



File: A048/20

Applicant: Giasone (Jason) Polsinelli and Domenico Francesco

Address: 645 Nashville Road, Kleinburg

Agent: Giorgio Frasca

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment <input checked="" type="checkbox"/> Negative Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection	<input checked="" type="checkbox"/>	
Development Planning		
Cultural Heritage (Urban Design)	<input checked="" type="checkbox"/>	
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
By-law & Compliance		
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department		
TRCA		
Ministry of Transportation	<input checked="" type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)		

Adjournment History: None

Background History: None



Minor Variance
Application

Agenda Item: 06

A048/20

Ward: 1

Staff Report Prepared By: Lenore Providence, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing: Thursday, October 1, 2020 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

Please submit written comments by mail or email to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

To make an electronic deputation at the meeting please contact the Committee of Adjustment at cofa@vaughan.ca or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

Applicant: Giasone (Jason) Polsinelli and Domenico Francesco

Agent: Giorgio Frasca

Property: 645 Nashville Road, Kleinburg

Zoning: The subject lands are zoned A and subject to the provisions of Exception under By-law 1-88 as amended.

OP Designation: Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Related Files: DA.19.067

Purpose: Relief from By-law 1-88, as amended, is being requested to permit the construction of a proposed single family dwelling and cabana. Relief is also required to facilitate Site Plan Application DA.19.067.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum interior side yard setback of 4.5 metres is required.	1. To permit a minimum interior side yard setback of 2.64 metres.
2. A minimum interior side yard setback of 4.5 metres is required.	2. To permit a minimum interior side yard setback of 2.62 metres.
3. A minimum rear yard setback of 15.0 metres is required.	3. To permit a minimum rear yard setback of 13.64 metres to a dwelling.
4. A minimum rear yard setback of 15.0 metres is required.	4. To permit a minimum rear yard setback of 1.21 metres to a Cabana.
5. A maximum lot coverage of 10% is required.	5. To permit a maximum lot coverage of 27.85% (Dwelling 24.17% + Cabana 3.68%).

Background (previous applications approved by the Committee on the subject land):

Application No.:	Description:	Status of Approval: Approved/Refused/Withdrawn/ OMB/Concurrent
A157/97	The applicant requested variances to permit the construction of a proposed garage with an existing 1-storey single family dwelling, notwithstanding the rear yard setback for the garage will be 1.3m, rather than By-law 1-88 requires 15.0m and the side yard setback will	Refused (Minutes provided in Schedule D)

Application No.:	Description:	Status of Approval: Approved/Refused/Withdrawn/ OMB/Concurrent
	be 1.3m, rather than By-law 1-88 requires 4.5m. The lot coverage will be 20%, rather than By-law 1-88 requires 10%.	

For information on the previous approvals listed above please visit www.vaughan.ca. To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

Adjournment History: None

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:

Public notice was mailed on September 16, 2020

Applicant confirmed posting of signage on September 18, 2020

Property Information	
Existing Structures	Year Constructed
Existing Dwelling	1970
Proposed Dwelling	TBC
Cabana	TBC

Applicant has advised that they cannot comply with By-law for the following reason(s): Setbacks seem to be too restricted.

Adjournment Request: None

Building Standards (Zoning Review):

Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file.

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2.

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Please note Section 4.1.1(b) that states the maximum height of an accessory building or structure measured from the average finished ground level to the highest point of the said building or structure shall be 4.5 metres. The nearest part of the roof shall not be more than three(3) metres above finished grade. An A/C unit and/or pool equipment shall be setback a minimum of 1.2 metres from the interior side lot line; and may encroach a maximum of 1.5 metres into the required rear yard or exterior side yard.

Building Inspections (Septic):

No comments or concerns.

Development Planning:

Application under review.

Cultural Heritage (Urban Design):

No Response.

Development Engineering:

The owner/applicant shall apply and obtain the necessary curb cut permit and apply for a culvert installation through the Transportation Services Division.

The Development Engineering (DE) Department does not object to variance application A048/20 subject to the following condition(s):

1. The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for lot grading and/or servicing approval.

2. The Owner/applicant shall demonstrate appropriate LID (Low-impact Development) measures to the satisfaction of DE to address the increased lot coverage area from 10% to 27.85% in order to mitigate potential impacts on the municipal stormwater system.

Parks, Forestry and Horticulture Operations:

Forestry has provided comments for file DA.19.067 on August 28, 2020 for the 4th circulation.

Forestry will issue a tree removal & protection permit once the application is received and hoarding is installed to the satisfaction of by-law 052-2018.

Recommended condition of approval:

Owner shall obtain a private property tree removal & protection permit to the satisfaction of Forestry and in accordance with By-Law 052-2018 (application not yet received)

By-Law and Compliance, Licensing and Permit Services:

No Response.

Financial Planning and Development Finance:

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment

That the payment of applicable Special Area Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Special Area Development Charge By-laws in effect at time of payment.

Fire Department:

No Response.

Schedule A – Plans & Sketches**Schedule B – Public Correspondence**

None

Schedule C - Agency Comments

Alectra (Formerly PowerStream) – No concerns or objections

Region of York – No concerns or objections

MTO – Located outside of MTO permit control area

Schedule D - Previous Approvals (Notice of Decision)

A157/97 (Minutes)

Staff Recommendations:

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	Development Engineering Jason Pham 905-832-8585 x 8716 jason.pham@vaughan.ca /	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for lot grading and/or servicing approval. The Owner/applicant shall demonstrate appropriate LID (Low-impact Development) measures to the satisfaction of DE to address the increased lot coverage area from 10% to 27.85% in order to mitigate potential impacts on the municipal stormwater system.
2	Parks, Forestry and Horticulture Operations Patrick Courchesne 905-832-8585 x 3617/x3615/x3614 Patrick.Courchesne@vaughan.ca	Owner shall obtain a private property tree removal & protection permit to the satisfaction of Forestry and in accordance with By-Law 052-2018 (application not yet received)

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil). To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit www.vaughan.ca

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

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PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

For further information please contact the City of Vaughan, Committee of Adjustment

Lenore Providence

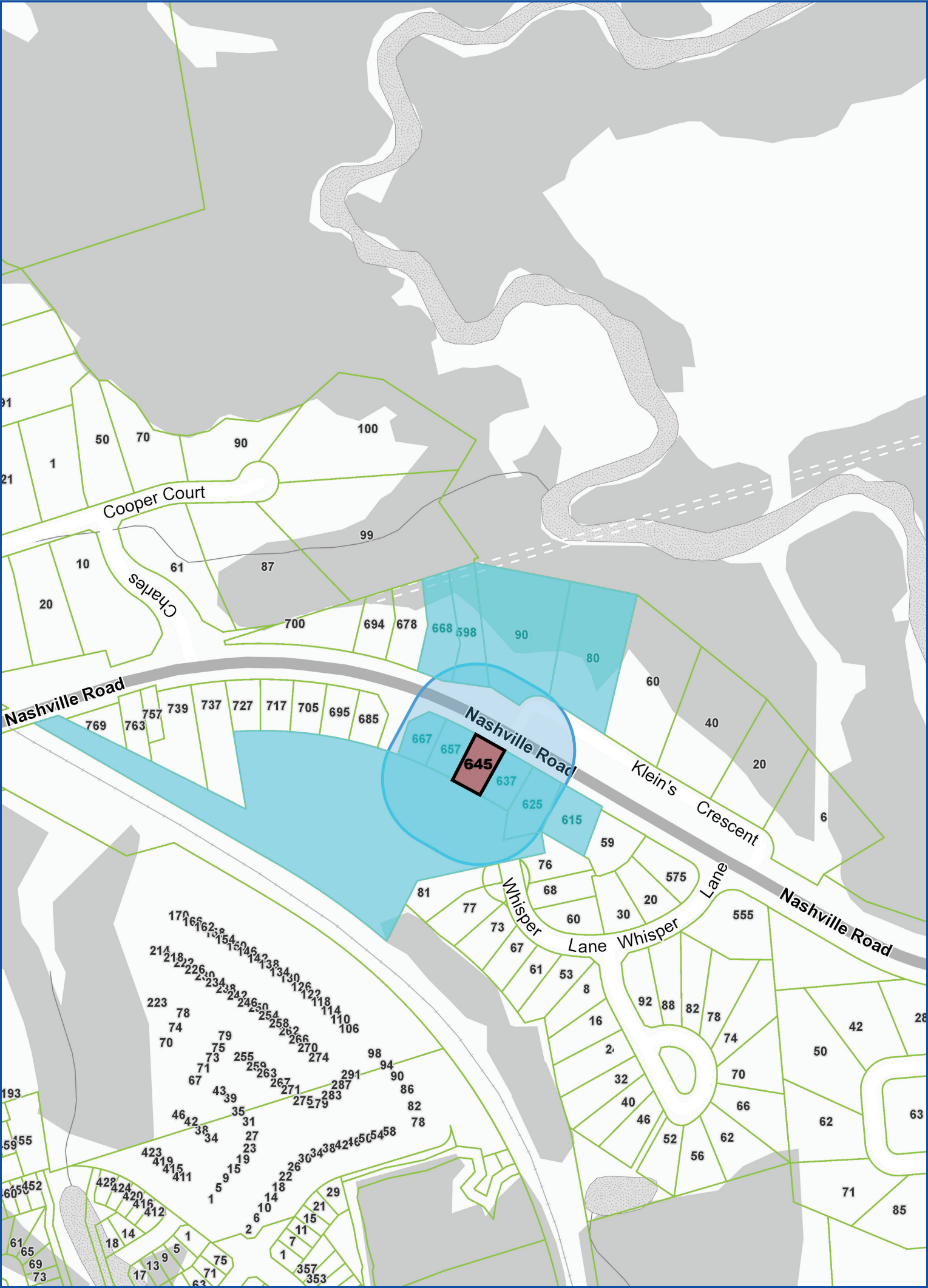
T 905 832 8585 Extension 8394

E CofA@vaughan.ca

Schedule A: Plans & Sketches

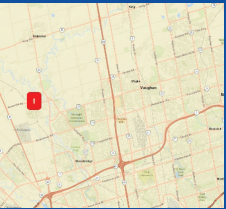
Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

Location Map
Plans & Sketches



HIGHWAY #27

Map Information:



Title:

LOCATION MAP - A048/20

645 Nashville Road, Kleinburg

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:4,561
0 0.07 km



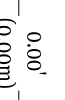
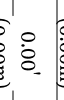

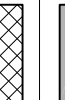

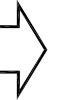

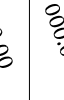
Created By:
Infrastructure Delivery
Department
September 15, 2020 4:06 PM

