

File: A047/20**Applicant:** Northland Properties Corporation**Address:** Four Valley Drive, Concord**Agent:** Paul Kwasnicky
Pacific Coast Architecture Inc.

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection	<input checked="" type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	
Cultural Heritage (Urban Design)	<input checked="" type="checkbox"/>	
Development Engineering	<input checked="" type="checkbox"/>	
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	
By-law & Compliance		
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department		
TRCA		
Ministry of Transportation		
Region of York		
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)	<input checked="" type="checkbox"/>	

Adjournment History: N/A

Background History: N/A

Staff Report Prepared By: Lenore Providence
Hearing Date: Thursday, July 30, 2020



Minor Variance
Application

Agenda Item: 10

A047/20

Ward: 4

Staff Report Prepared By: Lenore Providence, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing: Thursday, July 30, 2020 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

Please submit written comments by mail or email to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

To make an electronic deputation at the meeting please contact the Committee of Adjustment at cofa@vaughan.ca or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

Applicant: Northland Properties Corporation

Agent: Paul Kwasnicky, Pacific Coast Architecture Inc.

Property: Four Valley Drive, Concord

Zoning: The subject lands are zoned EM1 and subject to the provisions of Exception 9(1057) under By-law 1-88 as amended.

OP Designation: Vaughan Official Plan 2010 ('VOP 2010'): "Prestige Employment"

Related Files: DA.19.061

Purpose: Relief from the by-law is being requested to permit the construction of a proposed six (6) storey hotel that will include a restaurant. Relief is also required to facilitate related Site Plan Application DA.19.061.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. The by-law requires that 384 parking spaces are required for the uses proposed. [3.8 a)]	1. A total of 217 parking spaces have been provided.
2. The bylaw requires that four (4) loading spaces each at least 9.0 metres long, 3.5 metres wide and having a vertical clearance of not less than 4.2 metres with access to a public highway, public street or public lane be provided. [3.9 a)]	2. Two (2) loading spaces have been provided.
3. The required front yard setback is 6.0m. [6.1.2., Schedule A]	3. The proposed front yard setback is 5.19m.
4. The required side yard setback is 6.0m. [6.1.2., Schedule A]	4. The proposed side yard setback of the accessory building at the south side of the lot is 1.78m.
5. The minimum required Lot Frontage is 65.0m. [6.1.2., Schedule A]	5. The proposed Lot Frontage is 53.44m as shown on the submitted Site Plan.

Background (previous applications approved by the Committee on the subject land): N/A

Adjournment History: N/A

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:
Public notice was mailed on July 15, 2020

Applicant confirmed posting of signage on July 14, 2020

Property Information	
Existing Structures	Year Constructed
Vacant Land	N/A

Applicant has advised that they cannot comply with By-law for the following reason(s): Due to certain site conditions, we are unable to accommodate the required number of stalls, the required front yard, the required loading, the required lot frontage and the required side yard setback. Please see enclosed document “Minor Variance Summary” for further clarification.

Recommended conditions of approval:

That the applicant obtain a municipal address from the GIS Mapping Section of the Development Planning Department and that confirmation of address creation be provided to the Secretary Treasurer.

Adjournment Request: N/A

Building Standards (Zoning Review):
Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file.

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Building Inspections (Septic):
No comments or concerns

Development Planning:
Vaughan Official Plan 2010 (‘VOP 2010’): “Prestige Employment”

The Owner is requesting permission to construct a 6-storey hotel (Sandman Hotel Group) consisting of 246 suites, an eating establishment with an outdoor patio and 217 surface parking spaces with the above noted variances. The subject proposal was approved by Vaughan Council on May 27, 2020 through Site Development File DA.19.061.

The Development Planning Department has no objection to Variances 1 and 2 with respect to surface parking and loading spaces. The Development Engineering Department staff have reviewed the Transportation/Traffic Impact and Parking Study Report (prepared by LSL Engineering Consultants Inc., dated January 26, 2020) and conclude that 217 surface parking spaces, along with two (2) loading spaces are adequate to facilitate the development. In addition, Waste Management provided their final sign-off after reviewing the Site Plan (DP 1.00) and the truck maneuvering diagram which consisted of two (2) loading spaces.

The Development Planning Department has no objection to the remaining variances, as the reduction in front and side yard setback is considered minor in nature and appropriate for the development of the lands given the site context. A reduction of 0.81 metres in the front yard setback is minor and remains consistent to other existing employment buildings in the area. Additionally, the interior yard setback reduction of 4.22 metres applies to the long-term bicycle storage (accessory structure) that is sufficiently distanced from neighboring buildings and will not cause any adverse effects related to massing, as it complies with both the height and area requirements of an accessory structure as per Zoning By-law 1-88. The lot frontage is an existing situation and the proposal does not impact the frontage.

The Development Planning Department has reviewed the application and is of the opinion that it is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Cultural Heritage (Urban Design):
The subject property is not with the Heritage Conservation District; therefore, Cultural Heritage has no objections.

Development Engineering:
The Transportation Engineering Department within the Development Engineering Department has reviewed the submitted parking study prepared by, LSL Engineering Consultants Inc., dated January 26, 2020 and supports the proposed parking reduction from the by-law requirement of 384 parking spaces to a total of 217 parking spaces.

The Development Engineering (DE) Department does not object to variance application A047/20.

Parks, Forestry and Horticulture Operations:

Forestry has already provided comments on the subject file through the site plan review process

By-Law and Compliance, Licensing and Permit Services:

No Response.

Financial Planning and Development Finance:

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment

That the payment of applicable Special Area Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Special Area Development Charge By-laws in effect at time of payment.

Fire Department:

No Response.

Schedule A – Plans & Sketches

Schedule B – Public Correspondence

A047/20 – Public Correspondence (Justification Letter)

Schedule C - Agency Comments

Alectra (Formerly PowerStream) – No concerns or objections

Schedule D - Previous Approvals (Notice of Decision) N/R

Staff Recommendations:

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	Committee of Adjustment Christine Vigneault 905-832-8585 x 8332 christine.vigneault@vaugan.ca	That the applicant obtain a municipal address from the GIS Mapping Section of the Development Planning Department and that confirmation of address creation be provided to the Secretary Treasurer.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department;

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil). To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit www.vaughan.ca

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

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PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

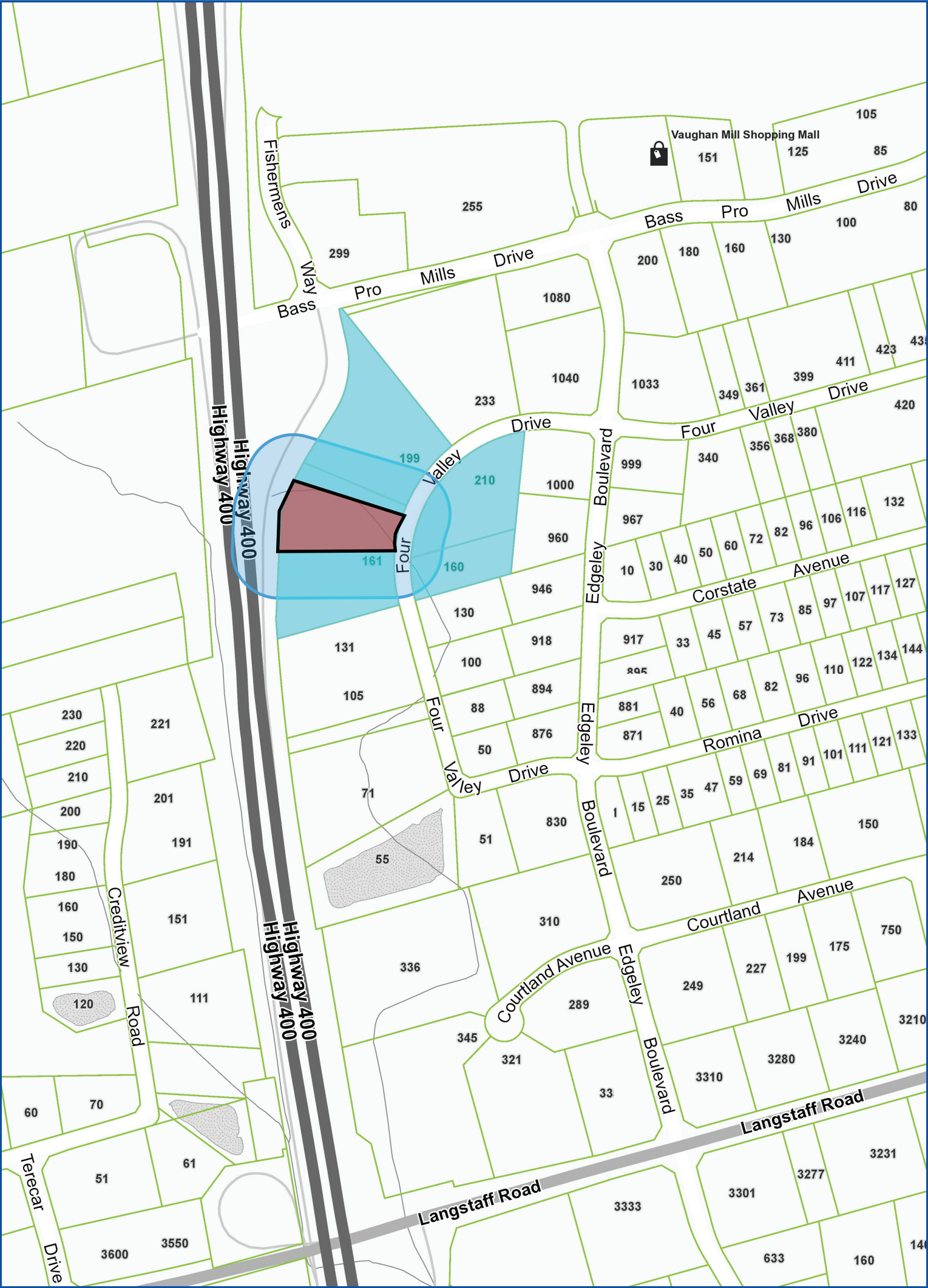
For further information please contact the City of Vaughan, Committee of Adjustment

