



File: A069/20

Applicant: Phil and Sheila DiFonzo

Address: 15 Ranch Trail Road, Kleinburg

Agent: None

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection	<input checked="" type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Cultural Heritage (Urban Design)	<input checked="" type="checkbox"/>	
Development Engineering	<input checked="" type="checkbox"/>	
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
By-law & Compliance		
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department		
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Ministry of Transportation		
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)	<input checked="" type="checkbox"/>	

Adjournment History: None

Background History: None



Minor Variance  
Application

Agenda Item: 11

A069/20

Ward: 1

Staff Report Prepared By: Adriana MacPherson, Assistant Secretary Treasurer

**Date & Time of Live Stream Hearing:** Thursday, September 10, 2020 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

Please submit written comments by mail or email to:

City of Vaughan  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
[cofa@vaughan.ca](mailto:cofa@vaughan.ca)

To make an electronic deputation at the meeting please contact the Committee of Adjustment at [cofa@vaughan.ca](mailto:cofa@vaughan.ca) or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

**Applicant:** Phil and Sheila DiFonzo

**Agent:** None

**Property:** 15 Ranch Trail Road, Kleinburg

**Zoning:** The subject lands are zoned RR, Rural Residential, and subject to the provisions of Exception 9(237) under By-law 1-88 as amended.

**OP Designation:** Vaughan Official Plan 2010 ('VOP 2010'): "Rural"

**Related Files:** None

**Purpose:** Relief from the By-law is being requested to permit the construction of a proposed detached garage.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A maximum height of 4.5 metres is permitted.	1. To permit a maximum building height of 5.84 metres to the peak of an accessory structure.
2. A maximum height of 3 metres is permitted.	2. To permit a maximum height of 3.49 metres to the nearest part of the roof of an accessory structure.
3. An accessory structure shall be located to the rear of the line of the front wall of the dwelling.	3. To permit an accessory structure to not be located behind the front wall of the dwelling.

**Background (previous applications approved by the Committee on the subject land):** None

For information on the previous approvals listed above please visit [www.vaughan.ca](http://www.vaughan.ca). To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).



Adjournment History: None

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:  
Public notice was mailed on August 26, 2020

Applicant confirmed posting of signage on August 21, 2020

Property Information	
Existing Structures	Year Constructed
Dwelling	1984
Garage	TBC

Applicant has advised that they cannot comply with By-law for the following reason(s): Size, scale and roof pitch of proposed detached garage to complement existing residential house. Applications with similar variances approved include A026/20 (250 Ranch Trail Rd), A13/18 and A007/18. To minimize hardscape, maintain 4 large spruce trees, maintain more of existing grass and use the existing driveway with no additional pavement.

Adjournment Request: None

Building Standards (Zoning Review):  
Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file.

Building Permit No. 12-002670 for Single Detached Dwelling - Alteration, Issue Date: Jul 05, 2012.  
Building Permit No. 20-107361 for Detached Garage - New, Issue Date: (Not Yet Issued).

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Building Inspections (Septic):  
No comments or concerns.

Development Planning:  
Vaughan Official Plan 2010 ('VOP 2010'): "Rural"

The Owner is requesting permission to construct a detached garage on the subject property with the above-noted variances.

Variances 1 and 2 are considered minor in nature as the height of the detached garage is compatible with the dwelling and is sufficiently setback from the exterior and interior lot lines, thereby minimizing potential adverse impacts on neighbouring properties. Variance 3 is considered a technical in nature as the frontage across Huntington Road is considered the front lot line by Zoning By-law 1-88. The existing dwelling and driveway are oriented towards Ranch Trail Road, effectively utilizing the frontage as the front yard. The location of the garage therefore complements the existing site layout and is compatible with the streetscape.

The Owner has submitted an Arborist Report by Bruce Wilson Landscaping Ltd., dated August 14, 2020. The Urban Design and Cultural Heritage Division has reviewed the Arborist Report and requires a Tree Preservation and Planting Plan to detail the tree protection measures during construction and to provide compensation for the removal of three mature trees on the subject property. The Owner has agreed to plant three replacement trees along the east elevation of the proposed detached garage in a Preservation and Planting Plan to be submitted and approved by the Urban Design and Cultural Heritage Division. A condition to this effect has been included.