Projection:
NAD 83
UTM Zone
17N

LOT 8
REGISTERED PLAN 4258
PART OF LOT 25
CONCESSION 9
CITY OF VAUGHAN

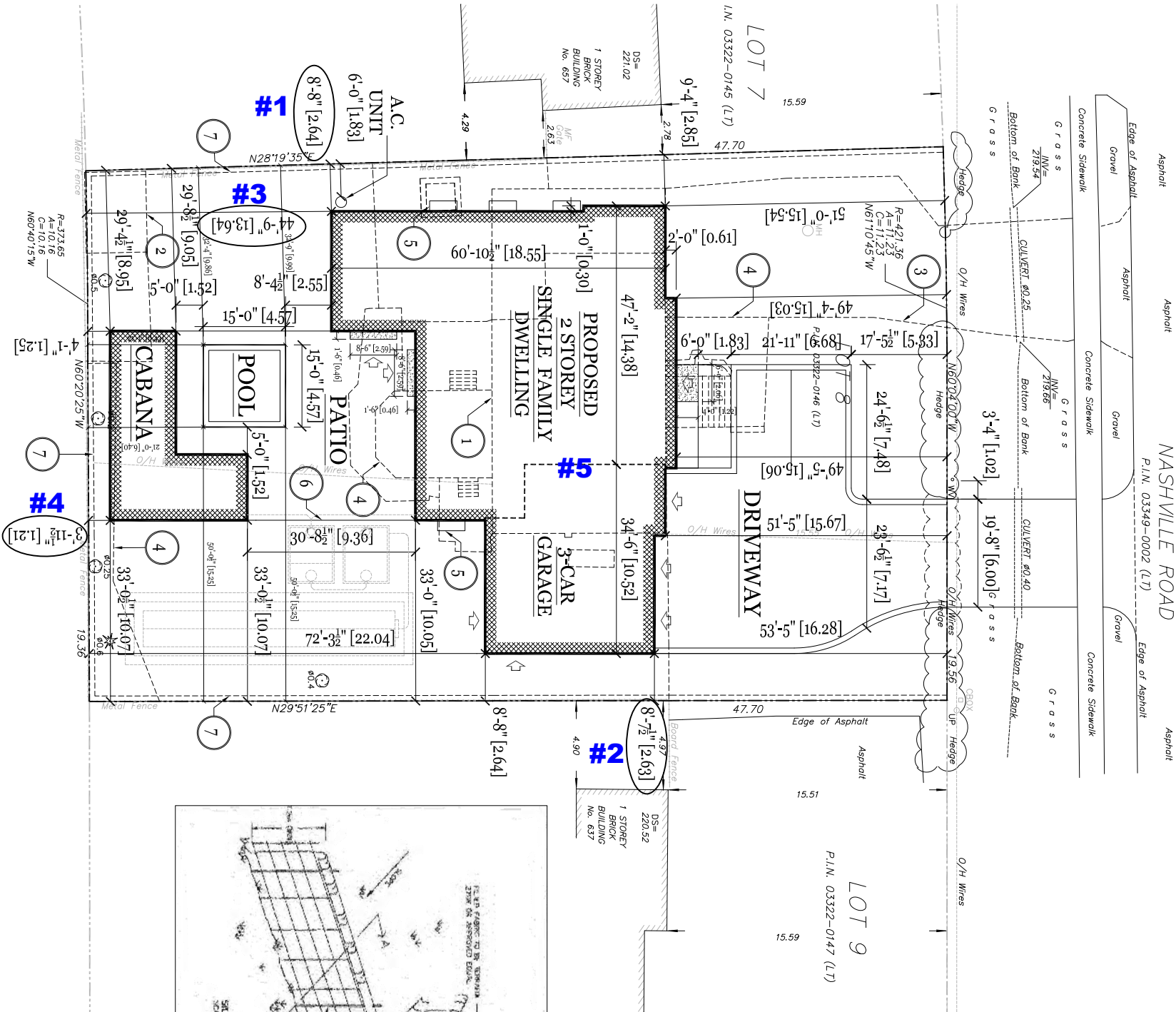
REGIONAL MUNICIPALITY OF YORK

SITE INFORMATION TAKEN FROM
SKETCH OF SURVEY PREPARED BY:
ALEX MARTON LTD
DUNFARLD LAND SURVEYOR
DECEMBER 07, 2017

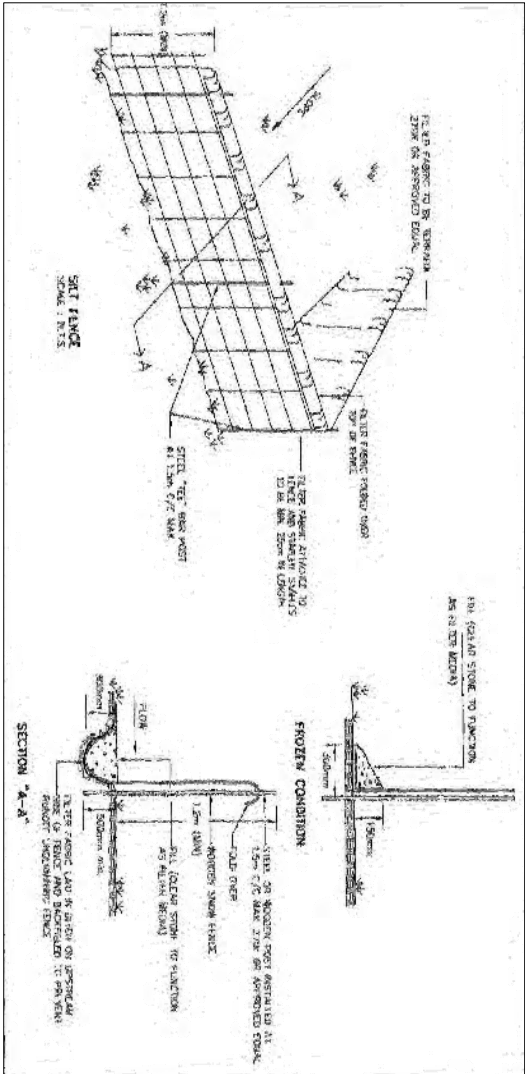
LEGEND	
	EXISTING SETBACK/DIMENSIONS (0.00m)
	PROPOSED SETBACK/DIMENSIONS (0.00m)
	EXISTING BUILDING
	PROPOSED BUILDING
	OVERHEAD DOOR ENTRANCE
	DOOR ENTRANCE
	EXISTING GRADE TO BE MAINTAINED
	PROPOSED GRADE

A048/20

- #1. To permit a minimum interior side yard setback of 2.64 metres.
#2. To permit a minimum interior side yard setback of 2.62 metres.
#3. To permit a minimum rear yard setback of 13.64 metres to a dwelling.
#4. To permit a minimum rear yard setback of 1.21 metres to a Cabana.
#5. To permit a maximum lot coverage of 27.85% (Dwelling 24.17% + Cabana 3.68%).



NOTES	
1	EXISTING HOUSE TO BE DEMOLISHED
2	EXISTING SHED TO BE DEMOLISHED
3	EXISTING DRIVEWAY TO BE RESIDED
4	EXISTING PLANTER AND INTERLOCKING TO BE DEMOLISHED
5	WINDOW WELL
6	CONCRETE SLAB ON GRADE
7	SILT FENCING (REFER TO DETAIL)

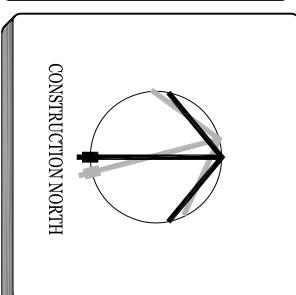


SITE PLAN &
EROSION/SEDIMENT
CONTROL PLAN
SCALE 1:300

PROPOSED - SINGLE FAMILY DETACHED DWELLING & CABANA	
Project:	Project #:
645 Nashville Rd Kleinburg, ON L4H 3N5	17046
(DA. 19.067)	

No.	Description	Date	By
6.	ISSUED FOR SITE DEVELOP. APP (10)	AUG 04, 2020	RP
5.	ISSUED FOR SITE DEVELOP. APP (09)	MAY 25, 2020	RP
4.	ISSUED FOR CoFA (09)	MAY 25, 2020	RP
3.	REVISED AS PER REGION COM. (08)	FEB 25, 2020	RP
2.	ISSUED FOR SITE DEVELOP. APP (07)	FEB 12, 2020	RP
1.	ISSUED FOR SITE DEVELOP. APP (06)	SEPT 9, 2019	RP

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RESIDENCE ELEVATIONS	
U/S of Footing: (1)	217.42
Top of Footing:	217.62
Top of Basement Slab:	217.72
Top of Foundation Wall: (9'-4" High)	220.46
Finished First Floor:	220.82
Garage Slab:	220.36

LOT COVERAGE	= 1,439.64 m ²
Lot Area	= 347.10 m ²
Proposed Residence	= 52.97 m ²
Proposed Cabana	= 400.07 m ²
Total Coverage	= 27.78 %
Lot Coverage	

Decommission Existing Sewage System:
Locate tank, pump sewage, excavate tank & dispose offsite. Remove existing septic field, excavate any biomat, stone, sand, and distribution piping. Dispose of materials offsite.

Any existing wells on property to be decommissioned in accordance with Ontario regulation no. 903.

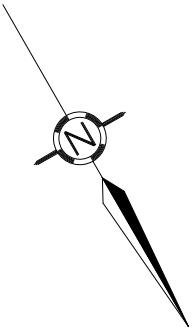
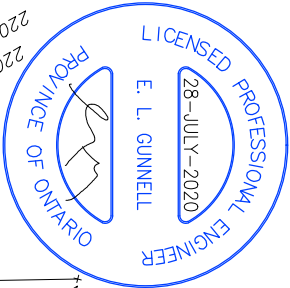
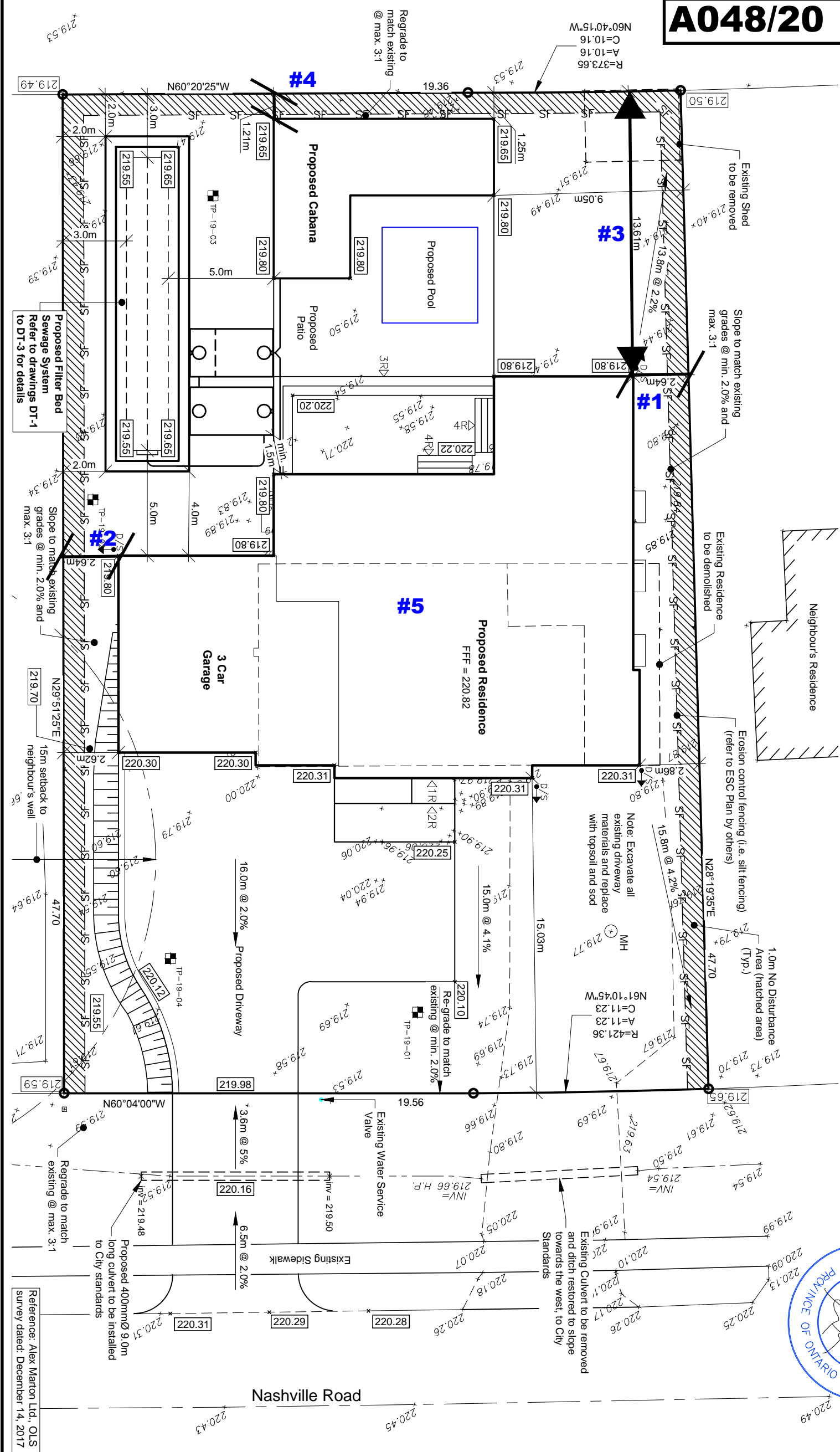
- Notes:
1. All landscaped areas to be reinstated with 150mm top-soil and sod or seed, except septic field area to be provided with 200 / 300 mm of topsoil & be sodded.
2. Existing elevations as noted, ie. 221.84
3. Proposed swale elevations as noted, ie. (221.95)
4. Proposed elevations as noted, ie. [220.40]
5. Existing slopes shown, ie. (2.2%)
6. Maintain maximum slopes at 3 horizontal to 1 vertical, except slopes to be maximum 4:1 at septic field.
7. Provide new swales as detailed.
8. All site grading to be in accordance with OBC & City of Vaughan requirements.
9. Provide $\frac{D}{S}$ Downspouts, as detailed.

