

CITY OF VAUGHAN

EXTRACT FROM COUNCIL MEETING MINUTES OF JUNE 29, 2020

Item 15, Report No. 25, of the Committee of the Whole, which was adopted without amendment by the Council of the City of Vaughan on June 29, 2020.

15. RENOVATION AND ADDITION – SINGLE DETACHED DWELLING REAR AND SIDE ADDITION WITH GARAGE LOCATED AT 32 ABELL AVENUE, WOODBRIDGE HERITAGE CONSERVATION DISTRICT

The Committee of the Whole recommends approval of the recommendation contained in the following report of the Acting Deputy City Manager, Planning and Growth Management, dated June 16, 2020:

Recommendations

The Acting Deputy City Manager, Planning and Growth Management, on behalf of Heritage Vaughan forwards the following recommendation from its meeting of May 25, 2020 (Item 7, Report No. 3), for consideration:

1. That the recommendation contained in the following report of the Deputy City Manager, Planning and Growth Management, dated May 25, 2020, be approved.

Recommendation and Report of the Acting Deputy City Manager, Planning and Growth Management, dated May 25, 2020:

THAT Heritage Vaughan Committee recommend Council approve the proposal to demolish the existing detached garage and renovate the existing dwelling including a rear and side two-storey addition with attached garage located at 32 Abell Avenue under Section 42 of *Ontario Heritage Act*, subject to the following conditions:

- a. Any significant changes to the proposal by the Owner may require reconsideration by the Heritage Vaughan Committee, to be determined at the discretion of the Deputy City Manager, Planning & Growth Management;
- b. That Heritage Vaughan Committee recommendations to Council do not constitute specific support for any Development Application under the *Ontario Planning Act* or permits currently under review or to be submitted in the future by the Owner as it relates to the subject application;
- c. That the Owner submit Building Permit stage architectural drawings and building material specifications to the satisfaction of the Chief Building Official.

Committee of the Whole (2) Report

DATE: Tuesday, June 16, 2020

WARD(S): 2

TITLE: RENOVATION AND ADDITION – SINGLE DETACHED DWELLING REAR AND SIDE ADDITION WITH GARAGE LOCATED AT 32 ABELL AVENUE, WOODBRIDGE HERITAGE CONSERVATION DISTRICT

FROM:

Bill Kiru, Acting Deputy City Manager, Planning and Growth Management

ACTION: DECISION

Purpose

To forward a recommendation from the Heritage Vaughan Committee to demolish an existing rear garage, and renovate the existing dwelling including proposed rear and side two-storey addition with attached garage located at 32 Abell Avenue. This property is located in the Woodbridge Heritage Conservation District and designated under Part V of the *Ontario Heritage Act*, as shown on Attachments 1 and 2.

Report Highlights

- The Owner seeks a recommendation for approval to demolish the existing detached garage and renovate the existing dwelling including rear and side two-storey addition with attached garage
- The existing main dwelling is identified as a contributing property in the Woodbridge Heritage Conservation District Plan ('WHCD Plan')
- The proposal is consistent with the relevant policies of the WHCD Plan
- Heritage Vaughan review and Council approval is required under the *Ontario Heritage Act*.
- Staff supports approval of the proposal as it conforms with the policies of the Woodbridge HCD Plan

Recommendations

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THAT Heritage Vaughan Committee recommend Council approve the proposal to demolish the existing detached garage and renovate the existing dwelling including a rear and side two-storey addition with attached garage located at 32 Abell Avenue under Section 42 of *Ontario Heritage Act*, subject to the following conditions:

- a) Any significant changes to the proposal by the Owner may require reconsideration by the Heritage Vaughan Committee, to be determined at the discretion of the Deputy City Manager, Planning & Growth Management;
- b) That Heritage Vaughan Committee recommendations to Council do not constitute specific support for any Development Application under the *Ontario Planning Act* or permits currently under review or to be submitted in the future by the Owner as it relates to the subject application;
- c) That the Owner submit Building Permit stage architectural drawings and building material specifications to the satisfaction of the Chief Building Official.

Background

The residential property at 32 Abell Avenue is Designated under Part V of the *Ontario Heritage Act*, as part of the Woodbridge Heritage Conservation District (2009). The subject property includes a detached two-storey dwelling with a one-storey rear addition and a detached one-storey garage structure. According to the WHCD Plan Inventory the house dates to 1900-1925. It is identified as a contributing building within the WHCD Plan.

The dwelling is set-back from the street (with landscaping between the house and the sidewalk) and has a paved driveway on the east side of the property, leading to a separate one-storey garage structure in the rear.

Previous Reports/Authority

Not applicable.

Analysis and Options

All new development must conform to the policies and guidelines within the Woodbridge Heritage Conservation District Plan

The following is an analysis of the proposed development in consideration of the policies in the WHCD Plan.

The Owner of the property at 32 Abell Avenue is proposing to demolish the existing detached garage located towards the rear of the property, renovate the existing two-storey dwelling and construct a two-storey rear and side addition with an incorporated garage as shown on Attachments 4 and 5.

The WHCD Plan includes the following policies:

5.1 OBJECTIVES

The purpose of the Woodbridge Heritage Conservation District is to:

- 1. Identify, document, maintain and restore the unique heritage village character of Woodbridge.*
- 2. Conserve contributing buildings, landscapes, monuments and streetscapes.*
- 3. Ensure new designs contribute to the Woodbridge heritage character.*
- 4. Manage any development or redevelopment proposed within the district, in a manner that is sensitive and responsive to all aspects necessary to ensure the protection and conservation of the heritage resources, in order to maintain the village character of the Woodbridge District.*
- 5. Ensure individual heritage structures and landscapes are maintained, and new development or redevelopment sensitively integrated, as part of a comprehensive district.*
- 6. Maintain Woodbridge as both a local neighbourhood and a destination for residents of Vaughan and beyond.*
- 7. Support a welcoming, interesting pedestrian environment by encouraging pedestrian amenities and by maintaining human-scaled development and connections to adjacent neighbourhoods.*
- 8. Involve area residents, property and business owners, and interested individuals in the ongoing evolution of the HCD.*

The proposed alterations to the existing contributing dwelling at 32 Abell Avenue are respectful of the guidelines of the WHCD Plan. The alterations conserve the architectural qualities of the existing building and complement it with considerate rear and side addition visually and architecturally subordinate to the main building. The proposed incorporated garage maintains the function of covered site parking area without negatively imposing the structure onto the property.

5.3.2.1 VILLAGE CHARACTER

Woodbridge is experienced as a village, given its:

- *pedestrian scale - people can walk to most places within the District*
- *A mix of uses - people live here and can find a variety of activities within walking distance*
- *scale of buildings - which are generally in good proportion in terms of height to street width*
- *“green” park-like setting - the Humber River and its tributaries are intertwined in the built fabric and generally, buildings are generously spaced and set within a mature landscaped environment*

The scale of the proposed alterations is in good proportion to the immediate neighbouring buildings and the streetscape in general. The proposed attic renovation within the existing dwelling maintains the existing building height does not add to the mass of the original building. The rear and side additions including the garage adequately support the contributing characteristics of the main building without detracting from its architecture.

5.3.2.3 ARCHITECTURE

Buildings of two to three storey building heights, from different construction periods and uses coexist, side by side, including: residential homes, barns, farmhouses, commercial buildings, institutional and industrial buildings.

The existing four-square Edwardian building is well flanked by the board-and-batten proposed addition wrapping around the rear and east side of the dwelling and presents a lower total height subordinate to the main building. The proposed addition is architecturally complimentary to the existing house.

6.2.8 APPROPRIATE MATERIALS

Exterior Finish: *Smooth red clay face brick, with smooth buff clay face brick as accent, or in some instances brick to match existing conditions.*

Exterior Detail: *Cut stone or reconstituted stone for trim in brick buildings.*

Roofs: *Hipped or gable roof as appropriate to the architectural style. Cedar, slate, simulated slate, or asphalt shingles of an appropriate colour. Standing seam metal roofing, if appropriate to the architectural style. Skylights in the form of cupolas or monitors are acceptable, if appropriate to the style.*

Doors: *Wood doors and frames, panel construction, may be glazed; transom windows and paired sidelights with real glazing bars; wood french doors for porch entrances; single-bay, wood panelled garage doors.*

Windows: *Wood frames; single or double hung; lights as appropriate to the architectural style; real glazing bars, or high-quality simulated glazing bars; vertical proportion, ranging from 3:5 to 3:7.*

Flashings: *Visible step flashings should be painted the colour of the wall.*

The proposed dormers on the existing building are proportionally aesthetic to the profile of the existing roof and are a physically and visually compatible renovation of the existing framing. The vertical board-and-batten cladding used for the addition provides a distinctive character and helps to maintain its personality without overwhelming or negatively impacting the masonry on the existing building or the renovated front porch components.

6.3.2 CONTEMPORARY DESIGN

Just as it is the characteristic of the WHCD to contain contributing buildings in at least 12 recognizable styles, contemporary work should be “of its time”. This is consistent with the principles stated in the Venice Charter, Appleton Charter and other charters recognized internationally as a guide for heritage work. This does not mean that new work should be aggressively idiosyncratic, but that it should be neighbourly and fit this “village” context while at the same time representing current design philosophy. Quoting the past can be appropriate. It should, however, avoid blurring the line between real historic “artifacts”, and contemporary elements.

“Contemporary” as a design statement does not simply mean “current”. Current designs with borrowed detailing inappropriately, inconsistently, or incorrectly used, such as pseudo-Victorian detailing, should be avoided.

The existing four-square 1900s Edwardian building maintains its original architecture to sustain the contributing characteristics in the WHCD. The dwelling is further enhanced by the subordinate architectural style of the addition as a more contemporary stand-alone structure “of its time” but does not compete with the architecture of the original building.

6.4.2.1 WOODBRIDGE HCD WALL HEIGHT AND SCALE (GENERAL)

The height and scale of structures has a significant impact on the overall character of a street and district. The height of a structure is noticeable both from: a close distance, where it contributes to the character of the street wall, to the penetration of sunlight, to the views of the context and sky, to wind and microclimatic conditions, and to the experience of pedestrians; and from a greater distance, where it contributes to the skyline and district wide views.

In Woodbridge, the height and scale of buildings has a relatively consistent “Village” character, generally free standing 2-3 storey buildings with the exception of small concentrations of up to 6-storeys in certain locations. This character is established by both historic structures and some of the more recent buildings. Maintaining a relatively uniform height and scale of buildings is a significant aspect of conserving the heritage character of individual properties, of streets, and of the Woodbridge district as a whole.

Heritage Attributes

1. *Except for Woodbridge Avenue, buildings are generally 2 to 3-storeys tall.*
2. *Contributing structures present within limits, a variety of heights and scales. Most often, the heritage attributes of individual buildings include the designed height and its relationship and views within its context.*

Guidelines

1. *Except where noted, new buildings should be a minimum of 2 floors (8.5 m) and a maximum of 3 floors (11 m).*
2. *The height of existing contributing buildings should be maintained. New buildings must be sympathetic to, and transition from, the height of adjacent contributing buildings, with a minimum 45° angular plane. (See section 6.5)*
3. *The height of a building is measured from the average elevation of the finished grade at the front of the building to the highest point of the roof surface for a flat roof and a mansard roof; and to the mean height between the eaves and the highest point of a gable, hip, or a gambrel roof. (See Section 6.5)*

The proposed renovation and addition will contribute positively to the streetscape. The building immediately adjacent (to the east) is not a contributing building in the District and therefore, the proposed addition does not impact adjacent properties. The massing and scale of the addition is sympathetic and subordinate to the main building, and together they form a complex of appropriate scale and mass for the streetscape and immediate neighbouring properties, without drawing additional attention to the property or its components.

6.5 TRANSITIONS OF NEW BUILDINGS IN RELATION TO HERITAGE RESOURCES

Key to the WHCD is, first, conserving the structures and landscapes that contribute to the HCD's heritage character, and second, managing the introduction of new structures and landscapes in such a way that they harmonize with contributing buildings and contribute to the district's heritage character. The following guidelines, as established in the WHCD Study, shall be used to assist in the process of achieving the proper transition of building scales, heights and presence in order to create a harmonious relationship between new structures and landscapes with contributing properties within the Heritage District.

1. Conservation of Heritage Resources

- *Buildings and structures listed as 'contributing' in the WHCD may not be demolished or moved*
- *The City of Vaughan may require a CHIA when it considers that cultural heritage value may exist, or be affected by any new construction*

2. Conservation of Heritage Character

Contributing buildings display a variety of setbacks and side yard conditions, reflecting the different construction periods and original use.

- *New development must be sympathetic to this character and must develop in a way that does not detract, hide from view, or impose in a negative way, on existing heritage contributing resources, as per the following height and setback guidelines*

3. Height Guidelines

The height of contributing buildings should be maintained.

- *The setback requirement to adjacent contributing heritage buildings must be at least half the building height. This transition pertains to the back and side yards of a contributing building,*
- *New buildings must transition from the height of adjacent contributing buildings with a minimum 45° angular plane, starting from the existing height of the contributing building. The height of a contributing building is measured from the average elevation of the finished grade at the front of the building to the highest point of the roof surface for a flat roof and a mansard roof; and to the mean height between the eaves and highest point of a gable, hip, or a gambrel roof, (see the following Diagram B).*

4. Side Yard and Backyard Setback Guidelines

- *New buildings must have a side yard, and backyard setback from contributing buildings a distance equivalent to half the height of the contributing building, (see the following Diagram C)*
- *Consideration may be given to the construction of new buildings, and additions to contributing buildings, joining with contributing buildings only when:*
 - *new construction is located in the parts of the contributing building that is not visible from the street or from a public space;*
 - *new construction is setback from the street frontage of the contributing building, to maintain open views and vantage points from the street to the contributing buildings and to support the unique heritage character of the street;*
 - *the parts of the contributing building that will be enclosed or hidden from view by the new construction, do not contain significant heritage attributes, and the three-dimensional form of contributing buildings can be maintained; and*
 - *new construction is of a good architectural quality and contributes to the district's heritage character, (see Diagram D).*

5. Front Yard Setback Guidelines

- *The historic setbacks of contributing buildings should be maintained and contributing buildings should not be relocated to a new setback line. New buildings must be sympathetic to the setbacks of adjacent contributing buildings*
- *When new buildings are located adjacent to existing contributing buildings that are set back from the property or street line, new buildings should transition back to the setback line of existing contributing buildings in order to maintain open views and vantage points from the street to the contributing buildings*

6. Guidelines for Properties Adjacent to an HCD

- *Properties adjacent to an HCD boundary should be considered under Part IV review and should be considered as an “immediate adjacency” to the heritage boundary*
- *Adjacent properties should be respectful in terms of character defined within the HCD boundary*
- *As per the Provincial Policy Statement - the Ontario Toolkit - properties located adjacent to an HCD boundary and especially properties within the valley lands, need to create a proper transition to adjacent HCD properties and integrate with the heritage open space system*

The proposed renovation and addition protect and conserve the attributes of the original construction as a Heritage Resource within the WHCD, as noted by the CHIA submitted in support of this application. The proposed work is sympathetic to the characteristics of the original building, maintaining its qualities of a contributing property within the WHCD. The proposed height of the rear and side addition are subordinate to the existing building, respecting the height guidelines of the WHCD Plan. The side addition is set back from the front line of the existing building, further preserving the contributing building characteristics.

Financial Impact

There are no requirements for new funding associated with this report.

Broader Regional Impacts/Considerations

There are no broader Regional impacts or considerations.

Conclusion

The Development Planning Department is satisfied the proposed alterations to the existing dwelling conform to the policies and guidelines within the Woodbridge Heritage Conservation District Plan. Accordingly, staff can support Council approval of the proposed demolition of the existing detached garage, renovation of the existing two-storey dwelling and the construction of a rear and side two-storey addition with an incorporated garage on the property at 32 Abell Avenue under the *Ontario Heritage Act*.

For more information, please contact: Wendy Whitfield Ferguson, Cultural Heritage Coordinator, ext. 8813

Attachments

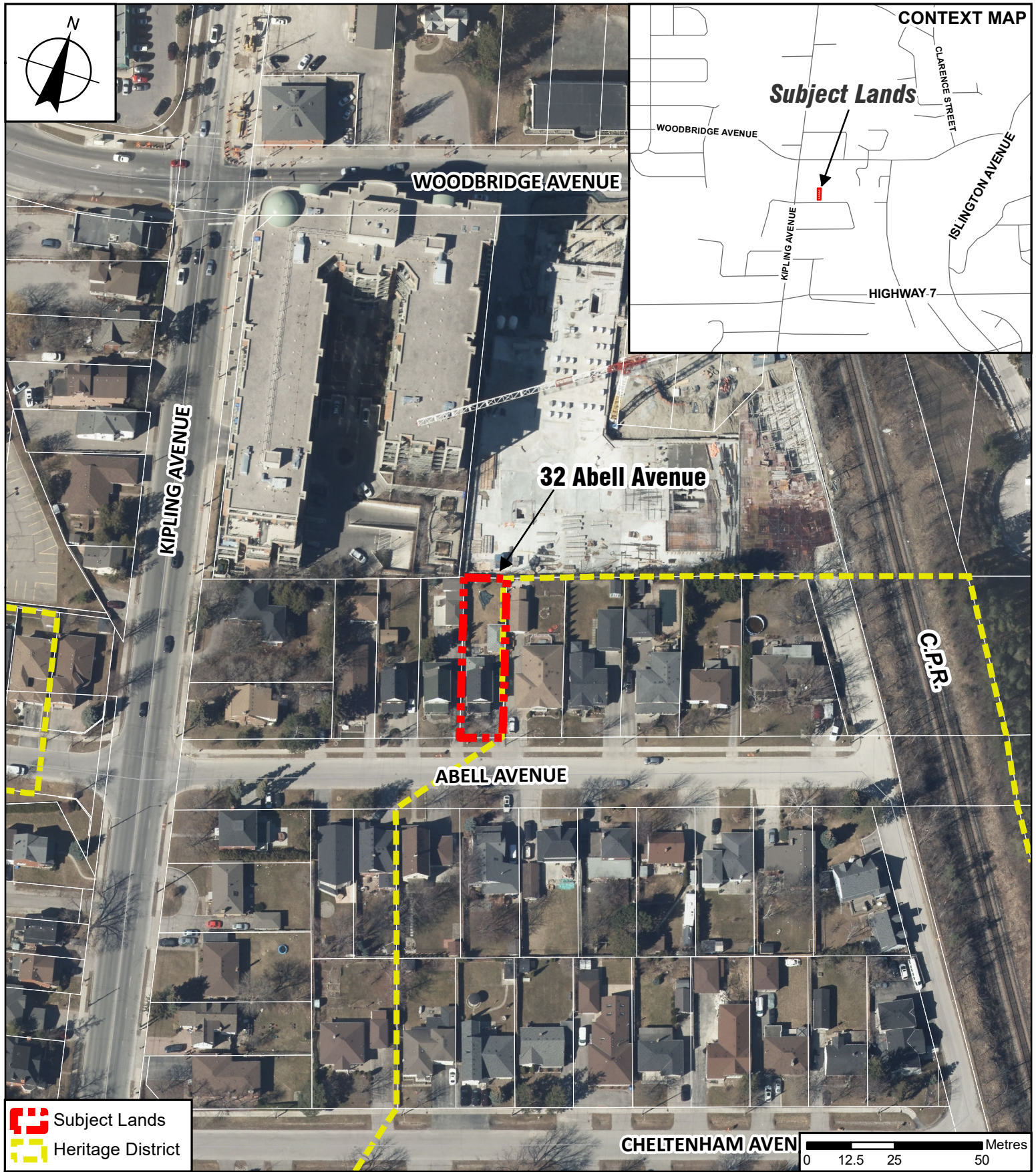
1. Attachment 1 – 32Abell – Location Map
2. Attachment 2 – 32Abell – CHIA
3. Attachment 3 – 32Abell – Site Plan
4. Attachment 4 – 32Abell – Floor Plans
5. Attachment 5 – 32Abell – Elevations
6. Attachment 6 – 32Abell – Rendering
7. Attachment 7 – 32Abell – Materials Palette

Prepared by

Nick Borcescu, Senior Heritage Planner, ext. 8191

Rob Bayley, Manager of Urban Design/Cultural Services, ext. 8254

Mauro Peverini, Director of Development Planning, ext. 8407



Location Map

Location:
32 Abell Avenue, Woodbridge
Part of Lot 7, Concession 7



Attachment

Date:
May 25, 2020

1



**32 Abell Avenue, Woodbridge
Vaughan**

(GBCA Project No: 20016)

Cultural Heritage Impact Assessment

March 30, 2020



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APPENDIX I - The Standards for Preservation, Rehabilitation and Restoration - From the *Standards and Guidelines for the Conservation of Historic Places in Canada*

APPENDIX II - Architectural Drawings

1. INTRODUCTION

1.1 Property Description

The property at 32 Abell Avenue is Designated under Part V of the *Ontario Heritage Act*, as part of the Woodbridge Heritage Conservation District (2009). The residential property includes a single-family detached, two-storey house, with a one-storey rear addition and a stand alone one-storey garage structure. According to the HCD Inventory the house dates 1900-1925.

