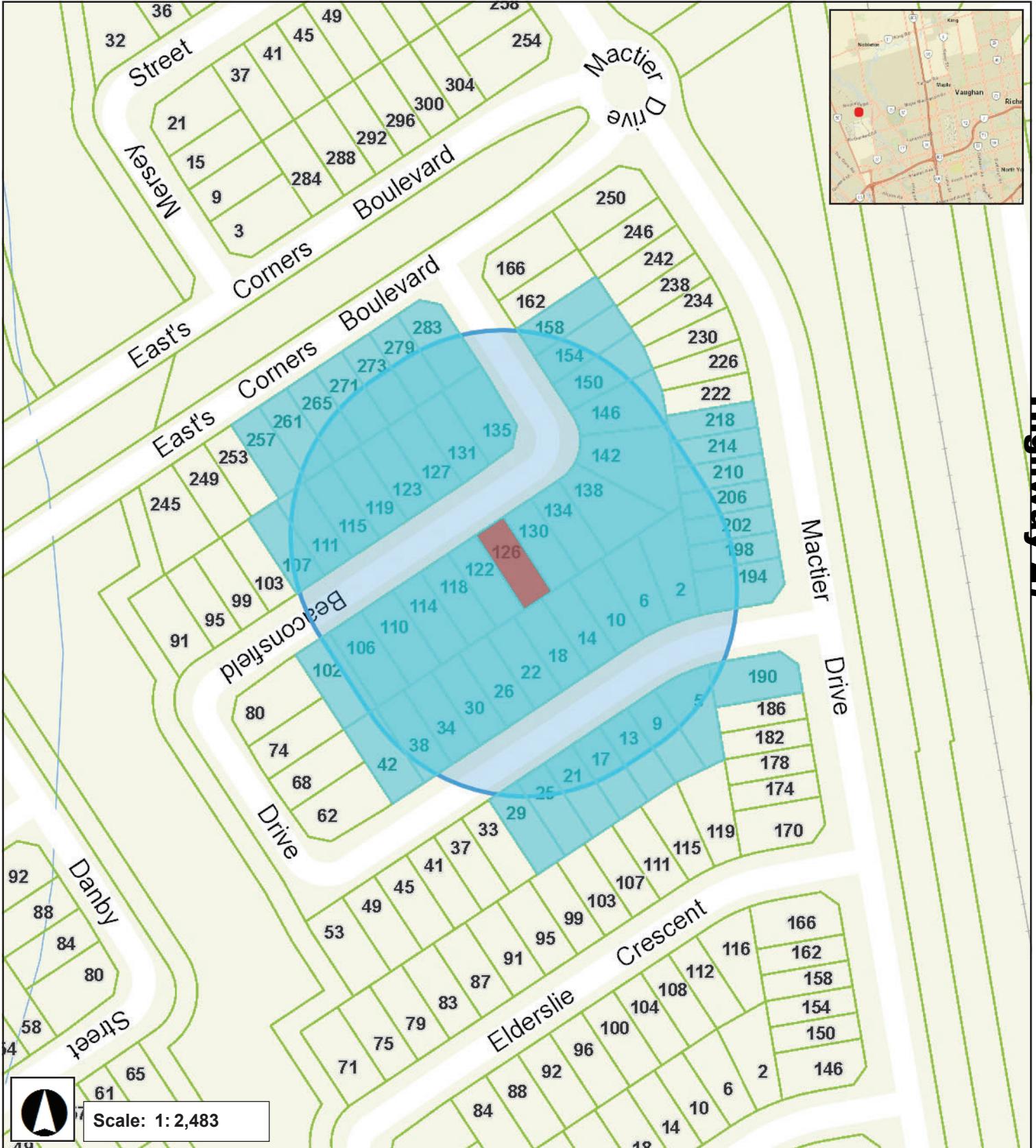
Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

