

File: A081/20

Applicant: Marianna & Joseph Pinto

Address: 46 Cedar Glen Ct Kleinburg

Agent: Anthony Cesario

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection	<input checked="" type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	
Cultural Heritage (Urban Design)		
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	
By-law & Compliance		
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department		
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Ministry of Transportation	<input checked="" type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)	<input checked="" type="checkbox"/>	

Adjournment History: N/A

Background History: A068/19 (see next page for details)

Staff Report Prepared By: Pravina Attwala
Hearing Date: Thursday, October 1, 2020



Minor Variance
Application

Agenda Item: 19

A081/20

Ward: 1

Staff Report Prepared By: Pravina Attwala, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing: Thursday, October 1, 2020 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at Vaughan.ca/LiveCouncil

Please submit written comments by mail or email to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

To make an electronic deputation at the meeting please contact the Committee of Adjustment at cofa@vaughan.ca or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

Applicant: Marianna & Joseph Pinto

Agent: Anthony Cesario

Property: 46 Cedar Glen Ct Kleinburg

Zoning: The subject lands are zoned RR, Rural Residential, and subject to the provisions of Exception 9(741) under By-law 1-88 as amended.

OP Designation: Vaughan Official Plan 2010 ("VOP 2010"): "Low-Rise Residential" and "Natural Areas"

Related Files: None

Purpose: Relief from By-law 1-88, as amended, is being requested to permit the construction of a proposed covered patio (canopy) located in the rear yard.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum setback of 15 metres is required.	1. To permit a minimum Rear yard setback of 6.5 metres for a covered patio.
2. A maximum Lot coverage of 10% is permitted.	2. To permit a maximum Lot coverage of 27.49%. (19.46% dwelling; 0.45% shed; 7.58% covered patio)

Background (previous applications approved by the Committee on the subject land):

Application No.:	Description:	Status of Approval: Approved/Refused/Withdrawn/ OMB/Concurrent
A068/19	Front yard setback 8.76m; rear yard setback 10.26m; 19.96% lot coverage (19.51% dwelling; 0.45% shed); rear yard setback to shed 3.13m; interior side yard setback to shed 3.93m.	Approved October 17, 2019

For information on the previous approvals listed above please visit www.vaughan.ca. To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

Adjournment History: N/A

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:

Public notice was mailed on September 16, 2020

Applicant confirmed posting of signage on September 18, 2020

Property Information	
Existing Structures	Year Constructed
Dwelling	Approx. 20 years old; 1-year old rear addition & garage addition (Purchased 2016)

Applicant has advised that they cannot comply with By-law for the following reason(s): The canopy size needs to be consistent with size of the house and surrounding areas to maintain proper symmetry.

Adjournment Request: None

Building Standards (Zoning Review):

Stop Work Order(s) and Order(s) to Comply: Order No. 20-106404, Order to Comply for Construction of rear addition has been undertaken prior to obtaining a permit, Issue Date: May 15, 2020.

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2.

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

The maximum permitted encroachment for Eaves and Gutters into the required yard is 0.5 metres.

Building Inspections (Septic):

No comments or concerns

Development Planning:

Vaughan Official Plan 2010 ("VOP 2010"): "Low-Rise Residential" and "Natural Areas"

The Owner is requesting permission to maintain a covered patio addition to the rear of the dwelling with the above-noted variances. On October 21, 2019, Committee of Adjustment approved Minor Variance File A068/19, facilitating relief required for the dwelling that is currently under construction.

Development Planning staff attended the subject property on September 15th, 2020 and observed a dwelling under construction with a partially constructed covered patio addition in the rear of the property. The addition features several openings (with no glazing) around the perimeter at the ground level with access to the dwelling via sliding doors from the basement. The top of the covered patio is accessed from the main floor of the dwelling and is open and unenclosed.

Minor Variance File A068/19 authorized a maximum lot coverage of 19.96% (19.51% dwelling and 0.45% shed). The covered patio addition contributes an additional lot coverage of 7.53%, resulting in an overall lot coverage of 27.49%. As the covered patio addition is located entirely in the rear yard and maintains sufficient setbacks from the interior lot lines, the additional coverage does not create undesirable impacts neighbouring properties given the size the lot and location of the covered patio. Development Planning Staff note that a small portion of the covered patio addition is partially visible from the cul-de-sac; however, due to the sloping grade away from the cul-de-sac toward the rear lot line, the covered patio addition complements the character of the dwelling, is suited for the lot and does not adversely impact the streetscape. As such, Variance 2 is considered minor in nature and desirable for the appropriate development of the lands.

The subject lands are partially located within Toronto and Region Conservation Authority’s (‘TRCA’) Regulated Area due to the presence of a valley corridor associated with the Humber River. Development Planning staff note that the existing rear yard setback of the covered patio addition is 3.5 m. As TRCA policies require a minimum 6 metre setback from either the physical or long-term stable Top of Bank (‘TOB’) of a valley corridor for non-habitable accessory structures, the Owner has agreed to cut back the covered patio addition to maintain a minimum rear yard setback of 6.5m. Based on the proposed revision, the TRCA has no concerns with the proposed variances. As such, Variance 2 is considered minor in nature as the proposed setback will not impact the valley corridor or the neighbouring lots to the north and south.

Accordingly, the Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

The Development Planning Department recommends approval of the application.

Development Engineering:
The Development Engineering (DE) Department does not object to variance application A081/20

Parks, Forestry and Horticulture Operations:
No comments or concerns

By-Law and Compliance, Licensing and Permit Services:
No comments.

Financial Planning and Development Finance:
No comment no concerns

Fire Department:
No comments.

Schedule A – Plans & Sketches

Schedule B – Public Correspondence
A081/20 – Public Correspondence (16 Cedar Glen Court, Kleinburg)
A081/20 – Public Correspondence (30 Cedar Glen Court, Kleinburg)

Schedule C - Agency Comments
Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections
MTO – Located outside of MTO permit control area
TRCA – comments with conditions

Schedule D - Previous Approvals (Notice of Decision)
Minor Variance A068/19

Staff Recommendations:
Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	Development Engineering Jason Pham 905-832-8585 x 8716 jason.pham@vaughan.ca	The Owner/applicant shall submit the final Lot Grading Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading approval prior to any work being undertaken on the property (large canopy on foundations). Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for lot grading and/or servicing approval.
2	TRCA Hamedeh Razavi 416-661-6600 x 5256 hamedeh.razavi@trca.ca	1. That the applicant provides the required fee amount of \$580.00 payable to the Toronto and Region Conservation Authority. 2. The applicant successfully obtains a permit pursuant to Ontario Regulation 166/06 from TRCA for the proposed works.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil). To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit www.vaughan.ca

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

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PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

For further information please contact the City of Vaughan, Committee of Adjustment