T 905 832 8585 Extension 8394
E CofA@vaughan.ca

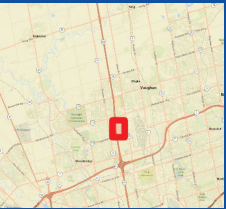
Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

Location Map
Plans & Sketches



Map Information:



Title:

FOUR VALLEY ROAD, MAPLE

NOTIFICATION MAP - A047/20

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:6,773

0 0.11 km



Created By:

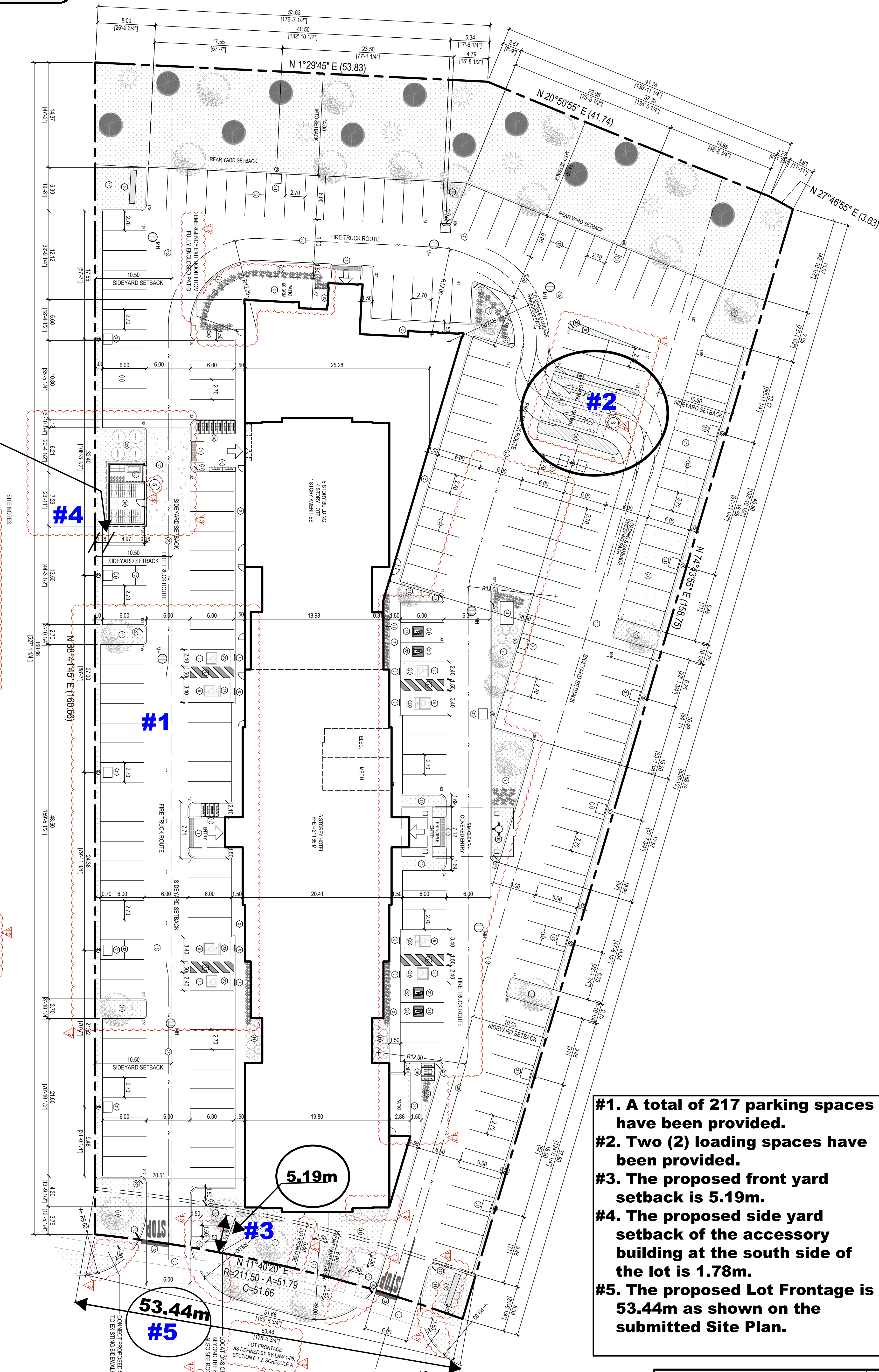
Infrastructure Delivery
Department
June 3, 2020 7:25 PM