1. All services including sewer, water, hydro, cable, telephone, and gas should be stated out prior to construction and appropriate pre-cautions taken to protect the existing services.
2. Soil and ground water conditions may be variable across the site. If soil and underground water conditions, other than those used to prepare this design, are encountered during the installation, Gunnell Engineering Ltd. should be contacted to determine the effect on the proposed sewage system.
3. Contractor to verify location of neighbouring wells, if any, prior to septic system installation. Any conflict between wells and septic system, i.e. less than 30 metre clearance, should be discussed with Gunnell Engineering Ltd. prior to septic system installation.

Note (1): All topsoil and any fill to be excavated for basecut, to City of Vaughan building department requirements.

Elevations shown hereon are geodetic and are referred to the benchmark No. 81-100 having an elevation of 219.86 metres. Located on concrete culvert under Highway # 27, 162 metres north of northmost end of traffic island at junction of Highway # 27 and Sington Avenue (Y.R.7). Table set vertically in top of concrete culvert deck, 11.3 metres east of existing centreline of Highway # 27.

A048/20



LEGEND



Septic Test Pit



Key Plan

Scale: N.T.S

Related City File: DA.19.067

Rev. No.	Date	Description	CAD
Rev. 1	28-JUL-2020	City Comments	JK

**Giasne Residence
645 Nashville Road
Lot 8, R-Plan 4258
City of Vaughan**

Site & Grading Plan Sewage System Design

Scale: 1:200	Designed By: EG
Date: 26-Mar-2020	Drawn By: CS
Project No.:	Checked By: EG

D3001

SP-1

Gunnell Engineering Ltd.

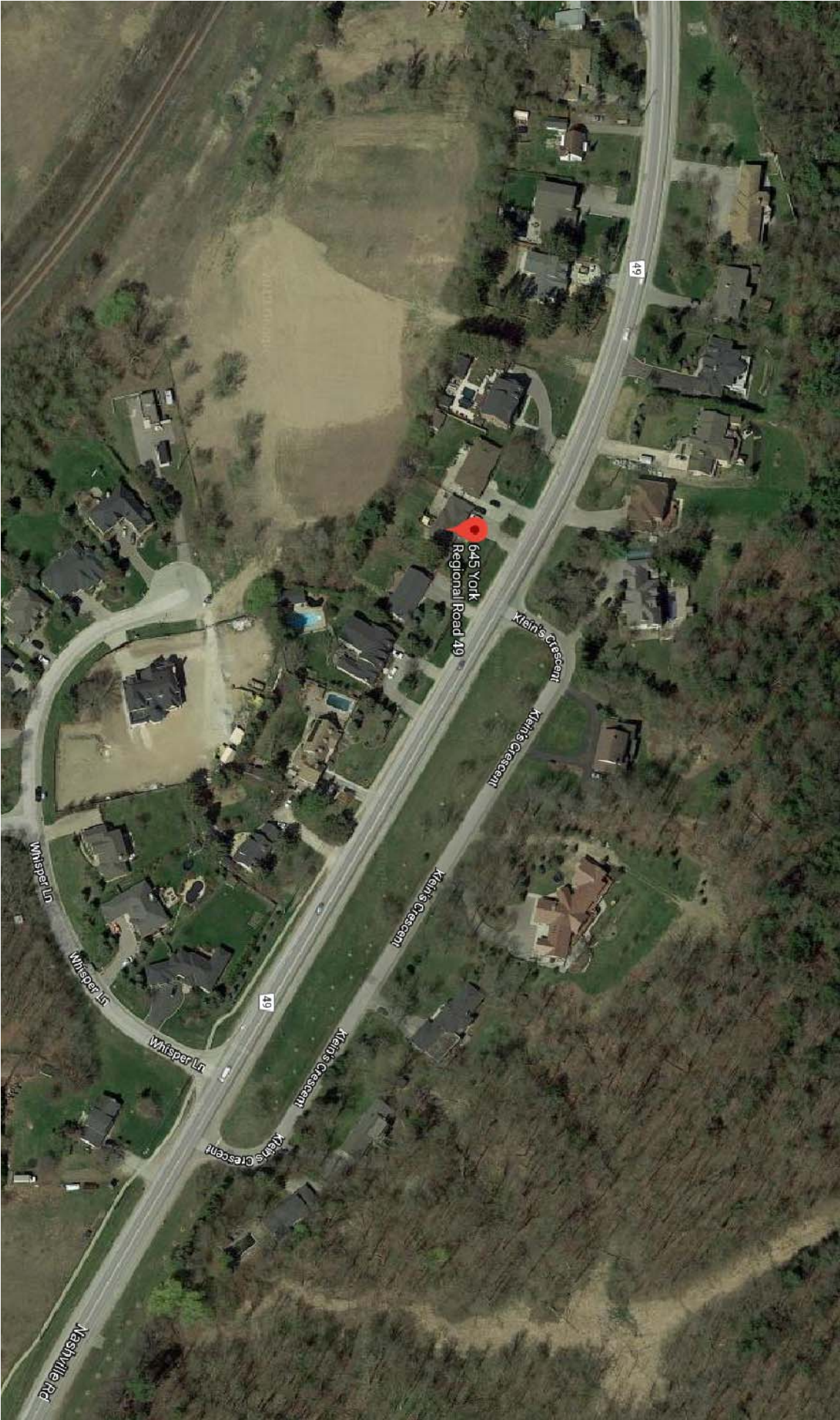
1110 Stellar Drive, Unit 106
Newmarket, ON L3Y 7B7

bus: 905-868-9400

fax: 905-853-5734
www.septicdesign.ca

ARCHITECTURAL

- A1 KEY PLAN / AERIAL PHOTOGRAPH
- A2 SITE STATISTICS
- A3 SITE PLAN & EROSION/SEDIMENT CONTROL PLAN
- A3.1 GENERAL NOTE FOR SITE PLAN
- A3.2 GENERAL NOTE FOR SITE PLAN
- A3.3 LANDSCAPE PLAN
- A4 BASEMENT FLOOR PLAN
- A5 GROUND FLOOR PLAN
- A6 SECOND FLOOR PLAN
- A7 PATIO & CABANA PLAN
- A8 ROOF PLAN
- A9 NORTH ELEVATION
- A10 WEST ELEVATION
- A11 SOUTH ELEVATION
- A12 EAST ELEVATION
- A13 ARCHITECTURAL MATERIAL BOARD
- A14 STREETSCAPE VIEW
- A15 3D ELEVATIONS
- A16 TOPOGRAPHIC ELEVATIONS
- A17 CABANA ELEVATIONS



PROPOSED - SINGLE FAMILY DETACHED DWELLING & CABANA

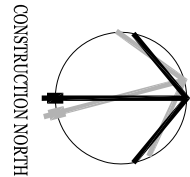
Project:

645 Nashville Rd
Kleinburg, ON L4H 3N5

Project #:

17046
(D.A. 19.067)

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1.	ISSUED FOR SITE DEVELOP. APP (06)	SEPT 9, 2019	RP
No.	Description	Date	By



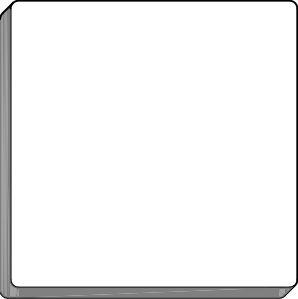
KEY PLAN / AERIAL PHOTOGRAPH

SITE DATA		
SINGLE FAMILY DETACHED DWELLING		
	CITY OF VAUGHAN	
ZONING	* RR- RURAL RESIDENTIAL	
LOT	1,437.96 SM (EXISTING) (15,478.09 SF)	
	PERMITTED	PROPOSED
MINIMUM LOT FRONTAGE	45 M	30.79 M (EXISTING)
LOT AREA	4000	1,437.96 SM (EXISTING) (15,478.09SF)
FRONT SETBACK	15.00 M	15.00 M
REAR SETBACK	15.00 M	13.64 M
SIDE SETBACK (WEST)	4.50 M	2.64 M
SIDE SETBACK (EAST)	9.0 M	2.63 M
LOT COVERAGE	10 %	HOUSE: 17.54% GARAGE: 6.63% PORCH: N/A CABANA: 3.68% TOTAL: 27.85 %
LOT DEPTH	N.A.	N.A.
BUILDING HEIGHT	9.5 M	9.45 M
GROSS FLOOR AREA	N.A.	N.A.
SETBACK FROM AN 'R' ZONE TO ANY BUILDING STRUCTURE OR OPEN STORAGE USE	N.A.	N.A.
NOTE: * THE SUBJECT LANDS ARE CURRENTLY ZONED A, AGRICULTURAL ZONE, AND HAVE BEEN REVIEWED AS RR, RURAL RESIDENTIAL ZONE REGARDING MINIMUM YARD REQUIREMENTS AND MAXIMUM LOT COVERAGE UNDER SECTION 3.11 b AND BY LAW 1-88 AS AMENDED.		