The house is set-back from the street (with landscaping between the house and the sidewalk), and has a paved driveway on the east side of the property, leading to a separate one-storey garage structure in the rear.

1.2 Present Owner and Contact

Mark and Nancy Taylor
32 Abell Avenue
Woodbridge, ON
(647) 201-5026

1.3 Location Map







2. HISTORY AND HERITAGE EVALUATION

As per the direction from the Senior Heritage Planner, this Cultural Heritage Impact Assessment (CHIA) does not include the historical, architectural and contextual background of the property as would usually accompany a CHIA, as per the City of Vaughan's Guidelines. Background information for the property is contained within the Woodbridge Heritage Conservation District report.

The property was previously evaluated through the Building Inventory undertaken at the time of the HCD study. The property at 32 Abell Avenue is referred to as a Contributing Property in the Woodbridge HCD Plan. It is a typical four-square Edwardian residential building dating to the early twentieth century.

As the property is already designated under Part V of the Ontario Heritage Act (as part of the Woodbridge Heritage Conservation District) an evaluation under Ontario Regulation 9/06 is not warranted.



3. ALTERATION PROPOSAL

The proposed alterations are illustrated in the designs attached as Appendix II to this Report. The alterations can be summarized as follows:

- Addition of dormer windows onto the east and west sides of the existing pitched roof structure to extend living space in the attic level;
- Adding a second and third storey to the existing one-storey rear addition, and,
- Constructing a new two-storey garage structure with pitched roof attached to the expanded rear addition. (The existing one-storey separate garage structure will be demolished).

4. HERITAGE IMPACT ASSESSMENT

4.1 POLICY FRAMEWORK

The following Heritage and Planning Policies were used to assess the impact to the heritage resource.

Ontario Planning Act and Provincial Policy Statement (2014)

The City of Vaughan uses the Provincial Policy Statement (PPS) to guide its official plan and to inform decisions on other planning and development matters. It provides policy direction on matters of provincial interest related to land use planning and development and sets the policy foundation for regulating the development and use of land. Cultural Heritage is included as matters of provincial interest.

The Planning Act requires that all decisions affecting land use planning matters “shall be consistent with” the PPS.

The PPS, Section 2.6: Cultural Heritage and Archaeology states:

Section 2.6.1: Significant built heritage resources and significant cultural heritage landscapes shall be conserved.

Section 2.6.3: Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

Official Plan

The heritage policies in the City of Vaughan’s Official Plan provide the policy framework for heritage conservation in the City. The following Official Plan policies are relevant for this assessment.

6.3.2.3: It is the policy of Council to conserve Heritage Conservation Districts by approving only those alterations, additions, new developments, demolitions, removals and public works in accordance with the respective Heritage Conservation District Plans and the policies of the Plan

6.3.2.4: It is the policy of Council that any proposed private or public development within or adjacent to a Heritage Conservation District will be designed to respect and complement the identified heritage character of the district as described in the Heritage Conservation District Plan.

Ontario Heritage Legislation

The *Ontario Heritage Act* gives municipalities and the provincial government powers to preserve the heritage of Ontario. It provides the framework by defining municipal and provincial roles and by enabling municipal councils to pass by-laws under the Act that designate properties of cultural heritage value or interest. Properties can be designated under Part IV of the Act (for individual properties) or under Part V of the Act (for areas within a boundary defining a Heritage Conservation District). The properties that are designated under the *Ontario Heritage Act* are thereby defined as “significant built heritage resources” and therefore are subject to the above-mentioned planning policies.

The designation of an HCD invokes Section 42 of the Ontario Heritage Act, which states:

42. (1) No owner of property situated in a heritage conservation district that has been designated by a municipality under this Part shall do any of the following, unless the owner obtains a permit from the municipality to do so: 1) Alter, or permit the alteration of, any part of the property, other than the interior of any structure of building on the property. 2) Erect, demolish or remove any building or structure on the property or permit the erection, demolition or removal of such a building or structure.

The Standards and Guidelines for the Conservation of Historic Places in Canada

The Federal Agency Parks Canada *Standards and Guidelines for the Conservation of Historic Places in Canada* are accepted as the official document guiding planning, stewardship and conservation approach for all listed and designated heritage resources. The Standards are included as Appendix I to this report.

Woodbridge Heritage Conservation District Plan and Guidelines

The goal of the HCD Plan is to conserve the heritage resources within the district boundaries, preventing demolition or relocation. The information within the Plan provides guidance to both property owners and the municipality on the most appropriate ways of making changes to properties in the HCD boundaries.

The HCD Plan identifies seven Heritage Character Areas. These are Woodbridge Avenue; Kipling Avenue North and South; Wallace Street; William Street and James Street; Clarence Street and Park Drive; The Fairgrounds Area; and, the Humber River Corridor. In the District Plan, a list of attributes are laid out for each Heritage Character Area. And each Area has its own Guidelines. The subject property is located in the “Kipling Avenue South” Heritage Character Area.

It should be noted that the heritage attributes and the guidelines listed in the HCD Plan for this character area (see section 6.1.2 of the district Plan and Guidelines document) focus on properties that are located primarily along Kipling Avenue and are therefore not directly applicable to this residential property.

4.2 HERITAGE IMPACT ASSESSMENT

In accordance with the *Standards and Guidelines for the Conservation of Historic Places in Canada*, the project meets the following standards relating to preservation and rehabilitation:

- Conserve the heritage value of a historic place. Do not remove, replace, or substantially alter its intact or repairable character-defining elements.
- Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction.
- Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.
- Create any new additions or related new construction so that the essential form and integrity of an historic place will not be impaired if the new work is removed in the future.

The site alteration maintains in full the existing residential building, and is therefore consistent with the policies under the Ontario Planning Act (PPS) and under the City of Vaughan Official Plan. The alteration respects the character of the district.

The proposed addition is primarily to the rear of the existing four-square Edwardian era building, thereby conserving the front/public facade of the house on the streetscape. The garage portion of the addition is set well back from the face of the house so as to not affect the four-square characteristic. Houses of a similar age and style have previously been altered with garage additions (see photographs on the following page).

The proposed building materials are detailed on the drawings attached as Appendix II to this report. The addition will be clad in Hardie Panel (in a “board-and-batten” pattern) and will therefore be distinctive from the existing masonry, but being compatible with the heritage character of the district.

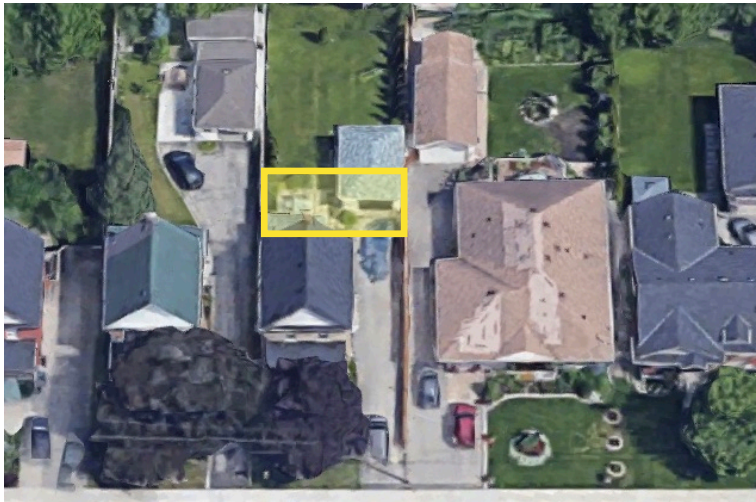
The proposed addition will not negatively impact the streetscape. The building immediately adjacent (to the east) is not a contributing building in the District and therefore the proposed addition does not impact adjacent properties (see photograph on the following page). The size of this adjacent property, along with the placement of the proposed addition towards the rear of the house, will diminish the visibility of the addition from the public realm.



23 Abell Avenue



27 Abell Avenue



38 Abell Avenue - adjacent to proposed addition

5. CONSERVATION/MITIGATION OPTIONS

According to the City of Vaughan's Guidelines for Cultural Heritage Impact Assessments, a CHIA must include a comprehensive examination of the following conservation / mitigation options:

- a) Avoidance Mitigation
- b) Salvage Mitigation
- c) Historical Commemoration

None of these conservation approaches are applicable in this instance where the heritage resource is being conserved in full and in situ.

6. CLOSURE

The information and data contained herein represents GBCA's best professional judgment in light of the knowledge and information available to GBCA at the time of preparation. GBCA denies any liability whatsoever to other parties who may obtain access to this report for any injury, loss or damage suffered by such parties arising from their use of, or reliance upon, this report or any of its contents without the express written consent of the GBCA and the client.

THE STANDARDS

The Standards are not presented in a hierarchical order. All standards for any given type of treatment must be considered, and applied where appropriate, to any conservation project.

General Standards for Preservation, Rehabilitation and Restoration

1. Conserve the *heritage value* of an *historic place*. Do not remove, replace or substantially alter its intact or repairable *character-defining elements*. Do not move a part of an historic place if its current location is a character-defining element.
2. Conserve changes to an *historic place* that, over time, have become *character-defining elements* in their own right.
3. Conserve *heritage value* by adopting an approach calling for *minimal intervention*.
4. Recognize each *historic place* as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.
5. Find a use for an *historic place* that requires minimal or no change to its *character-defining elements*.
6. Protect and, if necessary, stabilize an *historic place* until any subsequent *intervention* is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information.
7. Evaluate the existing condition of *character-defining elements* to determine the appropriate *intervention* needed. Use the gentlest means possible for any intervention. Respect *heritage value* when undertaking an intervention.
8. Maintain *character-defining elements* on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving *prototypes*.
9. Make any *intervention* needed to preserve *character-defining elements* physically and visually compatible with the *historic place* and identifiable on close inspection. Document any intervention for future reference.

Additional Standards Relating to Rehabilitation

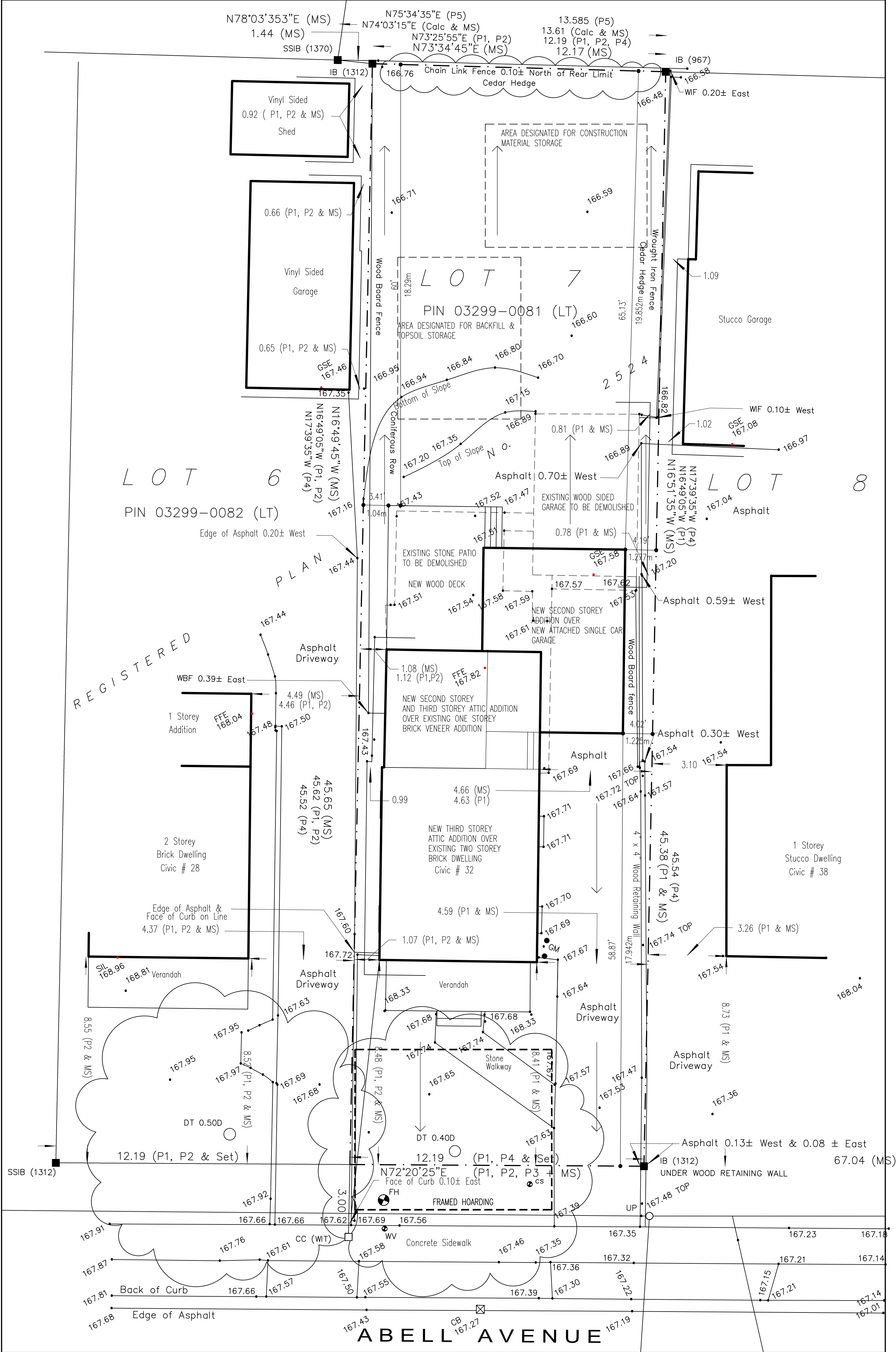
10. Repair rather than replace *character-defining elements*. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the *historic place*.
11. Conserve the *heritage value* and *character-defining elements* when creating any new additions to an *historic place* or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.
12. Create any new additions or related new construction so that the essential form and integrity of an *historic place* will not be impaired if the new work is removed in the future.

Additional Standards Relating to Restoration

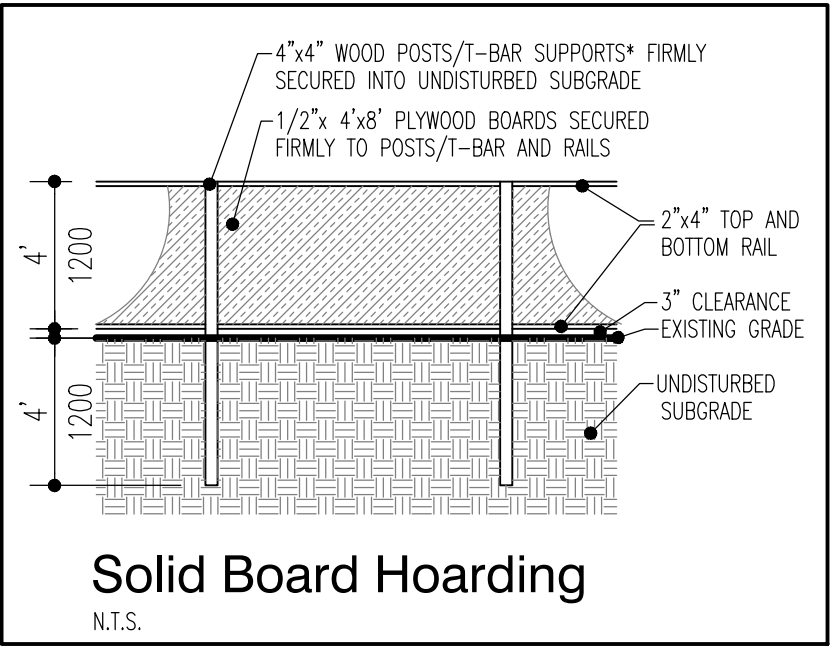
13. Repair rather than replace *character-defining elements* from the *restoration* period. Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.
14. Replace missing features from the *restoration* period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.

APPENDIX II

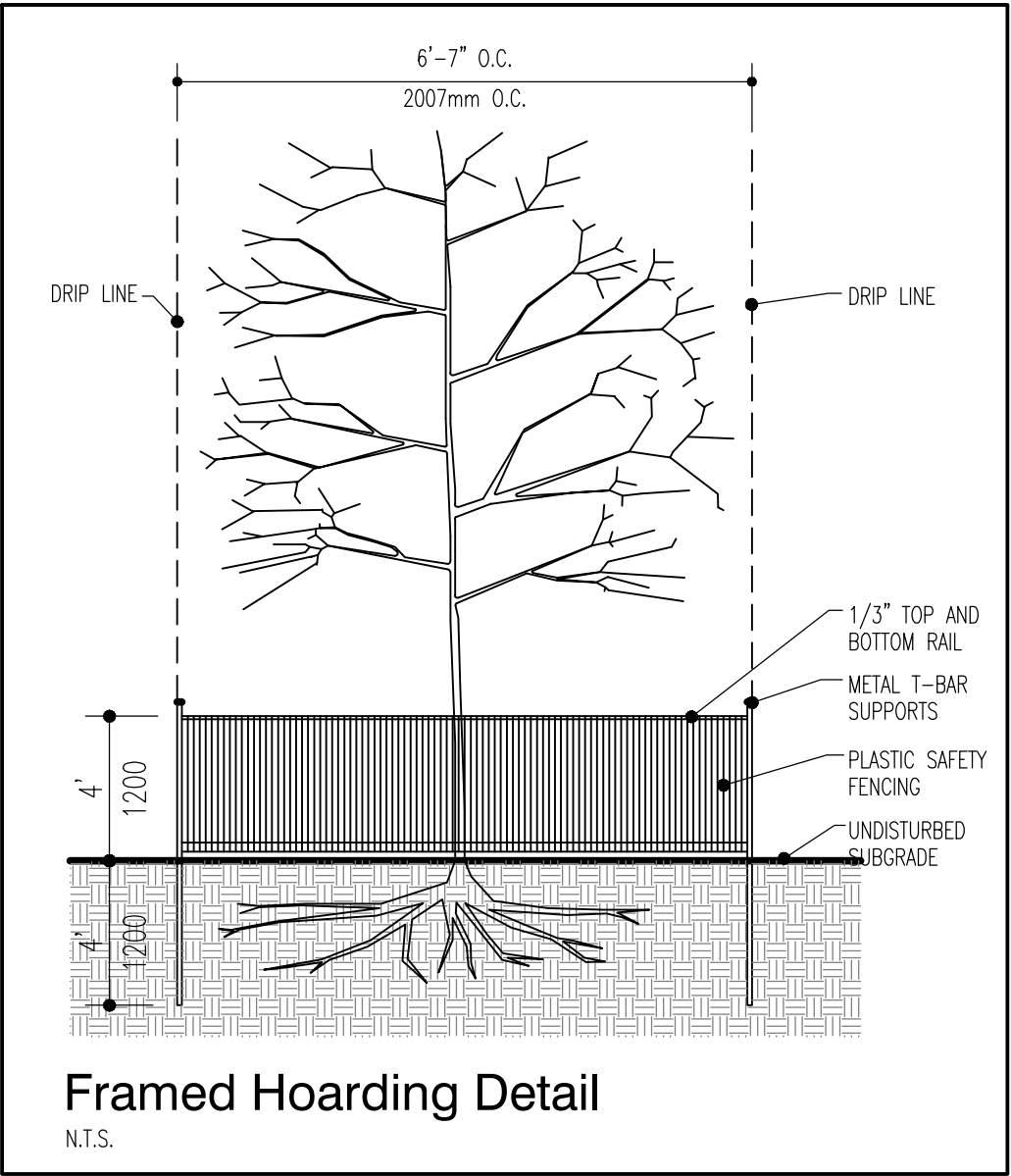
Architectural Drawings



Site Schedule	CITY OF VAUGHAN ZONING BY-LAW 1-88 (R2)	EXISTING	NEW	TOTAL
LOT AREA:	MIN. LOT AREA 4843.76 s.f. (450 s.m.)	5966.5 s.f. (554.31 s.m.)	NOT APPLICABLE	5966.5 s.f. (554.31 s.m.)
MINIMUM LOT FRONTAGE:	49.21' (15.0m)	40.0' (12.19m)	NOT APPLICABLE	40.0' (12.19m)
FIRST FLOOR AREA: EXCLUDING GARAGE		783.5 s.f. (72.79 s.m.)	125.6 s.f. (11.67 s.m.)	909.1 s.f. (84.46 s.m.)
SECOND FLOOR AREA:		562.2 s.f. (52.23 s.m.)	732.8 s.f. (68.08 s.m.)	1295.0 s.f. (120.31 s.m.)
THIRD FLOOR AREA:		NOT APPLICABLE	614.2 s.f. (57.06 s.m.)	614.2 s.f. (57.06 s.m.)
TOTAL FLOOR AREA: EXCLUDING GARAGE		1345.7 s.f. (125.02 s.m.)	1472.6 s.f. (136.81 s.m.)	2818.3 s.f. (261.83 s.m.)
SETBACKS:				
FRONT YARD: MINIMUM	24.61' (7.5m)			
SIDE YARD: MINIMUM	3.94' (1.2m); SIDE YARD SHIFTING 0.3m PERMITTED			
REAR YARD: MINIMUM	24.61' (7.5m)			
BUILDING HEIGHT: MAXIMUM	31.17' (9.5m)	31.62' (9.639m) TO PEAK OF ROOF	31.62' (9.639m) TO PEAK OF ROOF	
BUILDING LENGTH: MAXIMUM	NOT APPLICABLE		50.71' (15.456m)	
BUILDING DEPTH: MAXIMUM	NOT APPLICABLE		50.71' (15.456m)	
LOT COVERAGE: INCLUDES GARAGE, PORCH, PATIO	40%		1684.1 s.f. (156.46 s.m.) 28.2%	
MAXIMUM FINISHED FIRST FLOOR HEIGHT	NOT APPLICABLE		3'-3" (0.991m) FROM ESTABLISHED GRADE	
MAXIMUM NUMBER OF STOREYS	NOT LIMITED			
VAUGHAN SNOW LOAD: 1.1 kPa				
CLIMATIC ZONE: ZONE 1 (< 5000 DEGREE DAYS)				
ASSUMED SOIL BEARING CAPACITY: STIFF CLAY MAXIMUM ALLOWABLE BEARING PRESSURE 150kPa (3130 PSI)				



Established Grade Calculations	
NORTH SIDE GRADE ELEVATION 0.01m PAST SIDE LOT LINE AT FRONT YARD SETBACK OF 7.5m	105.31
SOUTH SIDE GRADE ELEVATION 0.01m PAST SIDE LOT LINE AT FRONT YARD SETBACK OF 7.5m	105.18
∴ (105.31+105.18)/2 = (AVERAGE ELEVATION)	105.25



FOR HEATING, VENTILATION AND AIR CONDITIONING
REFER TO QUALIFIED H.V.A.C. B.C.I.N. DESIGNER'S
DRAWINGS FOR HEAT LOSS CALCULATIONS, SUPPLY AND RETURN
AIR DUCT LAYOUTS AND FURNACE SIZING

FOR PLUMBING SUPPLY/DRAIN LINES, VENTING LOCATIONS AND SIZES
REFER TO QUALIFIED PLUMBING B.C.I.N. DESIGNER'S
DRAWINGS IF REQUIRED BY THE MUNICIPALITY.
THE ARCHITECTURAL DRAWINGS PROVIDE PLUMBING
FIXTURE LOCATIONS ONLY.