T 905 832 8585 Extension 8002
E CofA@vaughan.ca

Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

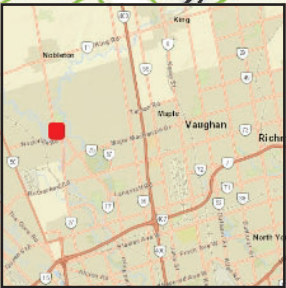
Location Map
Plans & Sketches



A081/20 LOCATION MAP

46 CEDAR GLEN COURT, KLEINBURG

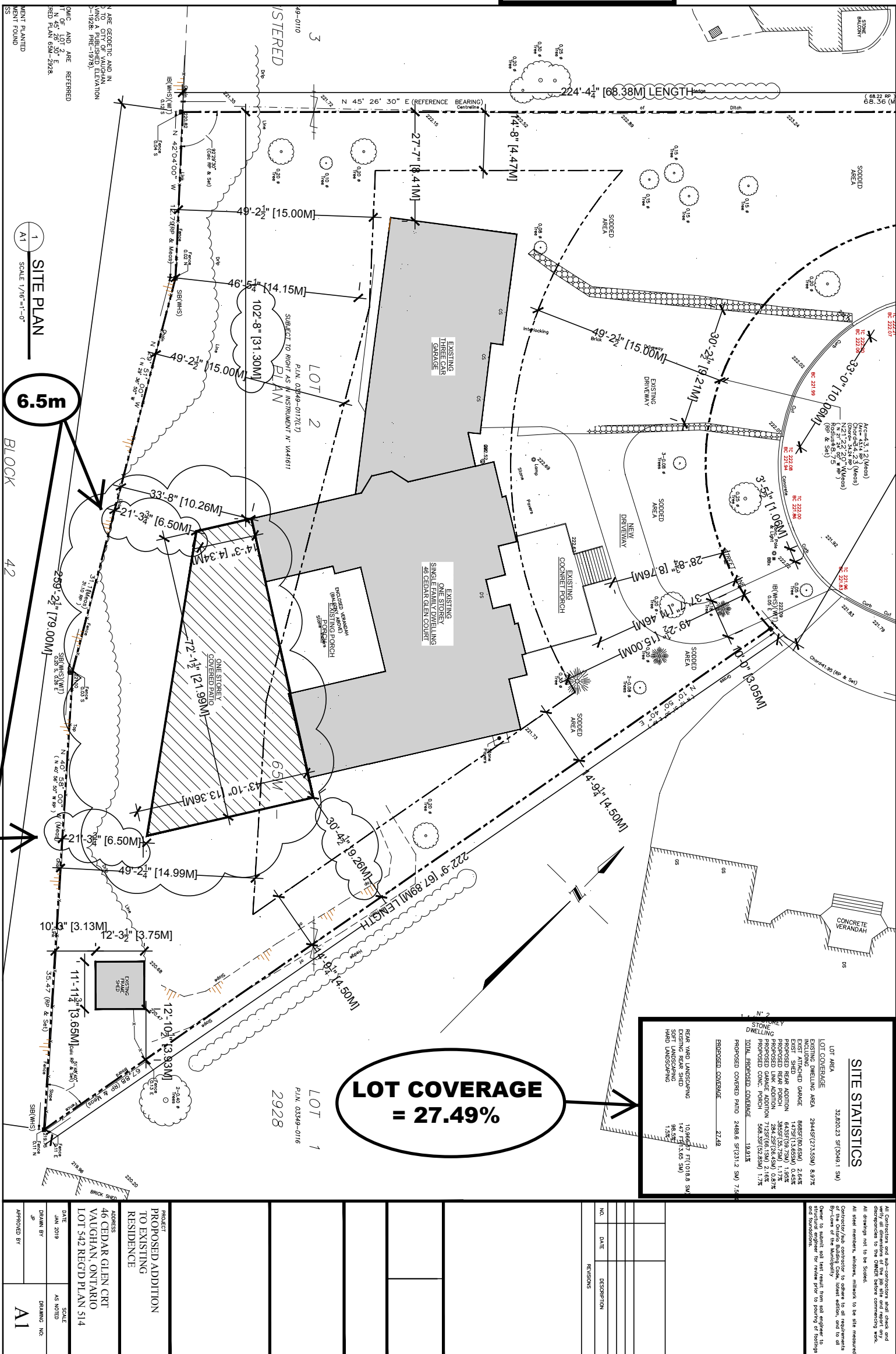
Kirby Road



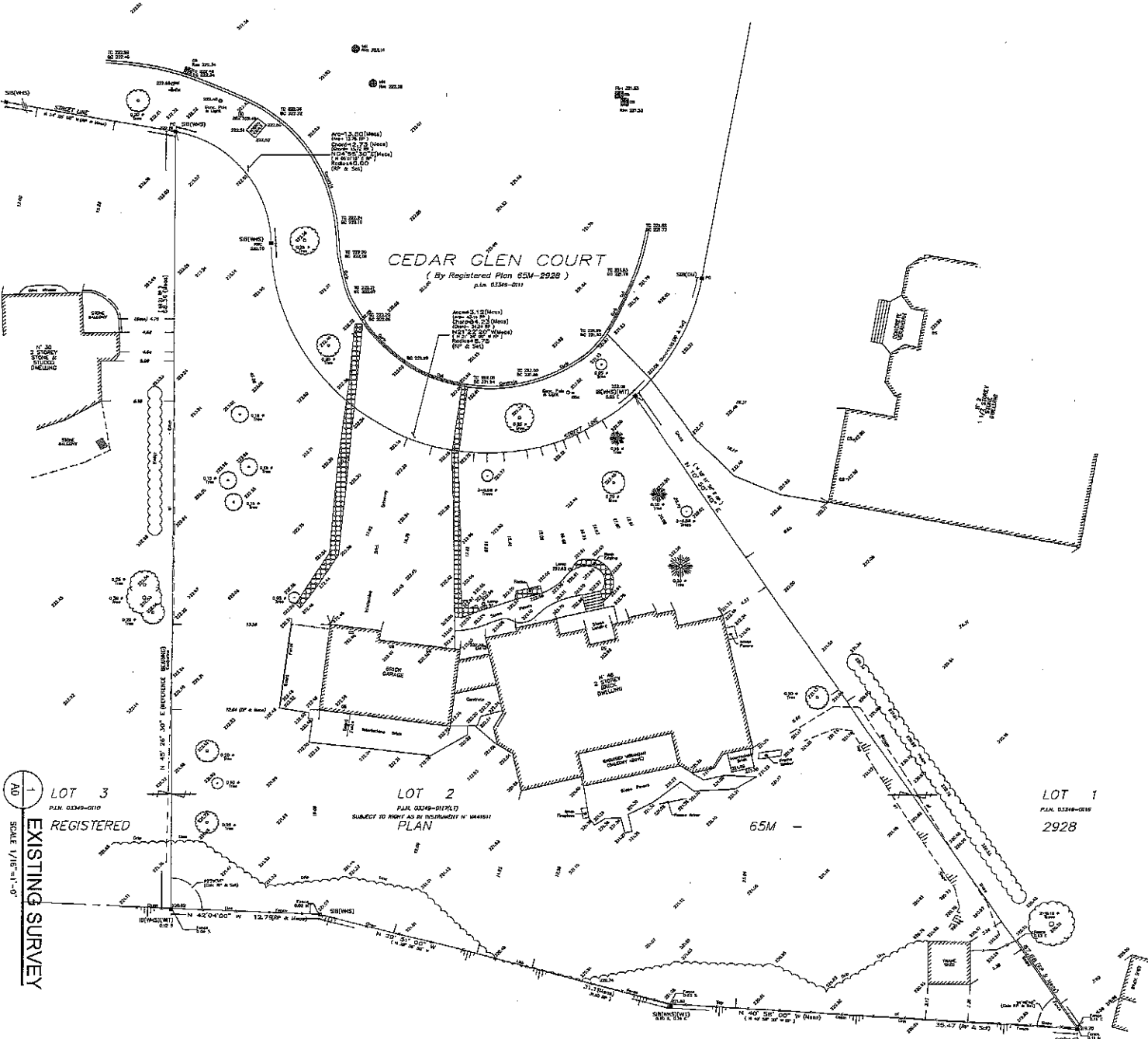
Scale: 1:4,653

Nashville Road

September 14, 2020 1:33 PM



METRIC
DISTANCES SHOWN HEREON ARE IN METRES
AND CAN BE CONVERTED TO FEET BY
DIVIDING BY 0.3048



BEARING NOTE
BEARINGS ARE ASTRONOMIC AND ARE REFERRED
TO THE WESTERLY UNIT OF LOT 2
HAVING A BEARING OF N 45° 20' 30" E
AS SHOWN ON REGISTERED PLAN 85M-2020.

[illegible]

BLOCK 42
PLAN, D334B-D42T

ASSOCIATION OF UNITED
LAND SURVEYORS
PLANS SUBMITTED FROM
2063678



1117 PLAIN ST. 2ND FLOOR
CHICAGO IL 60605
606-371-1117

In accordance with
Resolution 1978, Section 206

LSG LAND SURVEY GROUP
ONTARIO LAND SURVEYORS

DATE :	CHECKED BY :	PLAN N° : LSC-1510
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[illegible]

All dimensions and materials shall be in accordance with the Ontario Building Code and the National Building Code of Canada, and shall be subject to the approval of the City of Toronto. The architect shall be responsible for the design and construction of the building and shall ensure that the building is in accordance with the Ontario Building Code and the National Building Code of Canada.

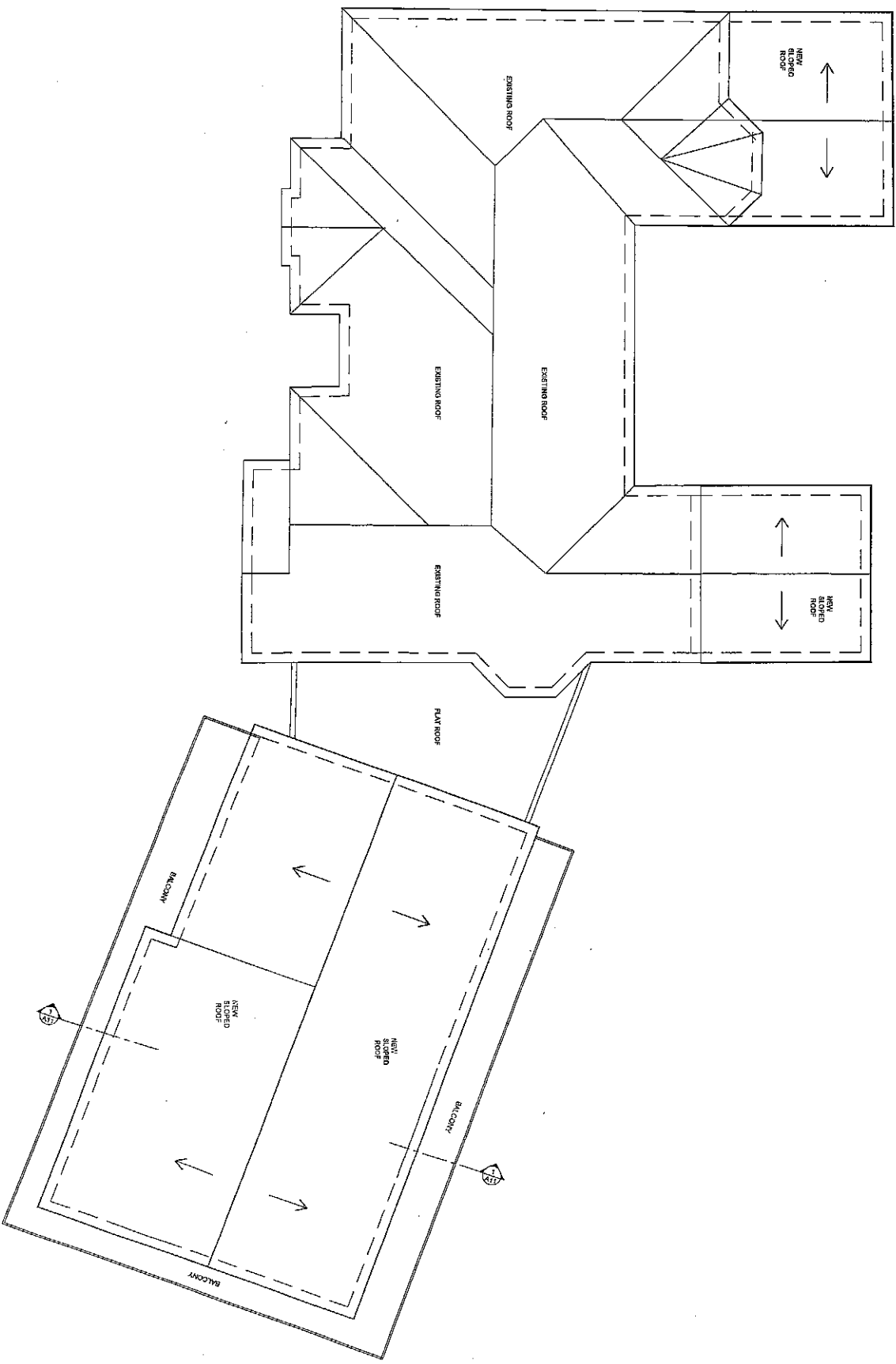
REVISIONS	
NO.	DATE
1	2020-06-15
2	2020-06-15
3	2020-06-15
4	2020-06-15
5	2020-06-15
6	2020-06-15
7	2020-06-15
8	2020-06-15
9	2020-06-15
10	2020-06-15



PROJECT: PROPOSED RENOVATION/ ADDITION TO EXISTING PINTO RESIDENCE

ADDRESS: 46 CEDAR GLEN CRT VAUGHAN, ONTARIO LOT 542 REGD PLAN S14

DATE	SCALE
2020-06-15	AS NOTED
2020-06-15	AS NOTED
2020-06-15	AS NOTED
2020-06-15	AS NOTED
2020-06-15	AS NOTED
2020-06-15	AS NOTED
2020-06-15	AS NOTED
2020-06-15	AS NOTED
2020-06-15	AS NOTED
2020-06-15	AS NOTED



1 ROOF PLAN SCALE 3/16"=1'-0"

All steel members, windows, millwork to be site made. Contractor/sub contractor to prepare to all requirements of the Ontario Building Code, latest edition, and to all By-Laws of the Municipality.