SITE AREAS		
	EXISTING	PROPOSED
BASMENT FLOOR	- SM (-SF)	263.67 SM (2,838.22 SF)
GROUND FLOOR (N.I.C. GARAGE)	- SM (-SF)	252.33 SM (2,716.07 SF)
CABANA	- SM (-SF)	52.96 SM (570.10 SF)
SECOND FLOOR	- SM (-SF)	76.16 SM (819.80 SF)
GARAGE	- SM (-SF)	95.27 SM (1,025.56 SF)
TOTAL GROSS FLOOR AREA**	- SM (-SF)	328.49 SM (3,535.87SF)
* INCLUDES COVERED FRONT PORCH & POOL CABANA **TOTAL GROSS FLOOR AREA DOES NOT INCLUDE GARAGE AREA & BASEMENT.		

PROJECT - SINGLE FAMILY DETACHED DWELLING & CABANA	
Project:	Project #:
645 Nashville Rd Kleinburg, ON L4H 3N5	17046
(DA. 19.067)	

7.	ISSUED FOR CoFA (10)	AUG 04, 2020	RP
6.	ISSUED FOR SITE DEVELOP. APP (10)	AUG 04, 2020	RP
5.	ISSUED FOR SITE DEVELOP. APP (09)	MAY 25, 2020	RP
4.	ISSUED FOR CoFA (09)	MAY 25, 2020	RP
3.	ISSUED FOR SITE DEVELOP. APP (08)	FEB 25, 2020	RP
2.	ISSUED FOR SITE DEVELOP. APP (07)	FEB 12, 2020	RP
1.	ISSUED FOR SITE DEVELOP. APP (06)	SEPT 9, 2019	RP
No.	Description	Date	By



APPENDIX “A”

STANDARD NOTES FOR SITE PLANS

THE FOLLOWING NOTES SHALL BE SHOWN ON THE SITE PLAN DRAWING(S):

- (1) STANDARD DRAWINGS OF THE CITY OF VAUGHAN CONSTITUTE PART OF THE SITE PLAN DRAWING(S).
- (2) ALL CONSTRUCTION WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS.
- (3) THE OWNER SHALL RETAIN THE SERVICES OF HIS CONSULTANTS TO ENSURE REQUIRED INSPECTION REPORTS AND OR CERTIFICATION REQUIREMENTS ARE SUBMITTED TO THE ENGINEERING DEPARTMENT AND OTHER AFFECTED CITY DEPARTMENTS.
- (4) THE OWNER AND/OR HIS REPRESENTATIVE SHALL RECTIFY ALL DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER AND TO THE SATISFACTION OF THE CITY.
- (5) THE LOCATION OF ALL UNDER/ABOVE GROUND UTILITIES AND STRUCTURES IS APPROXIMATE ONLY AND WHERE SHOWN ON THE DRAWING(S) THE ACCURACY OF THE LOCATION OF SUCH UTILITIES IS NOT GUARANTEED. THE OWNER AND/OR HIS REPRESENTATIVE SHALL DETERMINE THE LOCATION OF ALL SUCH UTILITIES AND STRUCTURES BY CONSULTING THE APPROPRIATE AUTHORITIES OR UTILITY COMPANIES CONCERNED. THE OWNER SHALL PROVE THE LOCATION OF SUCH UTILITIES AND STRUCTURES AND SHALL ASSUME ALL LIABILITY FOR DAMAGE OR RESTORATION OR ADJUSTMENT FOR THE SAME.
- (6) ANY CONFLICTS WITH EXISTING SERVICES SHALL BE RECTIFIED AT THE OWNER'S EXPENSE.
- (7) SANITARY AND STORM CONTROL MANHOLES SHALL BE IN ACCORDANCE WITH PROVINCIAL STANDARD OPSD 701.010. FRAME AND COVER SHALL BE MCCOY HM31 OR APPROVED EQUAL. THE MANHOLES SHALL BE BENCHED TO THE OVERT (TOP) OF PIPES.
- (8) ALL SANITARY MANHOLE COVERS IN THE PONDING AREAS TO BE WATER TIGHT SEALED COVERS.
- (9) ALL CATCHBASINS SHALL BE INSTALLED IN ACCORDANCE WITH CITY STANDARD DRAWING K-4. ALL CATCHBASIN FRAMES AND COVERS SHALL BE MCCOY HM311 OR APPROVED EQUAL.

PROPOSED - SINGLE FAMILY DETACHED DWELLING & CABANA

Project:

645 Nashville Rd
Kleinburg, ON L4H 3N5

Project #:

17046

(D.A. 19.067)

6.	ISSUED FOR CoA (10)	AUG 04, 2020	RP
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- (10) ALL INDUSTRIAL/COMMERCIAL/CONDOMINIUM WATERMAIN CONNECTIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY STANDARD DRAWINGS C-102, C-103 AND W-106.
- (11) WATERMAIN SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 0.5M AND HORIZONTAL SEPARATION OF 2.5M BETWEEN ANY SEWER OR MANHOLE.
- (12) HYDRANTS TO BE INSTALLED AS PER CITY STANDARD W-104 WITH 1.0M MINIMUM CLEAR FROM ALL OBSTRUCTIONS.
- (13) ENTRANCE DRIVEWAYS SHALL BE CONSTRUCTED WITH HEAVY DUTY ASPHALT FROM THE BACK OF THE MUNICIPAL CURB OR EDGE OF PAVEMENT TO THE PROPERTY LINE (AREA HIGHLIGHTED ON DRAWING(S) IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
 - a. 50MM COMPACTED DEPTH OF HL3 ASPHALT - TOP COURSE
 - b. 75MM COMPACTED DEPTH OF HL8 ASPHALT - BINDER COURSE
 - c. 150MM COMPACTED DEPTH OF 20MM CRUSHER RUN LIMESTONE - GRANULAR BASE
 - d. 300MM COMPACTED DEPTH OF 50MM CRUSHER RUN LIMESTONE - GRANULAR SUB-BASE
- (14) ALL CONCRETE CURB FROM EXISTING ROAD CURB TO STREET LINE SHALL BE BARRIER CURB OPSD 600.110. ALL CONCRETE CURB HEIGHTS SHALL BE 150MM UNLESS OTHERWISE NOTED. ENTRANCE DRIVEWAY CURB TO BE DISCONTINUOUS AT SIDEWALK AND TAPERED BACK 600MM MINIMUM.
- (15) ALL REQUIRED CURB CUTTING AT ENTRANCE DRIVEWAY AND CURB DEPRESSIONS AT SIDEWALK CROSSINGS SHALL BE INSTALLED TO THE SATISFACTION OF THE CITY.
- (16) EXISTING ROADWAY CURB AND GUTTER TO BE CONTINUOUS THROUGH THE PROPOSED NEW DRIVEWAY ENTRANCE(S) ALONG WITH THE MUNICIPAL SIDEWALK.
- (17) SIDEWALK TO BE 200MM THICK THROUGH ENTRANCE DRIVEWAY ENTRANCE PER CITY STANDARD R-128.
- (18) FROST COLLARS ARE TO BE PROVIDED ON CURB STOPS AND VALVE BOXES WHEN LOCATED WITHIN THE LIMITS OF THE DRIVEWAYS.

- (19) ENTRANCE DRIVEWAYS SHALL BE SETBACK A MINIMUM CLEARANCE OF 1.0M FROM ALL ABOVEGROUND SERVICES OR OTHER OBSTRUCTIONS.
- (20) APPROPRIATE CONSTRUCTION DETAILS SHOULD BE PROVIDED FOR RETAINING WALLS HIGHER THAN 1.0M. DETAILS SHALL BE DESIGNED AND CERTIFIED BY A PROFESSIONAL ENGINEER UPON APPROVAL. HANDRAIL/GUARD/FENCE IS REQUIRED WHEN HEIGHT EXCEEDS 0.60M (AS PER CITY STANDARD DRAWING FRW-105 OR APPROVED EQUAL). UPON COMPLETION RETAINING WALLS GREATER THAN 1.0M TO BE CERTIFIED BY A STRUCTURAL AND GEOTECHNICAL ENGINEER.
- (21) LANDSCAPE SHALL NOT ENCROACH ON BOULEVARD NOR SHALL BOULEVARD GRADES BE ALTERED.
- (22) SLOPES IN LANDSCAPED AREAS AND ON BERMS SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL.
- (23) PAVEMENT GRADES (MIN. 0.5%, MAX 5%).
- (24) DRAINAGE GRASSED SWALES WITH GRADES (MIN. 2%, MAX 5%).
- (25) OUTSIDE LIGHTING SHALL BE DIRECTED DOWNWARD AND INWARD AND DESIGNED TO MAINTAIN ZERO CUT-OFF LIGHT LEVEL DISTRIBUTION AT THE PROPERTY LINE.
- (26) SANITARY, STORM AND WATER SERVICE CONNECTIONS WHICH ARE NOT IN PLACE ON THE MUNICIPAL ROAD ALLOWANCE TO THE PROPERTY LINE SHALL BE ARRANGED FOR INSTALLATION BY THE CITY ON PAYMENT OF INSTALLATION COSTS BY THE OWNER. TO INITIATE THE INSTALLATION OF THE SERVICE CONNECTION(S), THE OWNER SHALL FILE AN APPLICATION WITH THE DEVELOPMENT INSPECTION & LOT GRADING DIVISION OF THE DEVELOPMENT ENGINEERING DEPARTMENT WHICH INCLUDES 2 COPIES OF THE APPROVED SITE PLAN DRAWING(S) WITH DEPARTMENT'S APPROVAL SEAL AND IF REQUIRED A COPY OF THE REGIONAL APPROVAL SCHEDULE AS PER THE EXPECTED SITE PLAN AGREEMENT.
- (27) SILT FENCE(S) TO BE INSTALLED AND MAINTAINED TO PREVENT SILT FLOWING ONTO ADJACENT LANDS UNTIL THE COMPLETION OF SODDING ACTIVITIES.
- (28) CONSTRUCTION ACCESS SHALL BE CONSTRUCTED WITH A MINIMUM DEPTH OF 450MM CRUSHED STONE BASE FROM THE MUNICIPAL CURB OR EDGE OF PAVEMENT TO THE PROPERTY LINE, TO THE SATISFACTION OF THE CITY.

- (29) THE SURFACE OF ALL LOADING SPACES AND RELATED DRIVEWAYS, PARKING SPACES, AND MANEUVERING AREAS WITHIN THE SITE SHALL BE PAVED WITH A HARD SURFACE. THE RECOMMENDED MINIMUM DEPTH REQUIREMENTS ARE AS FOLLOWS:
 - a. 40MM COMPACTED DEPTH HL3 ASPHALT - TOP COURSE
 - b. 50MM COMPACTED DEPTH HL8 ASPHALT - BINDER COURSE
 - c. 150MM COMPACTED DEPTH 20MM CRUSHER RUN LIMESTONE - GRANULAR BASE
 - d. 200MM COMPACTED DEPTH 50MM CRUSHER RUN LIMESTONE - GRANULAR SUB-BASE
- (30) CONDOMINIUM UNIT DRIVEWAYS - THE MINIMUM RECOMMENDED DEPTH REQUIREMENTS ARE AS FOLLOWS:
 - a. 25MM COMPACTED DEPTH HL3 ASPHALT TOP COURSE
 - b. 50MM COMPACTED DEPTH HL8 ASPHALT BASE COURSE
 - c. 200MM COMPACTED DEPTH 20MM DIA. CRUSHER RUN LIMESTONE

TOP COURSE ASPHALT SHALL NOT BE PLACED UNTIL THE BASE COURSE ASPHALT HAS BEEN IN PLACE FOR ONE WINTER SEASON. OTHER HARD SURFACES MAY BE INSTALLED AS APPROVED BY THE CITY.