Projection:
NAD 83
UTM Zone
17N

NEW

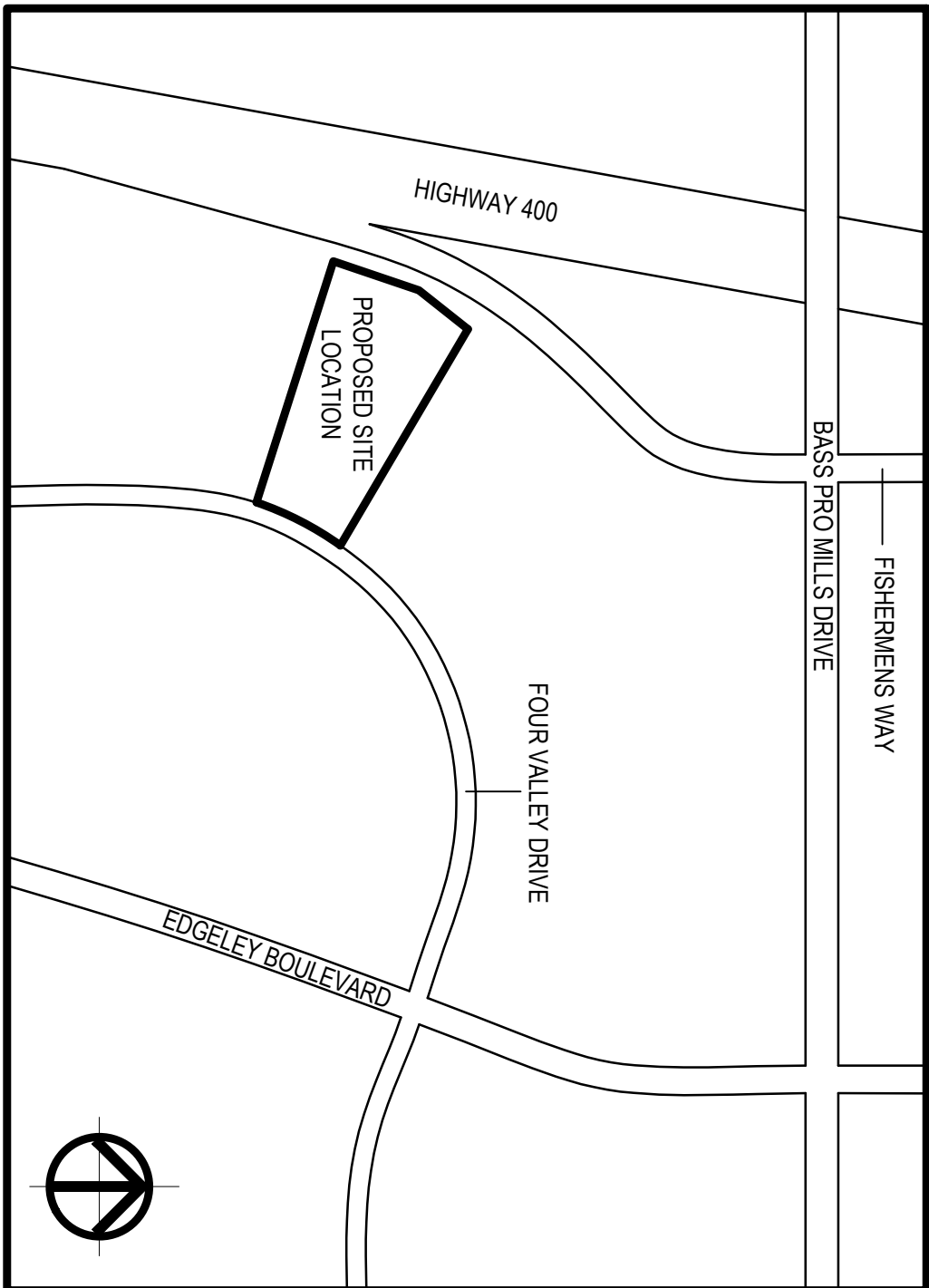
July 22, 2020

A047/20



- #1. A total of 217 parking spaces have been provided.**
#2. Two (2) loading spaces have been provided.
#3. The proposed front yard setback is 5.19m.
#4. The proposed side yard setback of the accessory building at the south side of the lot is 1.78m.
#5. The proposed Lot Frontage is 53.44m as shown on the submitted Site Plan.

CONTEXT MAP



PARKING CALCULATION: (AS PER THE CORPORATION OF THE CITY OF VAUGHAN, BY-LAW NUMBER 1-89)

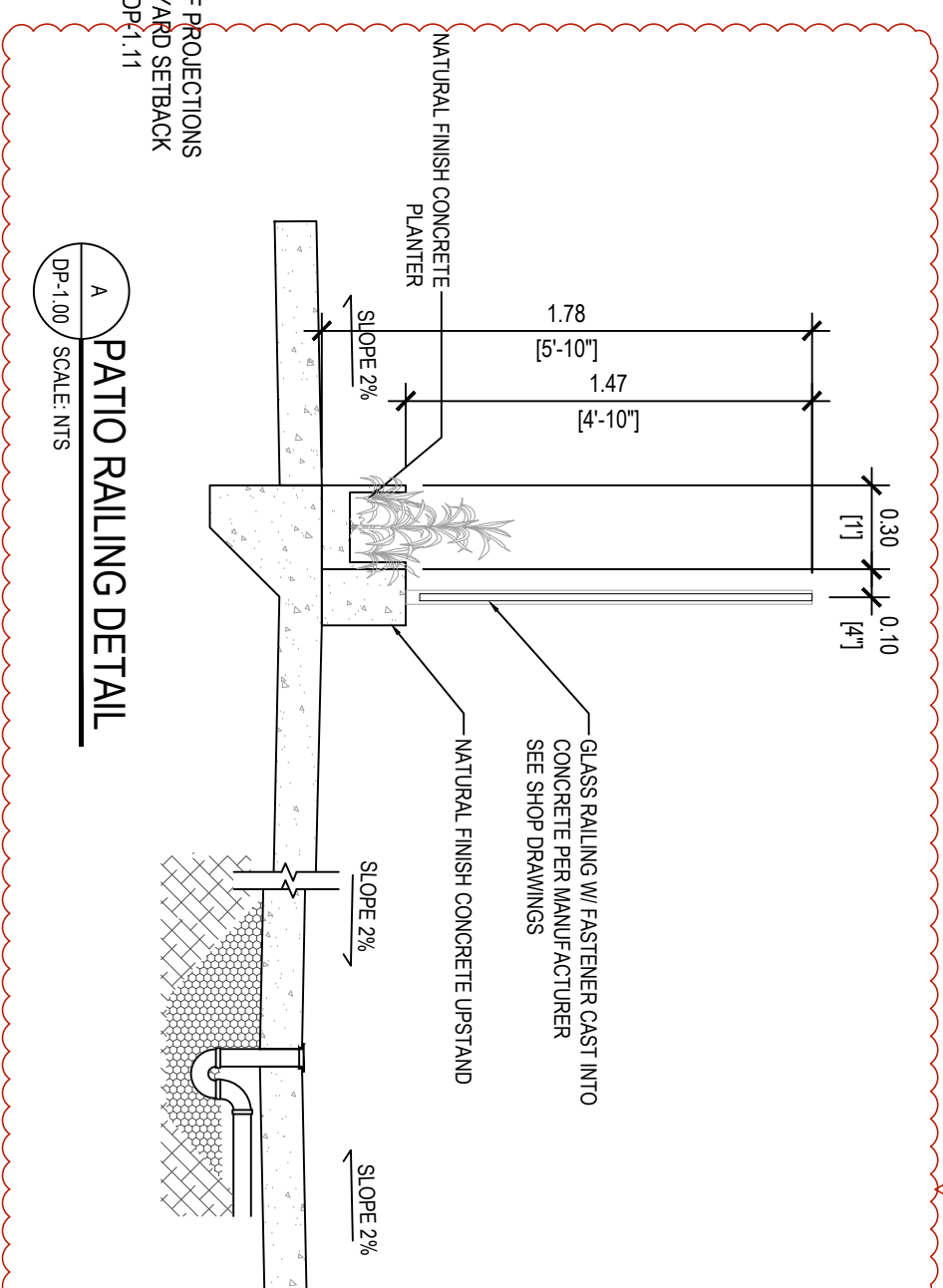
HOTEL PARKING	REQUIRED	PROVIDED
GROUND FLOOR = 11 ROOMS		
SECOND FLOOR = 51 ROOMS		
THIRD FLOOR = 51 ROOMS		
FOURTH FLOOR = 51 ROOMS		
FIFTH FLOOR = 51 ROOMS		
SIXTH FLOOR = 51 ROOMS		
TOTAL = 246 ROOMS x 100 STALLS PER ROOM		
CONFERENCE		
10.0 PARKING SPACES PER 100 SQ M GFA		
CONFERENCE		
10.0 PARKING SPACES PER 100 SQ M GFA		
RESTAURANT + PATIO		
10.0 PARKING SPACES PER 100 SQ M GFA		
PARKING		
100 SQ M GFA x 16 = 94 STALLS		
TOTAL	383 STALLS	217 STALLS

PARKING CALCULATION: (AS PER IBT WHITE PAPER)

HOTEL PARKING	REQUIRED	PROVIDED
GROUND FLOOR = 11 ROOMS		
SECOND FLOOR = 51 ROOMS		
THIRD FLOOR = 51 ROOMS		
FOURTH FLOOR = 51 ROOMS		
FIFTH FLOOR = 51 ROOMS		
SIXTH FLOOR = 51 ROOMS		
TOTAL = 246 ROOMS x 0.9 STALLS PER ROOM		
CONFERENCE		
10.0 PARKING SPACES PER 100 SQ M GFA		
CONFERENCE		
10.0 PARKING SPACES PER 100 SQ M GFA		
RESTAURANT + PATIO		
10.0 PARKING SPACES PER 100 SQ M GFA		
PARKING		
100 SQ M GFA x 10 = 94 STALLS		
TOTAL	299 STALLS	217 STALLS

PARKING CALCULATION: (AS PER IBT WHITE PAPER REPORT + MARKHAM HOTEL PROXY SURVEYS AS COMPLETED BY LSL ENGINEERING CONSULTANTS)

HOTEL PARKING	REQUIRED	PROVIDED
GROUND FLOOR = 11 ROOMS		
SECOND FLOOR = 51 ROOMS		
THIRD FLOOR = 51 ROOMS		
FOURTH FLOOR = 51 ROOMS		
FIFTH FLOOR = 51 ROOMS		
SIXTH FLOOR = 51 ROOMS		
TOTAL = 246 ROOMS x 0.9 STALLS PER ROOM		
CONFERENCE		
10.0 PARKING SPACES PER 100 SQ M GFA		
CONFERENCE		
10.0 PARKING SPACES PER 100 SQ M GFA		
RESTAURANT + PATIO		
10.0 PARKING SPACES PER 100 SQ M GFA		
PARKING		
100 SQ M GFA x 10 = 94 STALLS		
TOTAL	216 STALLS	217 STALLS