Owner to submit job test result from soil engineer before structural engineer for review prior to pouring of foundation and foundations.

REVIEWS	
NO.	DATE
01	2020-08-14
Reviewed by Committee of Adj. Prof.	



PROJECT
**PROPOSED RENOVATION/
ADDITION TO EXISTING
PINTO RESIDENCE**

ADDRESS
46 CEDAR GLEN CRT
VAUGHAN, ONTARIO
LOT 542 REG'D PLAN 514

DATE	SCALE
JAN2019	AS NOTED

1 FRONT ELEVATION
A8 SCALE 1:75

1. The drawings are the property of the architect and shall not be used for any other purpose without the written consent of the architect. All drawings are to be used in accordance with the Ontario Building Code. All drawings are to be used in accordance with the Ontario Building Code. All drawings are to be used in accordance with the Ontario Building Code.

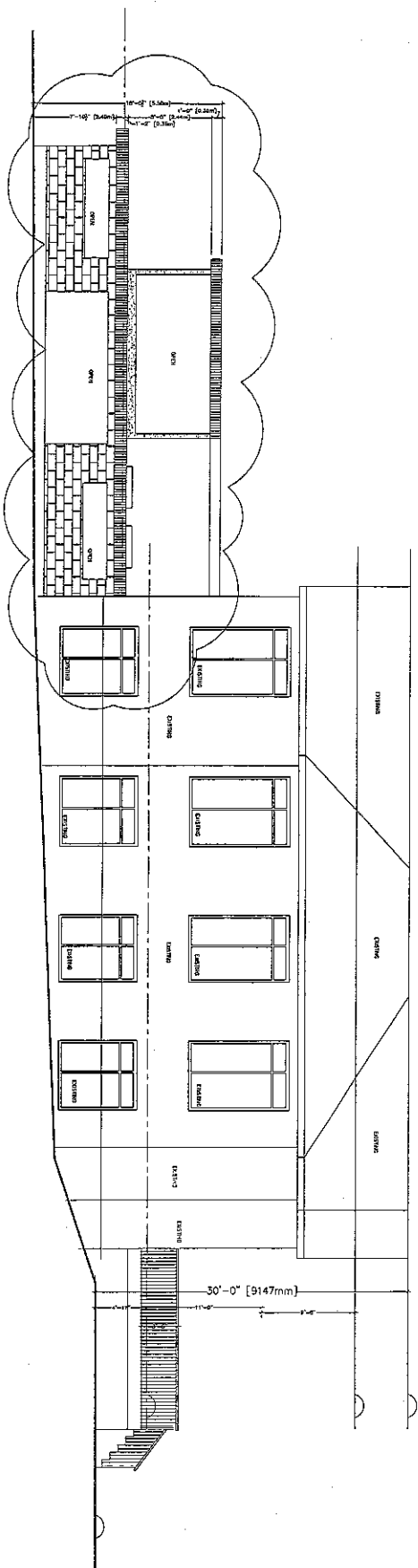
REVISIONS	
NO.	DATE
01.	2020-08-14
Issued for Committee of Adjustment	



PROJECT:
PROPOSED RENOVATION/
ADDITION TO EXISTING
PINTO RESIDENCE

ADDRESS:
46 CEDAR GLEN CRT
VAUGHAN, ONTARIO
LOT 542 REGD PLAN 514

DATE: JAN 2015
SCALE: AS NOTED
DRAWN BY: JH
APPROVED BY: JH
DRAWING NO.: A7



1
A7
SCALE 1/8" = 1'-0"

SIDE ELEVATION

All Contractors and sub-contractors shall check and stamp their work and shall be responsible for the quality of work. All drawings and specifications shall be checked and approved by the District Engineer. All drawings and specifications shall be checked and approved by the District Engineer. All drawings and specifications shall be checked and approved by the District Engineer.

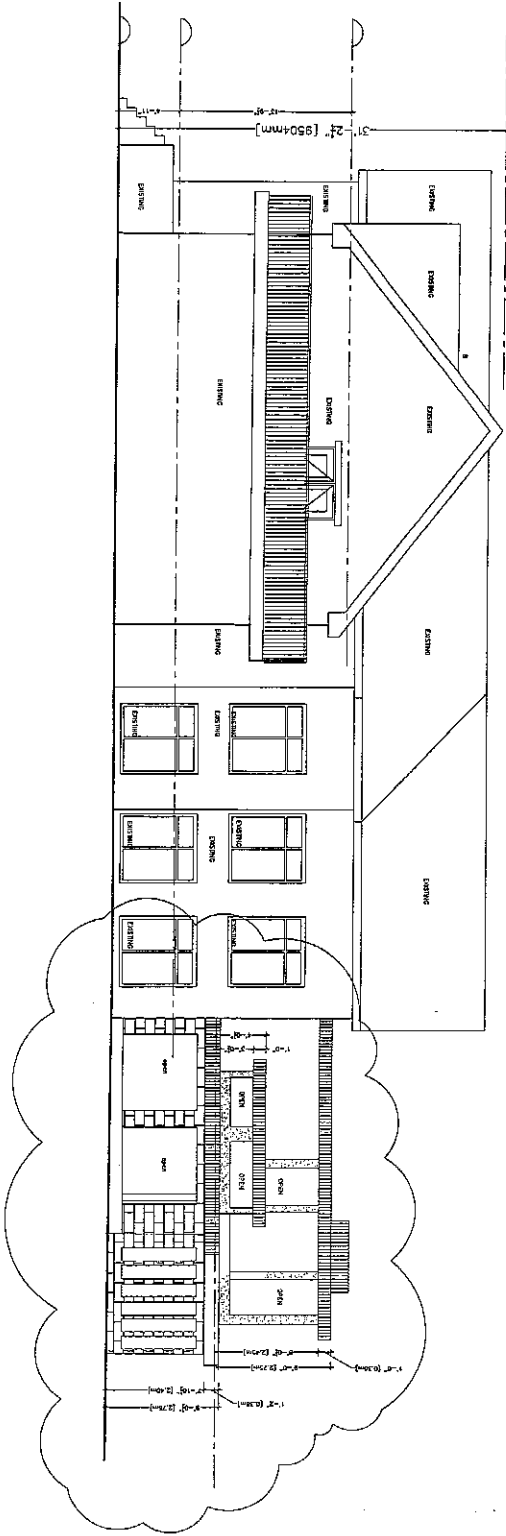
REVISIONS	
NO.	DATE
DESCRIPTION	
01	2000-05-14
Issued for Committee of Adjustment	



PROJECT
PROPOSED RENOVATION/
ADDITION TO EXISTING
PINTO RESIDENCE

ADDRESS
46 CEDAR GLEN CRT
VAUGHAN, ONTARIO
LOT 542 REGD PLAN 514

DATE	
DATE	SCALE
JAN/2005	AS NOTED
DRAWN BY	DRAWING NO.
NR	
APPROVED BY	

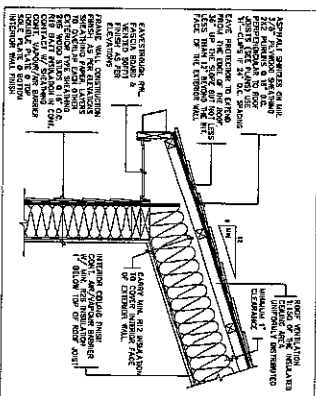


1. **Construction and sub-contractors shall check and verify all dimensions of the job site and report on drawings to the OWNER before commencing work.**
 2. **As drawings are to be issued.**
 3. **All staff members, visitors, members to be site measured**
 4. **Contracting job contractor to adhere to all requirements of the Owner Building Code, latest edition, and to all by-laws of the Municipality.**
 5. **Owner to supply soil test results from soil engineer to structural engineer for reference prior to pouring of footings and foundations.**

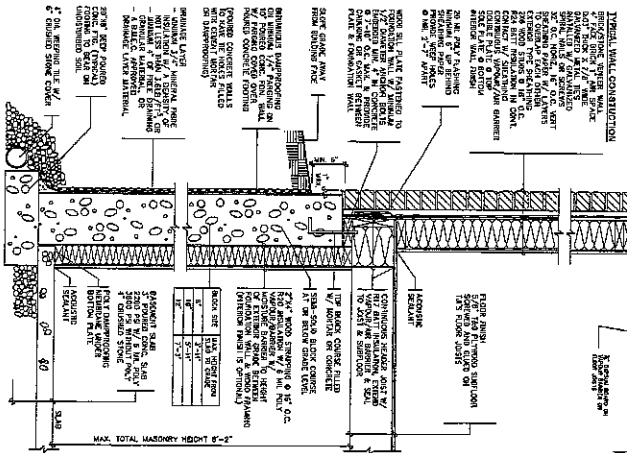
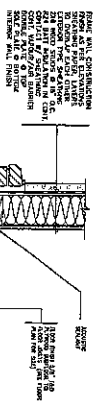
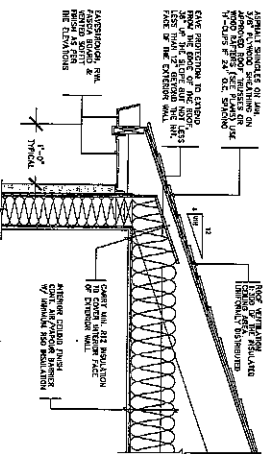
[illegible]PROJECT
PROPOSED RENOVATION/
ADDITION TO EXISTING
PINTO RESIDENCE