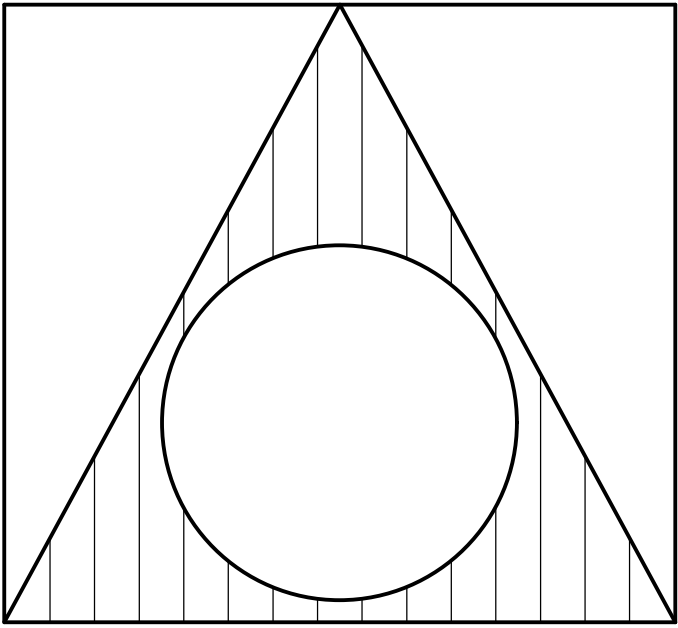
FOR ELECTRICAL SUPPLY PANEL AND SIZE, ELECTRICAL SWITCHES/RECEPTACLES,
CABLE TV OUTLETS, INTERNET, CENTRAL VACUUM AND TELEPHONE
REFER TO QUALIFIED ELECTRICIAN'S ELECTRICAL PLANS AND REFLECTED CEILING DRAWINGS.

FOR ENGINEERED FLOOR JOISTS, BEAMS AND TRUSSES
REFER TO QUALIFIED ENGINEERED STAMPED DRAWINGS
FOR CALCULATIONS AND LAYOUTS.



HOARDING NOTES:
1. HOARDING DETAILS TO BE DETERMINED FOLLOWING INITIAL SITE INSPECTION.
2. HOARDING TO BE APPROVED BY MUNICIPALITY.
3. HOARDING MUST BE SUPPLIED, INSTALLED AND MAINTAINED BY THE APPLICANT THROUGHOUT ALL PHASES OF CONSTRUCTION, UNTIL APPROVAL TO REMOVE HOARDING IS OBTAINED FROM MUNICIPALITY.
4. DO NOT ALLOW WATER TO COLLECT AND POND BEHIND OR WITHIN HOARDING.
* T-BAR SUPPORTS FOR SOLID HOARDING WILL ONLY BE ALLOWED WITH PRE APPROVAL FROM DEVELOPMENT AND DESIGN.

STANDARD NOTES:
THE PORTIONS OF THE DRIVEWAY WITHIN THE MUNICIPAL BOULEVARD WILL BE PAVED BY THE APPLICANT.
AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.
ALL PROPOSED CURBING WITHIN THE MUNICIPAL BOULEVARD AREA FOR THE SITE IS TO SUIT AS FOLLOWS: FOR ALL SINGLE FAMILY RESIDENTIAL PROPERTIES INCLUDING ON STREET TOWNHOUSES, ALL CURBING IS TO STOP AT THE PROPERTY LIMIT OR THE BACK OF THE MUNICIPAL SIDEWALK, WHICHEVER IS APPLICABLE. ALL EXCESS EXCAVATED MATERIAL WILL BE REMOVED FROM THE SITE. THE EXISTING DRAINAGE PATTERN WILL BE MAINTAINED EXCEPT WHERE NOTED. THE APPLICANT WILL BE REQUIRED TO CONTACT ALL UTILITY COMPANIES TO OBTAIN ALL REQUIRED LOCATES PRIOR TO THE INSTALLATION OF HOARDING WITHIN THE MUNICIPAL RIGHT OF WAY. THE APPLICANT WILL BE RESPONSIBLE FOR THE COST OF ANY UTILITY RELOCATIONS NECESSITATED BY THE SITE PLAN. PRIOR TO CONSTRUCTION TAKING PLACE, ALL REQUIRED HOARDING IN ACCORDANCE WITH THE ONTARIO OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS MUST BE ERECTED AND THEN MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION.



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QUALIFICATION INFORMATION
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TOIVO VAHI
NAME SIGNATURE BCIN 31358

REGISTRATION INFORMATION
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2434627 ONTARIO INC.
o/a TOIVO VAHI DESIGN
FIRM NAME BCIN 32927

2.	REVISED FOR HERITAGE REVIEW	31/01/20	T.V.
1.	ISSUED FOR PERMIT REVIEW	26/09/19	T.V.
NO.	REVISION	DATE	APPR.

PROJECT:
NEW TWO STOREY REAR ADDITION WITH ATTACHED GARAGE TO EXISTING TWO STOREY SINGLE FAMILY DWELLING
32 Abell Avenue
VAUGHAN, ONTARIO

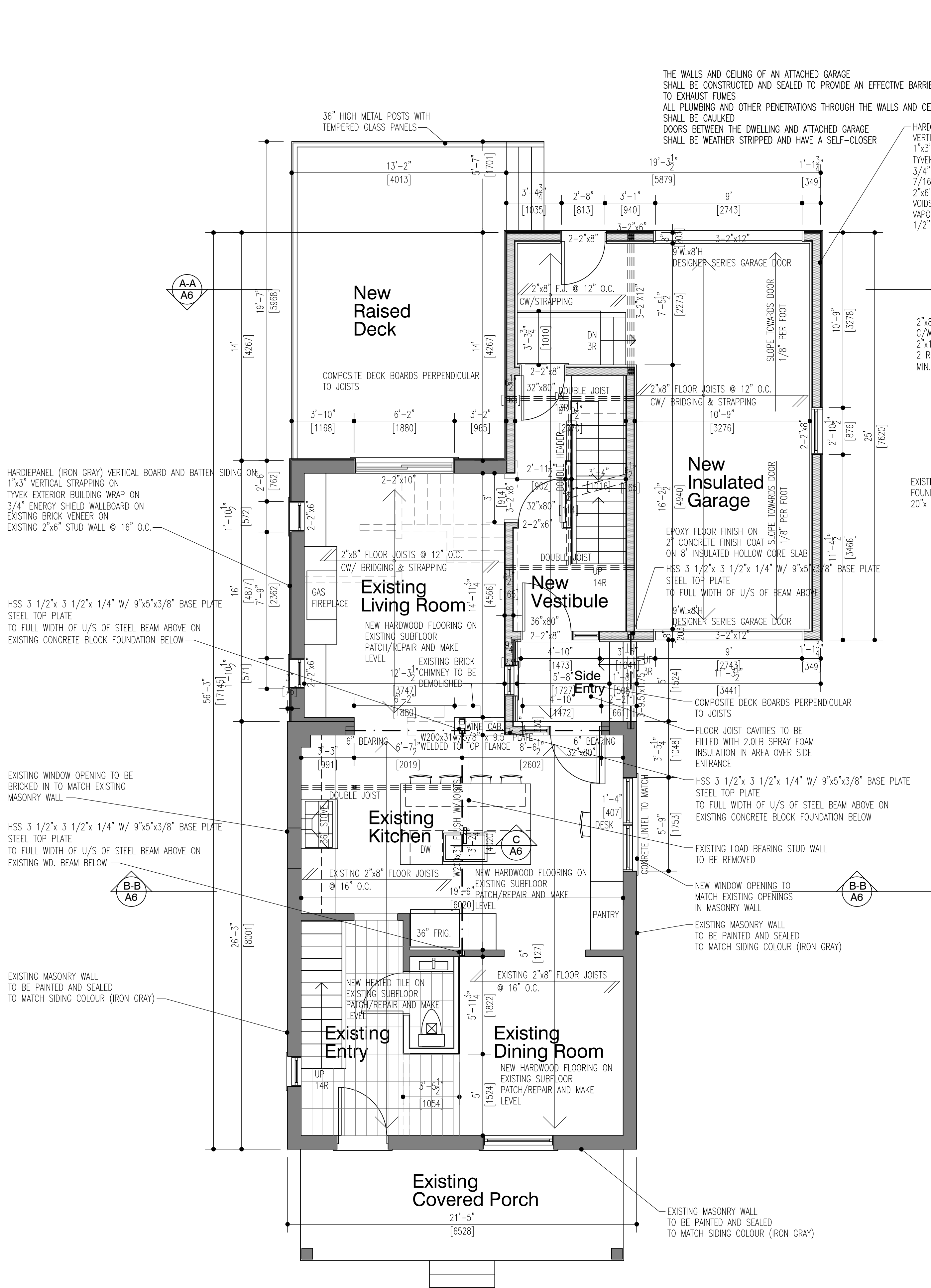
TRUE NORTH	PROJECT NORTH

DRAWING CONTENT:

Site Plan
Site Schedule

DRAWN BY: T.V.	PROJ. NO.: 2018-06	DRAWING NO.:
DATE: SEPT. 2018		
SCALE: AS NOTED		

A1

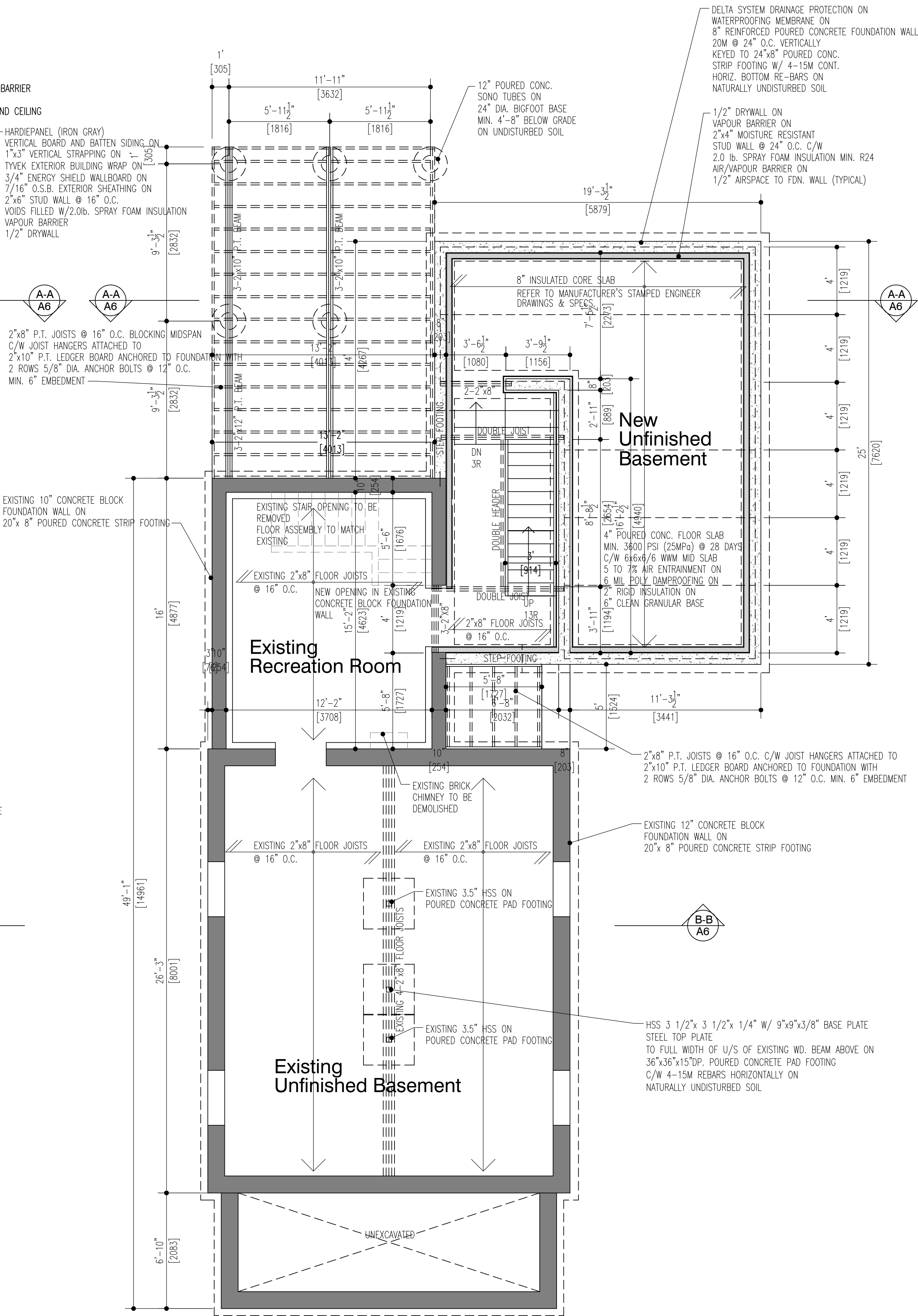


First Floor Plan

SCALE: 1/4"=1'-0" 1:50

EXISTING FLOOR AREA: 783.5 S.F. (72.97 s.m.)
NEW FLOOR AREA: 125.6 S.F. (11.67 s.m.)
TOTAL FLOOR AREA: 911.1 S.F. (84.64 s.m.)

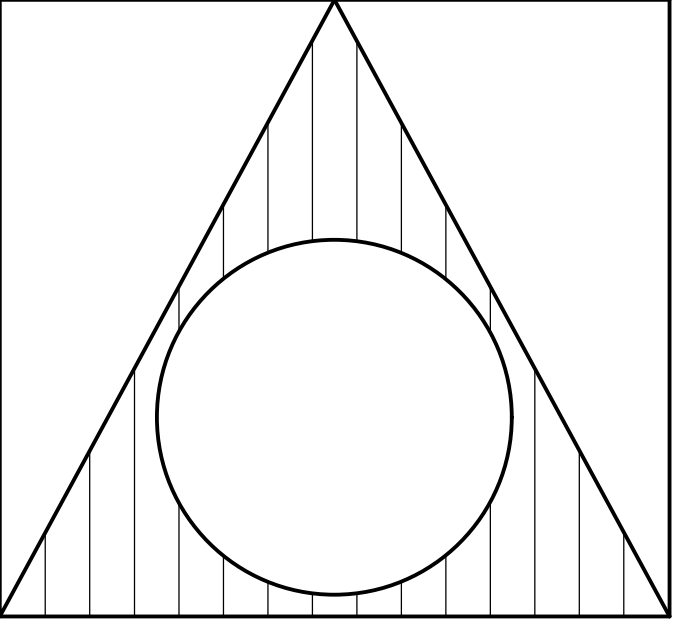
EXISTING WALLS TO REMAIN
EXISTING WALLS TO BE DEMOLISHED



Basement Plan

SCALE: 1/4"=1'-0" 1:50

EXISTING WALLS TO REMAIN
EXISTING WALLS TO BE DEMOLISHED



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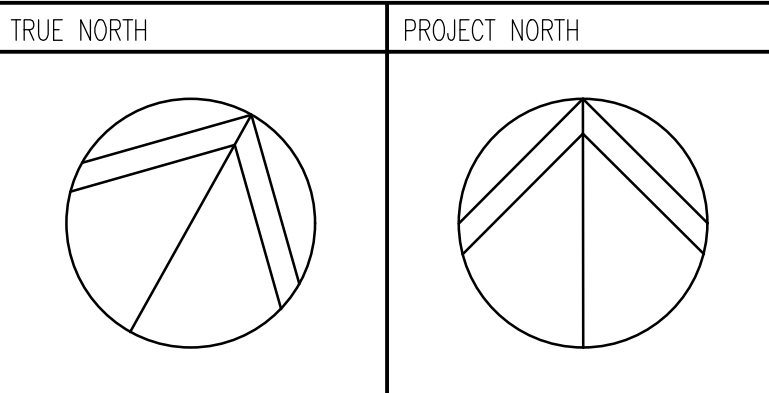
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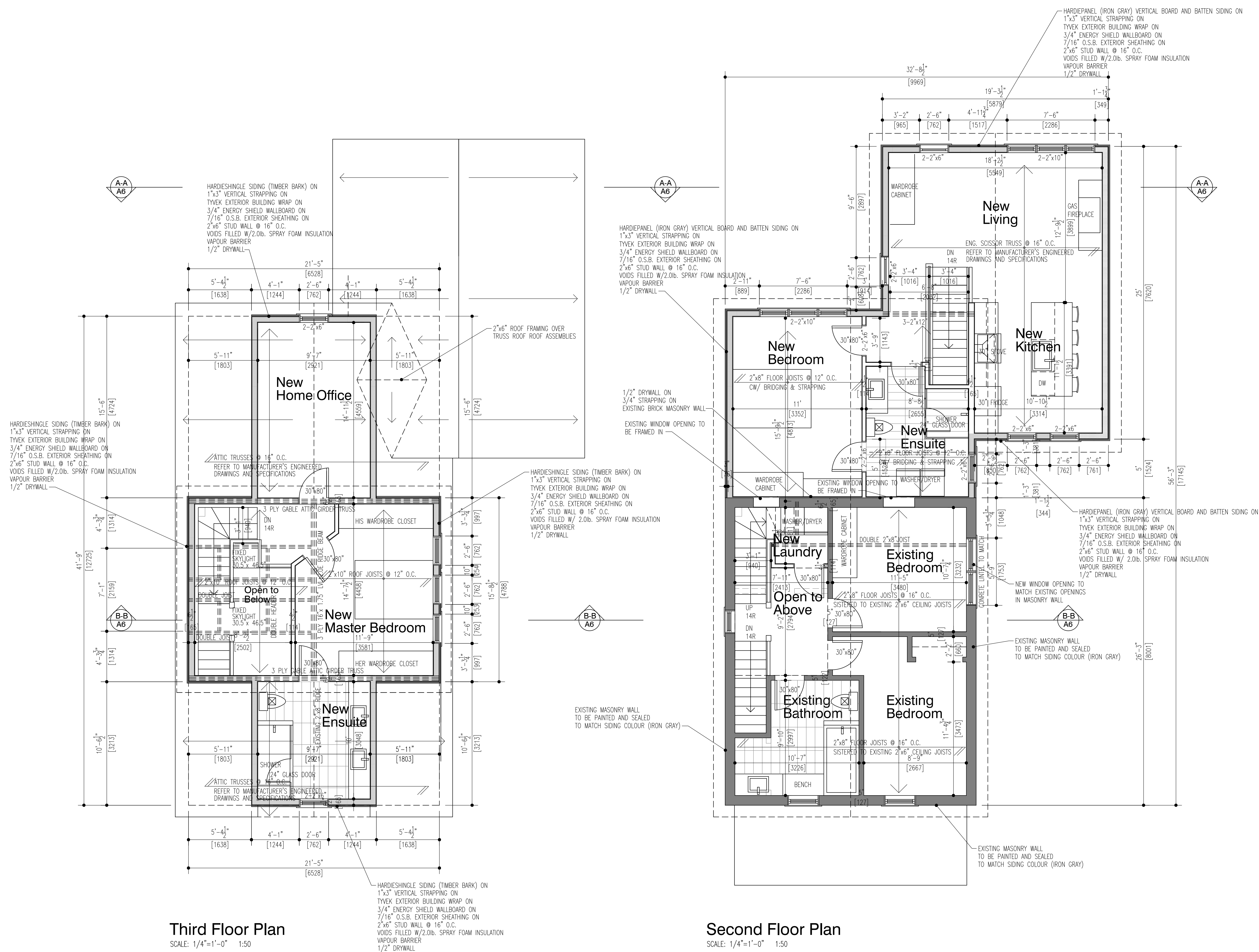