The subject property is located in the Protected Countryside of the Greenbelt Plan; however, it is outside of the Natural Heritage System of the Protected Countryside. The proposed garage is accessory to the existing dwelling and is permitted under Section 4.5.4 of the Greenbelt Plan. The structure does not expand into any Key Natural Heritage Features or Key Hydrologic Features or their associated Vegetation Protection Zones. While a small portion of the property on the southwest corner is within the Toronto and Region Conservation Authority's ('TRCA') Regulated Area, the proposed garage is not within the Regulated Area. As such, TRCA has no objection to the proposed garage and a permit from TRCA is not required.

Accordingly, the Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

The Development Planning Department recommends approval of the application, subject to the following condition:

That the Owner submit a revised Arborist Report including a Tree Preservation and Replanting Plan be approved to the satisfaction of the Development Planning Department.

**Cultural Heritage (Urban Design):**

No comments or concerns.

**Development Engineering:**

The Development Engineering (DE) Department does not object to variance application A069/20.

**Parks, Forestry and Horticulture Operations:**

Tree removal permit is required. Tree protection Plan is required. Hoarding must be installed prior to start of construction. The Arborist Report dated April 14, 2019 (Bruce Wilson Landscaping) would not be adequate to satisfy Forestry for a construction related tree removal permit as no tree preservation plan is provided.

Recommended condition of approval:

Owner must obtain a private property tree removal & protection permit (construction/infill) to the satisfaction of Forestry and in accordance with By-Law 052-2018.

**By-Law and Compliance, Licensing and Permit Services:**

No Response.

**Financial Planning and Development Finance:**

No comment no concerns.

**Fire Department:**

No Response.

**Schedule A – Plans & Sketches**

**Schedule B – Public Correspondence**

Application Cover Letter & Photographs

Public Correspondence – Letters of Support from 31 & 80 Ranch Trail Road & 12300 Tenth Concession Road

**Schedule C - Agency Comments**

Alectra (Formerly PowerStream) – No concerns or objections

Region of York – No concerns or objections

TRCA – comments with conditions

**Schedule D - Previous Approvals (Notice of Decision)**

None

**Staff Recommendations:**

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	Development Planning Brandon Bell  905-832-8585 x 8112 <a href="mailto:brandon.bell@vaughan.ca">brandon.bell@vaughan.ca</a>	That the Owner submit a revised Arborist Report including a Tree Preservation and Replanting Plan be approved to the satisfaction of the Development Planning Department.
2	Parks, Forestry and Horticulture Operations Patrick Courchesne  905-832-8585 x 3617 <a href="mailto:Patrick.Courchesne@vaughan.ca">Patrick.Courchesne@vaughan.ca</a>	Owner must obtain a private property tree removal & protection permit (construction/infill) to the satisfaction of Forestry and in accordance with By-Law 052-2018.
3	TRCA Hamedeh Razavi  416-661-6600 x 5256 <a href="mailto:hamedeh.razavi@trca.ca">hamedeh.razavi@trca.ca</a>	That the applicant provides the required fee amount of \$105.00 payable to the Toronto and Region Conservation Authority.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

## Notice to Public

**PLEASE NOTE:** As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

**PUBLIC CONSULTATION DURING OFFICE CLOSURE:** Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
[cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**ELECTRONIC PARTICIPATION:** During the COVID-19 emergency, residents can view a live stream of the meeting [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil). To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit [www.vaughan.ca](https://www.vaughan.ca)

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

**PUBLIC RECORD:** Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**For further information please contact the City of Vaughan, Committee of Adjustment**

**Adriana MacPherson**

T 905 832 8585 Extension 8360

E [CofA@vaughan.ca](mailto:CofA@vaughan.ca)