46 CEDAR GLEN CRT
VAUGHAN, ONTARIO
LOT 542 REG'D PLAN 514

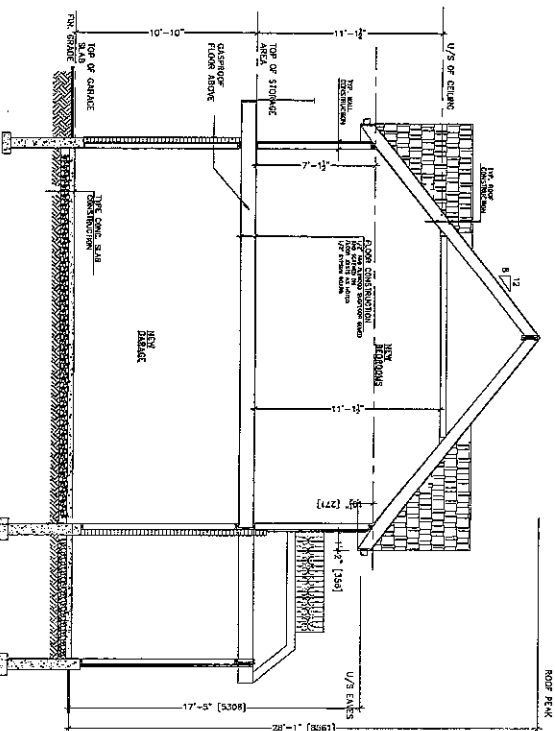
1
A9 REAR ELEVATION
SCALE 1:75



3 CATHEDRAL CEILING
DETAIL
SCALE 1"=1'-0"



2 TYPICAL WALL SECTION
SCALE 1"=1'-0"



1 CROSS SECTION
SCALE 1/4"=1'-0"

1. All Contractors and sub-contractors shall obtain and maintain all necessary permits and licenses for the work to be performed. The Contractor shall be responsible for obtaining all necessary permits and licenses. The Contractor shall be responsible for obtaining all necessary permits and licenses. The Contractor shall be responsible for obtaining all necessary permits and licenses.

REVISIONS	
NO.	DATE
01.	2020-06-14



PROPOSED RENOVATION/
ADDITION TO EXISTING
FINITO RESIDENCE

46 CEDAR GLEN CRT
VAUGHAN, ONTARIO
LOT 542 REGD PLAN 514

DATE: JUNE 10, 2020
DRAWN BY: A. J. SMITH
APPROVED BY: A. J. SMITH
SCALE: AS NOTED
A6

1. **Excavation and Backfill**
- Excavation shall be undertaken in such a manner so as to prevent damage to existing structures, adjacent property and utilities.
 - The topsoil and vegetable matter in unexcavated areas under a building shall be removed. The bottom of excavations for foundations shall be free of all organic material.
 - If families are known to exist, all stumps, roots and wood debris shall be removed to a minimum depth of 11 3/4" in excavated areas under a building, and the clearance between unexcavated structural wood elements and the ground shall be no less than 17 3/4".
 - Backfill within 23 5/8" of the foundation walls shall be free of deleterious debris and boulders over 9 7/8" in diameter.
2. **Dampproofing and Drainage**
- In normal soil conditions, the exterior surfaces of foundation walls enclosing basements and crawl spaces shall be dampproofed. Where hydrostatic pressure occurs, a waterproofing system is required.
 - Masonry foundation walls shall be purged with 1/4" of mortar covered over the footing prior to dampproofing.
 - Foundation drains shall be laid on level, undisturbed ground adjacent to the footings at or below the top of the basement slab or crawl space floor, and shall be covered with 6" of crushed stone. Foundation drains shall drain to a storm sewer, drainage ditch, dry well or sump.
 - Window wells shall be drained to the footing.
 - Downspouts not directly connected to a storm sewer shall have extensions to carry water away from the building, and provisions shall be made to prevent soil erosion.
 - Concrete slabs in attached porches shall be sloped to drain to the exterior.
 - The building site shall be graded so that surface, sump and roof drainage will not accumulate at or near the building and will not adversely affect adjacent properties.
3. **Footing**
- minimum 2200 psi ported concrete
 - minimum 48" below finished grade
 - Footing shall be founded on natural undisturbed soil, rock or compacted granular fill with minimum bearing capacity of 1570psi
- Footing Size (min. refer to specs)
- | Floors Supported | Supporting Ext. Wall | Supporting Int. Wall | Column Area |
|------------------|----------------------|----------------------|-------------|
| 1 | 9 7/8" | 9 7/8" | 4.3 R2 |
| 2 | 13 3/4" | 13 3/4" | 8.1 R2 |
| 3 | 17 3/4" | 19 3/4" | 10.9 R2 |
- Increase footing width by 2 5/8" for each story of brick veneer supported, and by 5 7/8" for each story of masonry.
- The projection of an unreinforced footing beyond the well supported shall not be greater than its thickness
4. **Step Footings**
- Vertical Rise 23 5/8" max. for firm soils
 - 23 5/4" max. for sand or gravel
 - Horizontal Run = 23 5/8" min.
5. **Foundation Walls**
- To be poured concrete
 - Dampproofing shall be a heavy coat of bituminous material.
 - Foundation wall to extend minimum 5 7/8" above finished grade.
 - A drainage layer is required on the outside of a foundation wall where the interior insulation extends more than 2-11" below exterior grade.
 - A drainage layer shall consist of:
 - Min. 3/4" mineral fibre insulation with min. Density of 3.6 lb/ft³
 - Min. 4" of free drainage granular material, or
 - An approved system which provides equivalent performance
 - Foundation walls shall be bored or have the floor joists installed before backfilling
6. **Concrete Floor Slabs**
- Garage, carport and exterior slabs and exterior steps shall be 4500psi concrete with 5-650# reinforcement
 - Other slabs 3500psi concrete
 - Minimum 3" thick, placed on a minimum 4" of coarse, clean, granular material
 - All floor other than coarse clean material placed beneath concrete slabs shall be compacted to provide uniform support
7. **Wood Frame Construction**
- All lumber shall be species-grade No. 1 & 2, and shall be identified by a grade stamp.
 - Minimum moisture content 19% at time of installation
 - Wood framing members which are supported on concrete in direct contact with soil shall be protected from the concrete with 6 mil polyethylene
8. **Walls**
- Exterior walls shall consist of:
 - cladding
 - sheathing paper lapped 4" and taped at joints
 - 3/8" fibreglass or gypsum board or 1/4" plywood sheathing
 - 2x6 studs @ 16" o.c.
 - 2x6 bottom plate and double 2x4 top plate
 - Interior loadbearing walls shall consist of:
 - 2x4 studs @ 8" o.c.
 - 2x4 bottom plate and double 2x4 top plate
 - 2x4 mid-girts if not sheathed
 - 1/2" gypsum board sheathing
9. **Floors**
- See Allowable Load requirements for joists
 - Joists to have minimum 1/2" defl. and bearing
 - Joists shall bear on a sill plate fixed to foundation with 1/2" anchor bolts @ 7' 10" o.c.
 - Header joists between 3' 11" and 10' 6" in length shall be doubled. Header joists exceeding 10' 6" shall be sized by calculations
 - Trimmer joists shall be doubled when supported header is between 2' 7" and 6' 7". Trimmer joists shall be sized by calculations when supported header exceeds 6' 7"
 - 2x2 cross bracing required not more than 6' 11" from each support and from other rows of bracing
 - Joists shall be supported on joist hangers at all flush beams, trimmers, and headers.
 - Joists located under profile non-loadbearing partitions shall be doubled
10. **Roof & Ceilings**
- See pre-engineered roof truss drawings by manufacturer
 - Hip and valley rafters shall be 2" deeper than common rafters
 - 2x4 collar ties @ rafter spacing with 1-4 continuous brace of mid span if collar tie exceeds 7' 10" in length
11. **Notching & Drilling of Trusses, Joists, Rafters**
- Holes in floor, roof and ceiling members to be notched 1/4" actual depth of member and not less than 2" from edges
 - Notches in floor, roof and ceiling members to be actual depth from the edge of bearing and not greater than 1/3 joist depth
 - Wall studs may be notched or drilled provided that no less than 2/3 the depth of the stud remains, if head bearing, and 1 5/8" for mid-board bearing
 - Roof truss members shall not be notched, drilled or weakened unless accommodated in the design
12. **Roofing**
- Fasteners for roofing shall be corrosion resistant. Roofing nails shall penetrate through or at least 1/2" into roof sheathing
 - Every second shingle shall be fastened with at least 4 nails
 - Two layers of
 - Eave protection shall extend 2' 11" up the roof slope from the edge, and at least 11 3/4" from the inside face of the exterior wall, and shall consist of type R or type S Roll Roofing laid with minimum 4 head and end laps cemented together, or glass fibre or Polyester fibre coated glass sheels, or self sealing composite membranes consisting of modified bituminous coated material. Eave protection is not required for unheated buildings, for roofs exceeding a slope of 1 in 1.5, or where a low slope eave/roll shingle application is provided
13. **Columns, Beams & Linths**
- Steel beams and columns shall be shop primed, minimum 3 1/2" and bearing for wood and steel beams with 7 7/8" solid masonry beneath the beam.
 - Steel columns to have minimum outside diameter of 2 7/8" and minimum wall thickness of 3/16"
 - Wood columns for porches and garages shall be minimum 3 1/2" x 3 1/2", in all other cases either 3 1/2" x 3 1/2" or 1 1/4" round, unless calculations based on actual loads show lesser sizes are adequate. All columns shall be not less than the width of the supported member
 - Masonry columns shall be a minimum of 3/8" x 11 3/8" or 3 1/2" x 15"
 - Provide steel blocking the full width of the supported member under all concentrated loads
14. **Insulation & Weatherproofing**
- | Ceiling with attic | R-50 |
|-------------------------------|------------------|
| Roof without attic | R-31 |
| SEE EFFICIENCY DESIGN SUMMARY | |
| Foundation with exposed | R-25 |
| Exterior Floor | R-15 |
| Floors on Grade | R-10 (insulated) |
- Supply ducts in unheated space R-12
- Insulation shall be protected with gypsum board or on equivalent interior finish, except for unfinished basements where 6 mil poly is sufficient for fiberglass type insulation
 - Ducts passing through unheated space shall be more airtight with tape or sealant
 - Caulking shall be provided for all exterior doors and windows between the frame and the exterior cladding
 - Weatherstripping shall be provided on all doors and access hatches to the exterior, except doors from a garage to the exterior
 - Exterior walls, ceilings and floors shall be constructed so as to provide a continuous barrier to the passage of water vapour from the interior and to the leakage of air from the exterior
15. **Natural Ventilation**
- Every roof space above an insulated ceiling shall be ventilated with unobstructed openings equal to not less than 1/300 of insulated area
 - Insulated roof spaces not incorporating an attic shall be ventilated with unobstructed openings equal to not less than 1/150 of insulated area. Roof vents shall be uniformly distributed and designed to prevent the entry of rain, snow or insects
 - Unheated crawl spaces shall be provided with 1 1/4 ft. of ventilation for each 538² ft. Minimum natural ventilation areas, where mechanical ventilation is not provided, are:
 - other rooms: 0.97 ft²
 - Unheated basement: 0.2% of floor area
16. **Doors and Windows**
- Every floor level containing a bedroom and not served by an exterior door shall contain at least 1 window having an unobstructed open area of 5.8 ft² and no dimension less than 15" which is operable from the inside without tools
 - Exterior house doors and windows within 6' 7" from grade shall be constructed to resist forced entry. Doors shall have a deadbolt lock
 - The principal entry door shall have either a door viewer, transparent glazing or a sightlight
17. **Exterior Walls**
- No windows or other unprotected openings are permitted in exterior walls less than 3' 11" from property lines
 - 5/8" fire rated drywall shall be installed on the inside face of attached garage exterior walls and the gable ends of roofs which are less than 3' 11" from property lines
 - Stairs shall be located, and except where serving an unheated basement shall be controlled by a 5 way switch at the head and foot of the stairs
 - Basements require a light for each 225 ft², controlled by a switch at the head of the stairs
18. **Ceramic Tile** (where applicable)
- When ceramic tile applied to a mortar bed with thick bed method, the bed shall be a minimum of 1/2" thick & reinforced with galvanized demand mesh with applied over polyethylene on subflooring of double joists at no more than 12" o.c. with at least 2 rows cross width
19. **Access to Attics and Crawl Spaces**
- Access to attics shall be provided by a 2' 4" to be spaced which is 108 ft² or more in area and more than 23 5/8" in height
20. **Alarms and Detectors**
- At least one smoke alarm shall be installed on or near the ceiling on each floor and basement level
 - 2 11" for more above an adjacent level
 - Smoke alarms shall be interconnected and located such that one is within 16' 5" of every bedroom door and no more than 49' 3" travel distance from any point on a floor
 - A carbon monoxide detector shall be installed on or near the ceiling in every room containing a solid fuel burning fireplace or stove
21. **Stairs**
- | Minimum Run | 7 7/8" |
|-------------------|--------|
| Minimum Rise | 8 1/4" |
| Minimum Tread | 9 1/4" |
| Minimum Head Room | 6' 5" |
| Minimum Width | 2' 10" |
- Curved stairs shall have a min. run of 15 7/8" at any point and a minimum average run of 17 7/8" windows which converge to a point in stairs must turn through an angle of no more than 90° with no less than 30° or more than 45° per tread. Sides of windows must be separated by 3' 11" along the run of the stair
 - A landing minimum 2' 11" in length is required at the top of any stair leading to the principal entrance to a dwelling, and other entrances with more than 3 risers
 - Exterior concrete stairs with more than 2 risers require foundations
22. **Handrails and Guards**
- A handrail is required for interior stairs containing more than 2 risers and exterior stairs containing more than 3 risers
 - Guards are required around every accessible surface which is more than 23 5/8" above the adjacent level
 - Interior and exterior guards min. 2' 11" high. Exterior guards shall be 3' 6" high where height above adjacent surface exceeds 5' 11"
 - Guards shall have no openings greater than 4" and no member between 4" and 2' 11" that will facilitate climbing
23. **Plumbing**
- Every dwelling requires a kitchen sink, laundry, water closet, bathtub or shower stall and the installation or availability of laundry facilities
 - A floor drain shall be installed in the basement, and connected to the sanitary sewer where grossly drainage is possible. In other cases, it shall be connected to a storm drainage system, ditch or dry well
24. **Electrical**
- An exterior light controlled by an interior switch is required of every entrance
 - A light, controlled by a switch is required in every kitchen, bedroom, living room, utility room, laundry room, dining room, bathroom, vestibule, hallway, garage and porch.
 - Stairs shall be located, and except where serving an unheated basement shall be controlled by a 5 way switch at the head and foot of the stairs
 - Basements require a light for each 225 ft², controlled by a switch at the head of the stairs
25. **Mechanical Ventilation**
- A mechanical ventilation system is required with total capacity at least equal to the sum of:
 - 10 cfm each for bathroom and master bedroom
 - 5 cfm for each other room
 - A principal dwelling exhaust fan shall be installed and controlled by a centrally located switch identified as such
 - Supplemental exhaust shall be installed so that the total capacity of all kitchen, bathroom and other exhausts, less the principal exhaust, is not less than the total required capacity
 - A Heat Recovery Ventilator may be employed in lieu of exhaust to provide ventilation. An HRV is required if any solid fuel burning appliances are installed
 - Supply air inlets shall be located so as to avoid contamination from exhaust outlets