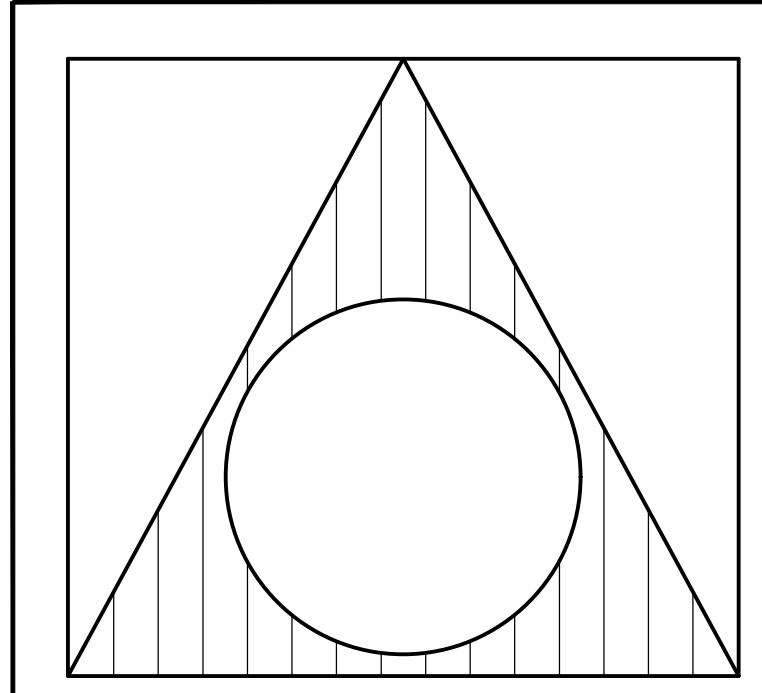
DRAWING CONTENT:

Basement Plan
First Floor Plan

DRAWN BY: T.V.	PROJ. NO.: 2018-06	DRAWING NO.:
DATE: SEPT. 2018		
SCALE: AS NOTED		

A2





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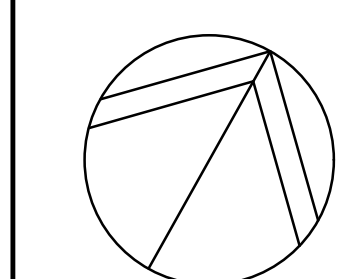
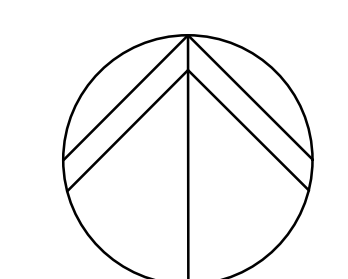
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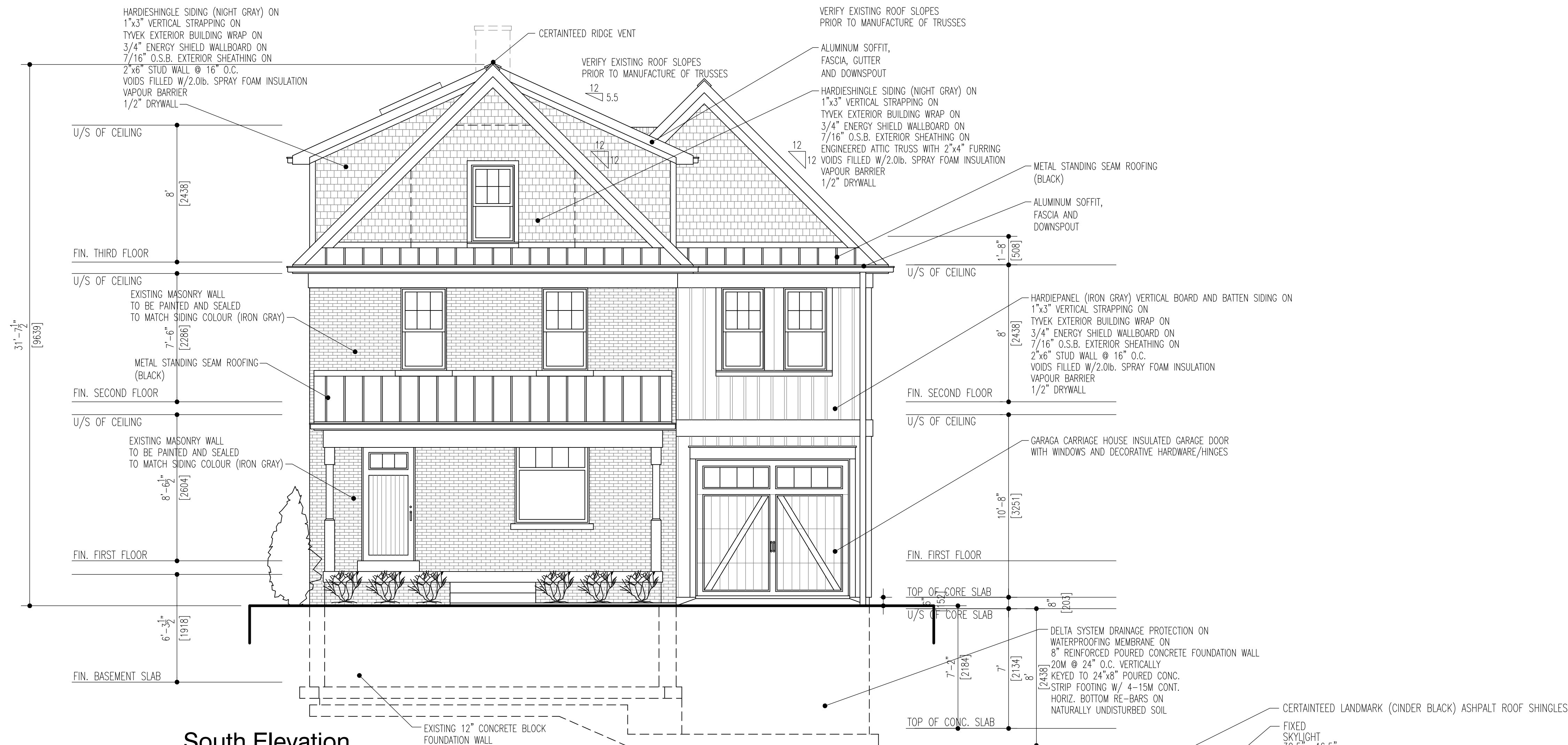
32 Abell Avenue
VAUGHAN, ONTARIO

TRUE NORTH	PROJECT NORTH
	

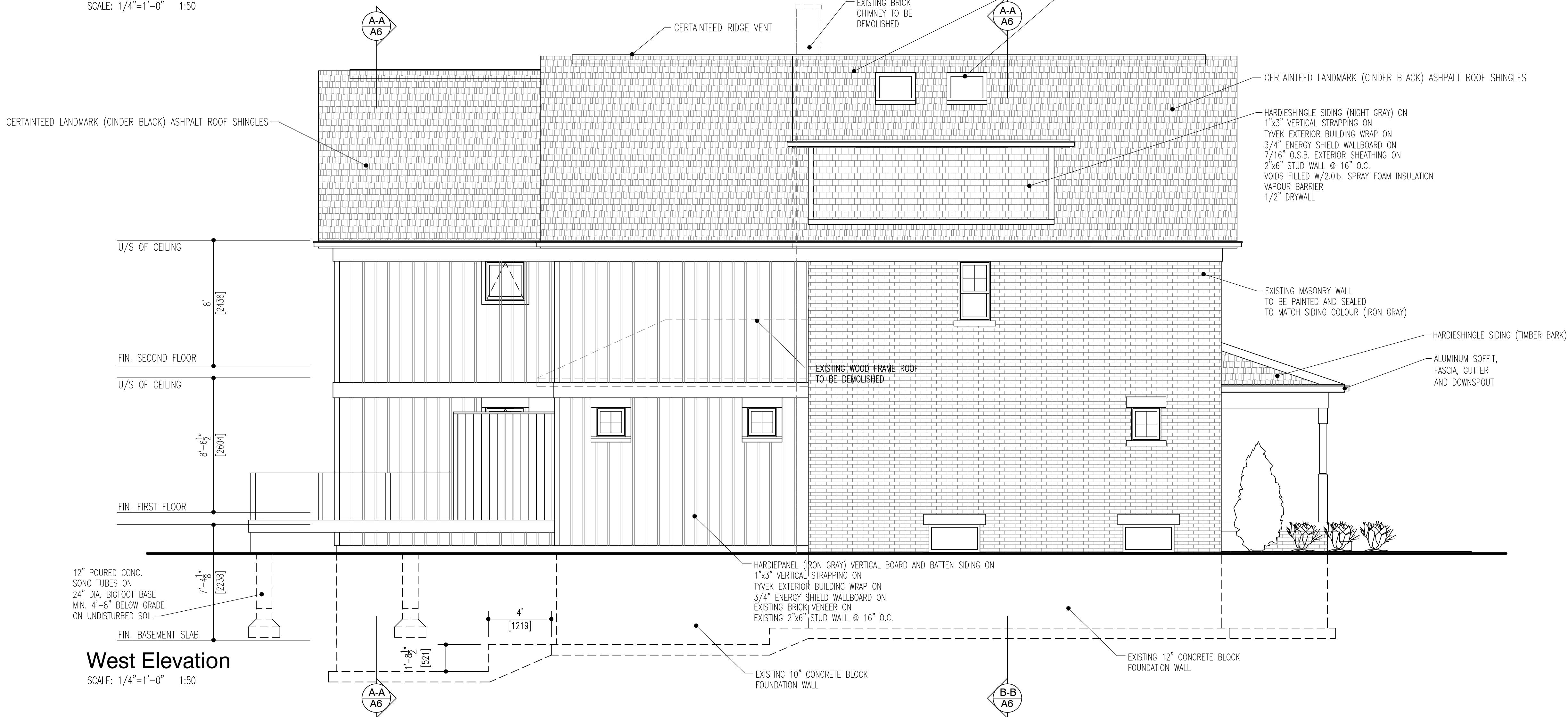
DRAWING CONTENT:

Second Floor Plan
Third Floor Plan

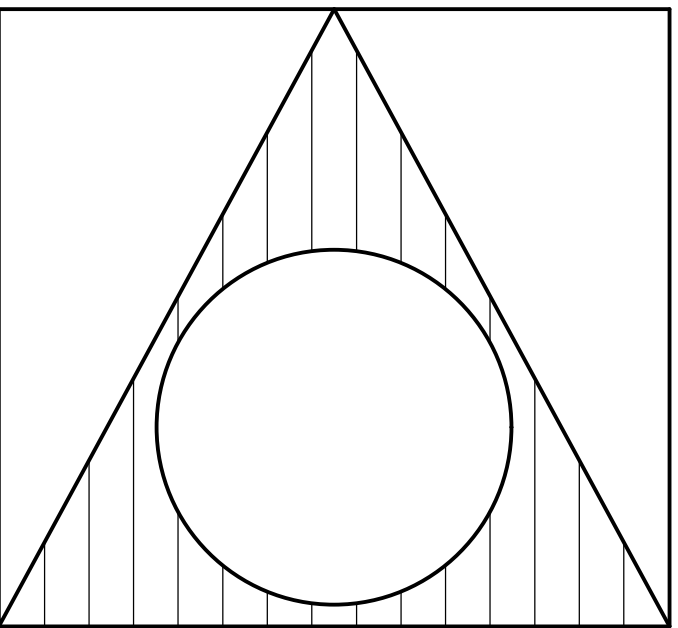
DRAWN BY: T.V.	PROJ. NO.: 2018-06	DRAWING NO.:
DATE: SEPT. 2018	A3	
SCALE: AS NOTED		



South Elevation
SCALE: 1/4"=1'-0" 1:50



West Elevation
SCALE: 1/4"=1'-0" 1:50



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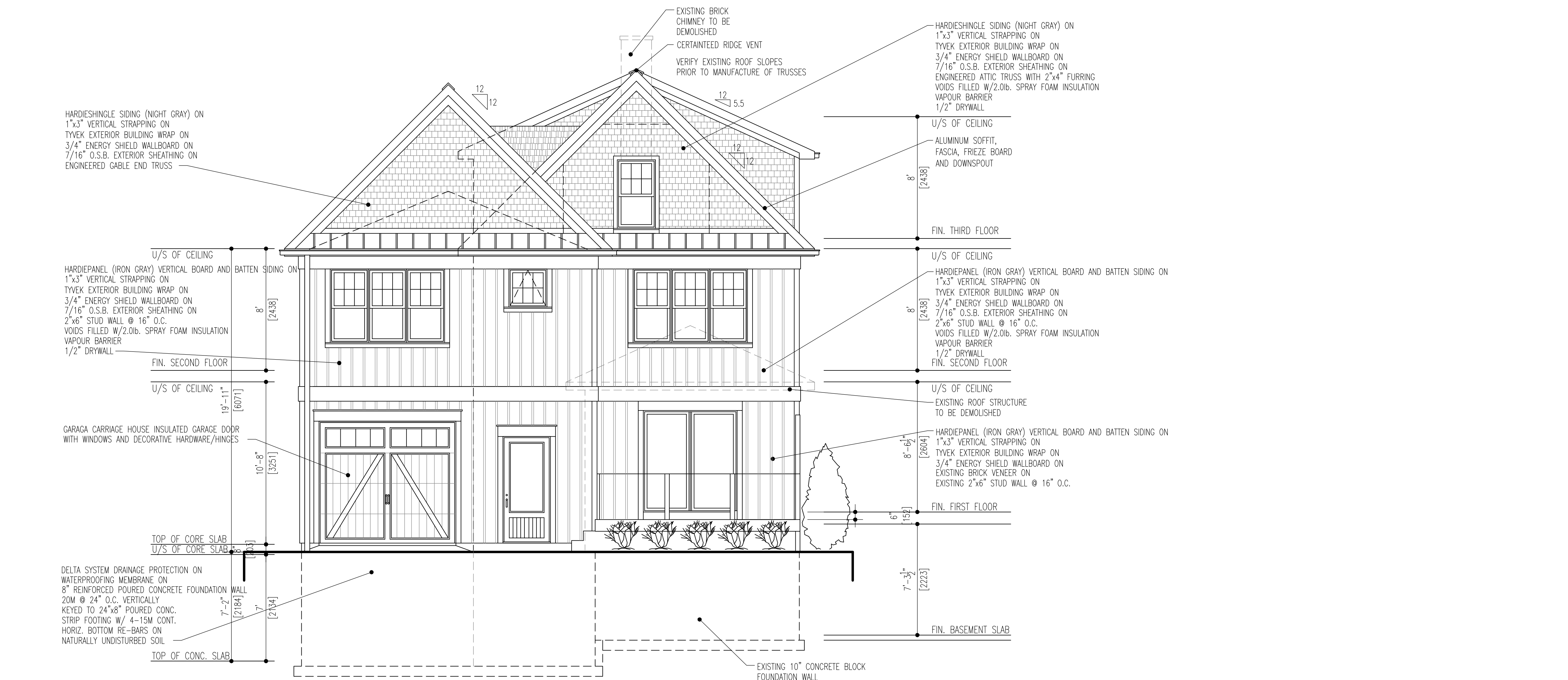
TRUE NORTH	PROJECT NORTH

DRAWING CONTENT:

Elevations

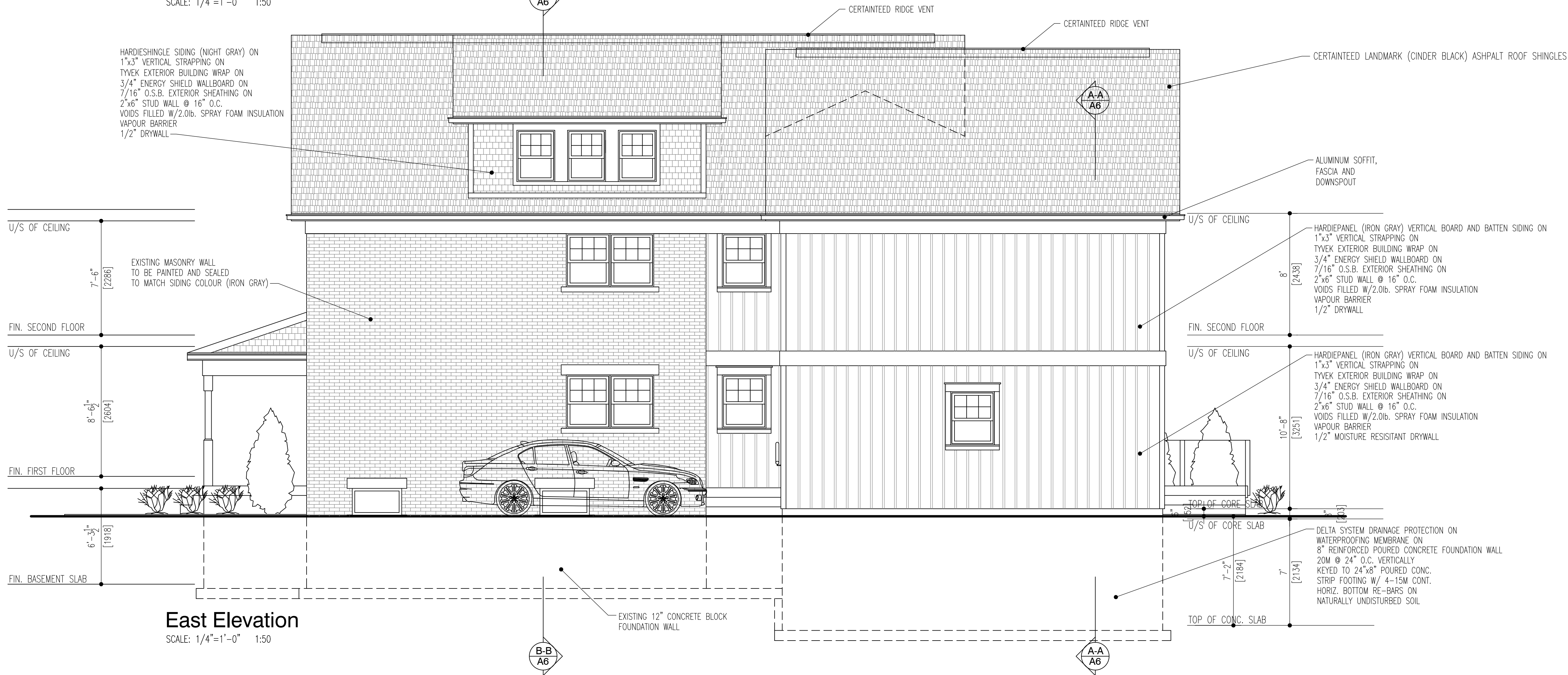
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DATE: SEPT. 2018		
SCALE: AS NOTED		

A4



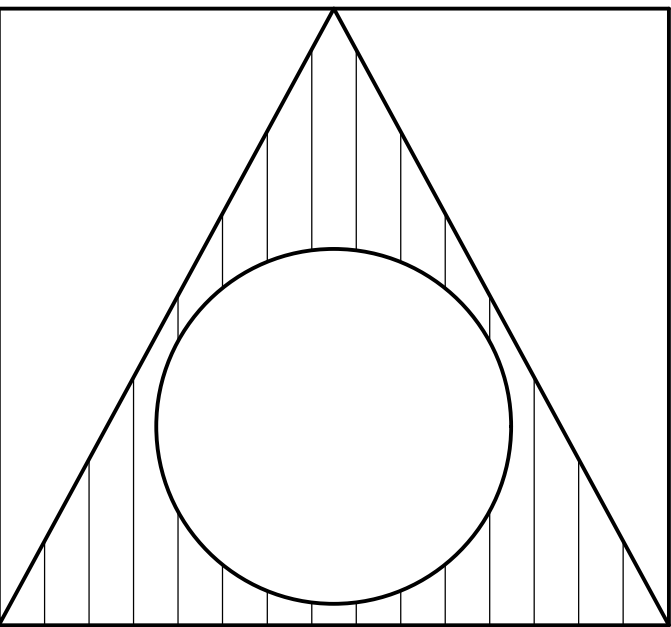
North Elevation

SCALE: 1/4"=1'-0" 1:50



East Elevation

SCALE: 1/4"=1'-0" 1:50



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TRUE NORTH	PROJECT NORTH

DRAWING CONTENT:

Elevations

DRAWN BY: T.V.	PROJ. NO.: 2018-06	DRAWING NO.:
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A5

General Notes

NOTES ON ARCHITECTURAL DRAWINGS, ENGINEERING DRAWINGS AND MANUFACTURER'S SPECIFICATIONS
SUPERCEDE THE GENERAL NOTES. ALL NOTES MUST COMPLY TO THE ONTARIO BUILDING CODE REGULATIONS.