PROPOSED MINOR VARIANCES	REQUIRED
1. TOTAL PARKING PROVIDED	217 STALLS
2. MINOR ENCROACHMENT INTO FRONT YARD SETBACK	5.19 M
3. TOTAL LOADING PROVIDED	2 STALLS
4. LOT FRONTAGE	53.44 M
5. GARBAGE ENCLOSURE WITHIN SIDEWALK SETBACK	2.00 M

NORTHLAND PROPERTIES
We Proudly Build

PROJECT NORTH

KEY PLAN

PACIFIC COAST Architecture Inc.
Architects
4040 SHEPPARD AVE. E. SUITE 100
SCARBOROUGH, ONTARIO M1S 1T6
TEL: (416) 291-1111
WWW.PACIFICCOASTARCHITECTS.COM

PROPOSED SANDHAM SIGNATURE HOTEL
FOUR VALLEY DRIVE
ONTARIO

SITE PLAN
Scale: 1/250
Date: 7.13.2018
Drawn: JMM
Checked: P. Werny
R

DP-1.00

A047/20

NEW

July 22, 2020

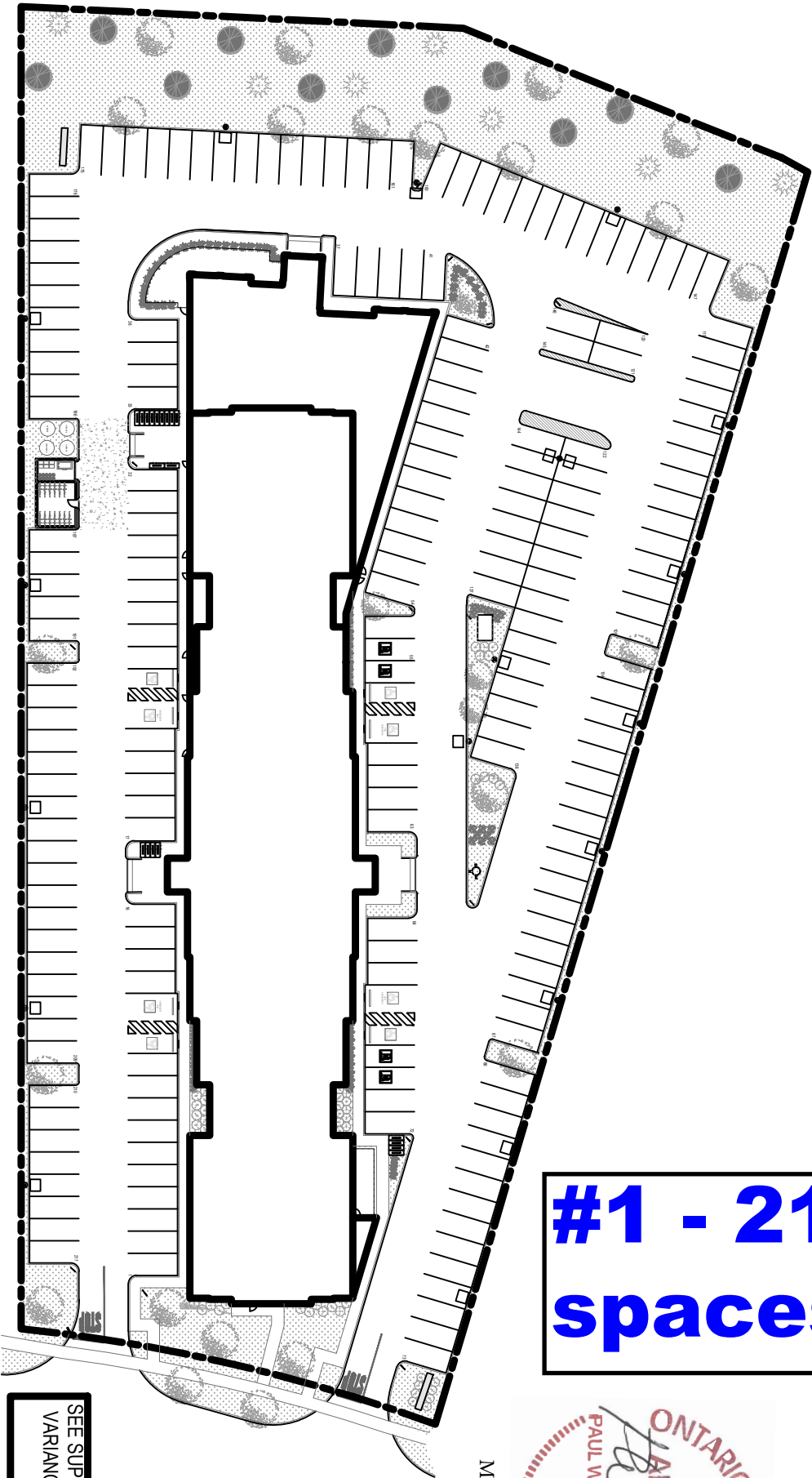
PARKING CALCULATION: (AS PER THE CORPORATION OF THE CITY OF VAUGHAN, BY-LAW NUMBER 1-88)			
HOTEL PARKING	REQUIRED	PROVIDED	
HOTEL PARKING	GROUND FLOOR	= 11 ROOMS	
	SECOND FLOOR	= 31 ROOMS	
	THIRD FLOOR	= 51 ROOMS	
	FOURTH FLOOR	= 51 ROOMS	
	FIFTH FLOOR	= 51 ROOMS	
	SIXTH FLOOR	= 51 ROOMS	
	TOTAL	= 246 ROOMS x 1.00 STALLS PER ROOM	
CONFERENCE CENTER PARKING	10.0 PARKING SPACES PER 100 SQ.M GFA	43 STALLS	217 STALLS
RESTAURANT + PATIO PARKING	16 PARKING SPACES PER 100 SQ. M GFA = 590 SQ M / 100 SQ M GFA x 16 = 94 STALLS	94 STALLS	
		383 STALLS	-166 STALLS

PARKING CALCULATION: (AS PER IBI WHITE PAPER)			
HOTEL PARKING	REQUIRED	PROVIDED	
HOTEL PARKING	GROUND FLOOR	= 11 ROOMS	
	SECOND FLOOR	= 31 ROOMS	
	THIRD FLOOR	= 51 ROOMS	
	FOURTH FLOOR	= 51 ROOMS	
	FIFTH FLOOR	= 51 ROOMS	
	SIXTH FLOOR	= 51 ROOMS	
	TOTAL	= 246 ROOMS x 0.9 STALLS PER ROOM	
CONFERENCE CENTER PARKING	10.0 PARKING SPACES PER 100 SQ.M GFA	25 STALLS	217 STALLS
RESTAURANT + PATIO PARKING	10 PARKING SPACES PER 100 SQ M GFA = 590 SQ M / 100 SQ M GFA x 10 x 0.9 = 53 STALLS	53 STALLS	
		299 STALLS	-82 STALLS

PARKING CALCULATION: (AS PER IBI WHITE PAPER REPORT + MARKHAM HOTEL PROXY SURVEYS AS COMPLETED BY LSL ENGINEERING CONSULTANTS) *MARKHAM HOTEL APPROVED BY MARKHAM COMMITTEE OF ADJUSTMENTS ON JUNE 27th, 2018			
HOTEL PARKING	REQUIRED	PROVIDED	
HOTEL PARKING	GROUND FLOOR	= 11 ROOMS	
	SECOND FLOOR	= 31 ROOMS	
	THIRD FLOOR	= 51 ROOMS	
	FOURTH FLOOR	= 51 ROOMS	
	FIFTH FLOOR	= 51 ROOMS	
	SIXTH FLOOR	= 51 ROOMS	
	TOTAL	= 246 ROOMS x 0.56 STALLS PER ROOM	
CONFERENCE CENTER PARKING	10.0 PARKING SPACES PER 100 SQ.M GFA	25 STALLS	217 STALLS
RESTAURANT + PATIO PARKING	10 PARKING SPACES PER 100 SQ M GFA = 590 SQ M / 100 SQ M GFA x 10 x 0.9 = 53 STALLS	53 STALLS	
		216 STALLS	+1 STALL

#1 - 217 Parking spaces

MAY 25th, 2020



SEE SUPPORTING RATIONAL IN MINOR VARIANCE SUMMARY LETTER DATED MARCH 3rd, 2020

N O R T H L A N D
PROPERTIES
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This drawing and design are and shall at all times remain the property of Pacific Coast Architecture Inc. and cannot be used or reproduced in any manner without written consent. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and shall be responsible for dimensions and conditions on the job and the Architect shall be informed of any variations from the dimensions and conditions as shown on this drawing.