Schedule A: Plans & Sketches

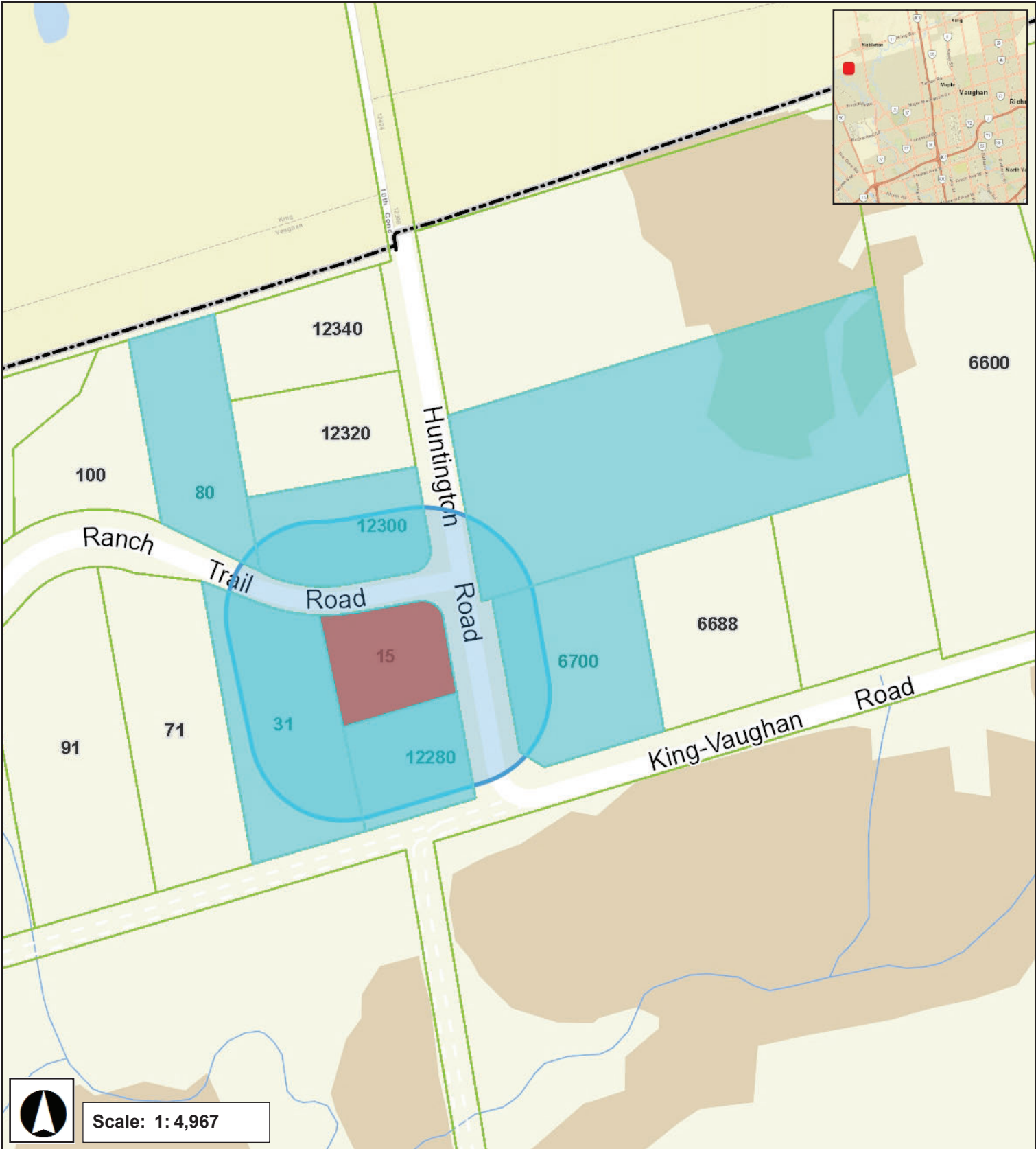
Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