Location Map

Plans & Sketches

126 Beaconsfield Drive, Kleinburg





= SOFT LANDSCAPING



= PEBBLE STONE/GRAVEL





TENHOUSE
BUILDING WORKSHOP

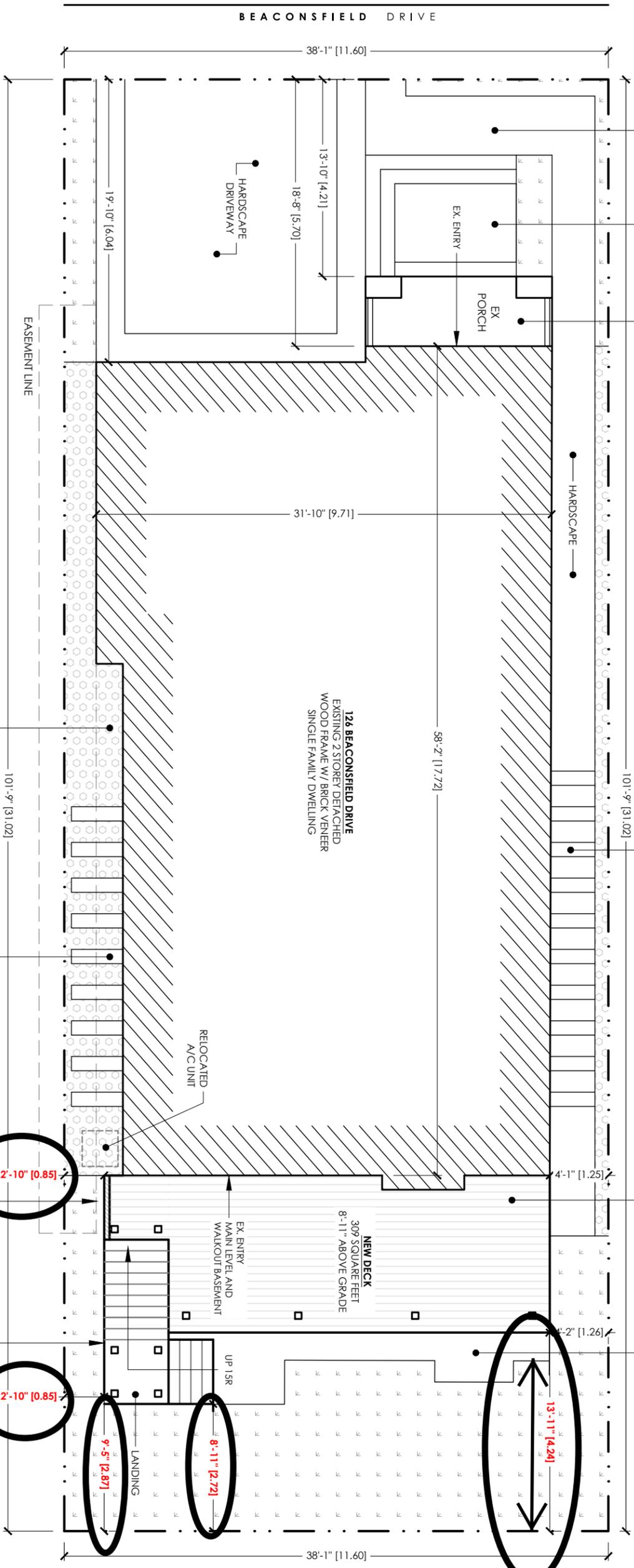
TenHouse Building Workshop
25 Capreol Court
Toronto ON M5V 3Z7
T 905 699 7371

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION
MATTHEW FRATARCANGELI BCIN#:44839

REGISTRATION INFORMATION
TENHOUSE BUILDING WORKSHOP
BCIN#:1129116

REV	DATE	REMARK
0	08/07/20	ISSUED FOR PERMIT
1	10/06/20	COA COMMENTS



126 BEACONSFIELD DRIVE
EXISTING 2 STOREY DETACHED
WOOD FRAME W/ BRICK VENEER
SINGLE FAMILY DWELLING

- NOTES:**
1. LOT LINE AND HOUSE FOOTPRINT DATA IS TAKEN FROM A CERTIFIED OLS SURVEY. THIS DATA HAS BEEN SUBMITTED WITH THE PERMIT APPLICATION.
 2. ONLY SITE WORK RELATED TO THE CONSTRUCTION OF THE SUBJECT DECK AND HARDSCAPING/LANDSCAPING TO BE CARRIED OUT.

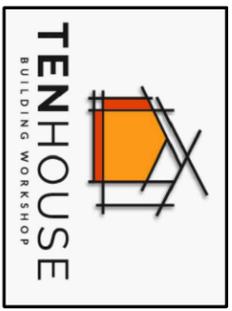
1 **PROPOSED SITE PLAN**
SK.2
1/8"=1'