Excavation and Backfill

Excavation shall be undertaken in such a manner so as to prevent damage to existing structures, adjacent property and utilities
The topsoil and vegetable matter in unexcavated areas under a building shall be removed.
The bottom of excavations for foundations shall be free of all organic material
If termiles are known to exist, all stumps, roots and debris shall be removed to a minimum depth of 11 3/4" in excavated areas under a building, and the clearance between untreated structural wood elements and the ground shall be no less than 17 3/4"
Backfill within 23 5/8" of the foundation walls shall be free of deleterious debris and boulders over 9 7/8" in diameter

Dampproofing and Drainage

In normal soil conditions, the exterior surfaces of foundation walls enclosing basements and crawl spaces shall be dampproofed. Where hydrostatic pressure occurs, a waterproofing system is required
Masonry foundation walls shall be parged with 1/4" of mortar covered over the footing prior to dampproofing
Foundation drains shall be laid on level, undisturbed ground adjacent to the footings at or below the top of the basement slab or crawl space floor, and shall be covered with 6" of crushed stone. Foundation drains shall drain to a storm sewer, drainage ditch, dry well or sump
Window wells shall be drained to the footing
Downspouts not directly connected to a storm sewer shall have extensions to carry water away from the building, and provisions shall be made to prevent soil erosion
Concrete slabs in attached garages shall be sloped to drain to the exterior
The building site shall be graded so that surface, sump and roof drainage will not accumulate at or near the building and will not adversely affect adjacent properties

Footings

- minimum 2200 psi poured concrete
- minimum 48" below finished grade
- Footings shall be founded on natural undisturbed soil, rock or compacted granular fill with minimum bearing capacity of 1570psf

Footing Size

Floors Supported	Supporting Ext. Wall	Supporting Int. Wall	Column Area
1	9 7/8"	9 7/8"	4.3 ft ²
2	13 3/4"	13 3/4"	8.1 ft ²
3	17 3/4"	19 3/4"	10.9 ft ²

• Increase footing width by 2 5/8" for each storey of brick veneer supported, and by 5 1/8" for each storey of masonry
• The projection of an unreinforced footing beyond the wall supported shall not be greater than its thickness

Step Footings

- Vertical Rise 23 5/8" Max.
Horizontal Run 23 5/8" Min.

Wood Frame Construction

- All lumber shall be spruce-pine-fir No.1 &2, and shall be identified by a grade stamp
- Maximum moisture content 19% at time of installation
- Wood framing members which are supported on concrete in direct contact with soil shall be separated from the concrete with 6 mil polyethylene

Walls

- Exterior walls shall consist of:
 - cladding, brick veneer or stucco
 - sheathing paper lapped 4" at joints
 - 7/16" fibreboard or gypsum board or 7/16" plywood sheathing
 - 2x6 studs @ 16" o.c.
 - 2x6 bottom plate and double 2x6 top plate
 - 2x4 studs @ 16" o.c. can be utilized provided the combined R value of the batt insulation and exterior rigid insulation achieves R=24.
- Interior loadbearing walls shall consist of:
 - 2x4 studs @ 16" o.c.
 - 2x4 bottom plate and double 2x4 top plate
 - 2x4 mid-girts if not sheathed
 - 1/2" gypsum board sheathing

Floors

- See Tables for floor joist size and spacing requirements
- Joists to have minimum 1 1/2" of end bearing
- Joists shall bear on a sill plate fixed to foundation with 1/2" anchor bolts @ 7" o.c.
- Header joists between 3' 11" and 10' 6" in length shall be doubled. Header joists exceeding 10' 6" shall be sized by calculations
- Trimmer joists shall be doubled when supporting header is between 2' 7" and 6' 7". Trimmer joists shall be sized by calculations when supported header exceeds 6' 7".
- 2x2 cross bridging required not more than 6' 11" from each support and from other rows of bridging
- Joists shall be supported on joist hangers at all flush beams, trimmers, and headers.
- Joists located under parallel non-loadbearing partitions shall be doubled
- See Tables for subflooring requirements

Foundation Walls

- To be poured concrete, unit masonry or preserved wood (see drawings for type and thickness)
- Dampproofing shall be a heavy coat of bituminous material
- Foundation wall to extend minimum 5 7/8" above finished grade.
- A drainage layer is required on the outside of a foundation wall where the interior insulation extends more than 2'-11" below exterior grade. A drainage layer shall consist of:
 - Min. 3/4" mineral fibre insulation with min. Density of 3.6 lb/ft³
 - Min. 4" of free drainage granular material, or
 - An approved system which provides equivalent performance
- Foundation walls shall be braced or have the floor joists installed before backfilling

Concrete Floor Slabs

- Garage, carport and exterior slabs and exterior steps shall be 4500psi concrete with 5-8#x8x4 reinforcement
- Other slabs 3500psi concrete
- Minimum 3" thick, placed on a minimum 4" of coarse, clean, granular material
- All fill other than coarse clean material placed beneath concrete slabs shall be compacted to provide uniform support

Masonry Walls

- Where constructed of 3 1/2" brick, wall shall be bonded with header course every 6th course
- Provide 2" solid masonry or continuous 1 1/2" plate under all roof and floor framing members
- Provide 7 1/2" solid masonry under beams and columns
- Masonry wall to be tied to each tier of joists with 1 9/16" x 3/16" corrosion resistant steel straps, keyed minimum 4" into masonry. When joists are parallel to wall, ties are to extend across at least 3 joists @ 6" o.c.
- Inside back of wall to be parged and covered with No.15 breather-type asphalt paper
- For reduced foundation walls to allow a brick facing while maintaining lateral support, tie minimum 3 1/2" brick to minimum 3 1/2" back-up block, with corrosion resistant ties at least 0.020", in cross sectional area, spaced 7 7/8" vertically and 2'-11" horizontally, with joints completely filled with mortar
- Masonry over openings shall be supported on corrosion resistant or prime coated steel lintels with a minimum of 5 7/8" and bearing

Masonry Veneer

- Minimum 2 3/4" thick if joints are not raked and 3 1/2" thick if joints are raked
- Minimum 1" air space to sheathing
- Provide weep holes @ 31 1/2" o.c. at the bottom of the cavity and over doors and windows
- Direct drainage through weep holes with 20 mil poly flashing extending minimum 5 7/8" up behind the sheathing paper
- Veneer ties minimum 0.030" thick x 7/8" wide corrosion resistant straps spaced @ 23 5/8" vertically and 15 3/4" horizontally
- Fasten ties with corrosion resistant 0.125" diameter screws or spiral nails which penetrate at least 1-3/16" into studs

Roof & Ceilings

- See Tables for rafter, roof joist and ceiling joist size and spacing requirements
- Hip and valley rafters shall be 2" deeper than common rafters
- 2x4 collar ties @ rafter spacing with 1x4 continuous brace at mid span if collar tie exceeds 7' 10" in length
- See Tables for roof sheathing requirements

Notching & Drilling of Trusses, Joists, Rafters

- Holes in floor, roof and ceiling members to be maximum 1/4" actual depth of member and not less than 2" from edges
- Notches in floor, roof and ceiling members to be located on top of the member within 1/2" of the actual depth from the edge of bearing and not greater than 1/3 joist depth
- Wall studs may be notched or drilled provided that no less than 2/3 the depth of the stud remains, if load bearing, and 1 9/16" if non-load bearing
- Roof truss members shall not be notched, drilled or weakened unless accommodated in the design

Roofing

- Fasteners for roofing shall be corrosion resistant. Roofing nails shall penetrate through or at least 1/2" into roof sheathing
- Every asphalt shingle shall be fastened with at least 4 nails
- Eave protection shall extend 2' 11" up the roof slope from the edge, and at least 11 3/4" from the inside face of the exterior wall, and shall consist of Type M or Type S Roll Roofing laid with minimum 4" head and end laps cemented together, or glass Fibre or Polyester Fibre coated base sheets, or self sealing composite membranes consisting of modified bituminous coated material. Eave protection is not required for unheated buildings, for roofs exceeding a slope of 1 in 1.5, or where a low slope asphalt shingle application is provided
- Open valleys shall be flashed with 2 layers of roll roofing, or 1 layer of steel sheet min. 23 5/8" wide
- Flashing shall be provided at the intersection of shingle roofs with exterior walls and chimneys
- Sheet metal flashing shall consist of not less than 1/16" sheet lead, 0.013" galvanized steel, 0.018" copper, 0.018" zinc, or 0.019" aluminum

Natural Ventilation

- Every roof space above an insulated ceiling shall be ventilated, with unobstructed openings equal to not less than 1/150 of insulated area
- Insulated roof spaces not incorporating an attic shall be ventilated with unobstructed openings equal to not less than 1/150 of insulated area
- Roof vents shall be uniformly distributed and designed to prevent the entry of rain, snow or insects
- Unheated crawl spaces shall be provided with 1.1 ft² of ventilation for each 538 ft²
- Minimum natural ventilation areas, where mechanical ventilation is not provided, are:
 - Bathrooms: 0.97 ft²
 - other rooms: 3 ft²
- Unfinished basement: 0.2% of floor area

Doors and Windows

- Every floor level containing a bedroom and not served by an exterior door shall contain at least 1 window having an unobstructed area of 3.8 ft² and no dimension less than 15", which is openable from the inside without tools
- Exterior house doors and windows within 6' 7" from grade shall be constructed to resist forced entry. Doors shall have a deadbolt lock
- The principal entry door shall have either a door viewer, transparent glazing or a sidegint

Exterior Walls

- No windows or other unprotected openings are permitted in exterior walls less than 3' 11" from property lines, or
- 5/8" fire rated drywall shall be installed on the inside face of attached garage exterior walls and gable ends of roofs which are less than 3' 11" from property lines
- Non combustible cladding shall be installed on all exterior walls less than 23 5/8" from property lines

Ceramic Tile

- When ceramic tile applied to a mortar bed with adhesive, the bed shall be a minimum of 1/2" thick & reinforced with galvanized diamond mesh lath, applied over polyethylene on subflooring on joists at no more than 16" o.c. with at least 2 rows cross bridging

Access to Attics and Crawl Spaces

- Access hatch minimum 21 5/8" x 2' -11" to be provided to every crawl space and every roof space which is 108 ft² or more in area and more than 23 5/8" in height

Garage Gasproofing

- The walls and ceiling of an attached garage shall be constructed and sealed so as to provide an effective barrier to exhaust fumes
- All plumbing and other penetrations through the walls and ceiling shall be caulked
- Doors between the dwelling and attached garage may not open into a bedroom and shall be weatherstripped and have a self-closer

Alarms and Detectors

- At least one smoke alarm shall be installed on or near the ceiling on each floor and basement level 2' 11" or more above an adjacent level
- Smoke alarms shall be interconnected and located such that one is within 16' 5" of every bedroom door and no more than 49' 3" travel distance from any point on a floor
- A carbon monoxide detector shall be installed on or near the ceiling in every room containing a solid fuel burning fireplace or stove

Columns, Beams & Lintels

- Steel beams and columns shall be shop primed.
- Minimum 3 1/2" end bearing for wood and steel beams, with 7 7/8" solid masonry beneath the beam.
- Steel columns to have minimum outside diameter of 2 7/8" and minimum wall thickness of 3/16"
- Wood columns for carports and garages shall be minimum 3 1/2" x 3 1/2" in all other cases either 5 1/2" x 5 1/2" or 7 1/4" round, unless calculations based on actual loads show lesser sizes are adequate. All columns shall be not less than the width of the supported member
- Masonry columns shall be a minimum of 11 3/8" x 11 3/8" or 9 1/2" x 15"
- Provide solid blocking the full width of the supported member under all concentrated loads

Insulation & Weatherproofing

Zone 1 Less than 5000 Degree-Days with AFUE ≥ 90%	Compliance Package A
Ceiling with attic	RS/R Value 8.81 / R60
Ceiling without attic	RS/R Value 5.46 / R31
Exposed floor	RS/R Value 5.46 / R31
Walls above grade	RS/R Value 4.23 / R24
Basement walls	RS/R Value 3.52 / R20

Entire surface > 600mm below grade	RS/R Value 0.88 / R5
Below grade slab	RS/R Value 1.76 / R10
≤ 600mm below grade	RS/R Value 1.76 / R10

Drilled slab or slab	RS/R Value 1.76 / R10
600mm below grade	RS/R Value 1.76 / R10
Windows and sliding glass doors	1.6
maximum U-Value	2.8

Skylights	90%
maximum U-Value	2.8
Space heating equipment	90%
Minimum AFUE	90%
HRV	90%
Minimum Efficiency	90%

unfinished basements where minimum EF	0.57
Ducts passing through unheated space shall be made airtight with tape or sealant	0.57

- Caulking shall be provided for all exterior doors and windows between the frame and the exterior cladding
- Weatherstripping shall be provided on all doors and access hatches to the exterior, except doors from a garage to the exterior
- Exterior walls, ceilings and floors shall be constructed so as to provide a continuous barrier to the passage of water vapour from the interior and to the leakage of air from the exterior

Stairs

- Maximum Rise 7 7/8"
- Minimum Run 8 1/4"
- Minimum Tread 9 1/4"
- Minimum Head Room 6' 5"
- Minimum Width 2' 10"
- Curved stairs shall have a min. run of 5 7/8" at any point and a minimum overage run of 7 7/8"
- Winders which converge to a point in stairs must turn through an angle of no more than 90°, with no less than 30" for more than 45" per tread. Sets of winders must be separated by 3' 11" along the run of the stair
- A landing minimum 2' 11" in length is required at the top of any stair leading to the principal entrance to a dwelling, and other entrances with more than 3 risers
- Exterior concrete stairs with more than 2 risers require foundations

Handrails and Guards

- A handrail is required for interior stairs containing more than 2 risers and exterior stairs to containing more than 3 risers
- Guards are required around every accessible surface which is more than 23 5/8" above the adjacent level
- Interior and exterior guards min. 2' 11" high. Exterior guards shall be 3' 6" high where height above adjacent surface exceeds 5' 11"
- Guards shall have no openings greater than 4", and no member between 4" and 2' 11" that will facilitate climbing

Plumbing

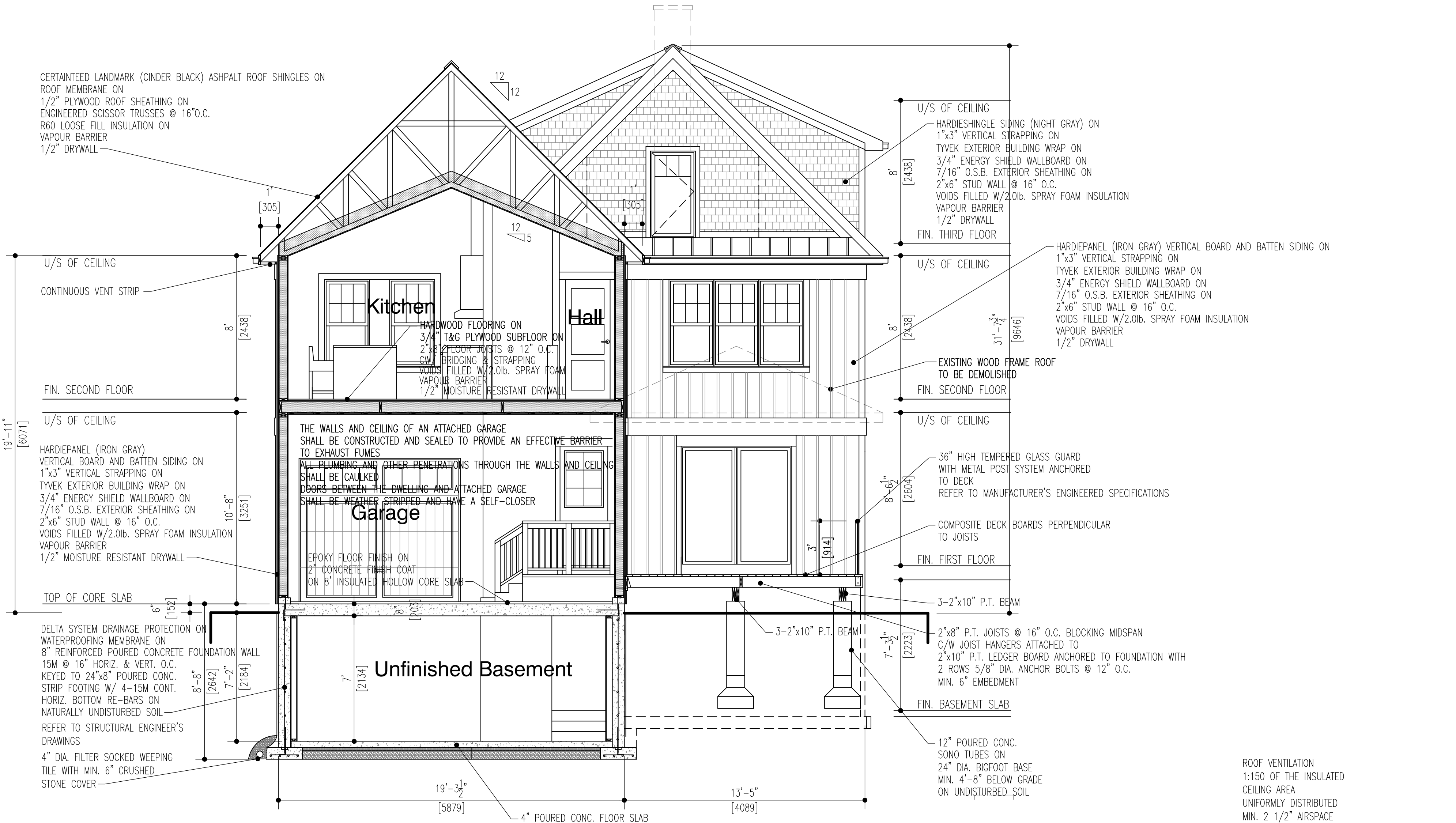
- Every dwelling requires a kitchen sink, lavatory, water closet, bathtub or shower stall and the installation or availability of laundry facilities
- A floor drain shall be installed in the basement, and connected to the sanitary sewer where gravity drainage is possible. In other cases, it shall be connected to a storm drainage system, ditch or dry well

Electrical

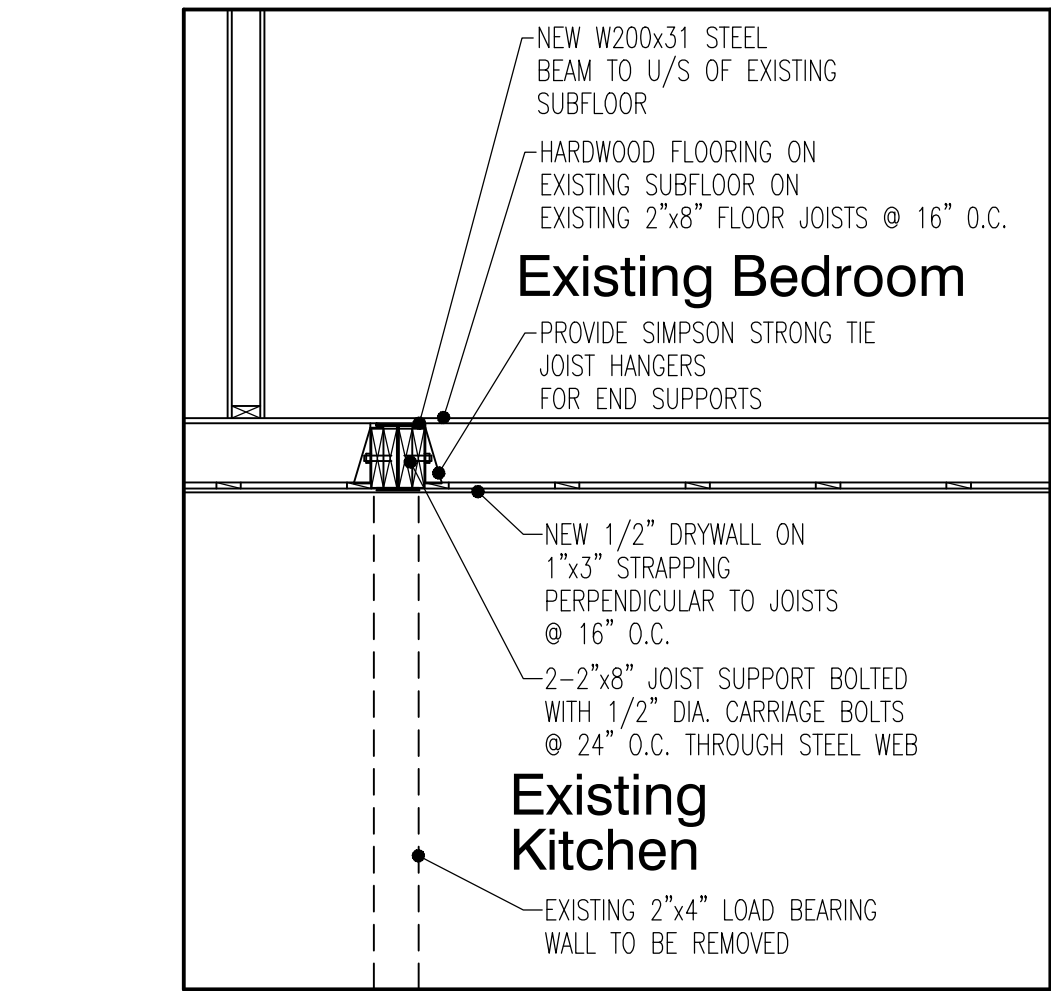
- An exterior light controlled by an interior switch is required at every entrance
- A light controlled by a switch is required in every kitchen, bedroom, living room, utility room, laundry room, dining room, bathroom, vestibule, hallway, garage and carport.
- A switched receptacle may be provided instead of a light in bedrooms and living rooms
- Stairs shall be lighted, and except where serving an unfinished basement shall be controlled by a 3 way switch at the head and foot of the stairs
- Basements require a light for each 323 ft², controlled by a switch at the head of the stairs