All Contractors and subcontractors shall read and verify all dimensions of the job site and report any discrepancies to the Owner before commencing work. All drawings are to be used.

All steel members, whether, intended to be hot-mechanically galvanized, shall be coated to all requirements of the National Association of Corrosion Engineers (NACE) and the American Institute of Steel Construction, Inc. (AISC).

Owner to submit and have final design and engineering by a structural engineer for review prior to pouring of footings and foundation.

NO.	DATE	REVISION	DESCRIPTION
NO.	DATE	REVISION	DESCRIPTION
01.	2003-06-10	Issued for Committee of Management	



PROJECT
PROPOSED RENOVATION/
ADDITION TO EXISTING
PINTO RESIDENCE

ADDRESS
46 CEDAR GLEN CRT
VAUGHAN, ONTARIO
L0T 542 RECD PLAN 514

DATE	DESIGNED BY	SCALE
2003	AS NOTED	
DATE	DESIGNED BY	SCALE
2003	AS NOTED	

APPROVED BY: **ALL**

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

- A081/20 – Public Correspondence (16 Cedar Glen Court, Kleinburg)**
- A081/20 – Public Correspondence (30 Cedar Glen Court, Kleinburg)**

Attwala, Pravina

Subject: FW: A081-20-46 Cedar Glen Court-Rear Covered Patio

From: Kang Bing

Sent: Thursday, September 17, 2020 9:55 AM

To: Bell, Brandon <Brandon.Bell@vaughan.ca>

Cc:

Subject: [External] A081-20-46 Cedar Glen Court-Rear Covered Patio

Dear Brandon,

I am the owner of 16 Cedar Glen Crt. and I support the rear covered patio located at [46 Cedar Glen Court](#).

Sincerely,

Bing

Sent from my iPhone

Attwala, Pravina

Subject: FW: A081-20 - 46 CEDAR GLEN COURT - REAR COVERED PATIO

Importance: High

From: Carlo Pascazi

Sent: Friday, September 18, 2020 2:55 PM

To: Bell, Brandon <Brandon.Bell@vaughan.ca>

Cc: Carlo Pascazi

Subject: [External] A081-20 - 46 CEDAR GLEN COURT - REAR COVERED PATIO

Importance: High

Dear Brandon,

I am the owner of 30 Cedar Glen Court in Kleinburg, Ontario and I support the rear covered patio located at 46 Cedar Glen Court.

Sincerely,

Carlo Pascazi

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

- Alectra (Formerly PowerStream) – No concerns or objections
- Region of York – No concerns or objections
- MTO – Located outside of MTO permit control area
- TRCA – comments with conditions

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mr. Tony D'Onofrio
Supervisor, Subdivisions (Alectra East)
Phone: 1-877-963-6900 ext. 24419

Email: tony.donofrio@alectrautilities.com

Attwala, Pravina

Subject: FW: A081/20 - REQUEST FOR COMMENTS

From: Hajjar, Alexander (MTO) <Alexander.Hajjar@ontario.ca>

Sent: September-01-20 4:30 PM

To: Attwala, Pravina <Pravina.Attwala@vaughan.ca>

Cc: Scholz, Kevin (MTO) <Kevin.Scholz@ontario.ca>; Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A081/20 - REQUEST FOR COMMENTS

Good Afternoon Pravina,

MTO has reviewed the subject land(s) located at 46 Cedar Glen Crt. in the City of Vaughan. The subject lands are outside the MTO permit control area and therefore do not require a permit from this office.