PROJECT:
NEW REAR YARD DECK
AT 126 BEACONSFIELD DRIVE,
VAUGHAN, ON

DRAWN: MDF
APPROVED: MDF
FILE NO: 20-092
DATE: 10/06/20
REVISION: 1
CHECKED BY: MDF

PROPOSED SITE PLAN

SK.2



TenHouse Building Workshop
 25 Capreol Court
 Toronto ON M5V 3Z7
 T 905 699 7371

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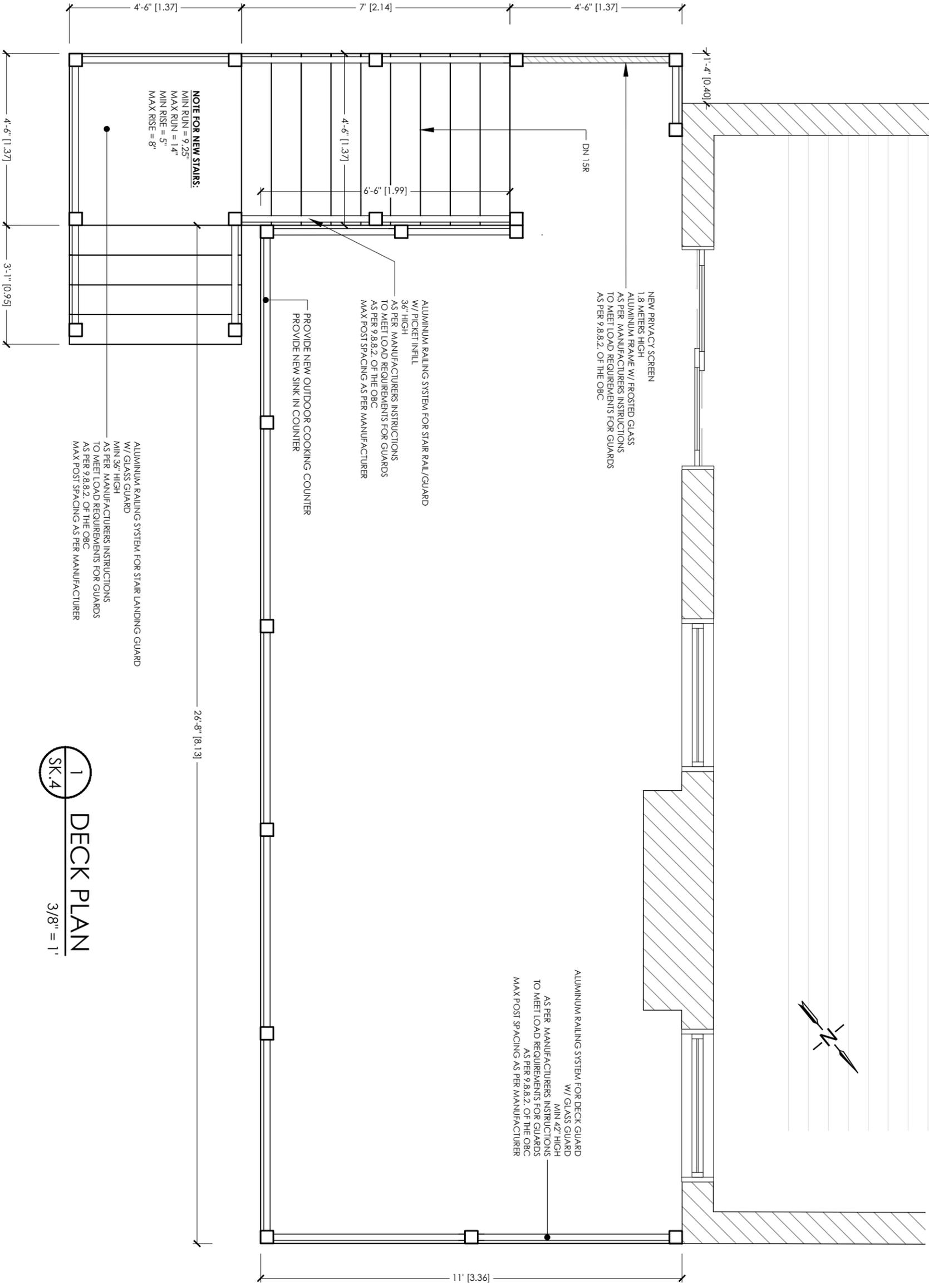
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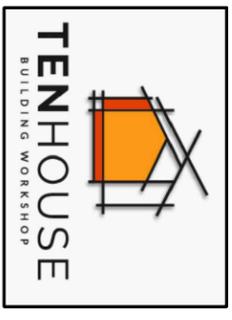
DRAWN:		APPROVED:	
MDF		MDF	
FILE NO:	20-092	DATE:	10/06/20
REVISION:	1	CHECKED BY:	MDF

DECK PLAN



1
 SK.4
DECK PLAN
 3/8" = 1'

SK.4



TenHouse Building Workshop
 25 Capreol Court
 Toronto ON M5V 3Z7
 T 905 699 7371

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REGISTRATION INFORMATION
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 BCIN#:112916