Mechanical Ventilation

- A mechanical ventilation system is required with a total capacity at least equal to the sum of:
 - 10 cfm each for basement and master bedroom
 - 5 cfm for each other room
- A principal dwelling exhaust fan shall be installed and controlled by a centrally located switch identified as such
- Supplemental exhaust shall be installed so that the total capacity of all kitchen, bathroom and other exhausts, less the principal exhaust, is not less than the total required capacity
- A Heat Recovery Ventilator may be employed in lieu of exhaust to provide ventilation. An HRV is required if any solid fuel burning appliances are installed
- Supply air intakes shall be located so as to avoid contamination from exhaust outlets

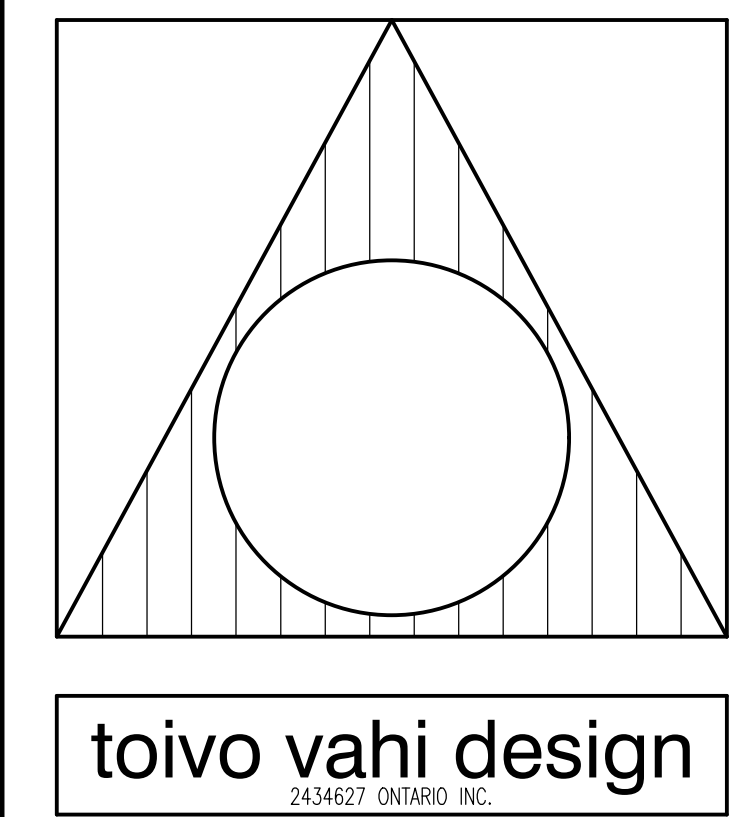


Cross Section
SCALE: 1/4"=1'-0" 1:50



Flush Beam Section
SCALE: 1/2"=1'-0" 1:25

Cross Section
SCALE: 1/4"=1'-0" 1:50



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QUALIFICATION INFORMATION			
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TOIVO VAHI	TOIVO VAHI	TOIVO VAHI	TOIVO VAHI
NAME	SIGNATURE	BCIN	BCIN
REGISTRATION INFORMATION			
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2434627 ONTARIO INC.	2434627 ONTARIO INC.	32927	32927
FIRM NAME	FIRM NAME	BCIN	BCIN

2. REVISSED FOR HERITAGE REVIEW	31/01/20	T.V.
1. ISSUED FOR PERMIT REVIEW	26/09/19	T.V.
NO. REVISION	DATE	APPR.

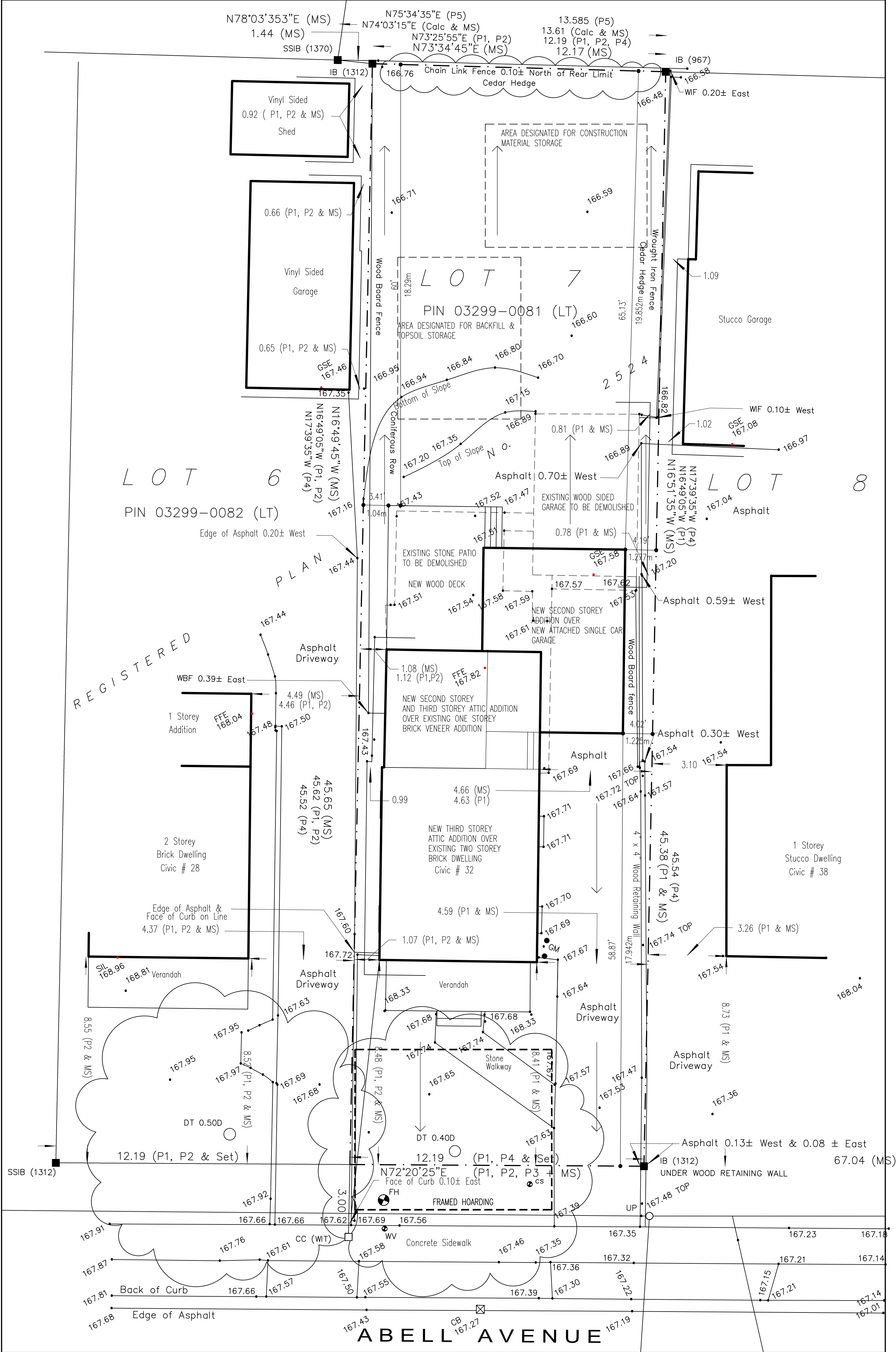
PROJECT:	NEW TWO STOREY REAR ADDITION WITH ATTACHED GARAGE TO EXISTING TWO STOREY SINGLE FAMILY DWELLING
32 Abell Avenue	VAUGHAN, ONTARIO

TRUE NORTH	PROJECT NORTH
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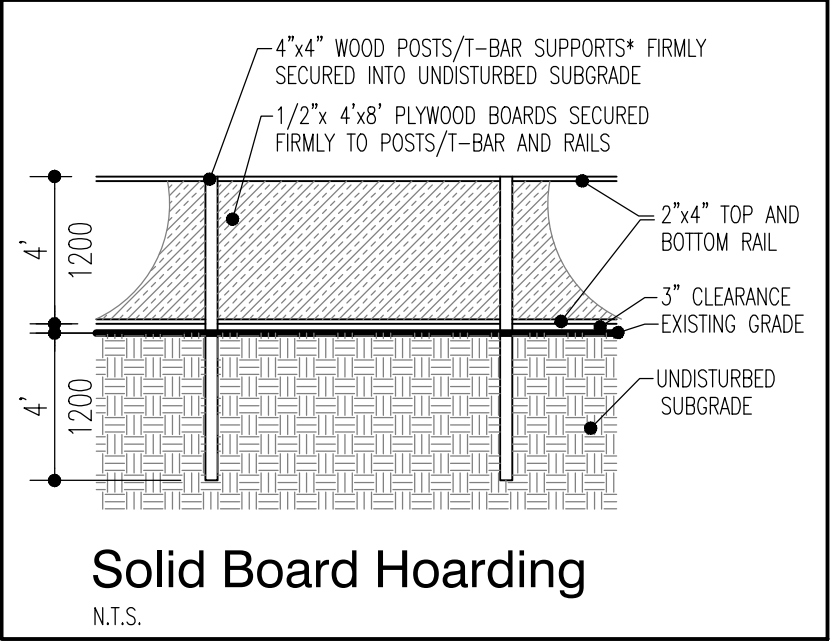
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Sections	

DRAWN BY:	PROJ. NO.:	DRAWING NO.:
T.V.	2018-06	
DATE:	SEPT. 2018	
SCALE:	AS NOTED	

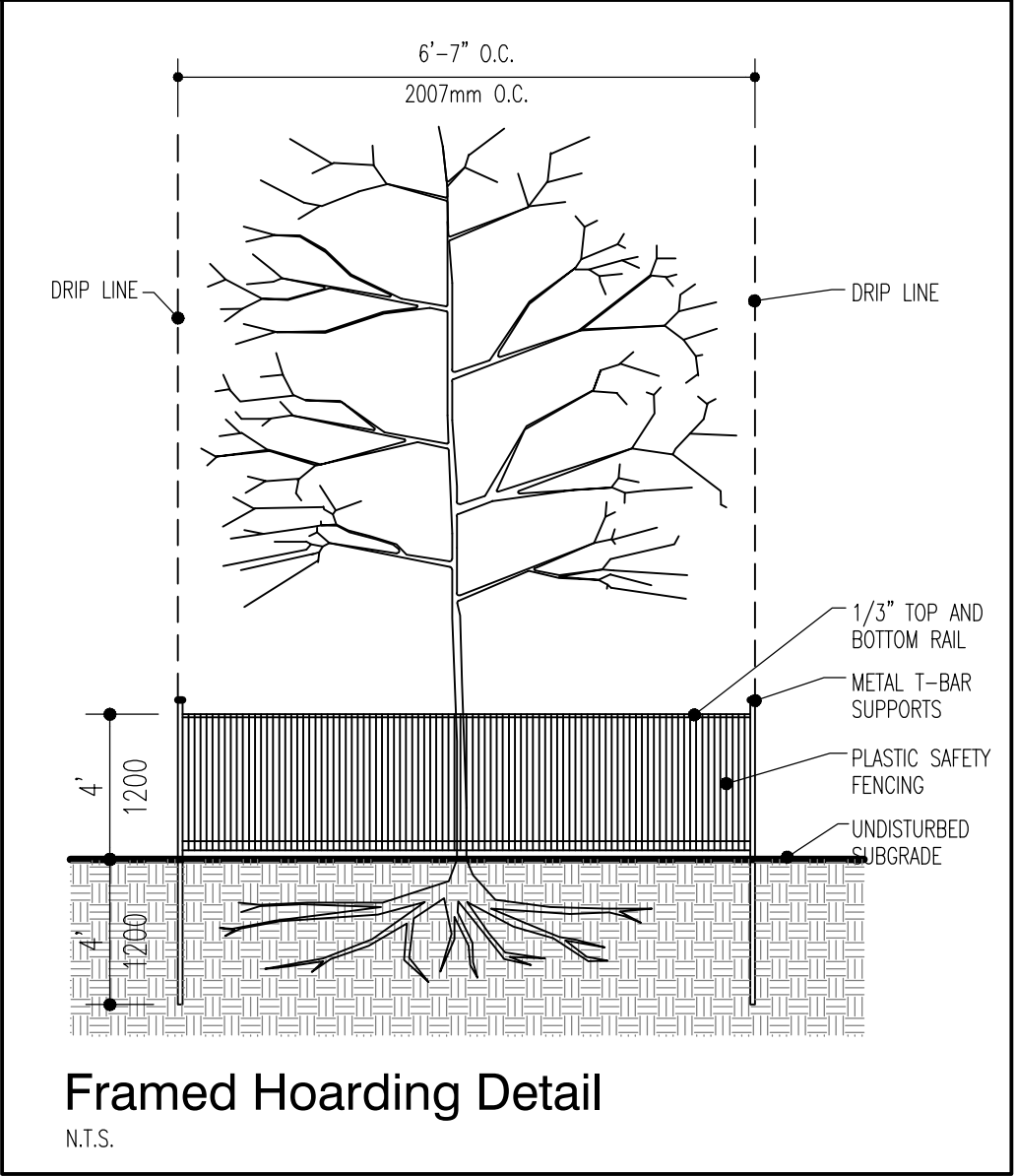
A6



Site Schedule	CITY OF VAUGHAN ZONING BY-LAW 1-88 (R2)	EXISTING	NEW	TOTAL
LOT AREA:	MIN. LOT AREA 4843.76 s.f. (450 s.m.)	5966.5 s.f. (554.31 s.m.)	NOT APPLICABLE	5966.5 s.f. (554.31 s.m.)
MINIMUM LOT FRONTAGE:	49.21' (15.0m)	40.0' (12.19m)	NOT APPLICABLE	40.0' (12.19m)
FIRST FLOOR AREA: EXCLUDING GARAGE		783.5 s.f. (72.79 s.m.)	125.6 s.f. (11.67 s.m.)	909.1 s.f. (84.46 s.m.)
SECOND FLOOR AREA:		562.2 s.f. (52.23 s.m.)	732.8 s.f. (68.08 s.m.)	1295.0 s.f. (120.31 s.m.)
THIRD FLOOR AREA:		NOT APPLICABLE	614.2 s.f. (57.06 s.m.)	614.2 s.f. (57.06 s.m.)
TOTAL FLOOR AREA: EXCLUDING GARAGE		1345.7 s.f. (125.02 s.m.)	1472.6 s.f. (136.81 s.m.)	2818.3 s.f. (261.83 s.m.)
SETBACKS:				
FRONT YARD: MINIMUM	24.61' (7.5m)			
SIDE YARD: MINIMUM	3.94' (1.2m); SIDE YARD SHIFTING 0.3m PERMITTED			
REAR YARD: MINIMUM	24.61' (7.5m)			
BUILDING HEIGHT: MAXIMUM	31.17' (9.5m)	31.62' (9.639m) TO PEAK OF ROOF	31.62' (9.639m) TO PEAK OF ROOF	
BUILDING LENGTH: MAXIMUM	NOT APPLICABLE		50.71' (15.456m)	
BUILDING DEPTH: MAXIMUM	NOT APPLICABLE		50.71' (15.456m)	
LOT COVERAGE: INCLUDES GARAGE, PORCH, PATIO	40%		1684.1 s.f. (156.46 s.m.) 28.2%	
MAXIMUM FINISHED FIRST FLOOR HEIGHT	NOT APPLICABLE		3'-3" (0.991m) FROM ESTABLISHED GRADE	
MAXIMUM NUMBER OF STOREYS	NOT LIMITED			
VAUGHAN SNOW LOAD: 1.1 kPa				
CLIMATIC ZONE: ZONE 1 (< 5000 DEGREE DAYS)				
ASSUMED SOIL BEARING CAPACITY: STIFF CLAY MAXIMUM ALLOWABLE BEARING PRESSURE 150kPa (3130 PSI)				



Established Grade Calculations	
NORTH SIDE GRADE ELEVATION 0.01m PAST SIDE LOT LINE AT FRONT YARD SETBACK OF 7.5m	105.31
SOUTH SIDE GRADE ELEVATION 0.01m PAST SIDE LOT LINE AT FRONT YARD SETBACK OF 7.5m	105.18
∴ (105.31+105.18)/2 = (AVERAGE ELEVATION) 105.25	



FOR HEATING, VENTILATION AND AIR CONDITIONING
REFER TO QUALIFIED H.V.A.C. B.C.I.N. DESIGNER'S
DRAWINGS FOR HEAT LOSS CALCULATIONS, SUPPLY AND RETURN
AIR DUCT LAYOUTS AND FURNACE SIZING

FOR PLUMBING SUPPLY/DRAIN LINES, VENTING LOCATIONS AND SIZES
REFER TO QUALIFIED PLUMBING B.C.I.N. DESIGNER'S
DRAWINGS IF REQUIRED BY THE MUNICIPALITY.
THE ARCHITECTURAL DRAWINGS PROVIDE PLUMBING
FIXTURE LOCATIONS ONLY.

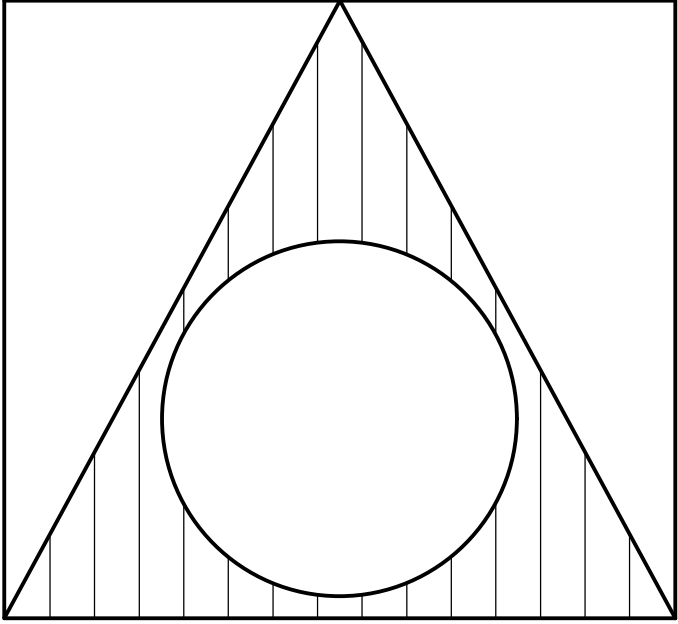
FOR ELECTRICAL SUPPLY PANEL AND SIZE, ELECTRICAL SWITCHES/RECEPTACLES,
CABLE TV OUTLETS, INTERNET, CENTRAL VACUUM AND TELEPHONE
REFER TO QUALIFIED ELECTRICIAN'S ELECTRICAL PLANS AND REFLECTED CEILING DRAWINGS.

FOR ENGINEERED FLOOR JOISTS, BEAMS AND TRUSSES
REFER TO QUALIFIED ENGINEERED STAMPED DRAWINGS
FOR CALCULATIONS AND LAYOUTS.



HOARDING NOTES:
1. HOARDING DETAILS TO BE DETERMINED FOLLOWING INITIAL SITE INSPECTION.
2. HOARDING TO BE APPROVED BY MUNICIPALITY.
3. HOARDING MUST BE SUPPLIED, INSTALLED AND MAINTAINED BY THE APPLICANT THROUGHOUT ALL PHASES OF CONSTRUCTION, UNTIL APPROVAL TO REMOVE HOARDING IS OBTAINED FROM MUNICIPALITY.
4. DO NOT ALLOW WATER TO COLLECT AND POND BEHIND OR WITHIN HOARDING.
* T-BAR SUPPORTS FOR SOLID HOARDING WILL ONLY BE ALLOWED WITH PRE APPROVAL FROM DEVELOPMENT AND DESIGN.