Best Regards,

Alexander Hajjar

Transportation Technician

Highway Corridor Management Section

Ministry of Transportation, MTO

416.235.4504

September 15, 2020

CFN 62574.21
Ex-Ref CFN 62059, 60819.19

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Christine Vigneault
Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Christine:

Re: Minor Variance Application A081/20
46 Cedar Glen Court
Plan 65M-2928, Lot 2
City of Vaughan, Region of York
Owner: Marianna & Joseph Pinto (Agent: The Luxor Group c/o Anthony Cesario)

This letter acknowledges receipt of the above noted application, received by the Toronto and Region Conservation Authority (TRCA) on September 1, 2020. TRCA staff has reviewed the application and offers the following comments for the consideration of the Committee of Adjustment.

Background

The purpose of application A081/20 is to request the following:

1. To permit a minimum rear yard setback of 6.5 metres for a covered patio.
2. To permit a maximum lot coverage of 27.49%.

It is our understanding that the purpose of the noted variances is to facilitate the construction of a one storey covered patio.

Applicable TRCA Policies and Regulations

Living City Policies (LCP):

The Living City Policies for Planning and Development in the Watersheds of the Toronto and Region Conservation Authority (LCP) describes a 'Natural System' made up of natural features and areas, water resources, natural hazards, potential natural cover and/or buffers. The LCP recommends that development not be permitted within the Natural System and that it be conveyed into public ownership for its long-term protection and enhancement. The LCP also provides policies for developing adjacent to, and in, the Natural System (where permitted), while meeting natural hazard management requirements, and maintaining and enhancing the functions of the protected Natural System. These

policies also seek to integrate the natural and built environments, maximizing opportunities for ecosystem services from across the entire landscape. It is these policies that guide TRCA's review of the subject application, along with those found in other Provincial and municipal plans, documents and guidelines.

Ontario Regulation 166/06:

The subject property is partially located within TRCA's Regulated Area of the Humber River. In accordance with *Ontario Regulation 166/06 (Regulation of Development, interference with Wetlands and Alterations to Shorelines and Watercourses)*, development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, pollution, or the conservation of land will not be affected.

Application-Specific Comments

As noted above, a portion of the subject property is located within TRCA's Regulated Area due to presence of a valley corridor associated with the Humber River. The valley corridor is located on the adjacent lands to the west.

TRCA was previously involved in the review of a Minor Variance Application (Municipal File No. A068/19) and subsequently issued a permit (TRCA Permit No. C-191126) on November 13, 2019, for the construction of an addition to the existing dwelling and an accessory structure (porch). TRCA staff recently received a request from the proponent to revise the approved drawings to permit the construction of a 1-storey "patio" structure at the rear of the dwelling. TRCA staff conducted a site visit to assess the existing conditions of the slope on September 1, 2020 and will continue to work with the applicant to ensure the proposed work is located outside of the hazard associated with the slope, and it won't adversely impact the natural feature associated with the valley corridor.

TRCA policies require a minimum 6 metre setback from either the physical or long-term stable Top of Bank (TOB) of a valley corridor for non-habitable accessory structures (i.e., swimming pools, sheds, patios, decks etc.). Based on observations made by TRCA staff on site, the physical TOB coincides with the rear property line. Based on a review of the plans submitted with this variance application, TRCA is satisfied that the current plans showing a 6.5 metres setback from the rear lot line comply with TRCA's setback requirements. As such, TRCA has no concerns with the proposed variances.

Fees

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$580.00 (Variance-Residential-Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

Recommendation

Based on the above, TRCA staff have **no objection** to the approval of Minor Variance Application A081/20, subject to the following condition:

1. That the applicant provides the required fee amount of \$580.00 payable to the Toronto and Region Conservation Authority.
2. The applicant successfully obtains a permit pursuant to Ontario Regulation 166/06 from TRCA for the proposed works.

We trust these comments are of assistance. Should you have any questions, please contact me at extension 5256 or at Hamedeh.Razavi@trca.ca

Sincerely,

A handwritten signature in blue ink, appearing to read 'Hamedeh Razavi'.

Hamedeh Razavi
Planner I, Development Planning and Permits

HR/sb

C: Anthony Cesario <Anthony@theluxorgroup.ca>

Attwala, Pravina

Subject: FW: A081/20 - REQUEST FOR COMMENTS
Attachments: 20200901_113038.jpg; 20200901_113228.jpg

From: Hamedeh Razavi <Hamedeh.Razavi@trca.ca>
Sent: September-10-20 11:19 AM
To: Attwala, Pravina <Pravina.Attwala@vaughan.ca>
Subject: [External] FW: A081/20 - REQUEST FOR COMMENTS

From: Hamedeh Razavi
Sent: Thursday, September 10, 2020 11:10 AM
To: Attwala, Pravina <Pravina.Attwala@vaughan.ca>
Subject: RE: A081/20 - REQUEST FOR COMMENTS

Hi Pravina,

We have received a permit application for this proposal too. Based on our recent site visit, it appeared that the patio has been built without TRCA permission. Also, the built structure does not look like the submitted drawings. I have attached a few photos of the structure for your references. The City staff might want to conduct a site inspection as well.