14	REVISED FOR MINOR VARIANCE SUBMISSION
No.	Revision/Issue
	Date

Pacific Coast
Architecture Inc.

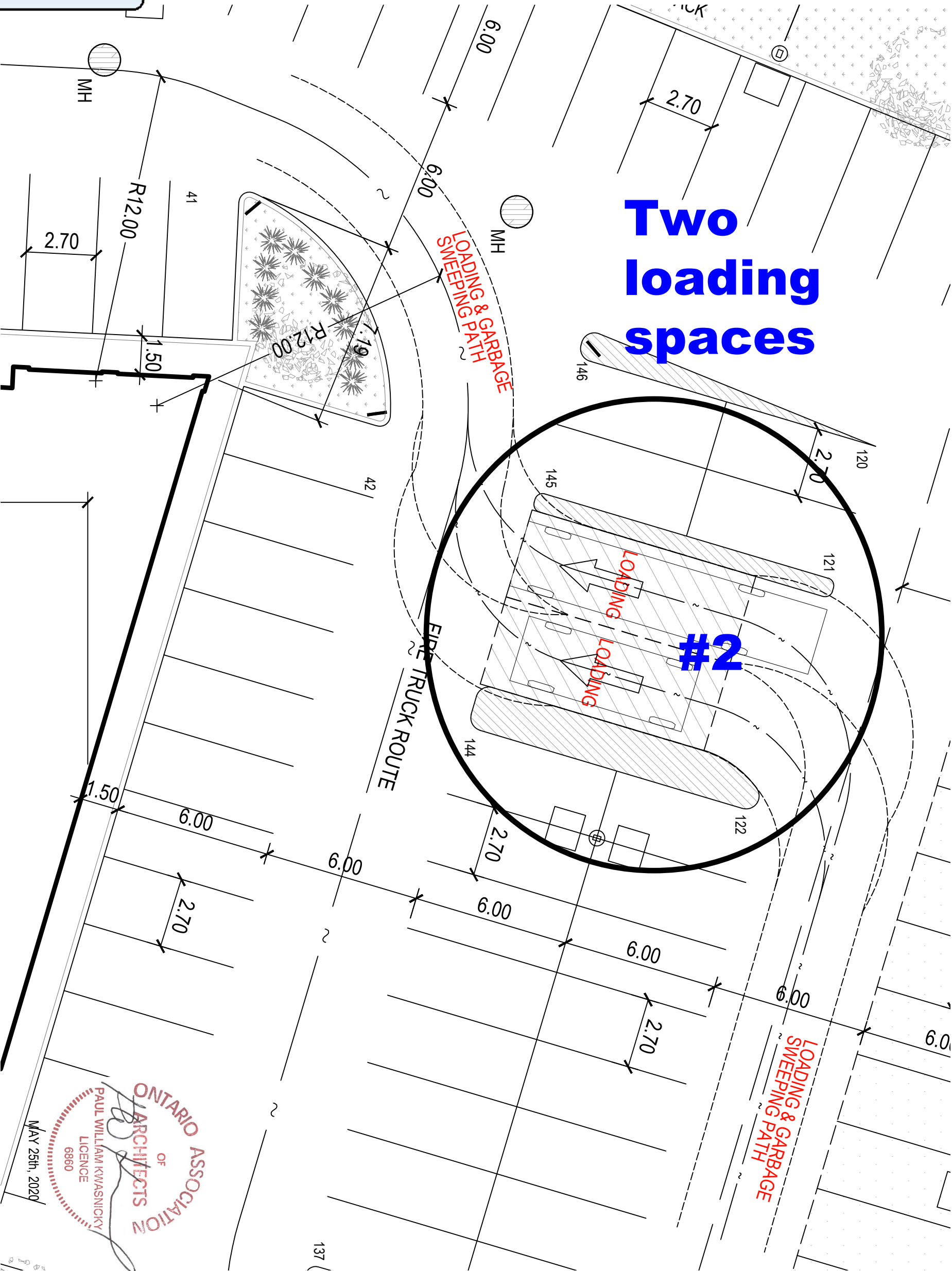
501 - 3292 Production Way
Burnaby, B.C.
Canada, V5A 3R3
office 303.388.7317
fax 303.320.9599

PROPOSED HOTEL
FOUR VALLEY DRIVE
VAUGHAN ONTARIO

MINOR VARIANCE #1 (TOTAL PARKING PROVIDED)	
Scale	1:750
Date	5.22.2020
Drawn	J.Mufts
Checked	P.Kwasnicky
MV-1.0	
R	

Two
loading
spaces

#2



ONTARIO ASSOCIATION
OF ARCHITECTS
PAUL WILLIAM KWASNICKY
LICENCE 6860
MAY 25th, 2020

SEE SUPPORTING RATIONAL IN MINOR
VARIANCE SUMMARY LETTER DATED
MARCH 3rd, 2020



N O R T H L A N D
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14	REVISED FOR MINOR VARIANCE SUBMISSION
No.	Revision/Issue
Date	5.22.2020

Pacific Coast
Architecture Inc.
501 - 3292 Production Way
Burnaby, B.C.
Canada, V5A 3R3
office 303.388.7317
fax 303.320.9559

PROPOSED HOTEL
FOUR VALLEY DRIVE
VAUGHAN ONTARIO

MINOR VARIANCE #3
(TOTAL LOADING PROVIDED)