Location Map  
Plans & Sketches

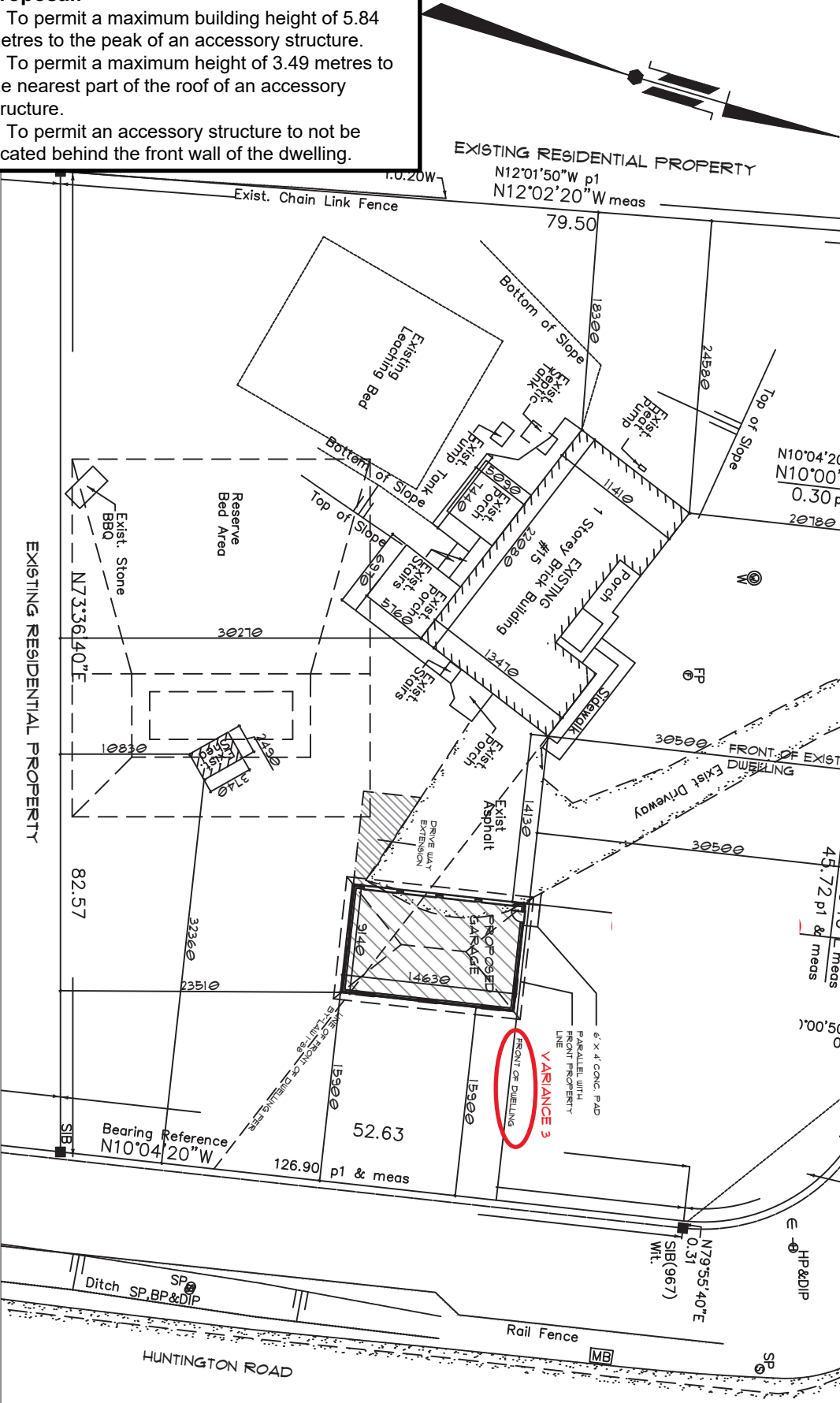


# A069/20 - Notification Map

15 Ranch Trail Road, Kleinburg



- Proposal:**
1. To permit a maximum building height of 5.84 metres to the peak of an accessory structure.
  2. To permit a maximum height of 3.49 metres to the nearest part of the roof of an accessory structure.
  3. To permit an accessory structure to not be located behind the front wall of the dwelling.



**LEGEND**

B	BOLLARD/GUARD POST
BM	BENCH MARK
BP	BELL POLE
CRW	CONCRETE RETAINING WALL
f.	FENCE
FP	FLAG POLE
HP	HYDRO POLE
HPL	HYDRO POLE & LIGHT
LS	LIGHT STANDARD
MB	MAIL BOX
PED	BELL PEDESTAL
RF	RAIL FENCE
SP	SIGN POST
TR	TRANSFORMER/CONCRETE PAD
W	WELL
---	ANCHOR/GUY WIRE

**SITE INFORMATION TAKEN FROM:**

PLAN OF SURVEY OF  
PART OF LOT 12  
REGISTERED PLAN M-89  
CITY OF VAUGHAN  
(REGIONAL MUNICIPALITY OF YORK)

AS PREPARED BY:

LLOYD AND PURCELL LTD  
ONTARIO LAND SURVEYORS

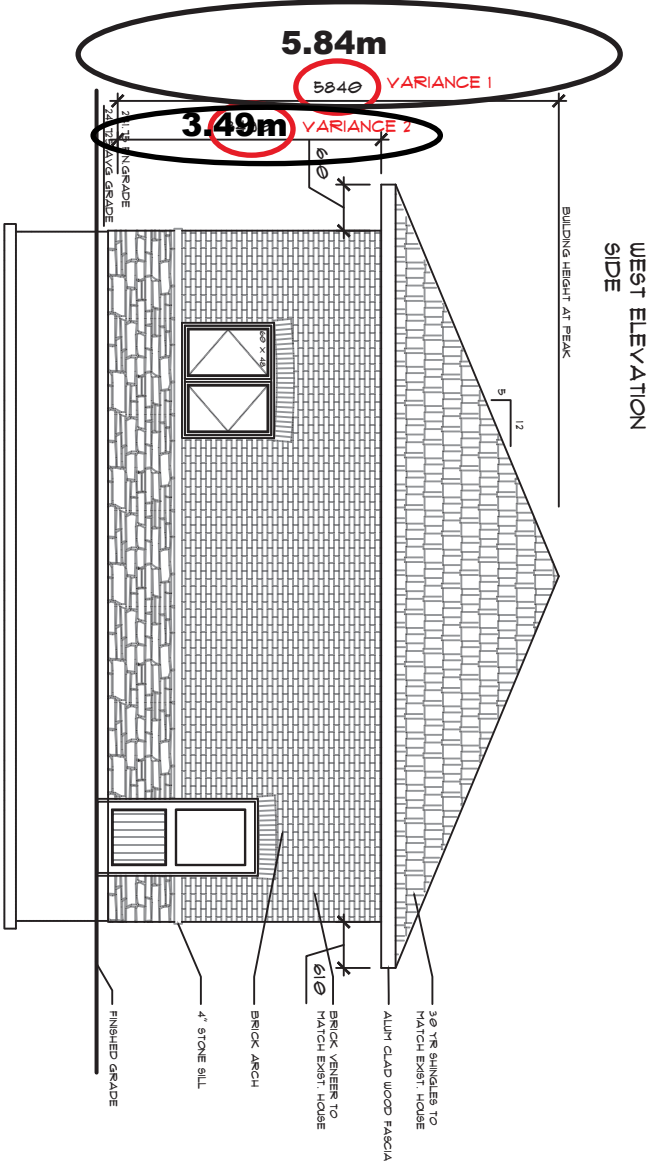
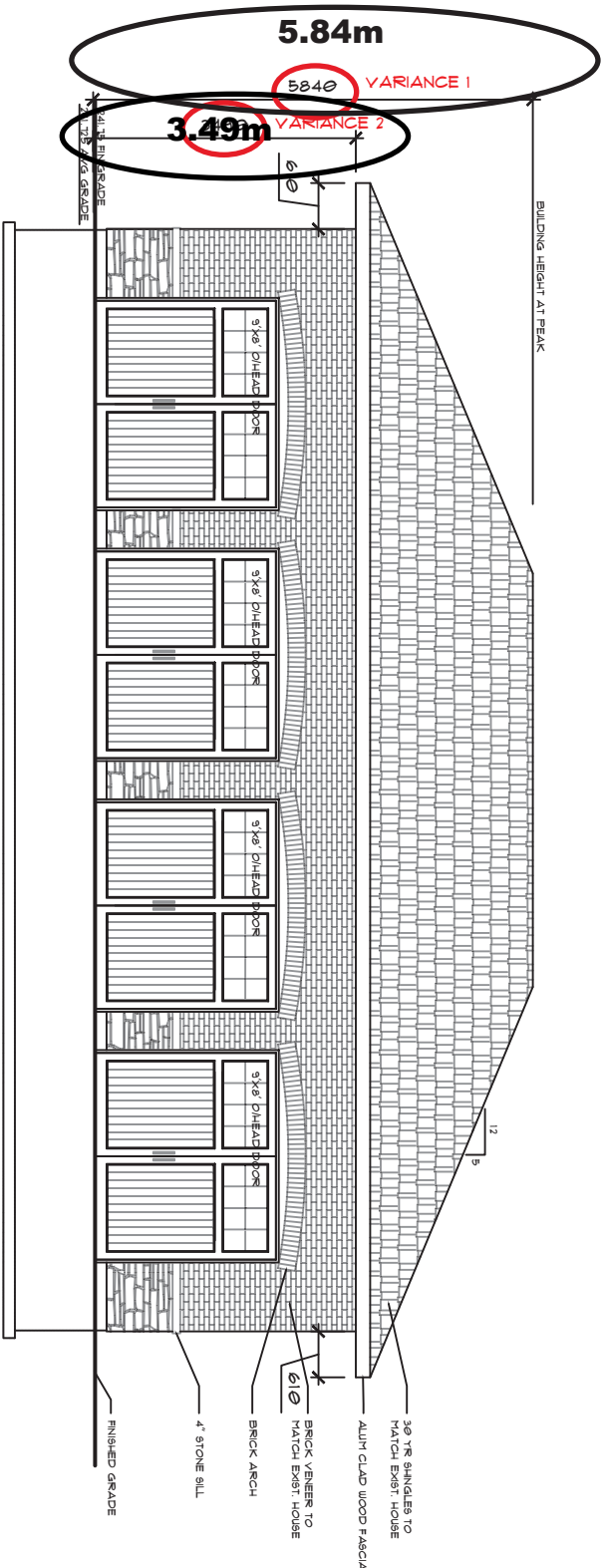
DATED MARCH 20, 2013