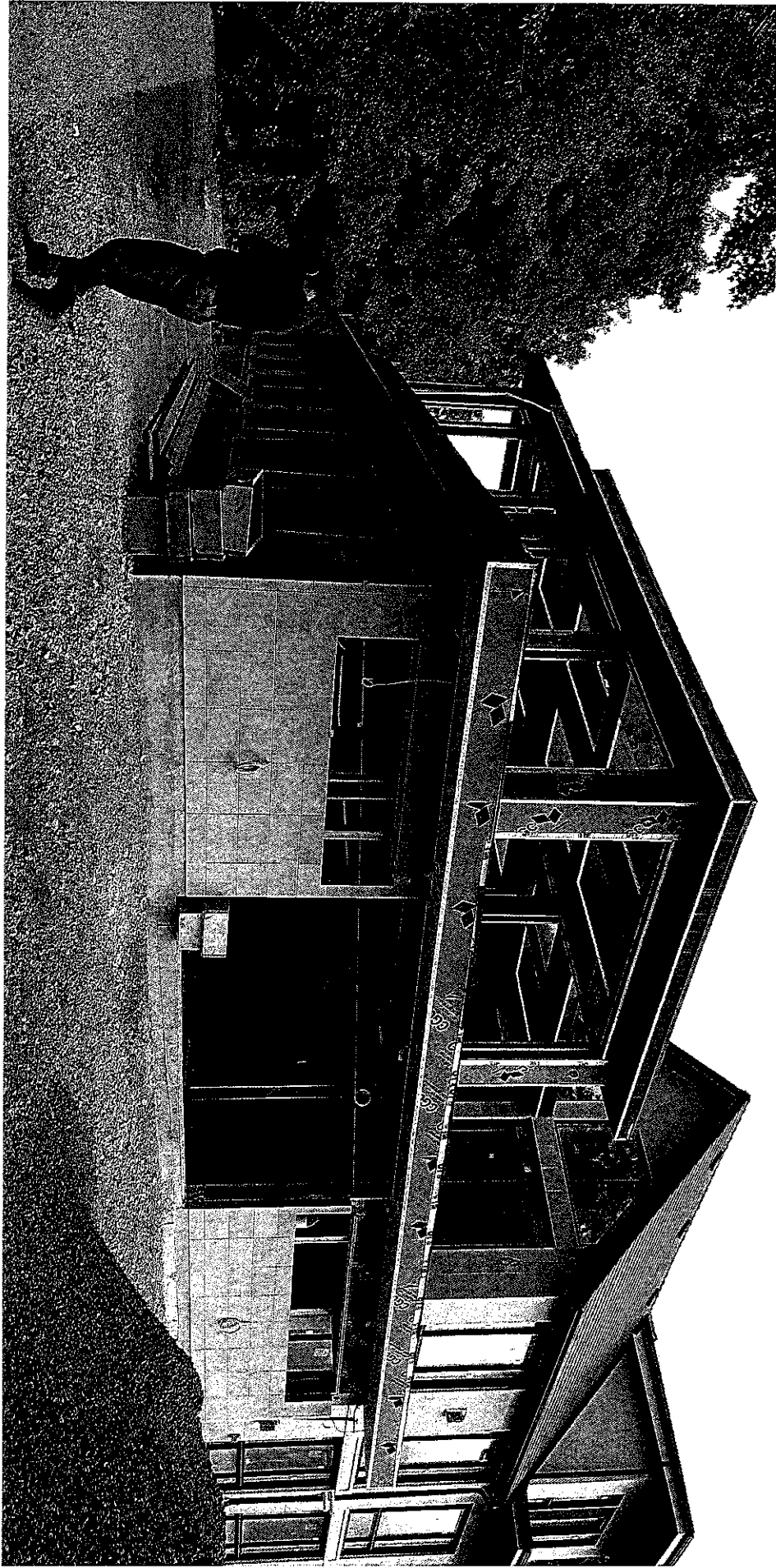
Best regards,

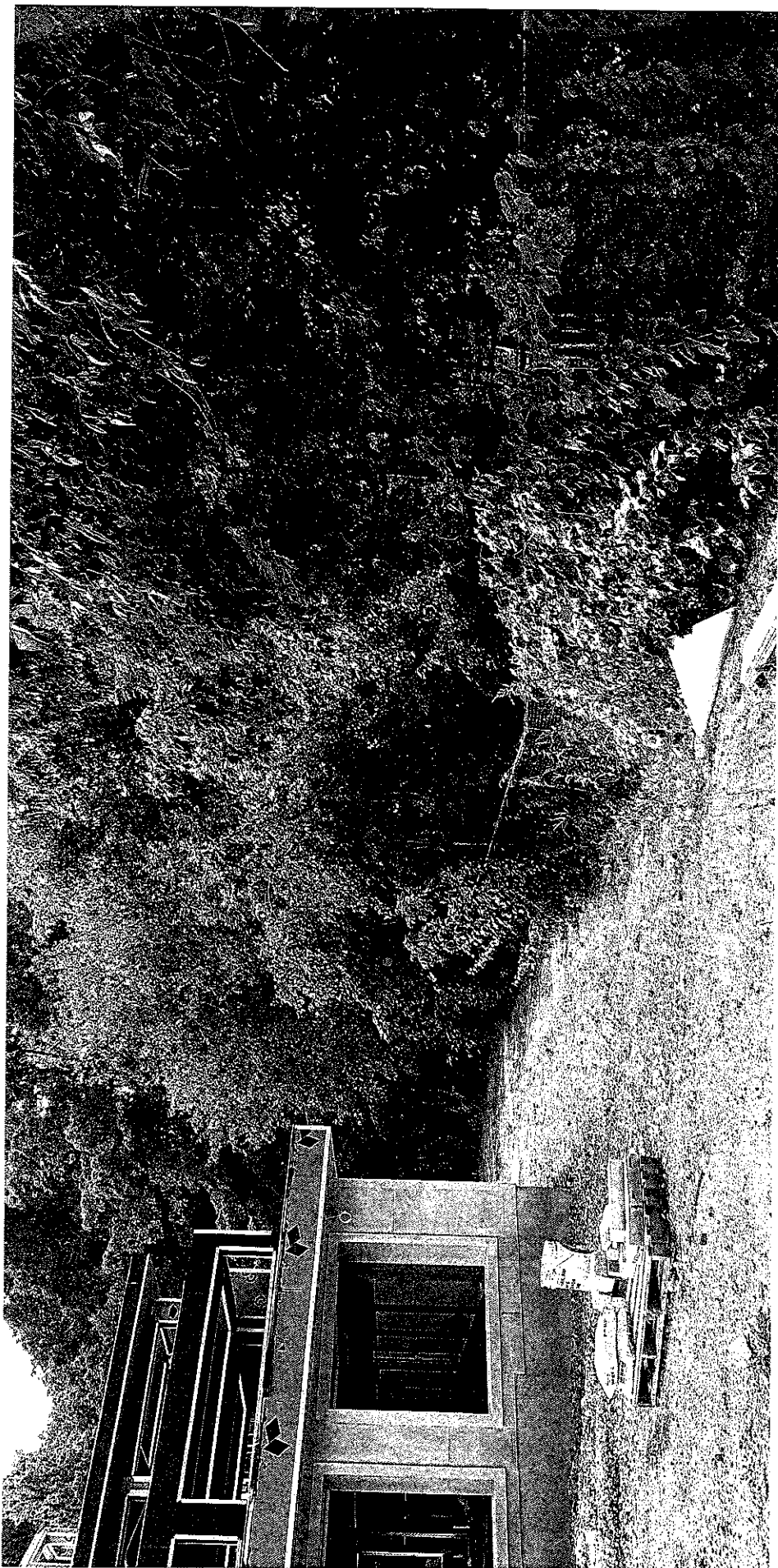
Hamedeh Razavi MURP
Planner I
Development Planning and Permits | Development and Engineering Services

T: (416) 661-6600 ext. 5256
E: Hamedeh.Razavi@trca.ca
A: 101 Exchange Avenue, Vaughan, ON, L4K 5R6 | trca.ca



TRCA's Offices are closed to visitors. The plan input and review function continues during the Coronavirus pandemic. In order to reduce the potential of transmission, TRCA requests that all development planning and permit applications and materials be submitted digitally in PDF format only. Paper submissions are discouraged and may result in extended timeframes for review. All documents should be submitted via an on-line file sharing service (e.g. OneDrive, Dropbox or corporate file sharing services) or via email in PDF format. Documents can be submitted directly to me at Hamedeh.Razavi@trca.ca We thank you for your cooperation as we respond to the current situation.





Attwala, Pravina

Subject: FW: A081/20 - REQUEST FOR COMMENTS

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: September-04-20 11:49 AM

To: Attwala, Pravina <Pravina.Attwala@vaughan.ca>; Providence, Lenore <Lenore.Providence@vaughan.ca>; MacPherson, Adriana <Adriana.MacPherson@vaughan.ca>

Subject: [External] RE: A081/20 - REQUEST FOR COMMENTS

Good morning Pravina,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Regards,

Gabrielle

Gabrielle Hurst MCIP RPP | Community Planning and Development Services | 1-877 464 9675 ext 71538 |
Gabrielle.hurst@york.ca | www.york.ca

Schedule D: Previous Approvals (Notice of Decision)

Minor Variance Application A068/19

NOTICE OF DECISION
Minor Variance Application A068/19
 Section 45 of the Planning Act, R.S.O., 1990, c.P.13

Date of Hearing: Thursday, October 17, 2019
Applicant: Marianna & Joseph Pinto
Agent: Anthony Cesario
Property: **46 Cedar Glen Ct Kleinburg ON**
Zoning: The subject lands are zoned RR, Rural Residential Zone, and subject to the provisions of Exception 9(741) under By-law 1-88 as amended.
OP Designation: Vaughan Official Plan ("VOP") 2010 Designation: "Low-Rise Residential" and "Natural Areas".
Related Files: None
Purpose: Relief from the by-law is being requested to permit the construction of a proposed addition to the existing single family dwelling. The addition includes expansion of the existing dwelling into the east/west side yard and rear yard which is further described as:

- Addition to **west** side of the existing dwelling includes: 1 storey garage, 1 storey storage area and 2 storey addition;
- Addition to **east** side of the existing dwelling includes: 2 storey addition;
- Addition to **rear** of the existing dwelling includes: Second floor addition, open wood deck.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum Front yard setback of 15 metres is required.	1. To permit a minimum Front yard setback of 8.76 metres to a dwelling.
2. A minimum Rear yard setback of 15 metres is required.	2. To permit a minimum Rear yard setback of 10.26 metres to a dwelling.
3. A maximum of 10% Lot coverage is permitted.	3. To permit a maximum lot coverage of 19.96% (19.51% dwelling; 0.45% shed)
4. A minimum Rear yard setback of 15 metres is required.	4. To permit a minimum Rear yard setback of 3.13 metres to a shed.
5. A minimum Interior Side yard setback of 4.5 metres is required.	5. To permit a minimum Interior Side yard setback of 3.93 metres to a shed.

Sketch: A sketch illustrating the request has been attached to the decision.

Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:

THAT Application No. A068/19 on behalf of Marianna & Joseph Pinto be **APPROVED**, in accordance with the sketch submitted with the application (as required by Ontario Regulation 200/96) and subject to the following conditions:

	Department/Agency	Condition
1	Development Engineering Jason Pham 905-832-8585 x 8716 Jason.pham@vaughan.ca	<ol style="list-style-type: none"> 1. The Owner/applicant shall submit the final Lot Grading Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading approval prior to any work being undertaken on the property. 2. The Owner/applicant shall visit the City of Vaughan Transportation Services Division of the Transportation Services, Parks and Forestry Operations Department and arrange a site visit with City Staff to ensure that the proposed driveway/curb cut does not conflict with existing street furniture, neighboring access, road alignment and/or anything else deemed relevant by City Staff upon inspection. In conjunction with this condition, the owner/applicant shall apply and obtain the necessary curb cut permit through the Transportation Services Division.
2	TRCA Anthony Syhlonyk 416-661-6600 x 5272 asyhlonyk@trca.on.ca	<ol style="list-style-type: none"> 1. That the applicant pays the outstanding review fee of \$580.00 for Minor Variance A068/19. 2. That the applicant revises their permit with TRCA with the updated drawings.

For the following reasons:

1. The general intent and purpose of the by-law will be maintained.
2. The general intent and purpose of the official plan will be maintained.
3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
4. The requested variance(s) is/are minor in nature.

Please Note:

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Written & oral submissions considered in the making of this decision were received from the following:




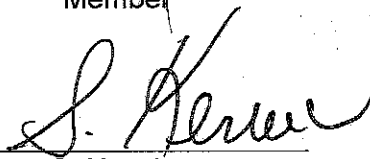

Public Written Submissions	Public Oral Submissions
* Public Correspondence received and considered by the Committee in making this decision	*Please refer to the approved Minutes of the Thursday , October 17, 2019 meeting for submission details.
None	Name: Address:

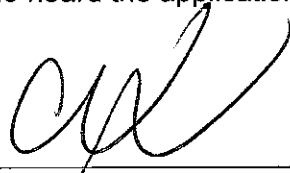
Late Written Public Submissions:

In accordance with the Committee of Adjustment Procedural By-law (069-2019) public written submissions on an Application shall only be received by the Secretary Treasurer until 4:00 p.m. on the last business day prior to the day of the scheduled Meeting.

List late public submissions or include N/A

SIGNED BY ALL MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

		
H. Zheng Member	R. Buckler Chair	A. Perrella Vice Chair
		
S. Kerwin Member		A. Antinucci Member

DATE OF HEARING:	Thursday, October 17, 2019
DATE OF NOTICE:	October 25, 2019
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	November 6, 2019 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan's Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.  <hr/> Christine Vigneault, ACST Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

Appealing to The Local Planning Appeal Tribunal
The Planning Act, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or any other person or public body who has an interest in the matter may within 20 days of the making of the decision appeal to the Local Planning Appeal Tribunal (LPAT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal (A1 Appeal Form) setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Local Planning Appeal Tribunal Act*.

Note: A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days of the date of the making of the decision, the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

Appeal Fees & Forms

Local Planning Appeal Tribunal: The LPAT appeal fee is \$300 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The LPAT Appeal Fee must be paid by certified cheque or money order payable to the "Minister of Finance". Notice of appeal forms (A1 Appeal Form – Minor Variance) can be obtained at www.elto.gov.on.ca or by visiting our office.

City of Vaughan LPAT Processing Fee: \$817.00 per application

*Please note that all fees are subject to change.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from each respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All applicable conditions must be cleared prior to the issuance of a Building Permit.