Scale	1:150
Date	5.22.2020
Drawn	J.Mutis
Checked	P.Kwasnicky

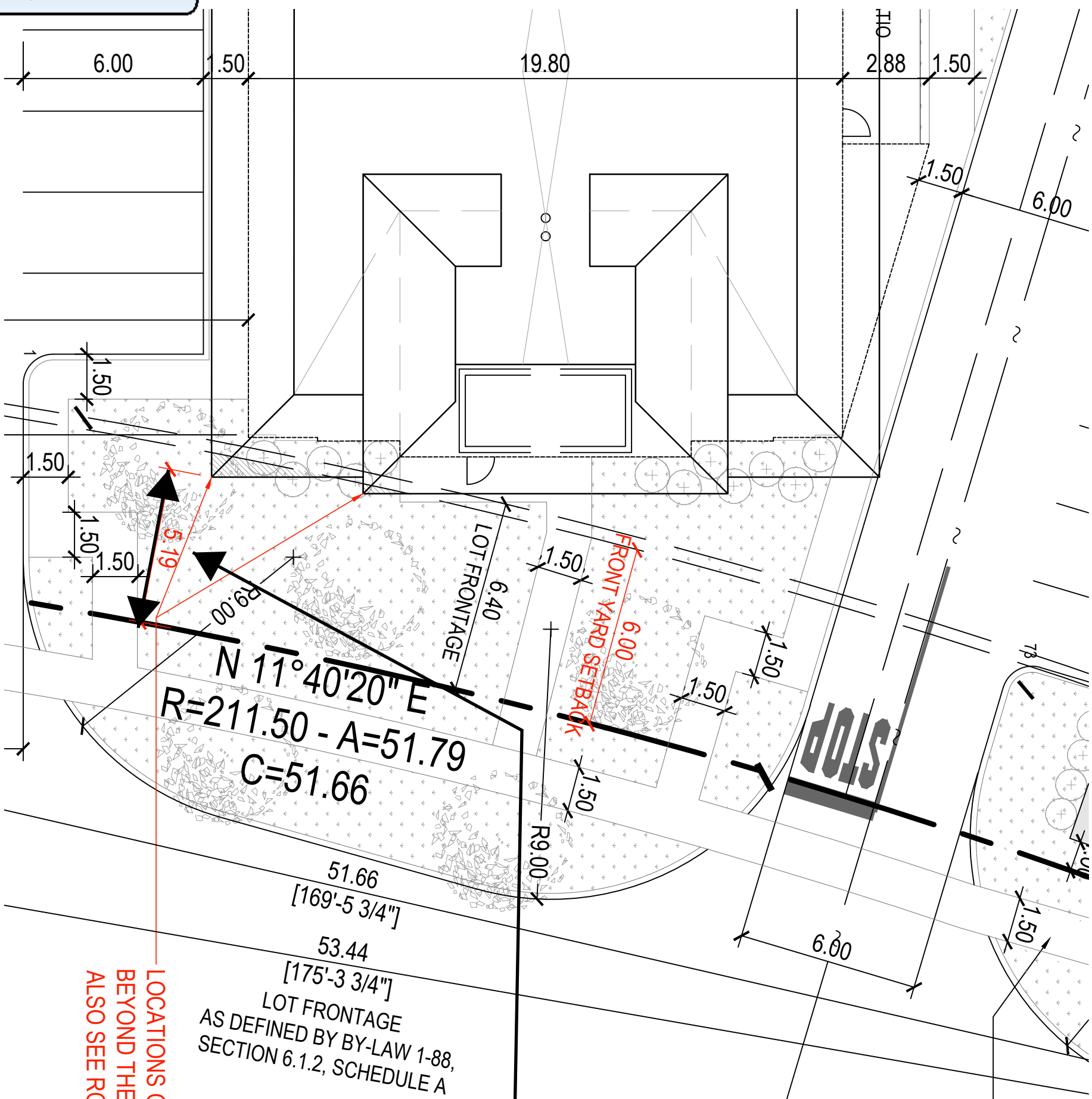
MV-3.0

R

A047/20

NEW

July 22, 2020



CONNECT PROPOSED SIDEWALK TO EXISTING SIDEWALK

[illegible]

5.19m
#3

LOCATIONS OF <1.0m ROOF PROJECTIONS
BEYOND THE 6.0m FRONT YARD SETBACK
ALSO SEE ROOF PLAN ON DP-1.11

LOT FRONTAGE
AS DEFINED BY BY-LAW 1-88,
SECTION 6.1.2, SCHEDULE A

MAY 25th, 2020

SEE SUPPORTING RATIONAL IN MINOR
VARIANCE SUMMARY LETTER DATED

NORTH LAND

PROPERTIES

We Proudly Build



Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and shall be responsible for dimensions and conditions on the job and the Architect shall be informed of any variations from the dimensions and conditions as shown on this drawing.

1.4	REVISED FOR MINOR VARIANCE SUBMISSION	5/22/2020
No.	Revision/Issue	Date

Pacific Coast
Architecture Inc.

501 - 3292 Production May

Burnaby, B.C.

Canada, V5A 3R3

office 303.368.7317
fax 303.320.9559

fax 303.320.9555

PROPOSED HOTEL
FOUR VALLEY DRIVE
VAUGHAN ONTARIO

MINOR VARIANCE #2

(MINOR ENCROACHMENT INTO FRONTYARD STEBACK)

Scale 1:150

Date 5.22.2020

Drawn J.Mutis

Checked P.Kwasnicky

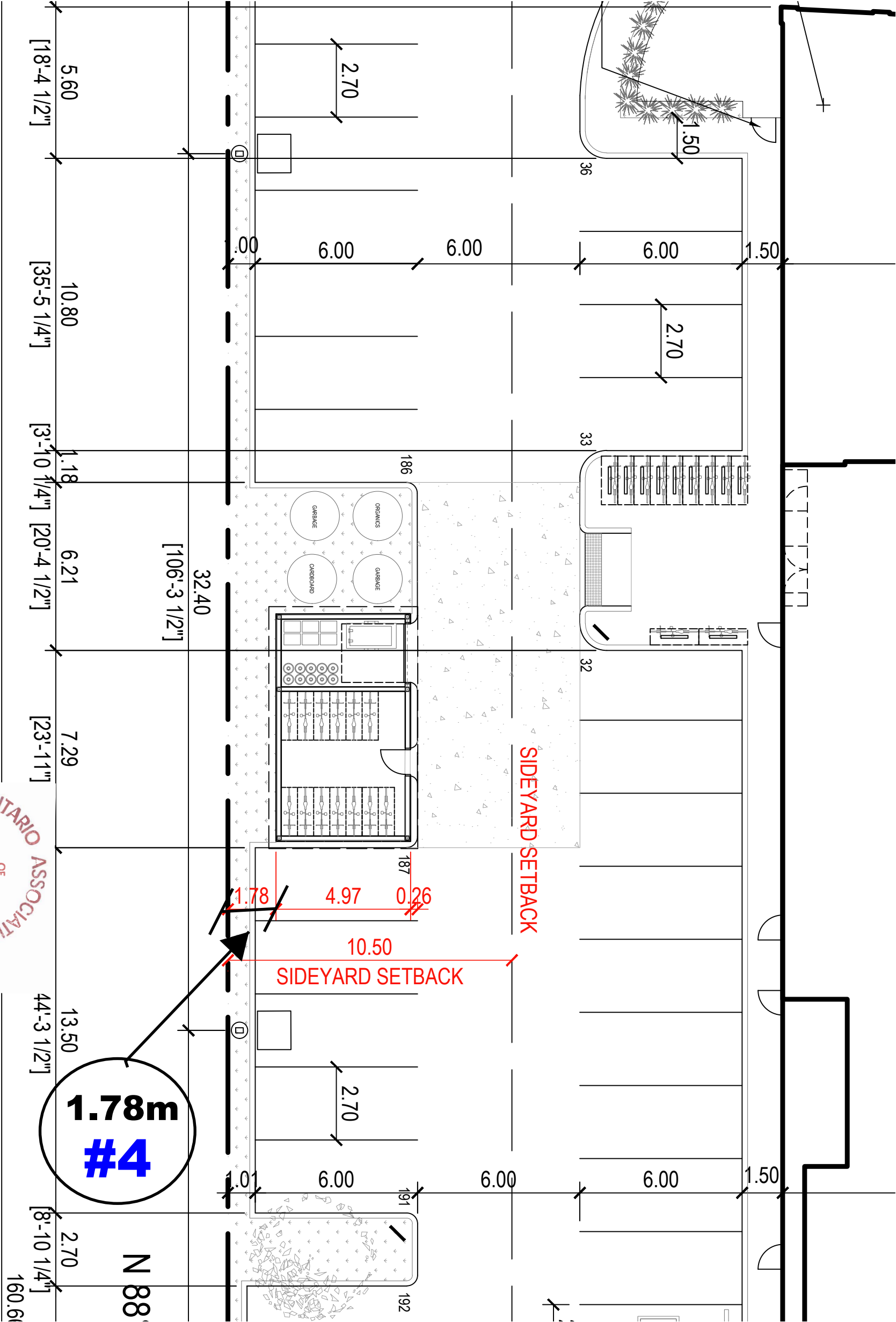
MV-2.0

7

A047/20

NEW

July 22, 2020



MAY 25th, 2020

SEE SUPPORTING RATIONAL IN MINOR
VARIANCE SUMMARY LETTER DATED
MARCH 3rd, 2020

NORTH LAND
PROPERTIES
We Proudly Build



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1/4	REVISION FOR MINOR VARIANCE SUBMISSION
No.	Revision/Issue
Date	5.22.2020

Pacific Coast
Architecture Inc.

501 - 3291 Production Way
Burnaby, B.C.
Canada, V5A 3R3
office 303.380.7317
fax 303.320.9559