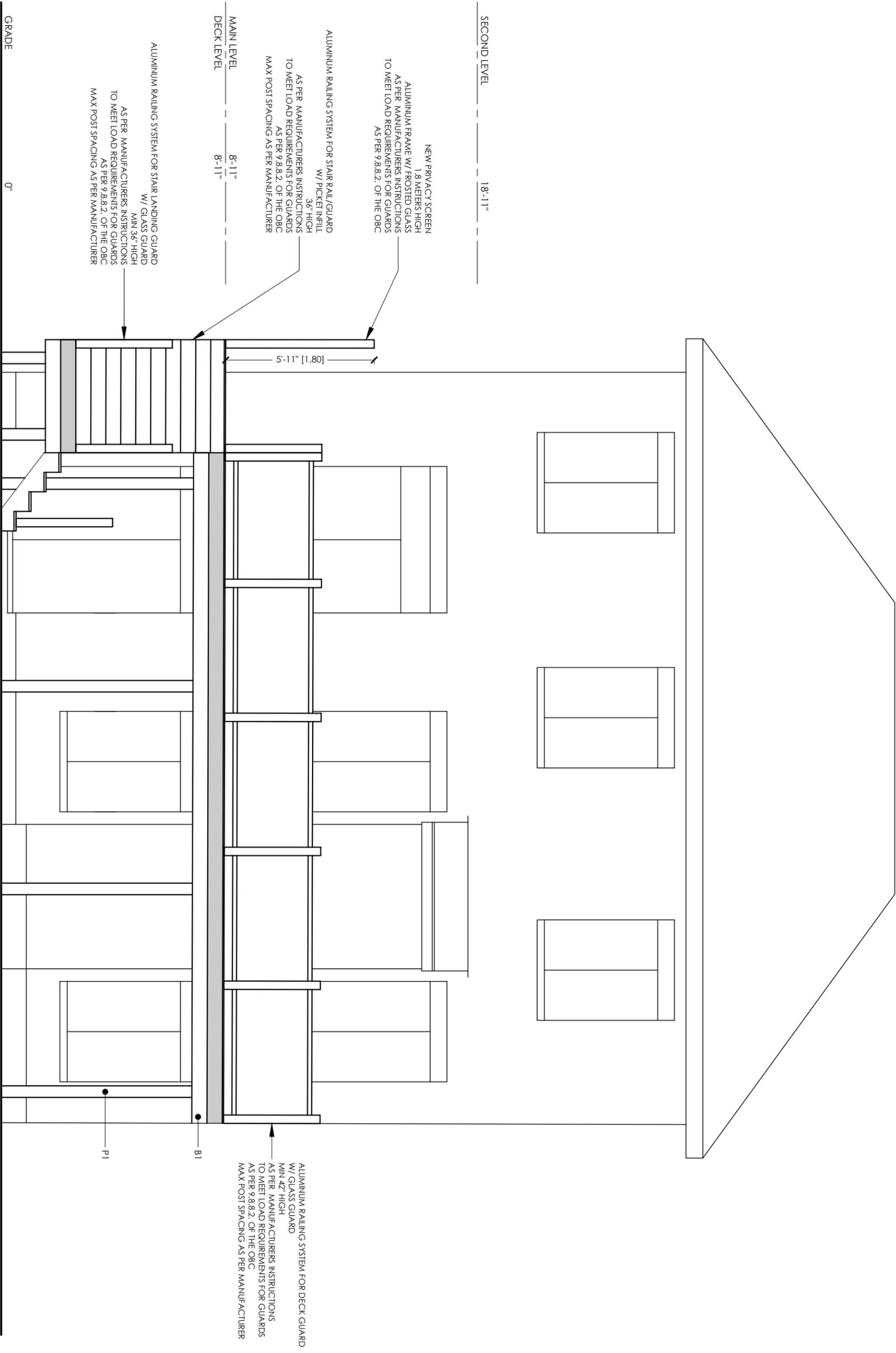
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 NEW REAR YARD DECK
 AT 126 BEACONSFIELD DRIVE,
 VAUGHAN, ON

DRAWN: MDF
APPROVED: MDF
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REVISION: 1
CHECKED BY: MDF

DECK REAR ELEVATION



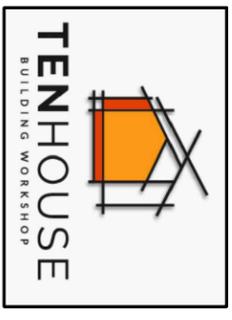
NOTE FOR NEW STAIRS:
 MIN RUN = 9.25"
 MAX RUN = 1.4'
 MIN RISE = 5"
 MAX RISE = 8"

1
 SK.5

DECK REAR ELEVATION

1/4" = 1'