- (31) THE CONSULTING ENGINEER SHALL DESIGN, IMPLEMENT AND MONITOR THE EROSION AND SEDIMENT CONTROL MEASURES DURING ALL PHASES OF CONSTRUCTION ON THE LANDS IN ACCORDANCE WITH THE TRCA EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN CONSTRUCTION DATED DECEMBER 12, 2006, TO THE SATISFACTION OF THE CITY AND TRCA.

- (32) ALL PROPOSED PARKING SPACES FOR DISABLED TO INCLUDE “RB-93 BY PERMIT ONLY” TRAFFIC SIGN AND PAVEMENT DISABLED SYMBOL MARKING IN ACCORDANCE WITH CITY STANDARD DRAWING.

GENERAL NOTES FOR SITE PLAN

STANDARD NOTES FOR ENVIRONMENTAL ASSESSMENT/
INFRASTRUCTURE PERMIT APPLICATIONS

SECTION 1: SITE MANAGEMENT
STANDARD NOTES

- (1) "EROSION AND SEDIMENT CONTROL (ESC) MEASURES WILL BE IMPLEMENTED PRIOR TO, AND MAINTAINED DURING THE CONSTRUCTION PHASES, TO PREVENT ENTRY OF SEDIMENT INTO THE WATER. ALL DAMAGED EROSION AND SEDIMENT CONTROL MEASURES SHOULD BE REPAIRED AND/ OR REPLACED WITHIN 48 HOURS OF THE INSPECTION."
- (2) "DISTURBED AREAS WILL BE MINIMIZED TO THE EXTENT POSSIBLE, AND TEMPORARILY OR PERMANENTLY STABILIZED OR RESTORED AS THE WORK PROGRESSES."

- (4) "THE EROSION AND SEDIMENT CONTROL STRATEGIES OUTLINED ON THE PLANS ARE NOT STATIC AND MAY NEED TO BE UPGRADED/ AMENDED AS SITE CONDITIONS CHANGE TO MINIMIZE SEDIMENT LADEN RUNOFF FROM LEAVING THE WORK AREAS. IF THE PRESCRIBED MEASURES ON THE PLANS ARE NOT EFFECTIVE IN PREVENTING THE RELEASE OF A DELETERIOUS SUBSTANCE, INCLUDING SEDIMENT, THEN ALTERNATIVE MEASURES MUST BE IMPLEMENTED IMMEDIATELY TO MINIMIZE POTENTIAL ECOLOGICAL IMPACTS. TRCA ENFORCEMENT OFFICER SHOULD BE IMMEDIATELY CONTACTED. ADDITIONAL ESC MEASURES TO BE KEPT ON SITE AND USED AS NECESSARY.

PROPOSED - SINGLE FAMILY DETACHED DWELLING & CABANA

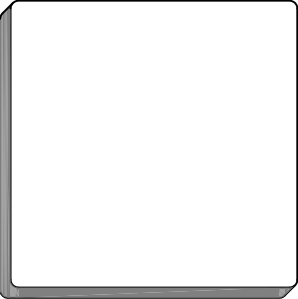
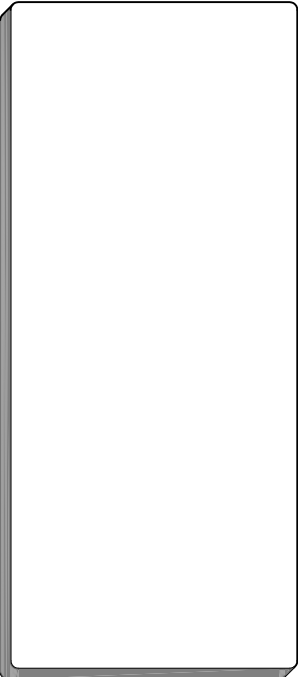
Project:

Project #:



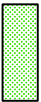




645 Nashville Rd
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17046
(DA, 19.067)

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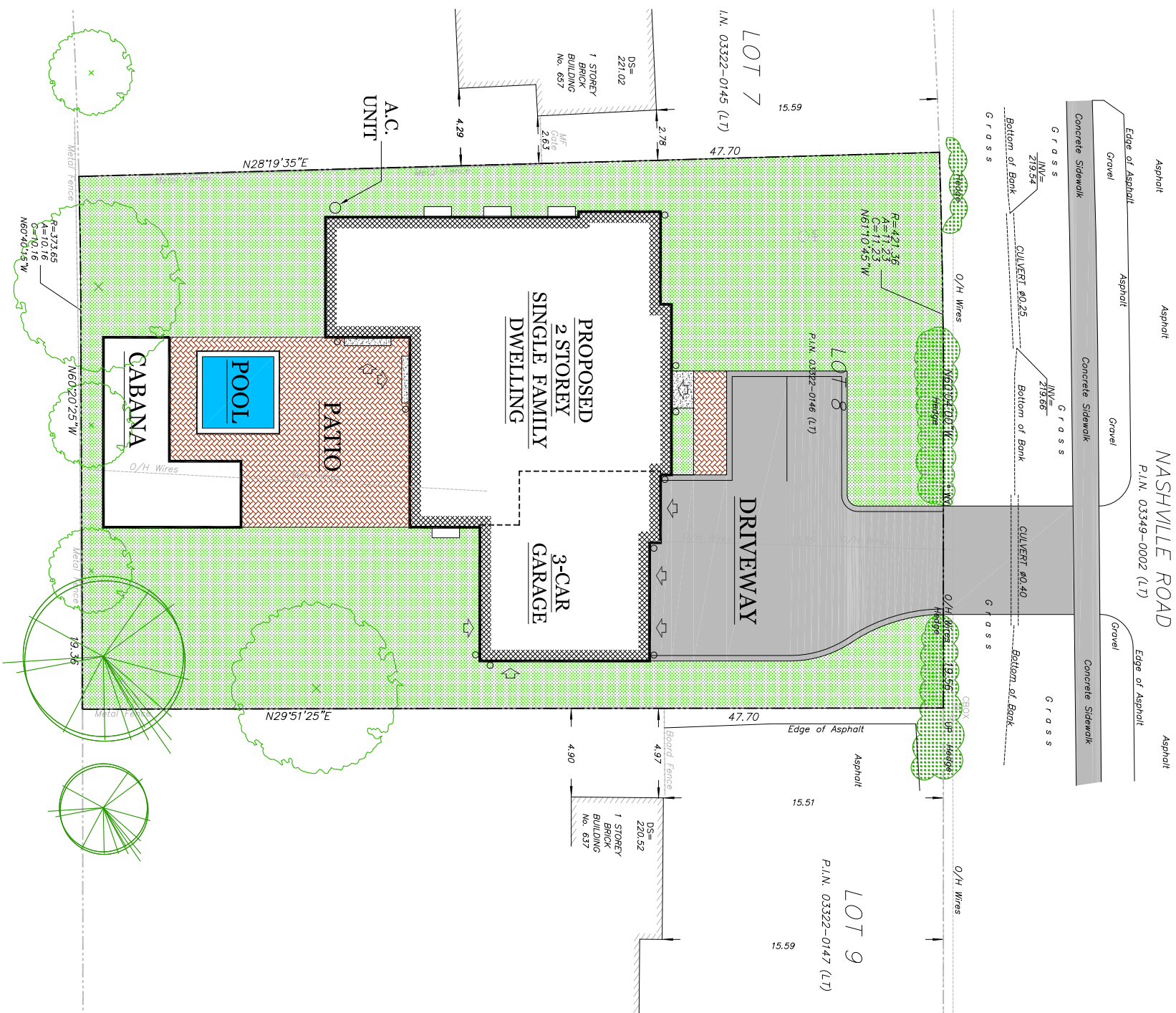


GENERAL NOTES
FOR SITE PLAN
SCALE: NTS

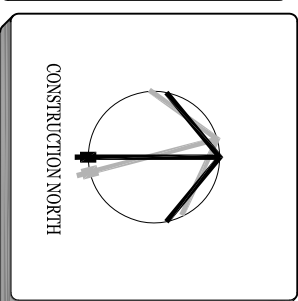
LEGEND	
	PROPOSED BUILDING
	DOOR ENTRANCE
	SOD
	DRIVEWAY
	CONCRETE PAVERS
	CONCRETE LANDING
	LIGHT FIXTURE

FRONT YARD		
	PERMITTED	PROPOSED
1. FRONT PORCH SLAB (UNCOVERED)	-	2.50 SM (26.99 SF)
2. WALKWAY (PAVERS)	-	10.54 SM (113.55 SF)
3. DRIVEWAY	-	183.20 SM (1,971.82 SF)
4. SOD	-	281.74 SM (3,032.66 SF)
TOTAL FRONT YARD AREA (1+2+3+4)	-	477.98 SM (5,145.02 SF)
LANDSCAPED AREA*	50% (MIN.)	61.67% 294.79 SM (3,173.20 SF)
SOFT LANDSCAPING **	60% (MIN.) OF LANDSCAPED AREA	95.57% 281.74 SM (3,032.66 SF)