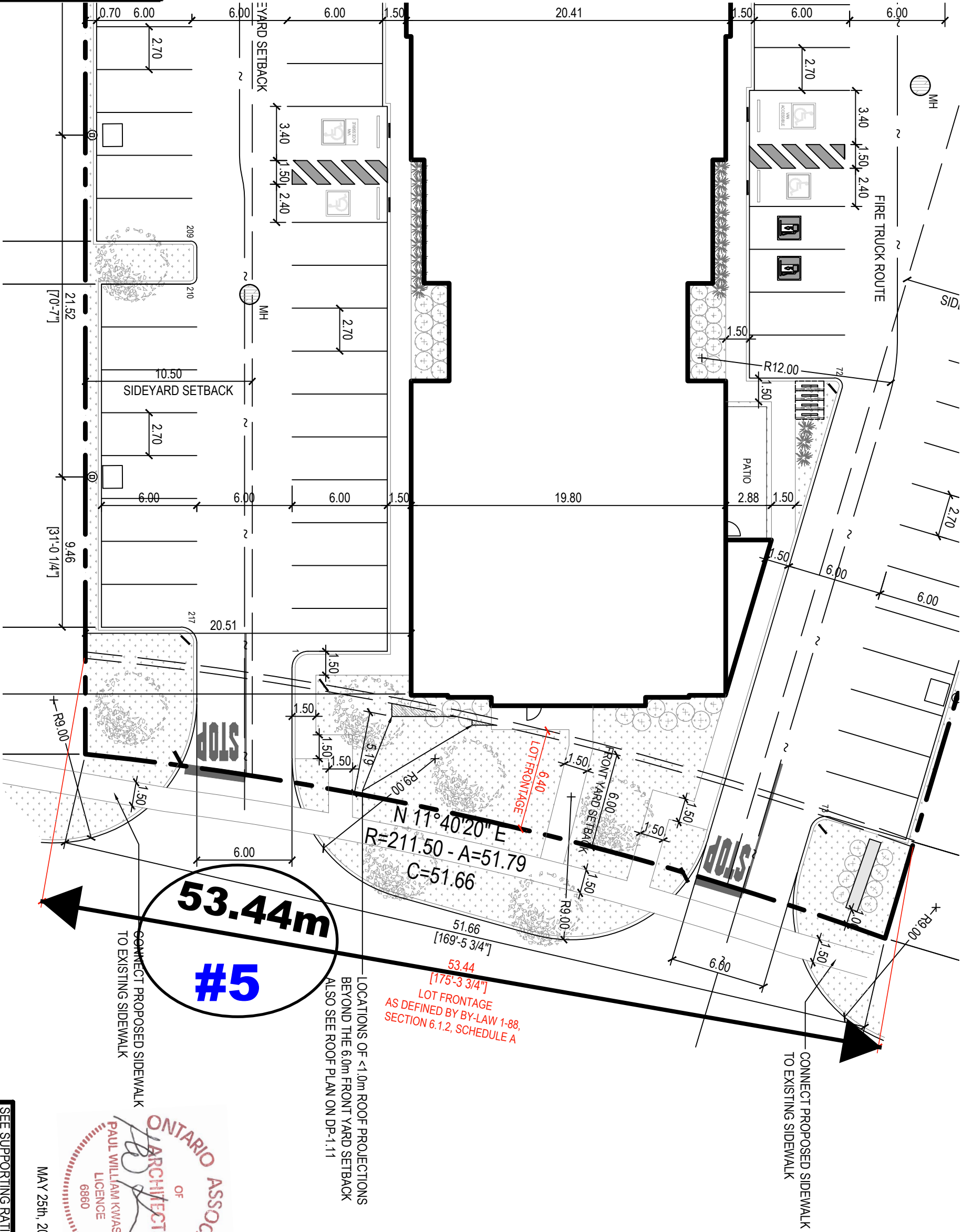
PROPOSED HOTEL
FOUR VALLEY DRIVE
VAUGHAN ONTARIO

MINOR VARIANCE #5
(GARAGE ENCLOSURE WITHIN THE SIDEYARD)

Scale	1:150
Date	5.22.2020
Drawn	J.Mutis
Checked	P.Kwasnicky

MV-5.0

R



MAY 25th, 2020

SEE SUPPORTING RATIONAL IN MINOR
VARIANCE SUMMARY LETTER DATED
MARCH 3rd, 2020



N O R T H L A N D
PROPERTIES
We Proudly Build

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1/4	REVISION FOR MINOR VARIANCE SUBMISSION
No.	Revision/Issue
Date	5.22.2020

Pacific Coast
Architecture Inc.

501 - 3229 Production Way
Burnaby, B.C.
Canada, V5A 3R3
office 303.388.7317
fax 303.320.9589

PROPOSED HOTEL
FOUR VALLEY DRIVE
VAUGHAN ONTARIO

MINOR VARIANCE #4
(LOT FRONTAGE)

Scale	1:250
Date	5.22.2020
Drawn	J.Muirs
Checked	P.Kwasnicky

MV-4.0

R

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

A047/20 – Public Correspondence (Justification Letter)

Pacific Coast
Architecture Inc.

P. W. Kwasnicky, Architect,
AIBC, AAA, SAA, MAA, OAA, NSAA, NLAA, MRAIC, CP.
Principal

March 3rd, 2020

Office of the City Clerk
Vaughan City Hall, Level 100
2141 Major Mackenzie Dr.
Vaughan, ON L6A 1T1

Re: **Development Permit Application – DA.19.061 – *Proposed Minor Variances***
Four Valley Drive, Part 5, Block 1, 65M-3692

Minor Variance # 1 – Total Parking Provided

1) By Law Requirement (The Corporation of the City of Vaughan, By-Law number 1-88)

3.8 Parking Requirements

Type of use	Minimum Parking Requirement
Convention Centre	11.0 parking spaces per 100 sq.m GFA
Eating Establishment and Tavern	1.0 parking space for each four (4) persons Comprised in the designed maximum capacity or 16.0 parking spaces per 100 sq.m. GFA, whichever is greater
Hotel/Motel	1.0 parking space for each bedroom plus the Requirements for any other use

2) What's Provided

Parking Calculation (As per parking report by LSL Engineering Consultants Inc. May 10th, 2019)

		Required	Provided
Hotel Parking	Ground Floor = 11 rooms		
	Second Floor = 31 rooms		
	Third Floor = 51 rooms		
	Fourth Floor = 51 rooms		
	Fifth Floor = 51 rooms		
	Sixth Floor = 51 rooms		
	Total = 246 x 0.56 stalls per room	138 stalls	



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		Required	Provided
Conference Centre Parking	10.0 Parking Spaces Per 100 sq.m GFA 390.0 sq.m / 100 x 7 x 0.9 = 25 stalls	25 stalls	
Restaurant 1 Parking	10 Parking Spaces Per 100 sq.m GFA = 590 sq.m(Indoor 510 sq.m) + (Outdoor 80 sq.m) / 100 sq.m GFA x 10 x 0.9 = 53	53 stalls	
Total Parking		216 stalls	217 stalls
			+1 stalls

Accessible Parking
Required: on 224 stalls: 2 + 2% of total 217
2 + 4.34 = 6.34 stalls required

Required = 6 stalls
Provided = 8 stalls (50% Type A & 50% Type B)

Bicycle Parking
Short term
0.15 / 100 sq.m / of total building GFA 0.15 x (12,412 sq.m / 100 sq.m) = 18.61

Required = 18.61 stalls
Provided = 24 stalls

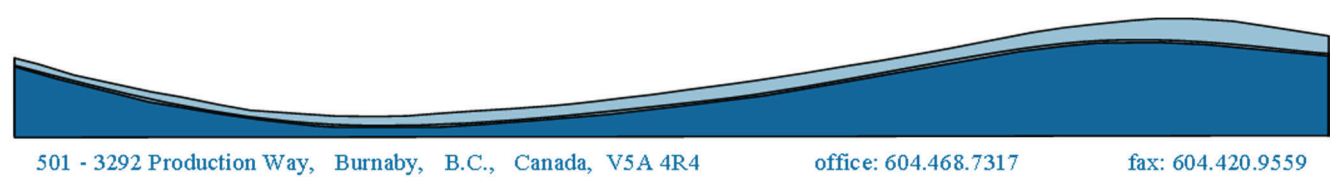
Long term
0.1 / 100 sq.m / of total building GFA 0.1 x (12,412 sq.m / 100 sq.m) = 12.41

Required = 12 stalls
Provided = 13 stalls

3) Relaxation Requested

By Law requirement = 383 stalls
Proposed parking stall provided = 219 stalls (164 stall difference)

- a) Based on our Hotel and Restaurant experience the parking stall for the proposed development are shared between the Hotel and Restaurant guests.
- b) The Hotel parking is normally use during the evening and least of parking are use during the day. Restaurant guest would be able to use at least 50% of the shared parking stalls.
- c) The number of Hotel rooms are frequently unoccupied and many travelers arrive by taxi, transit, or hotel-operated shuttles, which reduce the need for parking by hotel guests.
- d) Restaurant indoor seating and outdoor seating are mainly seasonal. It is recommended that the parking requirement for outdoor patios be removed. Outdoor patios are seasonal and while they do increase the capacity of the establishment, indoor seating is often less occupied when outdoor



seating is available since customers may relocate outdoors rather than significantly increasing parking demand.

- e) Banquet Halls and Convention Centres is recommended that the current requirement of 11 spaces per 100sq.m be reduced slightly to 10 spaces per 100sq.m bringing in the line with the proposed eating establishment parking requirement. Convention centres, conference centres, meeting rooms and banquet halls often serve related functions both for personal and business use. Thus, it make sense to consider them in a single parking standard.