**SITE DATA: (EXCEPTION 0231)**

TOTAL LOT AREA :	6000.0 M <sup>2</sup>
EXIST. HOUSE:	246.01 M <sup>2</sup>
EXIST. SHED:	5.29 M <sup>2</sup>
PROPOSED GARAGE:	133.18 M <sup>2</sup>
LOT COVERAGE (ACCESSORY BUILDINGS)	
ALLOWED	180.0 M <sup>2</sup> (3%)
PROPOSED (INCL. SHED)	143.01 M <sup>2</sup> (2.38%)
MINIMUM YARD SET BACKS:	
FRONT YARD 15.24M	PROPOSED: 30.80M
SIDE YARD 15.24M	PROPOSED 15.90M
REAR YARD 15.24M	PROPOSED 23.51M

DWG SCALE: 1:500  
ALL DIMENSIONS IN  
MM  
MR. & MRS. PHIL DIFONZO  
15 RANCH TRAIL RD  
VAUGHAN, ONT





**Variance No. 1:**

Maximum Permitted Height of Accessory Building, Zoning By-law 1-88

A maximum height of 4.5 metres to the top of the structure is permitted; whereas a height of 5.84 metres is proposed.

**Variance No. 2:**

Maximum Permitted Height of Accessory Building, Zoning By-law 1-88

A maximum height of 3.0 metres to the nearest part of the roof is permitted; whereas a height of 3.49 metres is proposed.

**Variance No. 3:**

Accessory Building to be located to the rear of the line of the front wall of the dwelling, Exception 9(237), c) i)

The proposed garage is .3m south of the furthest setback corner of the dwelling; however, if the line of the front wall is extrapolated to the side lot line, the proposed garage falls beyond the extrapolated line.

MR. & MRS. PHIL DIFONZO  
15 RANCH TRAIL RD  
VAUGHAN, ONT  
DWG SCALE: 1:100  
ALL DIMENSIONS IN MM





20-489EP



LEGEND

PROPOSED ELEVATION

EXISTING GRADE

SWALE

GROUND SLOPE

DOWNSPOUT & SPLASHPAD

PROJECT TITLE

15 RANCH TRAIL

PART OF LOT 12, REGISTERED PLAN M-89

CITY OF VAUGHAN

REGIONAL MUNICIPALITY OF YORK

DRAWING TITLE

GRADING & DRAINAGE PLAN

DESIGNED BY

VA

APPROVED BY

WMPF

DATE

MAY 2020

ENGINEER'S SEAL

20-35

GR-1

**Schedule B: Public Correspondence Received**

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

**Application Cover Letter & Photographs**  
**Public Correspondence – Letters of Support from 31 & 80 Ranch Trail Road & 12300 Tenth Concession Road**

July 20, 2020

City of Vaughan  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Drive  
Vaughan, ON L6A 1T1

Attention: Ms. Christine Vigneault, Committee of Adjustment Secretary Treasurer

Dear Ms. Vigneault:

Re: Application for Minor Variance  
Mr. & Mrs. DiFonzo - Proposed Garage  
15 Ranch Trail Road

My wife, Sheila, and I are the original owners of the property at 15 Ranch Trail Road where we have resided for 36 years.