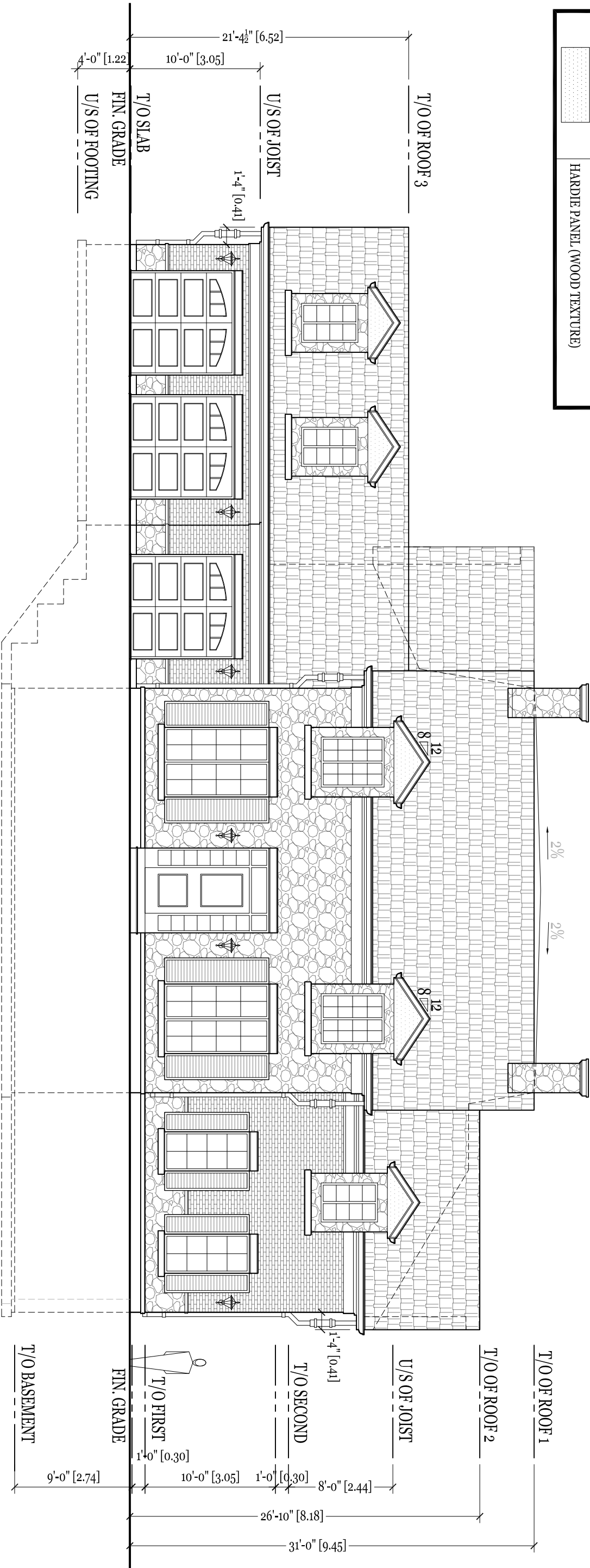
* LANDSCAPED AREA EXCLUDES DRIVEWAY
 ** SOFT LANDSCAPING INCLUDES ONLY SOD



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4.	ISSUED FOR CoGa (09)	MAY 25, 2020	RP
3.	REVISED AS PER REGION COM. (08)	FEB 25, 2020	RP
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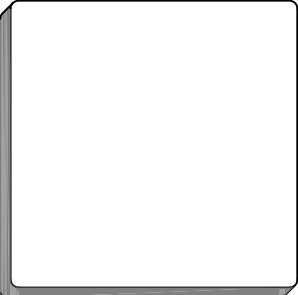
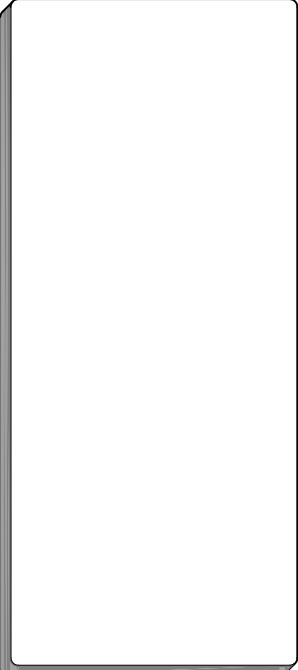
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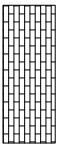

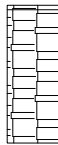


LEGEND	
	BRICK VENEER WALL
	STONE VENEER WALL
	ROOF SHINGLES
	METAL ROOFING
	HARDIE PANEL (WOOD TEXTURE)

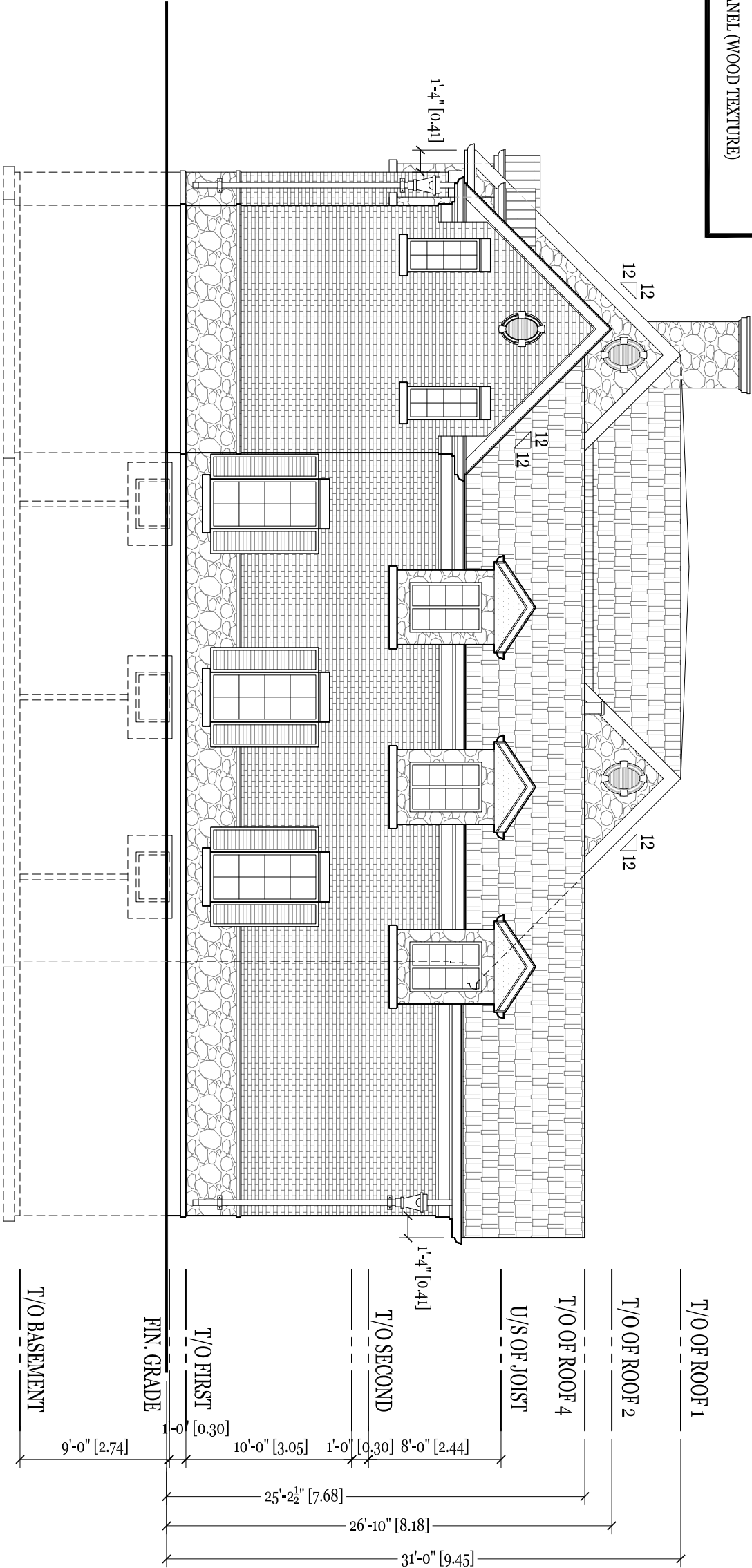


PROPOSED - SINGLE FAMILY DETACHED DWELLING & CABANA	
Project:	Project #:
645 Nashville Rd Kleinburg, ON L4H 3N5	17046 (D.A. 19.067)

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LEGEND	
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	STONE VENEER WALL
	ROOF SHINGLES
	METAL ROOFING
	HARDIE PANEL (WOOD TEXTURE)



PROPOSED - SINGLE FAMILY DETACHED DWELLING & CABANA

Project: 645 Nashville Rd
Kleinburg, ON L4H 3N5

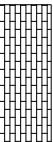


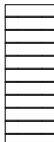

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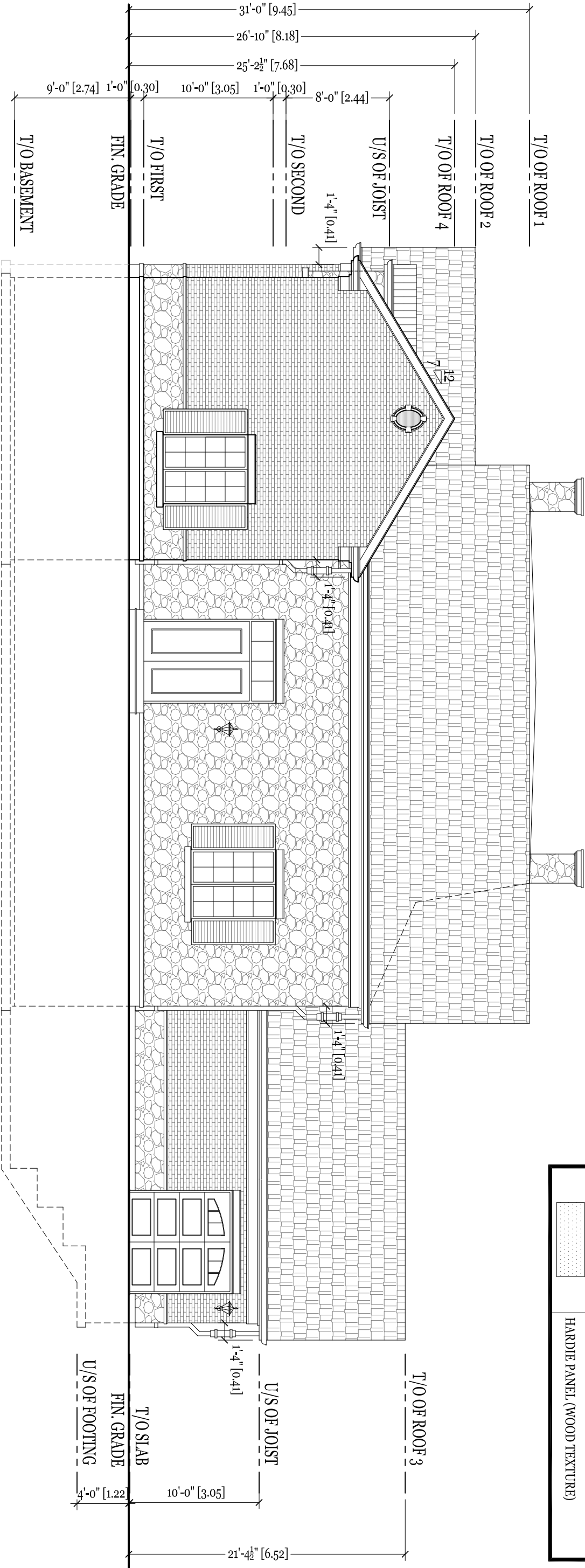
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No.	Description	Date	By

WEST ELEVATION

SCALE 1/8"=1'-0"

1
A10

LEGEND	
	BRICK VENEER WALL
	STONE VENEER WALL
	ROOF SHINGLES
	METAL ROOFING
	HARDIE PANEL (WOOD TEXTURE)