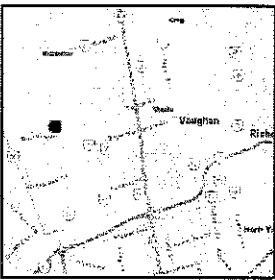
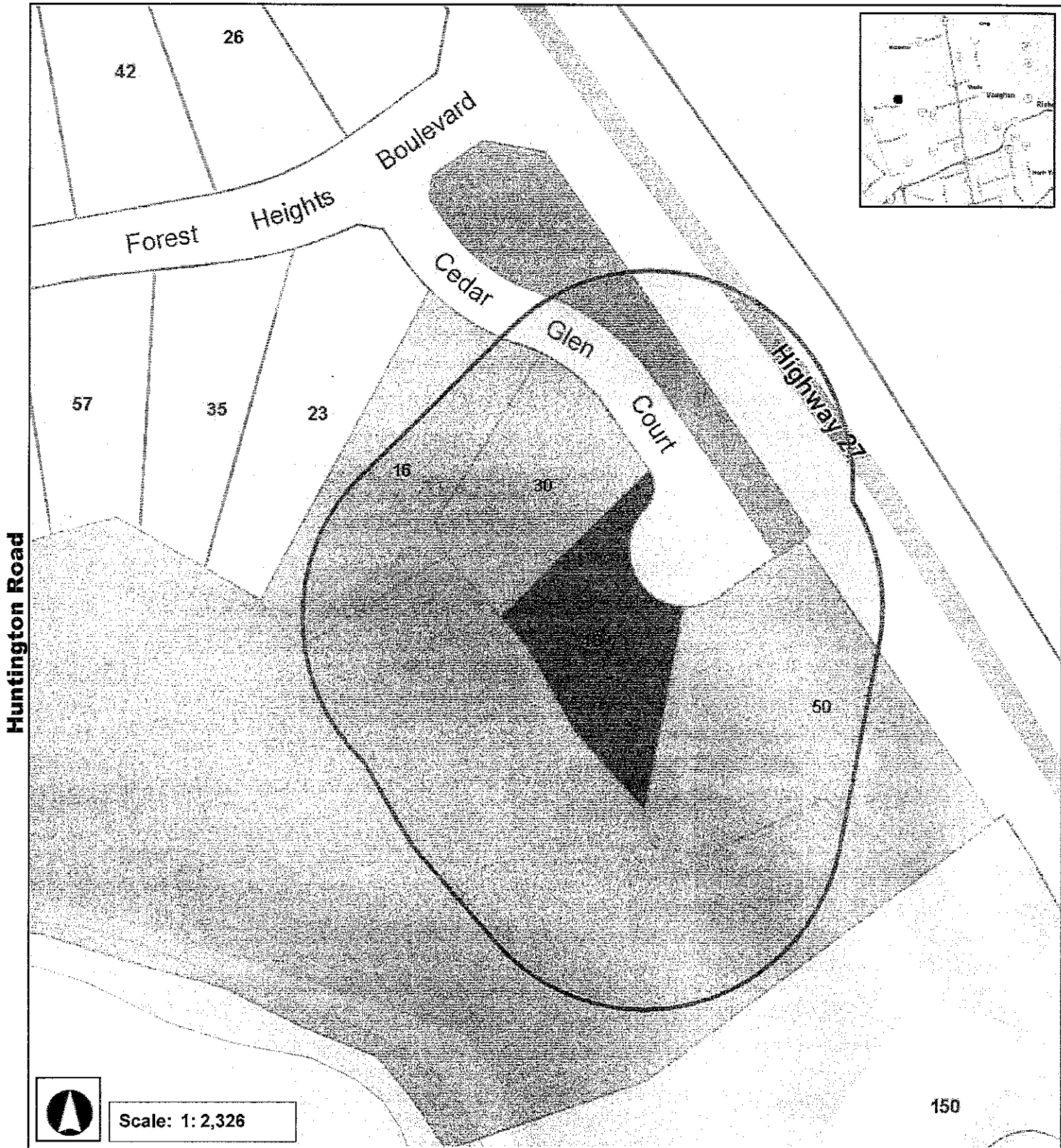


VAUGHAN

LOCATION MAP A068/19

46 CEDAR GLEN COURT, KLEINBURG

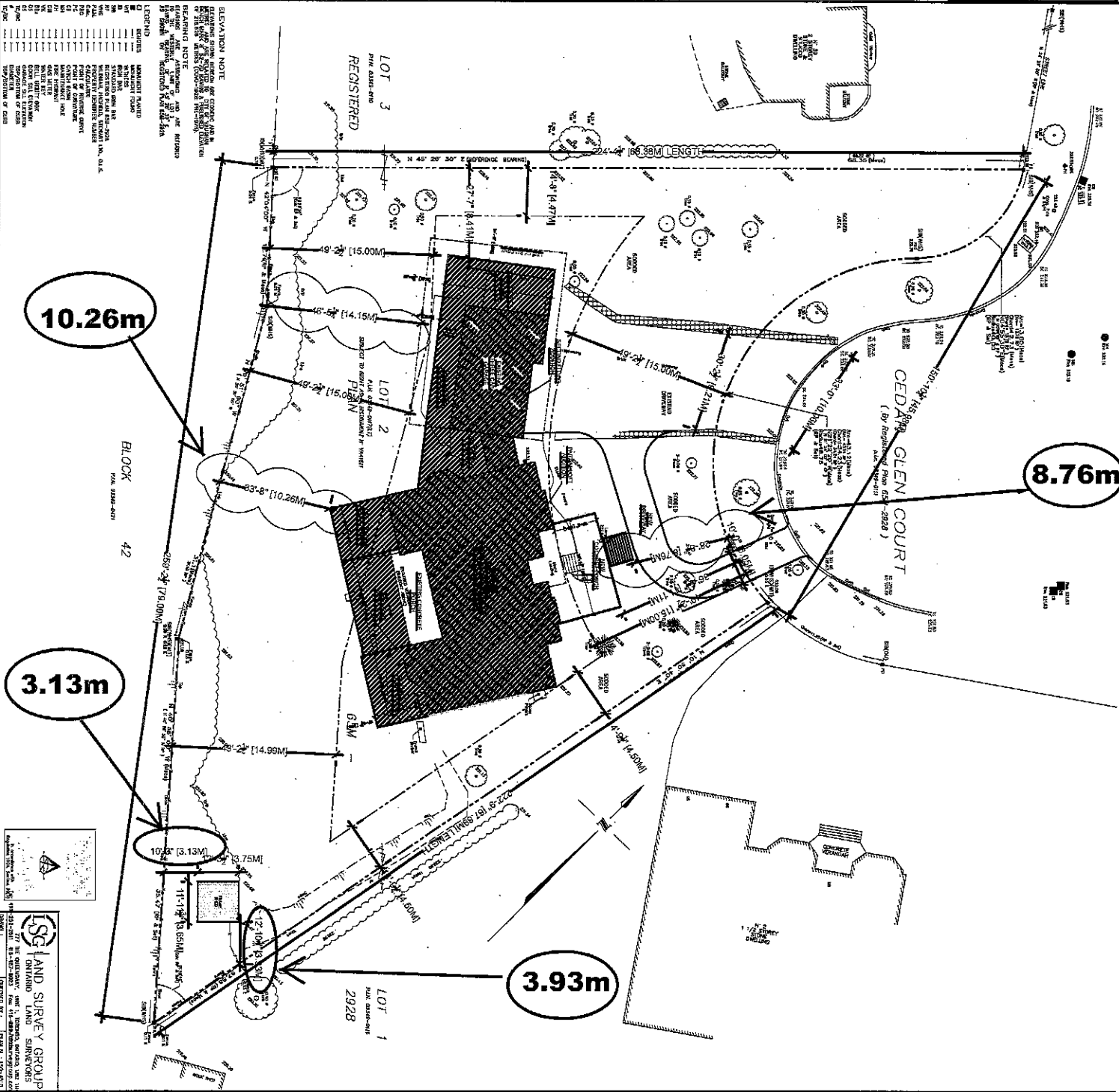
Kirby Road



Scale: 1: 2,326

Nashville Road

August 28, 2019 10:51 AM



SITE STATISTICS

LOT AREA 32,820.23 SF(3049.1 SM)

EXISTING FIRST FLOOR AREA 2847 SF(264.5 SM)

EXISTING LINK 97 SF(9.01 SM)

EXISTING GARAGE AREA 868 SF(80.63 SM)

EXISTING SHED 147 SF(13.66 SM)

TOTAL EXISTING BUILDING FOOTPRINTS 3959 SF(367.8 SM)

PROPOSED ADDITIONAL FIRST FLOOR AREA 643 SF(59.7 SM)

PROPOSED ADDITIONAL SECOND FLOOR AREA 1277 SF(118.6 SM)

TOTAL FIRST FLOOR AREA 3490 SF(324.2 SM)

TOTAL SECOND FLOOR AREA 2896 SF(269 SM)

GROSS FLOOR AREA 6386 SF(593.2 SM)

LOT COVERAGE

EXISTING DWELLING AREA 2944SF(273.5SM) 8.97%

EXIST ATTACHED GARAGE 868SF(80.6SM) 2.64%

EXIST SHED 147SF(13.66SM) 0.45%

PROPOSED REAR ADDITION 643SF(59.7SM) 1.95%

PROPOSED REAR PORCH 385SF(35.7SM) 1.17%

PROPOSED LINK ADDITION 284.2SF(26.4SM) 0.87%

PROPOSED GARAGE ADDITION 712SF(66.1SM) 2.16%

PROPOSED CONC. PORCH 568.3SF(52.8SM) 1.7%

TOTAL PROPOSED COVERAGE 19.91%

TOTAL FRONT LANDSCAPING AREA 11,245.7 4572 SF(1044.7 SM)

SOFT LANDSCAPING 7772.5 SF (772.09 SM) 64%

HARD LANDSCAPING 3473.2 SF (322.67 SM) 36%

LENGTH OF PROPERTY 224.43 FT (68.38 M)

WIDTH OF PROPERTY 259.18 FT (79.0 M)

AT REAR

WITH OF PROPERTY 150.85 FT (45.98 M)

AT FRONT

1 SITE PLAN

A1 SCALE 1/32"=1'-0"

PROPOSED RENOVATION/
ADDITION TO EXISTING
PINTO RESIDENCE

46 CEDAR GLEN CRT
VAUGHAN, ONTARIO
LOT 542 REG'D PLAN 514

JAN 2019
SCALE AS NOTED

A1