The property is located at the southwest corner of Ranch Trail Road and Huntington Road. It has a frontage of approximately 81.6 m and a lot area of 6,000 m<sup>2</sup>. The property is subject to site specific Zoning By-law No. 104-2015 and is zoned RR, subject to the provisions of Exception 9(237) of Zoning By-law 1-88, as amended.

Our home has a two-car integrated garage; however, we own additional vehicles which are currently parked on the driveway. Over the last number of years, there seems to be an increase in red squirrels in our area which have caused significant damage to my vehicles parked on the driveway, namely, chewing the electrical wires and pulling out insulation.

I proceeded with the preparation of architectural drawings and the submission of a building permit application 20 107361 000 00 D to construct a detached 4-car garage. The grade plan was approved on June 13. The building permit application was submitted on June 18; and, through the processing of the application a number of variances were identified as set out in correspondence from the City dated July 3, 2020.

The variances identified are as follows:

**Variance No. 1:**

Maximum Permitted Height of Accessory Building, Zoning By-law 1-88

A maximum height of 4.5 metres to the top of the structure is permitted; whereas a height of 5.84 metres is proposed.

**Variance No. 2:**

Maximum Permitted Height of Accessory Building, Zoning By-law 1-88

A maximum height of 3.0 metres to the nearest part of the roof is permitted; whereas a height of 3.49 metres is proposed.

**Variance No. 3:**

Accessory Building to be located to the rear of the line of the front wall of the dwelling, Exception 9(237), c) i)

The proposed garage is in line with the furthest setback corner of the dwelling; however, if the line of the front wall is extrapolated to the side lot line, the proposed garage fall beyond the extrapolated line.

We respectfully request the granting of the variances identified above for the following reasons:

1. The house is setback approximately 20.78 m from its closest point to the street. The proposed garage would be approximately 30.8 m back from the street. The minimum required front yard setback is 15.24 m, as a result, the existing dwelling and proposed garage are setback significantly further back from the street than required.
2. If the proposed garage were to be located further back on the property it would require the removal of a 4 or more large, mature trees which currently provide significant screening.
3. The proposed location was selected as it was in an area where trees were undersized and in poor health. In anticipation of receiving a building permit the trees were removed after a site visit from City staff. No additional trees would need to be removed from the property if the setback variance was granted.
4. The driveway is curved leading up to the house and is tree lined on the side of the proposed garage. The garage has been positioned in such a way that it will be nestled into existing, mature trees and will have little visibility from the street.
5. The maximum permitted height of the existing dwelling and integrated garage is 10.668 metres. The proposed garage will be significantly lower than the existing dwelling. The additional height for the garage is being requested to allow for continuity to Ranch Trail Rd garages and similar height of existing house.
6. The location of the proposed garage is within the side yard abutting Huntington and will not affect adjacent neighbours and will not be visible from Huntington Road.

We believe that the variances requested meet the four tests of the Planning Act as follows:

1. The variances requested are minor in nature.
2. The proposed variances are appropriate for the development of the lands as it allows for the placement of vehicles currently stored on the driveway to be contained within a garage, it will not require the removal of any additional trees, it is well screened and is below the height of the existing dwelling and garage.
3. The requested variances conform to the general intent of the Zoning Bylaw.
4. The requested variances conform to the general intent of the Official Plan.

Sincerely,

A handwritten signature in dark ink, appearing to read "Phil DiFonzo". Below the main signature, there is a smaller, less legible signature that likely belongs to Sheila DiFonzo.

Phil & Sheila DiFonzo





**title** A very weak diseased blue spruce tree.



**title** Needle cast leaves the tree bare and contagious to other spruce trees.



**title** Many branches diseased and died.



**title** My healthy very large blue spruce trees.





**title** Pickup truck is in the location of proposed detached garage as a marker and adjacent to house.



**title** View from Ranch Trail Rd at end of driveway looking south, pickup truck is barely seen.



**title** View from corner of Huntington Rd and Ranch Trail Rd looking south, pickup truck is barely evident.



**title** View from Huntington Rd looking west, pickup truck is barely seen.

July 26, 20

"My name is Albert Guadagnini and I reside at 31 Ranch Trail Rd. I have seen the proposed location for the proposed detached garage at 15 Ranch Trail Road and advised of the minor variances required. I would like to inform the Committee of Adjustment that I have no objection with the proposal of the DiFonzo's detached garage and its location or height."