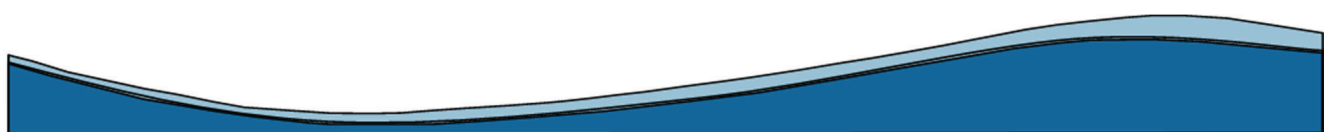
Parking Demand, Key variables include:

- a) **The capacity of the facility** - Hotel parking found that that attendees occupy meeting rooms at a rate of 22-43 per 100sq.m. Based on these values, three capacity rates are considered.
20, 30 and 40 per 100sq.m
 - b) **Auto occupancy** - is expected to be higher for professional functions(e.g. weddings) and lower for business functions (e.g. professional conferences). For simplicity, one auto occupancy rate of 2 people per vehicle was used as a mid-range value.
 - c) **Auto mode split** – The proportion of guests arriving by private vehicle depends on the transit accessibility of the location as well as the proportion of guests arriving by foot if the facility is integrated with a hotel as is often the case. Two auto mode split values of 85% and 100% are used to consider a site with reasonable transit access compared to a fully auto-oriented site.
 - d) **Occupation of the space** – The capacity values consider the layout gathering space (e.g. conference seating versus dining tables and a dance floor), assuming that all gathering space is occupied. However, it is rare for a banquet hall or conference event to use all available space at once (i.e, referred to as simultaneous occupation). For example, a wedding may involve the ceremony on one room followed by the reception in another (referred as sequential occupation). Parking accumulation for simultaneous occupation is multiplied by 0.6 to derive the sequential occupation parking rate.
- f) Vaughan does not currently have bicycle parking requirements in the zoning by-law. Other reveals that requirement for bicycle parking spaces are not common in Canadian cities but have established.

4) Rationale in Support

A parking study was prepared by a qualified traffic engineer to support the number of parking stall provided on site.

- a) Number of Parking Stalls / Loading & Bicycle Stalls
- Shared Use
 - Fewer Vehicles
 - Type of Use
 - Re-alignment of City Standards w/ Surrounding Municipality & Standards
 - Parking Study Rationale



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Minor Variance # 2 – Minor Encroachment into front yard setback

1) By Law Requirement (The Corporation of the City of Vaughan, By-Law number 1-88)

3.14 Permitted Yard Encroachments and Restrictions

Every part of any required yard or required open space shall be open and unobstructed by any structure from the ground to the sky, except for the following:

- a) Sills, air conditioners other than central air conditioning units, belt courses, cornices, eaves, gutters, canopies, chimney pilasters and windows, provided however, that the same shall not project more than 0.5 metres into a required yard;

2) What’s Provided

(Refer to DP-1.00 Site Plan and DP-1.11 Roof Plan)

Pass the permitted encroachment into the required front yard of 0.5 metres.

High Roof (22.86 metres high from ground to top of parapet) - 0.33 metres
Low Roof (19.16 metres high from ground to top of parapet) – 0.88 metres
Area: - 2.0 sq.m.

3) Relaxation Requested

A maximum encroachment of 0.88 metres into the required front yard setback +/- over 30% of the east face of the proposed building facade.

4) Rationale in Support

To allow for a minor cornice encroachment at the East façade of the building to maintain the Hotels brand standard identity along the street façade and to accommodate the angled property line along Four Valley Drive.

Minor Variance # 3 – Total Loading Provided

1) By Law Requirement (The Corporation of the City of Vaughan, By-Law number 1-88)

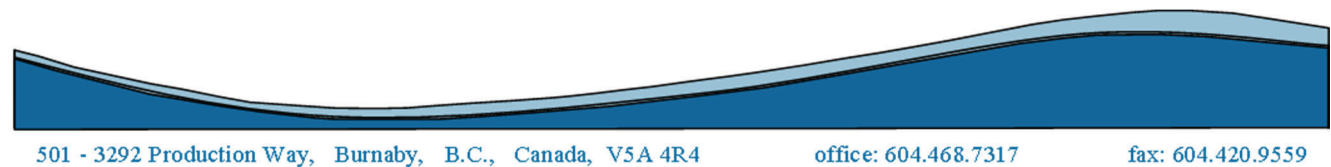
3.9 Loading Space Requirements

Industrial/Commercial Floor Area	No. of Loading Spaces
Above 10,001 SQM	Two (2) loading spaces for every 10,000 SQM or portion thereof of Industrial/Commercial GFA

2) What’s Provided

(Refer to DP-1.00 Site Plan)

Total GFA: 12,210.00 M2 -- 4 Loading Spaces required -- 2 Loading Spaces Provided



3) Relaxation Requested

Two (2) Loading Spaces be provided at 3.5m x 9.0m at the North West corner of the site that can accommodate a 12.0m truck.

4) Rationale in Support

Based on our experience in the Hotel operation for loading spaces, we believe that 2 loading spaces are enough. Four loading spaces is too much and we would rather designate the spaces to parking stalls and landscaping with the understanding that loading and unloading of goods and services would be done during off peak hours.

Minor Variance # 4 – Lot Frontage

1) By Law Requirement (The Corporation of the City of Vaughan, By-Law number 1-88)

6.1.2., Schedule A

The minimum required Lot Frontage is 65.0m (the horizontal distance between the side lot lines of a lot measured on a line at right angles to the lot centre line at a point 6.4 metres back from the front lot line)

2) What’s Provided

53.44 metres provided.

3) Relaxation Requested

53.44 metre Lot Frontage.

4) Rationale in Support

This is the pre-existing condition of the site.

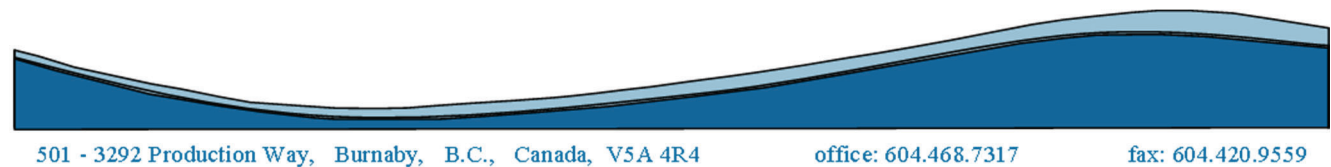
Minor Variance # 5 – Garbage Enclosure within the Side Yard

1) By Law Requirement (The Corporation of the City of Vaughan, By-Law number 1-88)

3.16 Accessory Uses, Buildings and Structures

Every part of any required yard or required open space shall be open and unobstructed by any structure from the ground to the sky, except for the following:

- b) Unless otherwise stated in this By-law, any accessory building or structure shall be subject to the same minimum yard and setback requirements for the main building or use, provided that no accessory building or structure, other than a garage or carport, shall be erected closer to the front lot line than the main use or building on the same lot;



2) What's Provided

By-law 1-88 – Schedule “A”
13. A building may exceed 15 metres provided the minimum interior yard is increased by 0.3 metres for every 0.6 metres of additional building height in excess of 15 metres.

Required Side Yard Setback: Building Height = 23.57m – 15m = 8.57m / 0.6 = 14.28 x 0.3 = 4.285m + 6.0m = 10.285m

Provided: 1.78m to South Face of Recycling / Bicycle Storage Enclosure

3) Relaxation Requested

Minimize required South Side Yard setback to 1.78m.

4) Rationale in Support

To allow Molok Bins and Recycling / Bicycle Storage Enclosure to be located in reasonable proximity to the Hotel and Amenities Building entries but not be too close in proximity to the Main Entry on the North side of the Hotel as per the Urban Planners recommendations.

Should you have any questions or concerns, please to not hesitate to contact the undersigned,

Pacific Coast Architecture Inc.



Per
P.W. Kwasnicky,
Architect, AIBC, AAA, SAA, MAA, OAA, NSAA, NLAA, MRAIC, CP.
Principal

Cc: Mr. Scott Harwood, Northland Properties Corporation



May 26th, 2020



Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

Alectra (Formerly PowerStream) – No concerns or objections

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mr. Tony D'Onofrio
Supervisor, Subdivisions (Alectra East)
Phone: 1-877-963-6900 ext. 24419

Email: tony.donofrio@alectrautilities.com