STANDARD NOTES:
THE PORTIONS OF THE DRIVEWAY WITHIN THE MUNICIPAL BOULEVARD WILL BE PAVED BY THE APPLICANT.
AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.
ALL PROPOSED CURBING WITHIN THE MUNICIPAL BOULEVARD AREA FOR THE SITE IS TO SUIT AS FOLLOWS: FOR ALL SINGLE FAMILY RESIDENTIAL PROPERTIES INCLUDING ON STREET TOWNHOUSES, ALL CURBING IS TO STOP AT THE PROPERTY LIMIT OR THE BACK OF THE MUNICIPAL SIDEWALK, WHICHEVER IS APPLICABLE. ALL EXCESS EXCAVATED MATERIAL WILL BE REMOVED FROM THE SITE. THE EXISTING DRAINAGE PATTERN WILL BE MAINTAINED EXCEPT WHERE NOTED. THE APPLICANT WILL BE REQUIRED TO CONTACT ALL UTILITY COMPANIES TO OBTAIN ALL REQUIRED LOCATES PRIOR TO THE INSTALLATION OF HOARDING WITHIN THE MUNICIPAL RIGHT OF WAY. THE APPLICANT WILL BE RESPONSIBLE FOR THE COST OF ANY UTILITY RELOCATIONS NECESSITATED BY THE SITE PLAN. PRIOR TO CONSTRUCTION TAKING PLACE, ALL REQUIRED HOARDING IN ACCORDANCE WITH THE ONTARIO OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS MUST BE ERECTED AND THEN MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION.



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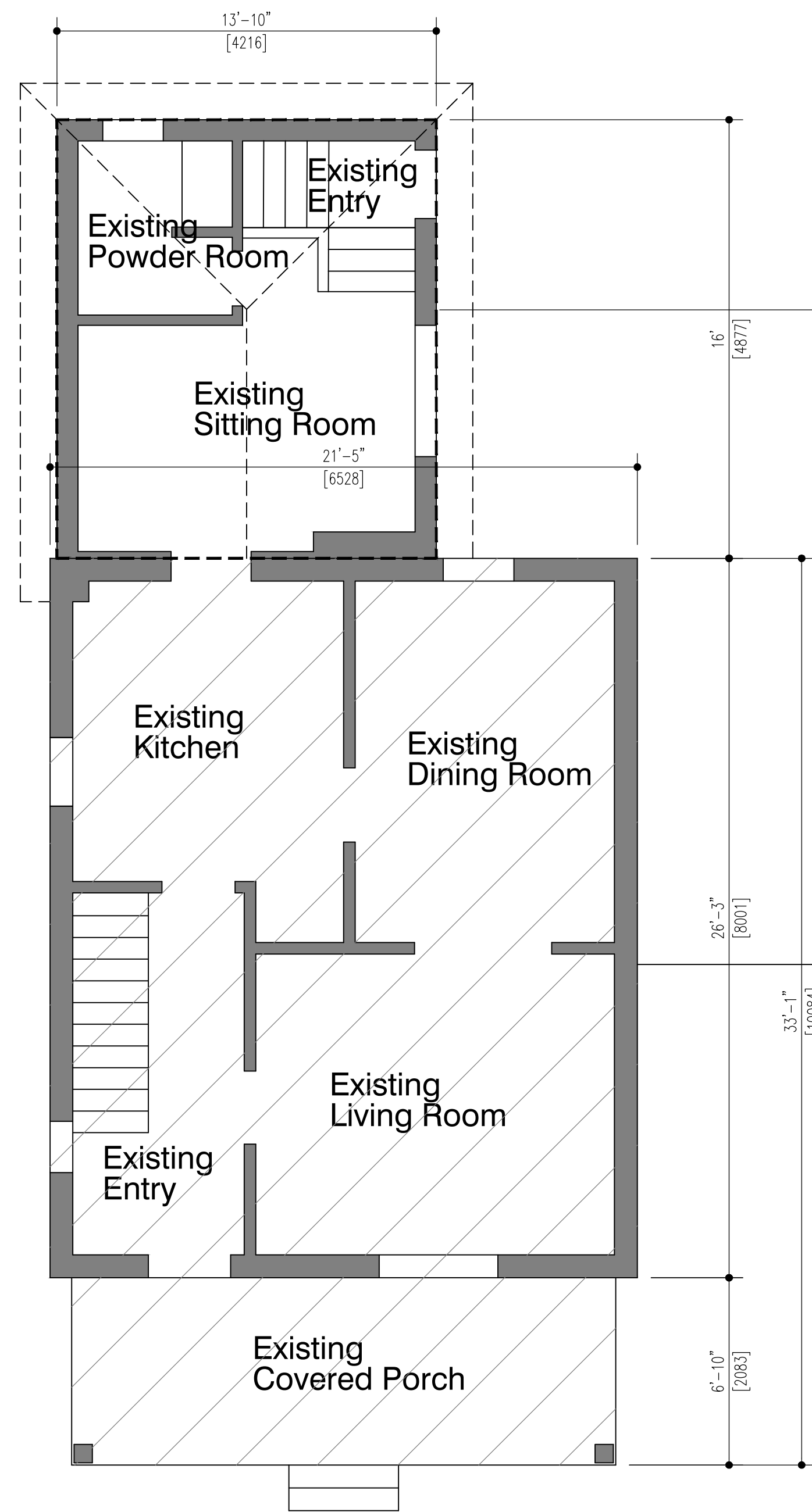
2.	REVISED FOR HERITAGE REVIEW	31/01/20	T.V.
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PROJECT:
NEW TWO STOREY REAR ADDITION WITH ATTACHED GARAGE TO EXISTING TWO STOREY SINGLE FAMILY DWELLING
32 Abell Avenue
VAUGHAN, ONTARIO

TRUE NORTH	PROJECT NORTH

DRAWING CONTENT: Site Plan Site Schedule		
DRAWN BY: T.V.	PROJ. NO.: 2018-06	DRAWING NO.:
DATE: SEPT. 2018	A1	
SCALE: AS NOTED		

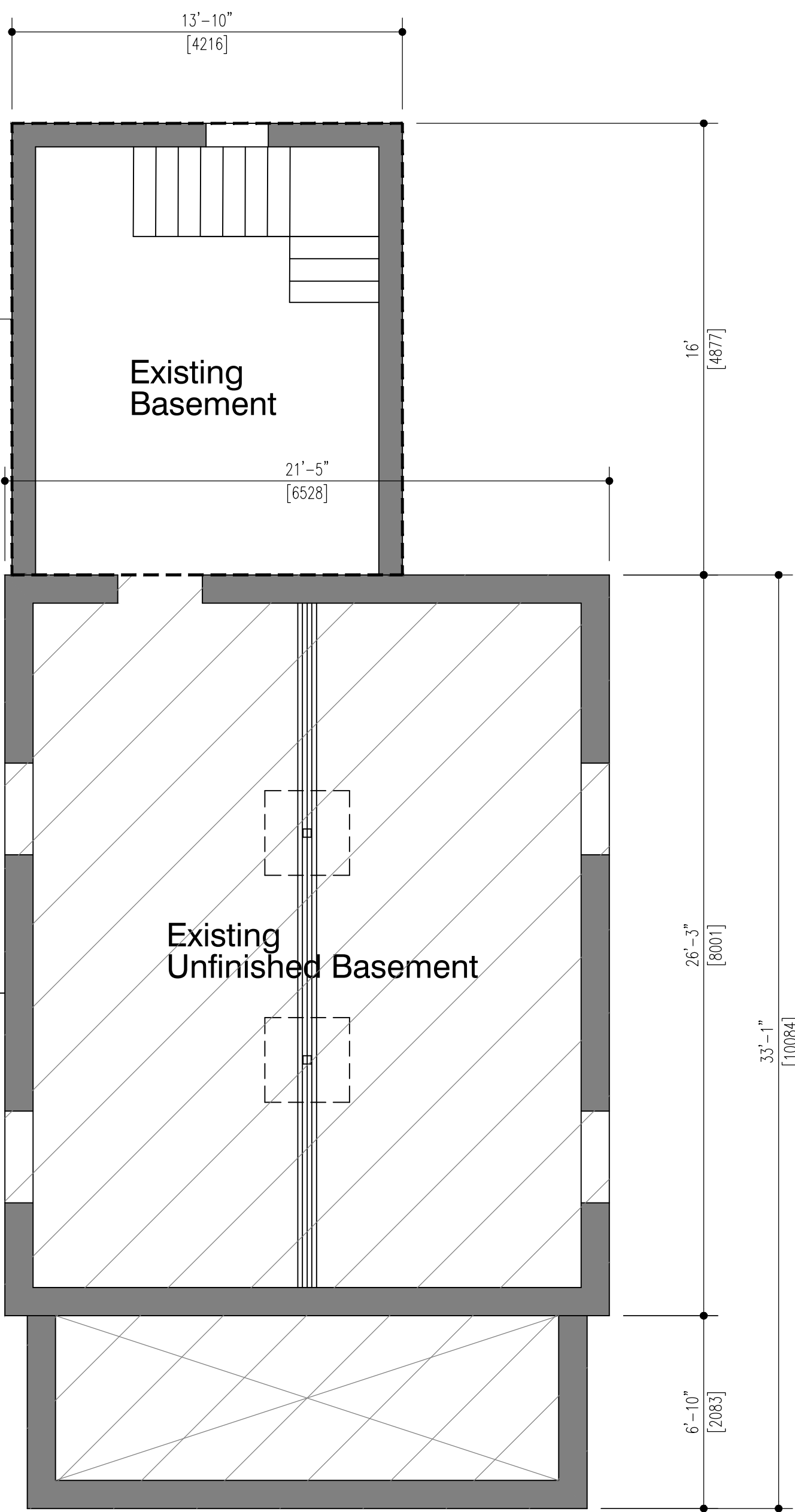
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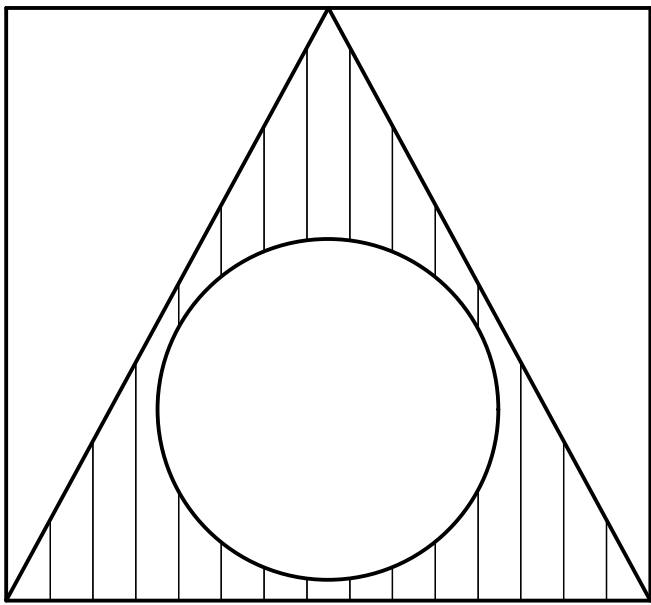
Existing First Floor Plan
SCALE: 1/4"=1'-0" 1:50

EXISTING BRICK VENEER
ONE STOREY ADDITION

HATCHED AREA DENOTES
ORIGINAL BUILDING



Existing Basement Plan
SCALE: 1/4"=1'-0" 1:50



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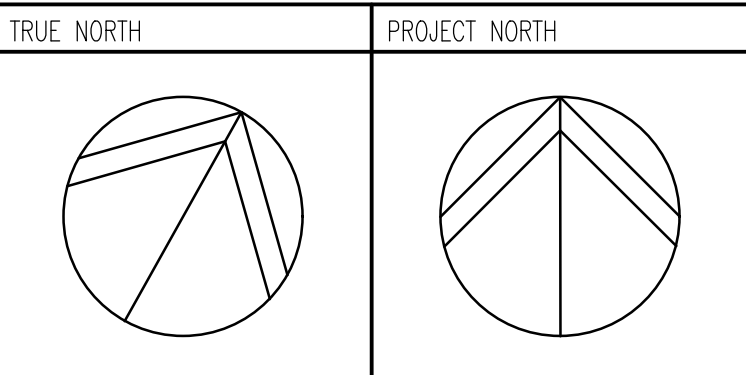
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NAME SIGNATURE BCIN

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o/a TOIVO VAHI DESIGN FIRM NAME BCIN

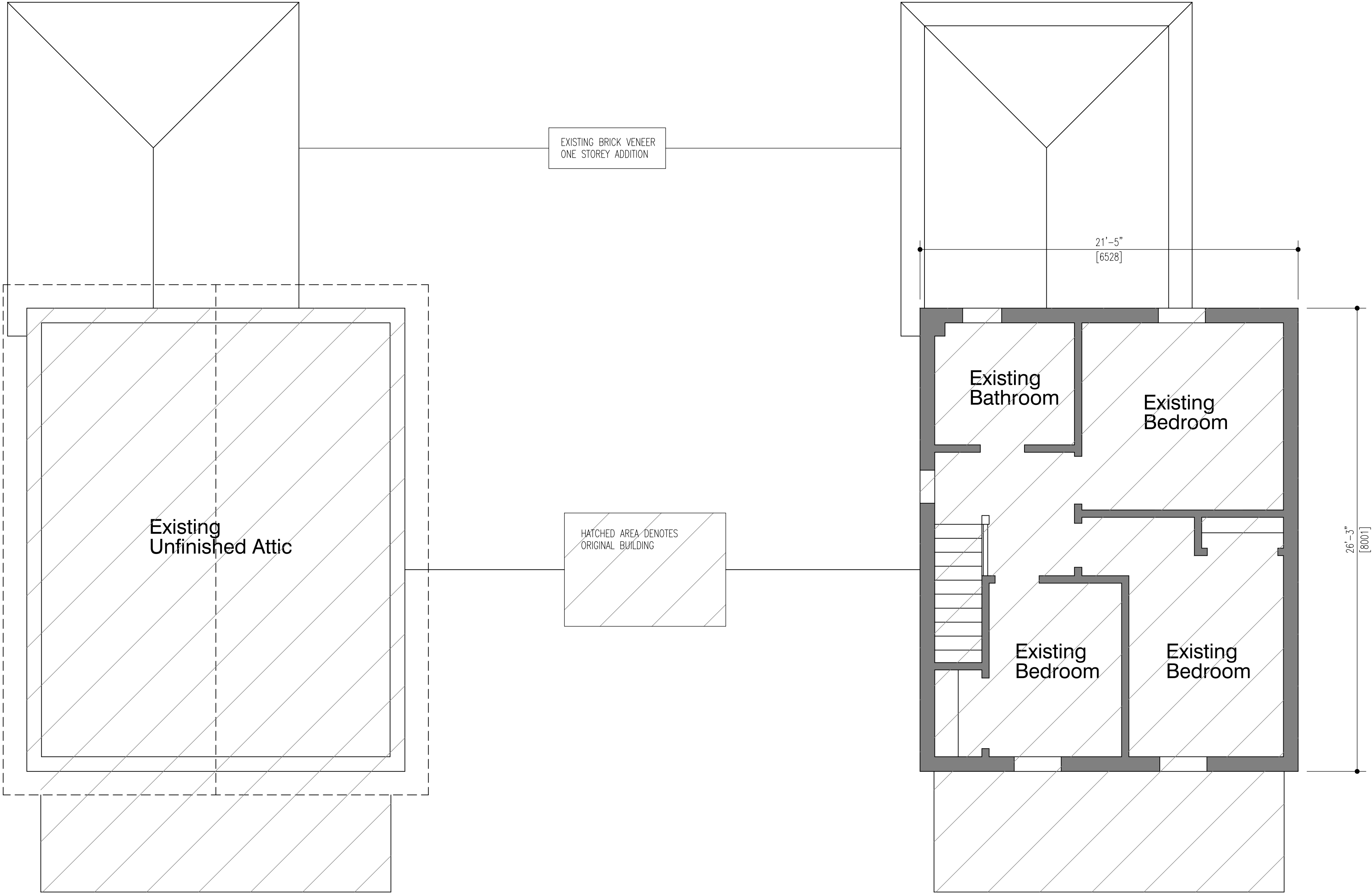
2.	REVISED FOR HERITAGE REVIEW	19/02/20	T.V.
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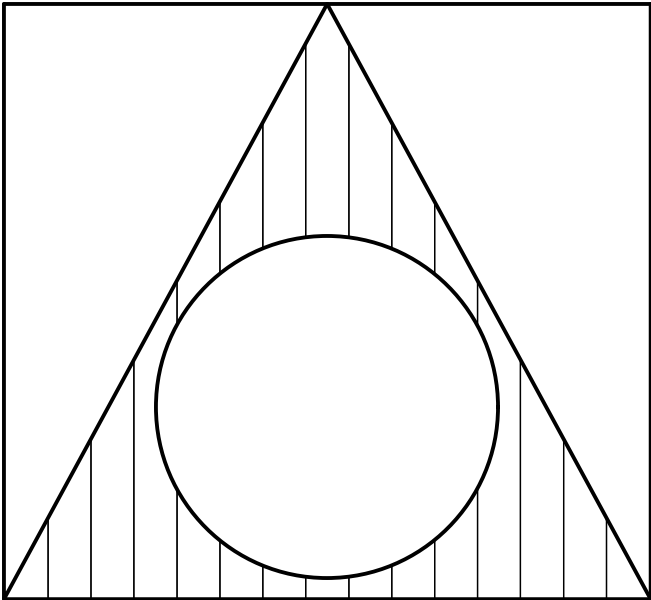
DRAWING CONTENT:
Existing Basement Plan
Existing First Floor Plan

DRAWN BY: T.V.	PROJ. NO.: 2018-06	DRAWING NO.:
DATE: SEPT. 2018		E1
SCALE: AS NOTED		



Existing Attic Plan
SCALE: 1/4"=1'-0" 1:50

Existing Second Floor Plan
SCALE: 1/4"=1'-0" 1:50



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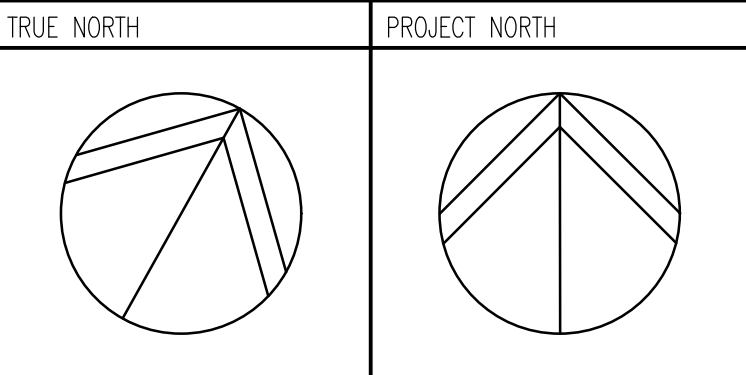
TOIVO VAHI 31358
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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2434627 ONTARIO INC. 32927
o/a TOIVO VAHI DESIGN BCIN

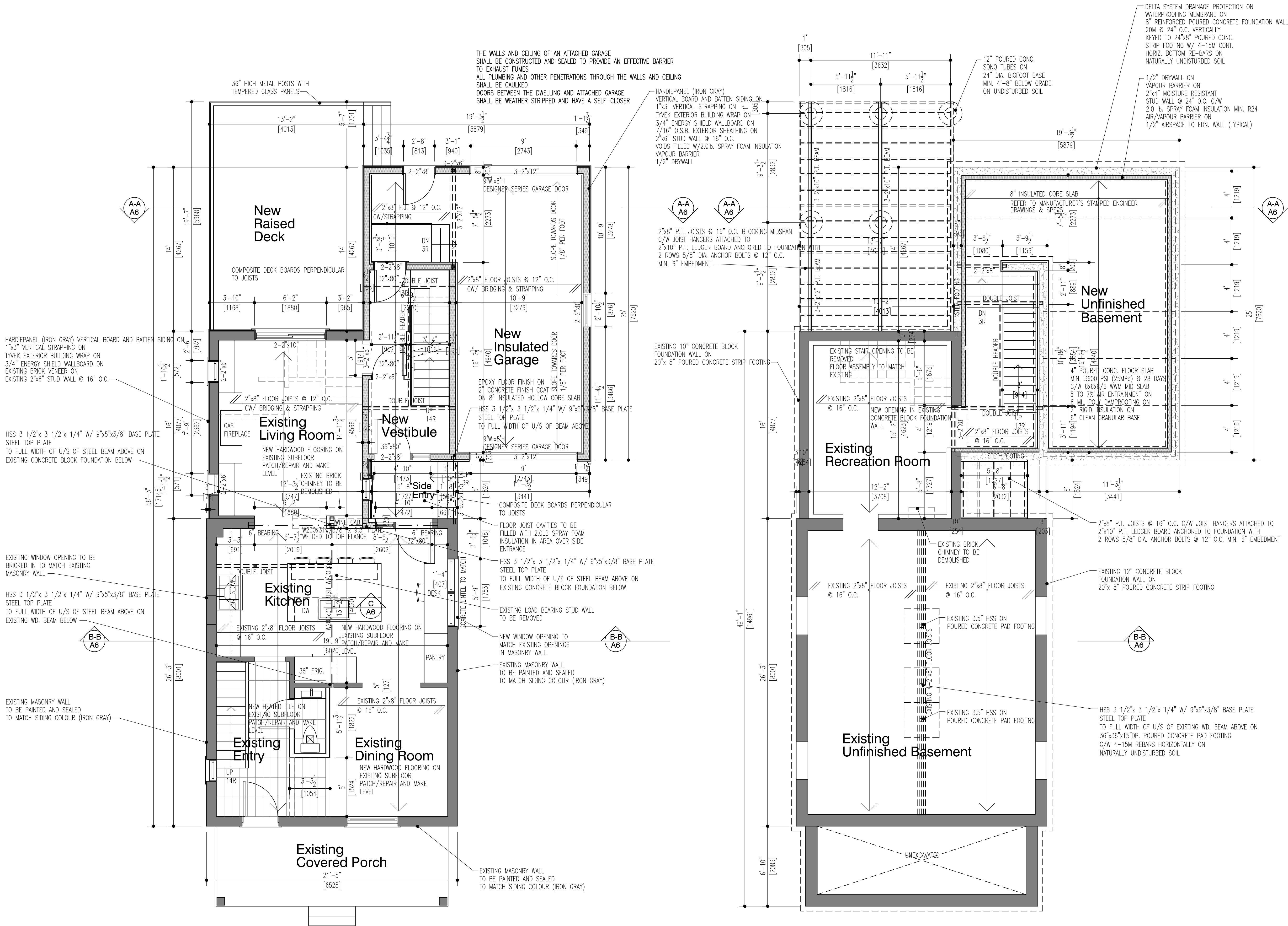
2.	REVISED FOR HERITAGE REVIEW	19/02/20	T.V.
1.	ISSUED FOR PERMIT REVIEW	26/09/19	T.V.
NO.	REVISION	DATE	APPR.