Sincerely,

A handwritten signature in cursive script that reads "Albert Guadagnini". The signature is written in dark ink and is positioned below the word "Sincerely,".



July 26, 20

"My name is Robert Colagiacomo and I reside at 12300 Tenth Concession Rd. I have seen the proposed location for the proposed detached garage at 15 Ranch Trail Road and advised of the minor variances required. I would like to inform the Committee of Adjustment that I have no objection with the proposal of the DiFonzo's detached garage and its location or height."

Sincerely,

A handwritten signature in black ink, appearing to be 'Robert Colagiacomo', with a long horizontal flourish extending to the right.

July 26, 20

"My name is Adam Colagiacomo and I reside at 80 Ranch Trail Rd. I have seen the proposed location for the proposed detached garage at 15 Ranch Trail Road and advised of the minor variances required. I would like to inform the Committee of Adjustment that I have no objection with the proposal of the DiFonzo's detached garage and its location or height."

Sincerely,

ADAM COLAGIACOMO

A handwritten signature in cursive script, appearing to read 'Adam Colagiacomo', written in dark ink.

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

- Alectra (Formerly PowerStream) – No concerns or objections
- Region of York – No concerns or objections
- TRCA – comments with conditions

**COMMENTS:**

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

**References:**

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mr. Tony D'Onofrio  
Supervisor, Subdivisions (Alectra East)  
**Phone:** 1-877-963-6900 ext. 24419

**Email:** [tony.donofrio@alectrautilities.com](mailto:tony.donofrio@alectrautilities.com)

## MacPherson, Adriana

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**Subject:** FW: RESPONSE: A069/20 - Request for Comments

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**From:** Development Services <developmentservices@york.ca>

**Sent:** September-02-20 9:59 AM

**To:** MacPherson, Adriana <Adriana.MacPherson@vaughan.ca>; Providence, Lenore <Lenore.Providence@vaughan.ca>; Attwala, Pravina <Pravina.Attwala@vaughan.ca>

**Subject:** [External] RESPONSE: A069/20 - Request for Comments

Good morning Adriana,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Regards,

*Gabrielle*

**Gabrielle Hurst MCIP RPP** | Community Planning and Development Services | Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1

1-877 464 9675 ext 71538 | [gabrielle.hurst@york.ca](mailto:gabrielle.hurst@york.ca) | [www.york.ca](http://www.york.ca)

## MacPherson, Adriana

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**Subject:** FW: A069/20 - 15 Ranch Trail Road

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**From:** Hamedeh Razavi <Hamedeh.Razavi@trca.ca>  
**Sent:** September-02-20 8:20 AM  
**To:** MacPherson, Adriana <Adriana.MacPherson@vaughan.ca>  
**Cc:** Vigneault, Christine <Christine.Vigneault@vaughan.ca>  
**Subject:** [External] RE: A069/20 - 15 Ranch Trail Road

Hi Adriana,

For some reason, I did not receive the circulation for this application.

Based on the above, TRCA staff have **no objection** to the approval of Minor Variance Application A069/20, subject to the following condition:

1. That the applicant provides the required fee amount of \$105.00 payable to the Toronto and Region Conservation Authority.

Please let me know if you have any questions or concerns.

**Hamedeh Razavi** MURP  
Planner I  
Development Planning and Permits | Development and Engineering Services

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*TRCA's Offices are closed to visitors. The plan input and review function continues during the Coronavirus pandemic. In order to reduce the potential of transmission, TRCA requests that all development planning and permit applications and materials be submitted digitally in PDF format only. Paper submissions are discouraged and may result in extended timeframes for review. All documents should be submitted via an on-line file sharing service (e.g. OneDrive, Dropbox or corporate file sharing services) or via email in PDF format. Documents can be submitted directly to me at [Hamedeh.Razavi@trca.ca](mailto:Hamedeh.Razavi@trca.ca) We thank you for your cooperation as we respond to the current situation.*