SK.5



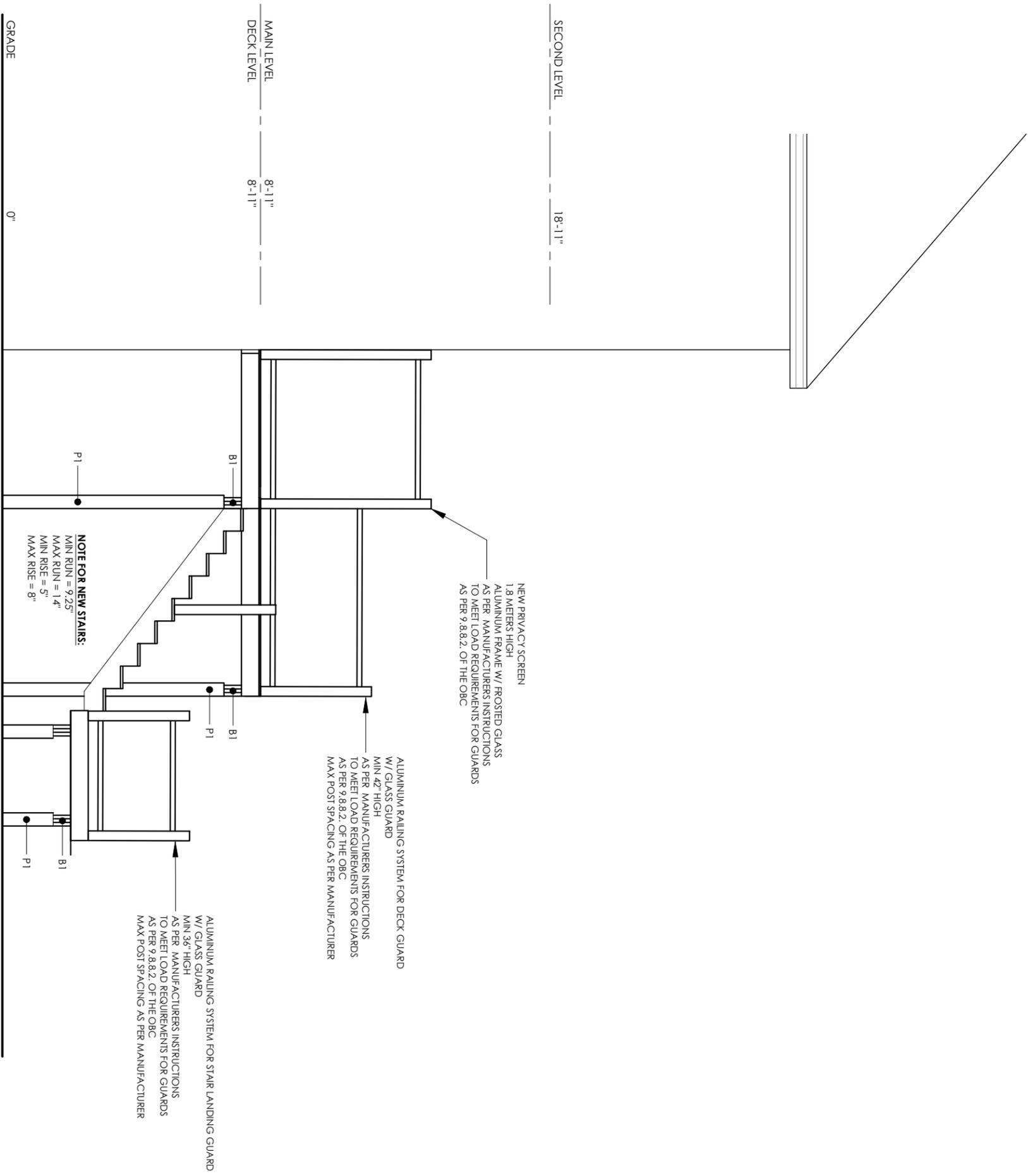
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REV	DATE	REMARK
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1	10/06/20	COA COMMENTS



1
SK.6
DECK SIDE ELEVATION
 1/4" = 1'

PROJECT:
 NEW REAR YARD DECK
 AT 126 BEACONSFIELD DRIVE,
 VAUGHAN, ON

DRAWN: MDF
FILE NO: 20-092
DATE: 10/06/20

APPROVED: MDF
DATE: 10/06/20
REVISION: 1
CHECKED BY: MDF

DECK SIDE ELEVATION

SK.6

EXISTING EXTERIOR WALL BRICK VENERY/WOOD FRAME CONSTRUCTION

EX. MAIN FLOOR RIM JOIST AND FLOOR FRAME

2x8 PRESSURE TREATED LEDGER BOARD LAG BOLTED THRU VENERY TO EXISTING RIM JOIST OF STRUCTURAL FLOOR FRAME W/ 1/2" Ø LAG SCREWS AT 32" O.C., STAGGERED PROVIDE POLY JACKET, LEAVE BIM OPEN