PROPOSED - SINGLE FAMILY DETACHED DWELLING & CABANA

Project: 645 Nashville Rd
Klemburg, ON L4H 3N5

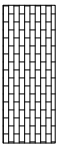

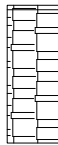


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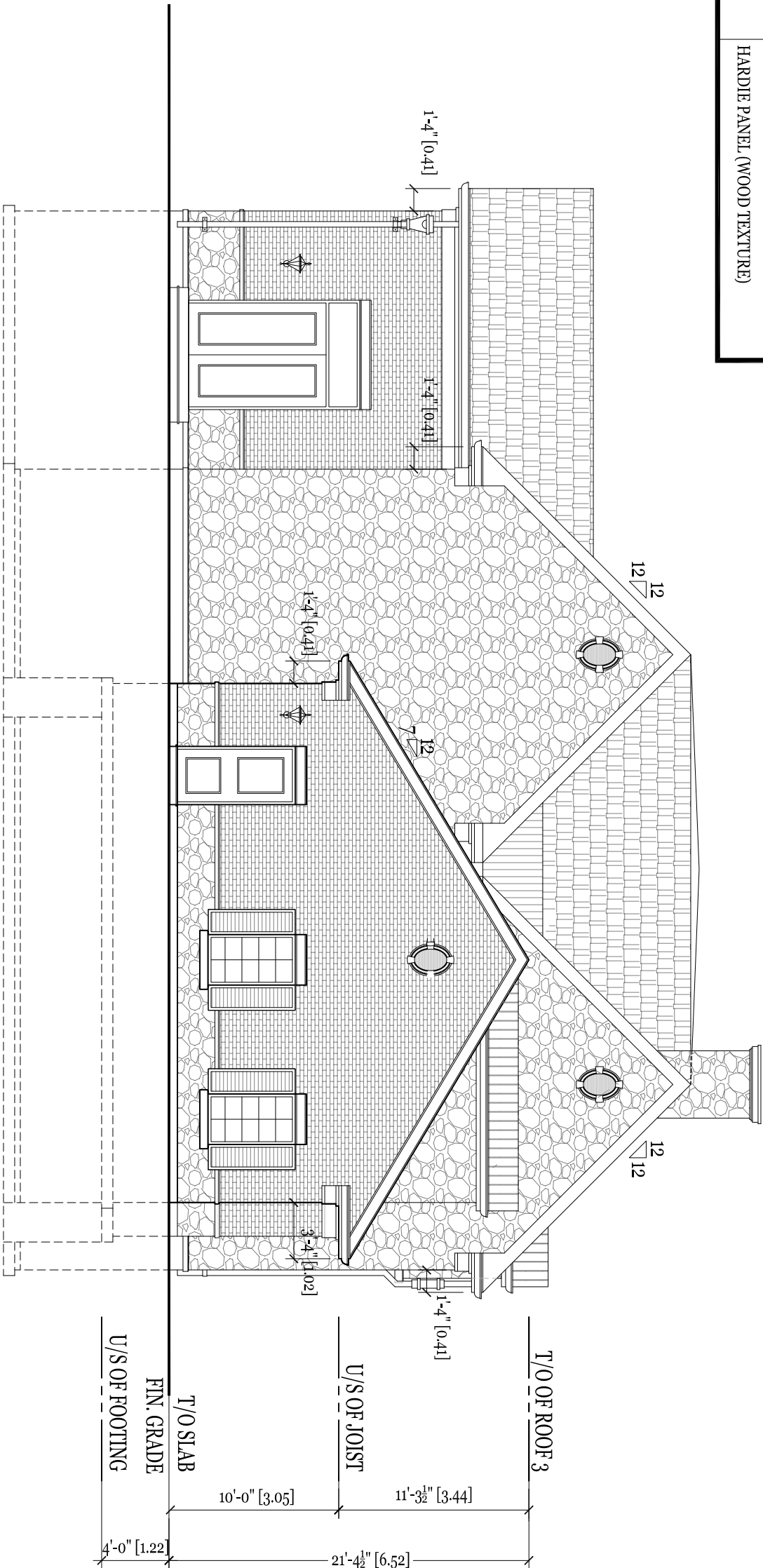
6.	ISSUED FOR CoFA (10)	AUG 04, 2020	RP
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SOUTH ELEVATION

SCALE 1/8"=1'-0"

1
A11

LEGEND	
	BRICK VENEER WALL
	STONE VENEER WALL
	ROOF SHINGLES
	METAL ROOFING
	HARDIE PANEL (WOOD TEXTURE)



PROPOSED - SINGLE FAMILY DETACHED DWELLING & CABANA

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No.	Description	Date	By

EAST ELEVATION
SCALE 1/8"=1'-0"

1
A12



➊ STONE VENEER WALL



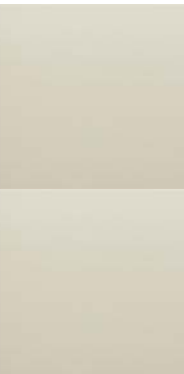
➋ METAL ROOFING



➌ BRICK VENEER WALL



➍ HARDIE PANEL (WOOD TEXTURE)



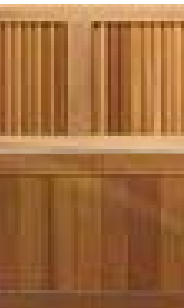
➎ ROOF SHINGLE



➏ PRECAST TRIM



➐ WINDOW SHUTTER



PROPOSED - SINGLE FAMILY DETACHED DWELLING & CABANA

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1.	ISSUED FOR CLIENT REVIEW.	AUG 1, 2019	AA
No.	Description	Date	By

ARCHITECTURAL

MATERIAL BOARD

SCALE NTS

1
A13

FRASCA`
Design & Planning

Residential - Retail - Commercial

2781, HIGHWAY 7, VAUGHAN, ON.,
416.272.2024
2010gio@frascadesignandplanning.com
gio@frascadesignandplanning.com



PROPOSED - SINGLE FAMILY DETACHED DWELLING & CABANA

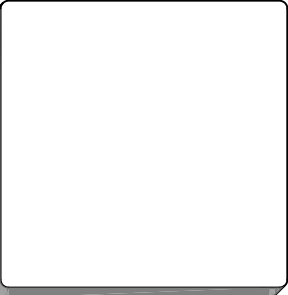
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**STREETSCAPE VIEW
(NASHVILLE ROAD)
SCALE NTS**



PROPOSED - SINGLE FAMILY DETACHED DWELLING & CABANA

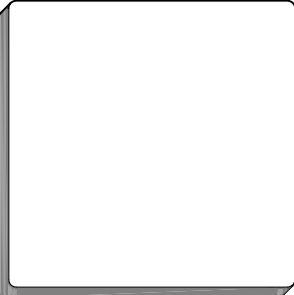
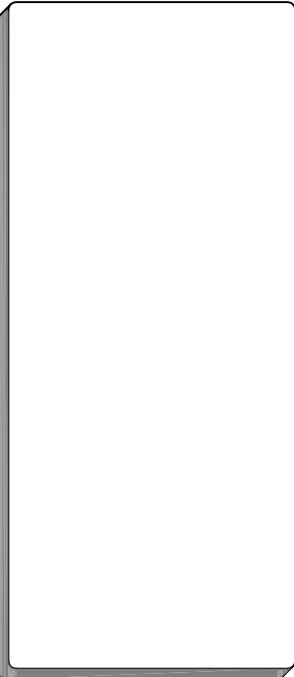
Project:

Project #:

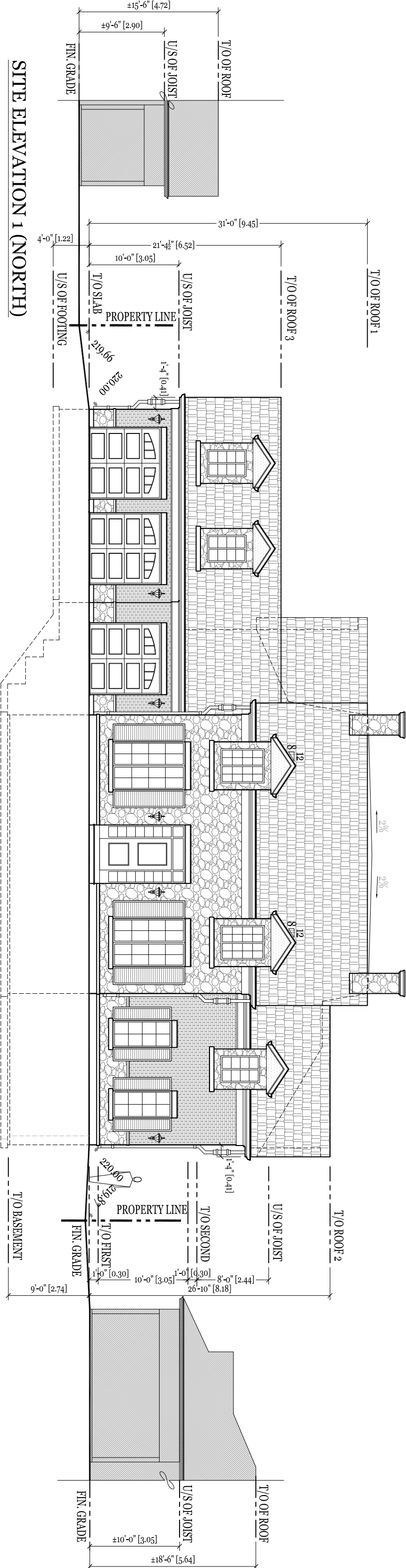
645 Nashville Rd
Kleinburg, ON L4H 3N5

17046
(D.A. 19.067)

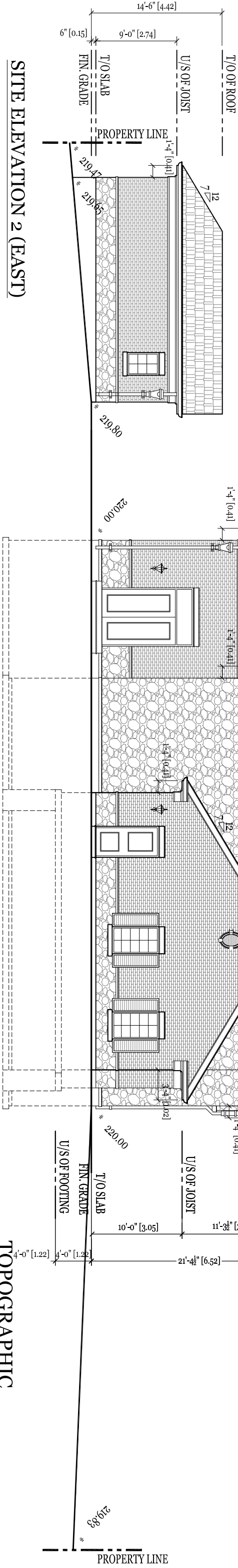
6.	ISSUED FOR CoFA (10)	AUG 04, 2020	RP
5.	ISSUED FOR SITE DEVELOP. APP (10)	AUG 04, 2020	RP
4.	ISSUED FOR SITE DEVELOP. APP (09)	MAY 25, 2020	RP
3.	ISSUED FOR CoFA (09)	MAY 25, 2020	RP
2.	ISSUED FOR SITE DEVELOP. APP (07)	FEB 12, 2020	RP
1.	ISSUED FOR SITE DEVELOP. APP (06)	SEPT 9, 2019	RP
No.	Description	Date	By



3D ELEVATIONS
NTS



SITE ELEVATION 1 (NORTH)



SITE ELEVATION 2 (EAST)

PROPOSED - SINGLE FAMILY DETACHED DWELLING & CABANA

Project: Project #:

645 Nashville Rd
Klemburg, ON L4H 3N5

17046

(D.A. 19.067)

6.	ISSUED FOR CoFA (10)	AUG 04, 2020	RP
5.	ISSUED FOR SITE DEVELOP. APP (10)	AUG 04, 2020	RP
4.	ISSUED FOR SITE DEVELOP. APP (09)	MAY 25, 2020	RP
3.	ISSUED FOR CoFA (09)	MAY 25, 2020	RP
2.	ISSUED FOR SITE DEVELOP. APP (07)	FEB 12, 2020	RP
1.	ISSUED FOR SITE DEVELOP. APP (06)	SEPT 9, 2019	RP
No.	Description	Date	By

TOPOGRAPHIC ELEVATIONS

SCALE 3/32"=1'-0"