2x8 AT 16" O.C. PRESSURE TREATED W/ 1 ROW BLOCKING AT MID USE JOISTS HANGERS AT EACH END FINISH WITH COMPOSITE DECK BOARDS

GUARD 3'-6" [1.07]

ALUMINUM RAILING SYSTEM FOR DECK GUARD W/ GLASS GUARD MIN 42" HIGH AS PER MANUFACTURERS INSTRUCTIONS TO MEET LOAD REQUIREMENTS FOR GUARDS AS PER 9.8.2. OF THE OBC MAX POST SPACING AS PER MANUFACTURER

HELICAL PILE AS PER MANUFACTURER REPORT

1 SK.7 DECK SECTION 1/2" = 1'



TenHouse Building Workshop
25 Capreol Court
Toronto ON M5V 3Z7
T 905 699 7371

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MATTHEW FRATARCANGELI BCIN#:44839

Matthew Fratarcangeli
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REV	DATE	REMARK
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PROJECT:
NEW REAR YARD DECK
AT 126 BEACONSFIELD DRIVE,
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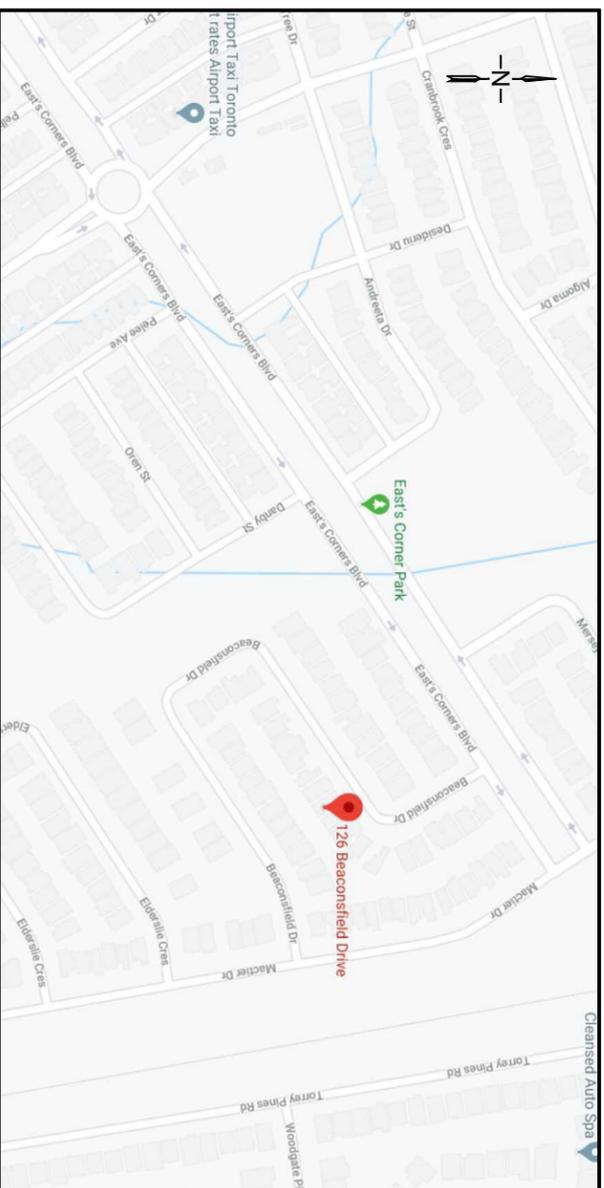
DRAWN: MDF
APPROVED: MDF

FILE NO: 20-092
DATE: 10/06/20

REVISION: 1
CHECKED BY: MDF

DECK SECTION

SK.7



1 AREA MAP SK.1 NTS



2 126 BEACONSFIELD DRIVE SK.1 NTS

PROJECT DESCRIPTION:

- THESE DRAWINGS OUTLINE THE ADDITION OF AN ATTACHED DECK IN THE REAR YARD. THE LOT SLOPES FROM FRONT TO REAR SO THAT THE DECK SERVES THE MAIN LEVEL (WALKOUT BASEMENT).
- THERE ARE NO CHANGES TO THE EXISTING BUILDING OR SITE CONDITIONS UNLESS OTHERWISE NOTED ON THE DRAWINGS. PROVIDE NEW HARDSCAPING AND LANDSCAPING AS SHOWN ON SITE PLAN.
- ALL EXISTING GRADING TO REMAIN (GRADES TO MATCH EXISTING - NO CHANGE).

PROJECT NOTES:

1. ALL WORK TO BE IN ACCORDANCE WITH THE CURRENT O.B.C. AND THE ONTARIO CONSTRUCTION SAFETY ACT.
2. CONTRACTOR TAKE NECESSARY PRECAUTIONS TO COMPLY WITH LOCAL SAFETY AUTHORITIES HAVING JURISDICTION (I.E. OCCUPATIONAL HEALTH AND SAFETY ACT).
3. CHECK ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE OWNER BEFORE PROCEEDING WITH THE WORK. DO NOT SCALE FROM DRAWINGS.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY'S ENGINEERING DEPARTMENT.
5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THERE IS NO INTERRUPTION OF ANY SURFACE OR SUBSURFACE DRAINAGE FLOW THAT WOULD ADVERSELY AFFECT NEIGHBORING PROPERTIES.
6. ALL EXISTING UNDERGROUND UTILITIES WITHIN THE LIMITS OF CONSTRUCTION SHALL BE LOCATED AND MARKED. ANY DAMAGED OR DISTURBED UTILITIES SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE GOVERNING BODY AT THE CONTRACTORS EXPENSE.
7. SAFEGUARD ALL EXISTING STRUCTURES, SERVICES, AND ADJACENT PROPERTY AFFECTED BY THE CONSTRUCTION.
8. ALL CONCRETE WORK, INCLUDING FORMING, REINFORCING, PREPARATION, MIXING, PLACING, CURING AND FINISHING SHALL CONFORM TO CSA CAN 3-A-23.1-M90 (M94).
9. ALL MASONRY WORK TO BE DONE IN ACCORDANCE WITH CAN3-S304-M90.
10. IF THERE ARE ANY DEVIATIONS NOTED FROM WHAT IS DEPICTED ON THESE DRAWINGS, THE CONTRACTOR IS TO NOTIFY TENHOUSE BUILDING WORKSHOP AND SEEK INSTRUCTION BEFORE PROCEEDING.
11. DEMOLITION SHALL BE PERFORMED IN COMPLIANCE WITH CSA S350-M1980(R2003) AND MINISTRY OF LABOUR REQUIREMENTS.
12. CONTRACTOR IS TO PROVIDE SHORING WHERE NECESSARY IN COMPLIANCE WITH CSA S269.1.
13. ALL DIMENSIONS ARE IN IMPERIAL UNLESS OTHERWISE NOTED.
14. ALL DIMENSION LUMBER TO BE SPRUCE, PINE, FIR (SPF) NO. 1 OR NO. 2 GRADE.
15. THE CONTRACTOR SHALL SEEK FURTHER DIRECTION, IF REQUIRED, REGARDING DETAILS OR MATERIAL SELECTION. TENHOUSE BUILDING WORKSHOP DOES NOT TAKE RESPONSIBILITY FOR DETAILS NOT INCLUDED IN THESE DRAWINGS.
16. ALL SPECIFICATIONS AND MATERIALS PROPOSED BY ENGINEERS SHALL BE USED IN PLACE OF SPECIFICATIONS AND MATERIALS IDENTIFIED IN THE CONSTRUCTION NOTES.
17. ALL MANUFACTURED ITEMS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS PRINTED INSTRUCTIONS. SUBMIT ALL INSTALLATION INSTRUCTIONS TO OWNER UPON COMPLETION OF JOB.
18. ALL HAZARDOUS MATERIALS TO BE IDENTIFIED BY THE CONTRACTOR AND PROPERLY DISPOSED OF.
19. ALL WORK AND TRADES SHALL BE COORDINATED BY THE GENERAL CONTRACTOR TO ENSURE ALL WORK IS COMPLETED TO THE HIGHEST LEVEL OF STANDARD.
20. GENERAL CONTRACTOR IS RESPONSIBLE OF OBTAIN ALL NECESSARY AND REQUIRED INSPECTIONS.
21. ALL MATERIALS TO BE NEW AND FREE OF DEFECTS.

ABBREVIATIONS:

AFF	ABOVE FINISHED FLOOR	GWB	GYPSUM WALL BOARD
ALUM	ALUMINUM	HB	HOSE BIB
BSE	BEAM BY STRUCTURAL ENGINEER	INSUL	INSULATED OR INSULATION INTERIOR
BM	BEAM	INT	INTERIOR
CLG	CEILING	JST	JOIST
CRF	CONVENTIONAL ROOF FRAMING	LVL	LAMINATED VENEER LUMBER
CMU	CONCRETE MASONRY UNIT	LST	LAMINATED STRAND LUMBER
COL	COLUMN	MAX	MAXIMUM
CONC	CONCRETE	MIN	MINIMUM
CONT	CONTINUOUS	MTL	METAL
CW	COMPLETE WITH	OBC	ONTARIO BUILDING CODE
DEMO	DEMOLISH	OC	ON CENTER
DIM	DIMENSION	OSB	ORIENTED STRAND BOARD
DJ	DOUBLE JOIST	OTA	OPEN TO ABOVE
DN	DOWN	OTB	OPEN TO BELOW
DO	DO OVER	PT	PRESSURE TREATED
DR	DOOR	PTD	PAINT OR PAINTED
DROP	DROPPED	REQD	REQUIRED
DS	DOWNSPOUT	RM	ROOM
DWG	DRAWING	RT	ROOF TRUSS
EA	EACH	RWL	RAIN WATER LEADER
EIRS	EXTERIOR INSULATED FINISH SYSTEM	SB	SOLID BEARING
ELEV	ELEVATION	SBEA	SOLID BEARING FROM ABOVE
ENG	ENGINEER OR ENGINEERED	SJ	SINGLE JOIST
ENCL	ENCLOSED	SPEC	SPECIFIED OR SPECIFICATION
EQ	EQUAL	SPF	SPRUCE, PINE, FIR
EST	ESTIMATED	STL	STEEL
EXT	EXTERIOR	T&G	TONGUE AND GROOVE
FD	FLOOR DRAIN	TJ	TRIPLE JOIST
FG	FIXED GLASS	T/O	TOP OF
FL	FLOOR	TRYP	TYPICAL
FLR	FLOOR	UNO	UNLESS NOTED OTHERWISE
GA	GAUGE	U/S	UNDERSIDE
GALV	GALVANIZED	WIC	WALK-IN CLOSET
		WP	WEATHER PROOF

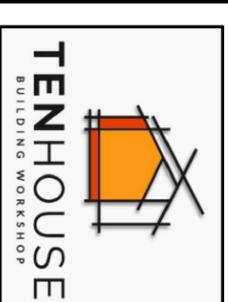
PROJECT: NEW REAR YARD DECK AT 126 BEACONSFIELD DRIVE, VAUGHAN, ON

DRAWN: MDf
MDF: MDf
FILE NO: 20-092
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REVISION: 1
CHECKED BY: MDf

PROJECT OVERVIEW & GENERAL NOTES

SK.1



TenHouse Building Workshop
25 Capreol Court
Toronto ON M5V 3Z7
T 905 699 7371

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION
MATTHEW FRATARCANGELI BCIN#:44839

REGISTRATION INFORMATION
TENHOUSE BUILDING WORKSHOP
BCIN#:112916

REV	DATE	REMARK
0	08/07/20	ISSUED FOR PERMIT
1	10/06/20	COA COMMENTS

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

None

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

Alectra (Formerly PowerStream) – No concerns or objections

Region of York – No concerns or objections

MTO – Located outside of MTO permit control area



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COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

Mr. Tony D'Onofrio
Supervisor, Subdivisions (Alectra East)
Phone: 1-877-963-6900 ext. 24419

E-mail: stephen.cranley@alectrautilities.com

Email: tony.donofrio@alectrautilities.com

MacPherson, Adriana

Subject: FW: A084/20 - Request for Comments

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: September-29-20 3:00 PM

To: MacPherson, Adriana <Adriana.MacPherson@vaughan.ca>

Cc: Providence, Lenore <Lenore.Providence@vaughan.ca>; Attwala, Pravina <Pravina.Attwala@vaughan.ca>

Subject: [External] RE: A084/20 - Request for Comments

Good afternoon Adriana,

The Regional Municipality of York has completed its review of the above minor variance and has no comment,

Regards,

Gabrielle

Gabrielle Hurst MCIP RPP | Community Planning and Development Services | The Regional Municipality of York | 1-877
464 9675 ext 71538 | Gabrielle.hurst@york.ca | www.york.ca

MacPherson, Adriana

Subject: FW: A084/20 - Request for Comments

From: Hajjar, Alexander (MTO) <Alexander.Hajjar@ontario.ca>

Sent: September-25-20 1:01 PM

To: MacPherson, Adriana <Adriana.MacPherson@vaughan.ca>

Cc: Vigneault, Christine <Christine.Vigneault@vaughan.ca>; Scholz, Kevin (MTO) <Kevin.Scholz@ontario.ca>; Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A084/20 - Request for Comments

Good Afternoon Adriana,

MTO has reviewed the subject land(s) located at 126 Beaconsfield Dr. in the City of Vaughan. The subject lands are outside the MTO permit control area and therefore do not require a permit from this office.

Best Regards,

Alexander Hajjar

Transportation Technician

Highway Corridor Management Section

Ministry of Transportation, MTO

416.235.4504