1

A16

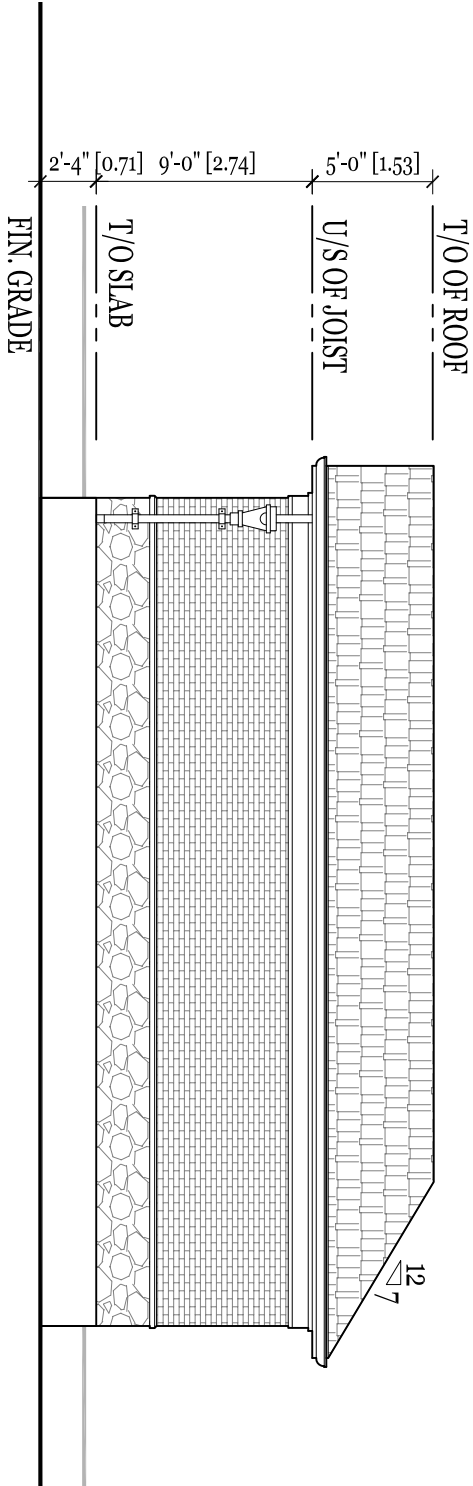
FRASCA

Design & Planning

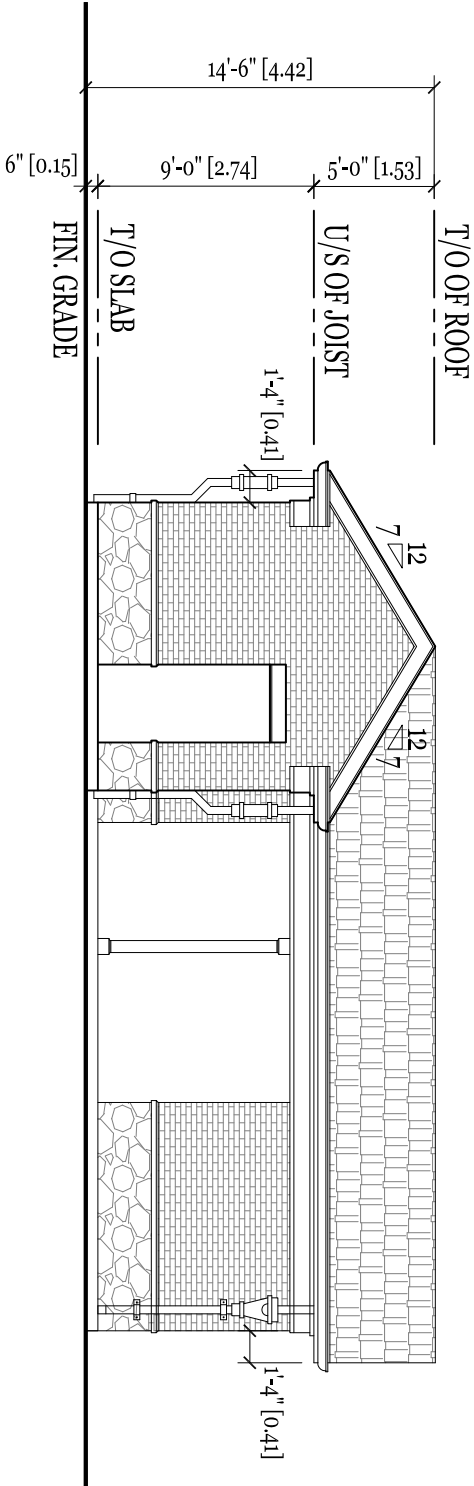
Residential - Retail - Commercial

2781, HIGHWAY 7, VAUGHAN, ON,
416.272.2024
2010gio@frasca.com
gio@frasca.com

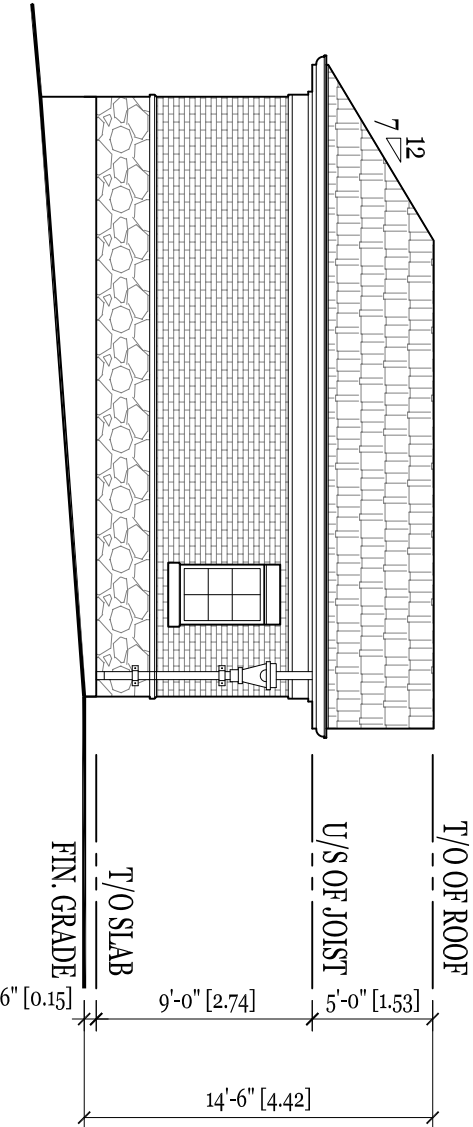
LEGEND	
	BRICK VENEER WALL
	STONE VENEER WALL
	ROOF SHINGLES
	METAL ROOFING
	HARDIE PANEL (WOOD TEXTURE)



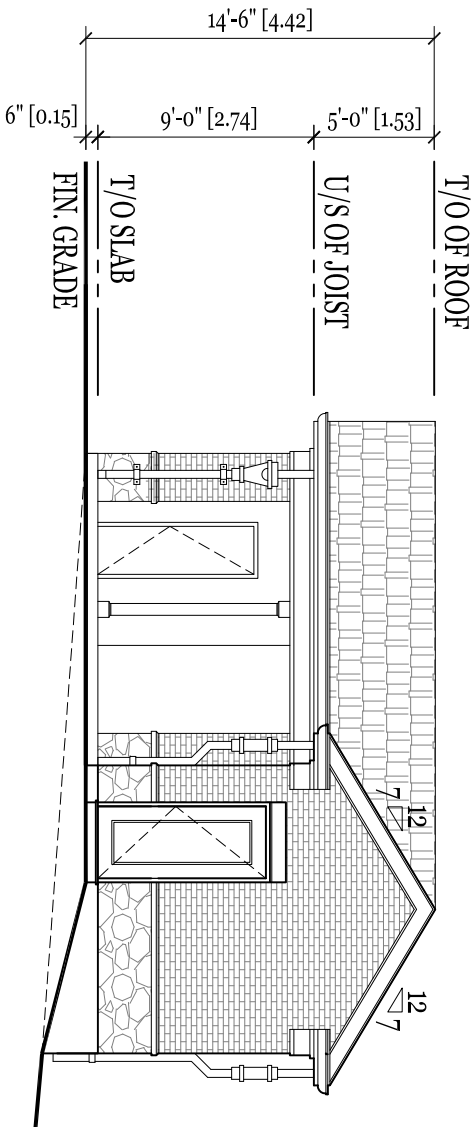
SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION

PROPOSED - SINGLE FAMILY DETACHED DWELLING & CABANA

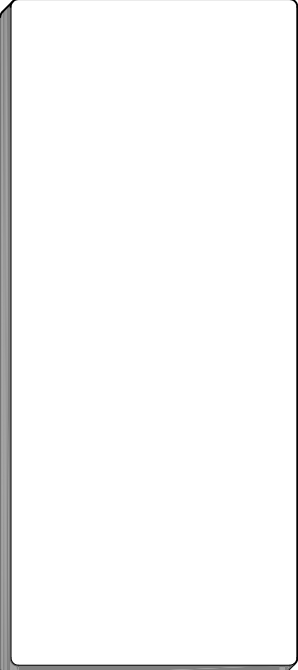
Project:

645 Nashville Rd
Klemburg, ON L4H 3N5

Project #:

17046
(D.A. 19.067)

No.	Description	Date	By
6.	ISSUED FOR CoFA (10)	AUG 04, 2020	RP
5.	ISSUED FOR SITE DEVELOP. APP (10)	AUG 04, 2020	RP
3.	ISSUED FOR SITE DEVELOP. APP (09)	MAY 25, 2020	RP
2.	ISSUED FOR CoFA (09)	MAY 25, 2020	RP
1.	ISSUED FOR SITE DEVELOP. APP (07)	FEB 12, 2020	RP



CABANA ELEVATIONS

SCALE 1/8"=1'-0"

1
A17

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

None

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

- Alectra (Formerly PowerStream) – No concerns or objections
- Region of York – No concerns or objections
- MTO – Located outside of MTO permit control area

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream(Construction Standard 03-1, 03-4, 03-9), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mr. Tony D'Onofrio
Supervisor, Subdivisions (Alectra East)
Phone: 1-877-963-6900 ext. 24419

Email: tony.donofrio@alectrautilities.com

Providence, Lenore

Subject: FW: [External] RE: A048-20 - REQUEST FOR COMMENTS - 645 Nashville Rd Kleinburg (Full Circulation)

From: Hajjar, Alexander (MTO) <Alexander.Hajjar@ontario.ca>

Sent: August-24-20 4:01 PM

To: Providence, Lenore <Lenore.Providence@vaughan.ca>

Cc: Scholz, Kevin (MTO) <Kevin.Scholz@ontario.ca>; Della Mora, Dan (MTO) <Dan.DellaMora@ontario.ca>; Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A048-20 - REQUEST FOR COMMENTS - 645 Nashville Rd Kleinburg (Full Circulation)

Good Afternoon Lenore,

MTO has reviewed the subject land(s) located at 645 Nashville Rd. in the City of Vaughan. The subject lands are outside the MTO permit control area and therefore do not require a permit from this office.

Best Regards,

Alexander Hajjar

Transportation Technician

Highway Corridor Management Section

Ministry of Transportation, MTO

416.235.4504

Providence, Lenore

Subject: FW: A048-20 - REQUEST FOR COMMENTS - 645 Nashville Road, Kleinburg - (FULL CIRCULATION)

From: Development Services <developmentservices@york.ca>

Sent: September-03-20 10:28 AM

To: Providence, Lenore <Lenore.Providence@vaughan.ca>

Subject: [External] RE: A048-20 - REQUEST FOR COMMENTS - 645 Nashville Road, Kleinburg - (FULL CIRCULATION)

Good morning Lenore,
The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Gabrielle

Gabrielle Hurst MCIP RPP | Community Planning and Development Services | 1-877 464 9675 ext 71538 |
Gabrielle.hurst@york.ca | www.york.ca