PROJECT:
NEW TWO STOREY REAR ADDITION WITH ATTACHED GARAGE
TO EXISTING TWO STOREY SINGLE FAMILY DWELLING
32 Abell Avenue
VAUGHAN, ONTARIO



DRAWING CONTENT:
Ex. Second Floor Plan
Existing Attic Plan

DRAWN BY: T.V.	PROJ. NO.: 2018-06	DRAWING NO.:
DATE: SEPT. 2018		E2
SCALE: AS NOTED		



First Floor Plan

SCALE: 1/4"=1'-0" 1:50

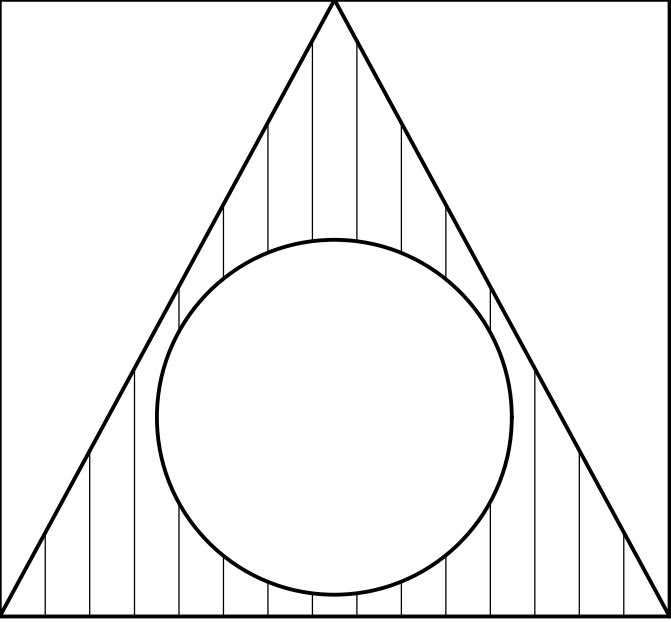
EXISTING FLOOR AREA: 783.5 S.F. (72.97 s.m.)
NEW FLOOR AREA: 125.6 S.F. (11.67 s.m.)
TOTAL FLOOR AREA: 911.1 S.F. (84.64 s.m.)

EXISTING WALLS TO REMAIN
EXISTING WALLS TO BE DEMOLISHED

Basement Plan

SCALE: 1/4"=1'-0" 1:50

EXISTING WALLS TO REMAIN
EXISTING WALLS TO BE DEMOLISHED



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Telephone/Fax: (705) 721-1409
toivovahidesign@gmail.com

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
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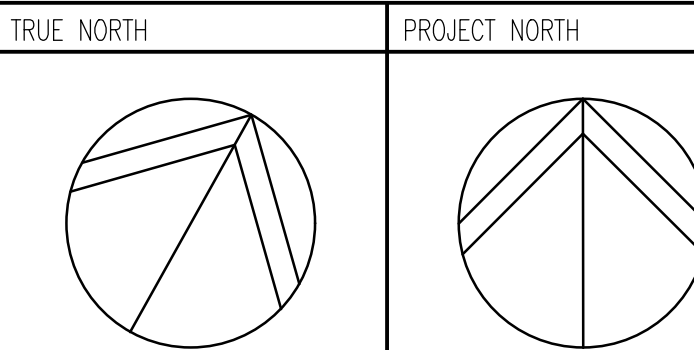
TOIVO VAHI
NAME SIGNATURE BCIN 31358

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2434627 ONTARIO INC.
o/a TOIVO VAHI DESIGN
FIRM NAME BCIN 32927

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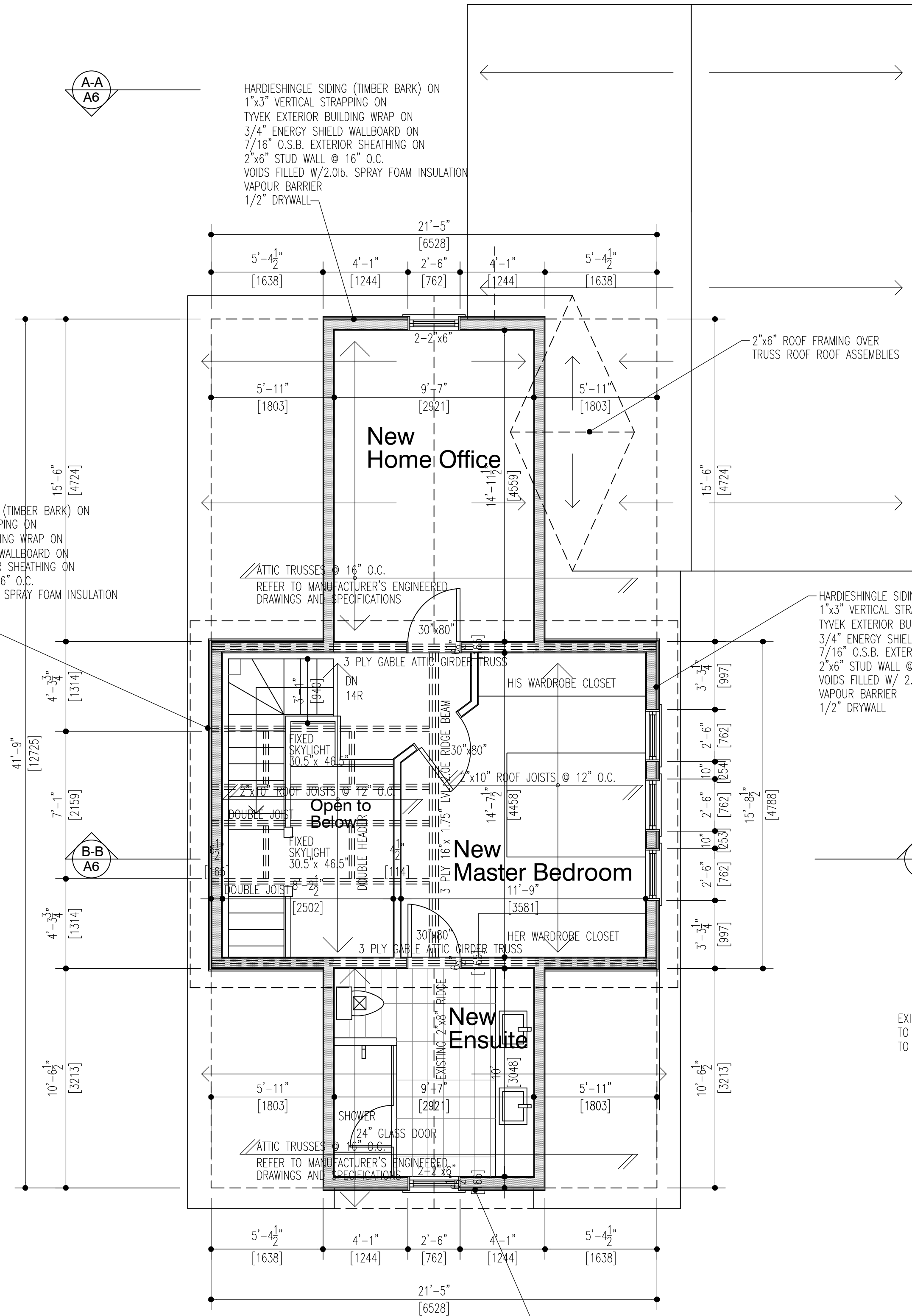


DRAWING CONTENT:

Basement Plan
First Floor Plan

DRAWN BY: T.V.
PROJ. NO.: 2018-06
DATE: SEPT. 2018
SCALE: AS NOTED
DRAWING NO.:
A2

HARDIESHINGLE SIDING (TIMBER BARK) ON
1"x3" VERTICAL STRAPPING ON
TYVEK EXTERIOR BUILDING WRAP ON
3/4" ENERGY SHIELD WALLBOARD ON
7/16" O.S.B. EXTERIOR SHEATHING ON
2"x6" STUD WALL @ 16" O.C.
VOIDS FILLED W/2.0lb. SPRAY FOAM INSULATION
VAPOUR BARRIER
1/2" DRYWALL



Third Floor Plan

SCALE: 1/4"=1'-0" 1:50

TOTAL FLOOR AREA: 614.2 S.F. (57.06 s.m.)

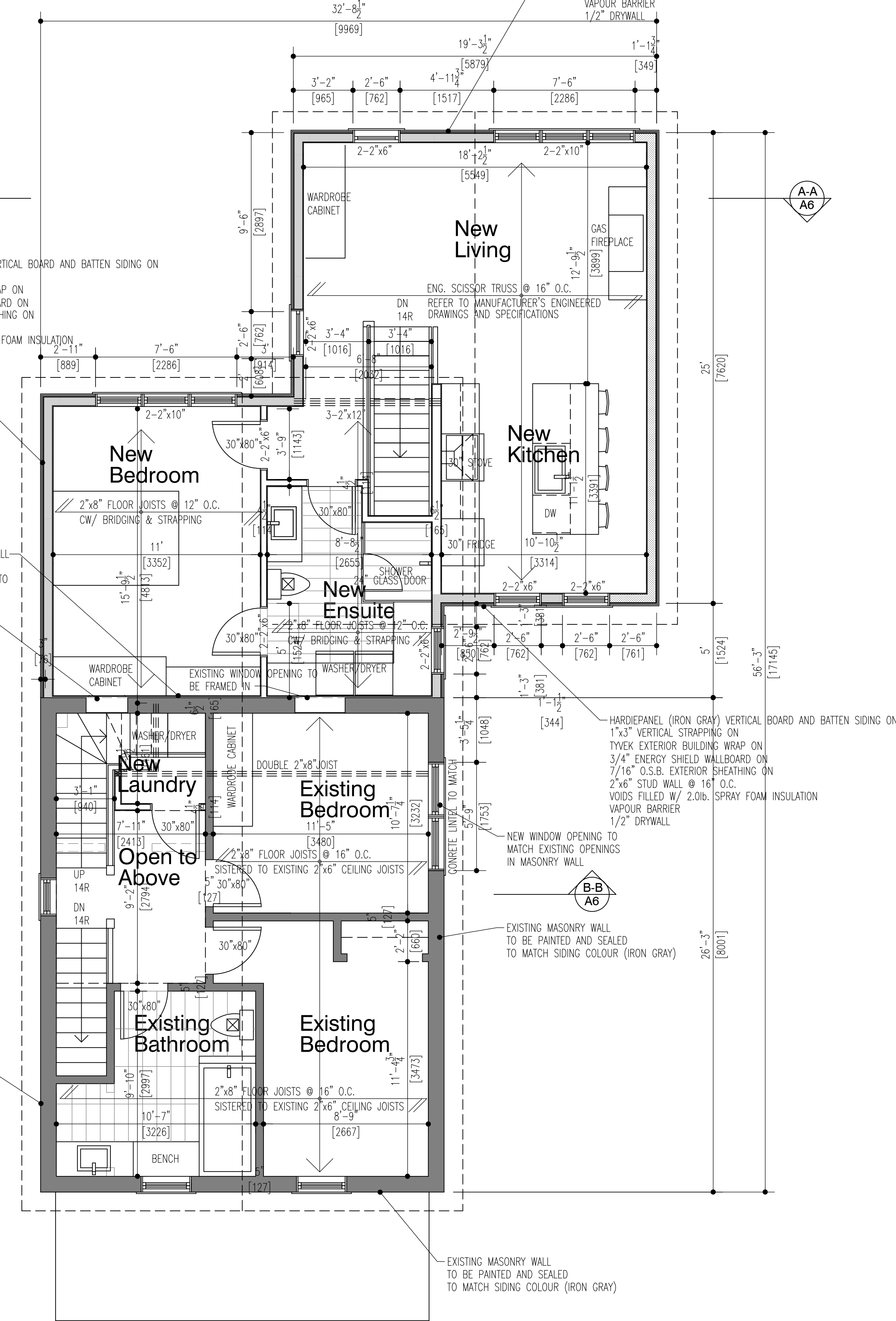
— EXISTING WALLS TO REMAIN
--- EXISTING WALLS TO BE DEMOLISHED

HARDIEPANEL (IRON GRAY) VERTICAL BOARD AND BATTEN SIDING ON
1"x3" VERTICAL STRAPPING ON
TYVEK EXTERIOR BUILDING WRAP ON
3/4" ENERGY SHIELD WALLBOARD ON
7/16" O.S.B. EXTERIOR SHEATHING ON
2"x6" STUD WALL @ 16" O.C.
VOIDS FILLED W/2.0lb. SPRAY FOAM INSULATION
VAPOUR BARRIER
1/2" DRYWALL

1/2" DRYWALL ON
3/4" STRAPPING ON
EXISTING BRICK MASONRY WALL

HARDIESHINGLE SIDING (TIMBER BARK) ON
1"x3" VERTICAL STRAPPING ON
TYVEK EXTERIOR BUILDING WRAP ON
3/4" ENERGY SHIELD WALLBOARD ON
7/16" O.S.B. EXTERIOR SHEATHING ON
2"x6" STUD WALL @ 16" O.C.
VOIDS FILLED W/ 2.0lb. SPRAY FOAM INSULATION
VAPOUR BARRIER
1/2" DRYWALL

EXISTING MASONRY WALL
TO BE PAINTED AND SEALED
TO MATCH SIDING COLOUR (IRON GRAY)

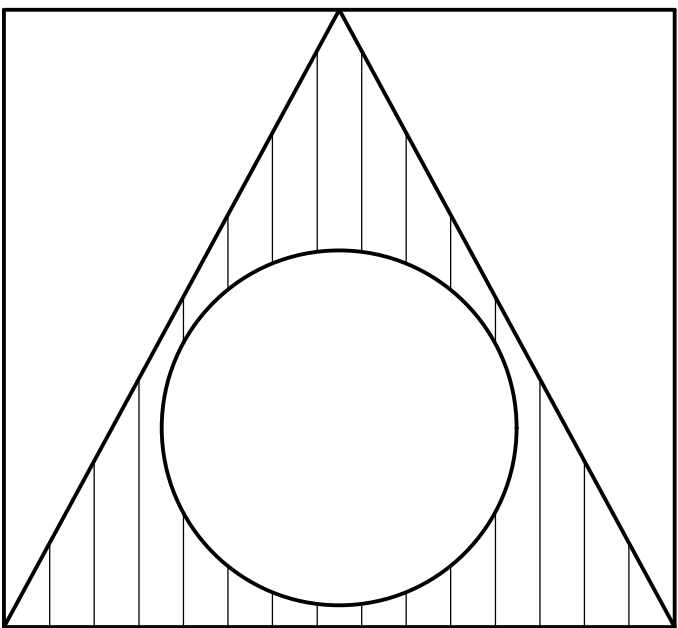


Second Floor Plan

SCALE: 1/4"=1'-0" 1:50

EXISTING FLOOR AREA: 562.2 S.F. (52.23 s.m.)
NEW FLOOR AREA: 732.8 S.F. (68.08 s.m.)
TOTAL FLOOR AREA: 1295.0 S.F. (120.31 s.m.)

— EXISTING WALLS TO REMAIN
--- EXISTING WALLS TO BE DEMOLISHED



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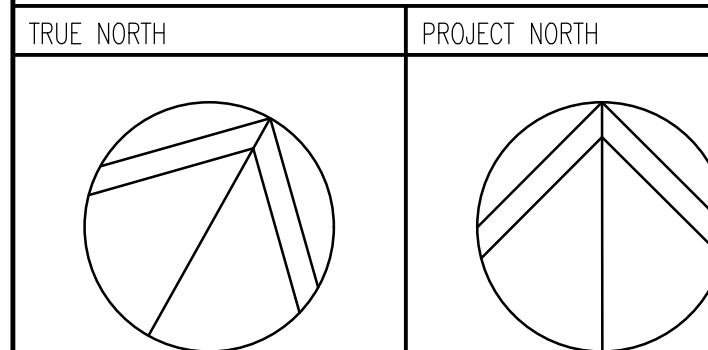
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32 Abell Avenue
VAUGHAN, ONTARIO



DRAWING CONTENT:

Second Floor Plan
Third Floor Plan

DRAWN BY: T.V.	PROJ. NO.: 2018-06	DRAWING NO.:
DATE: SEPT. 2018	A3	
SCALE: AS NOTED		

General Notes NOTES ON ARCHITECTURAL DRAWINGS, ENGINEERING DRAWINGS AND MANUFACTURER'S SPECIFICATIONS SUPERCEDE THE GENERAL NOTES. ALL NOTES MUST COMPLY TO THE ONTARIO BUILDING CODE REGULATIONS.

Excavation and Backfill

Excavation shall be undertaken in such a manner so as to prevent damage to existing structures, adjacent property and utilities
The topsoil and vegetable matter in unexcavated areas under a building shall be removed.
The bottom of excavations for foundations shall be free of all organic material
If termiles are known to exist, all stumps, roots and debris shall be removed to a minimum depth of 11 3/4" in excavated areas under a building, and the clearance between untreated structural wood elements and the ground shall be no less than 17 3/4"
Backfill within 23 5/8" of the foundation walls shall be free of deleterious debris and boulders over 9 7/8" in diameter

Dampproofing and Drainage

In normal soil conditions, the exterior surfaces of foundation walls enclosing basements and crawl spaces shall be dampproofed. Where hydrostatic pressure occurs, a waterproofing system is required
Masonry foundation walls shall be parged with 1/4" of mortar covered over the footing prior to dampproofing
Foundation drains shall be laid on level, undisturbed ground adjacent to the footings at or below the top of the basement slab or crawl space floor, and shall be covered with 6" of crushed stone. Foundation drains shall drain to a storm sewer, drainage ditch, dry well or sump
Window wells shall be drained to the footing
Downspouts not directly connected to a storm sewer shall have extensions to carry water away from the building, and provisions shall be made to prevent soil erosion
Concrete slabs in attached garages shall be sloped to drain to the exterior
The building site shall be graded so that surface, sump and roof drainage will not accumulate at or near the building and will not adversely affect adjacent properties

Footings

- minimum 2200 psi poured concrete
- minimum 48" below finished grade
- Footings shall be founded on natural undisturbed soil, rock or compacted granular fill with minimum bearing capacity of 1570psf

Footing Size

Floors Supported	Supporting Int. Wall	Supporting Ext. Wall	Column Area
1	9 7/8"	9 7/8"	4.3 ft ²
2	13 3/4"	13 3/4"	8.1 ft ²
3	17 3/4"	19 3/4"	10.9 ft ²

• Increase footing width by 2 5/8" for each storey of brick veneer supported, and by 5 1/8" for each storey of masonry
• The projection of an unreinforced footing beyond the wall supported shall not be greater than its thickness

Step Footings

- Vertical Rise 23 5/8" Max.
Horizontal Run 23 5/8" Min.

Wood Frame Construction

- All lumber shall be spruce-pine-fir No.1 &2, and shall be identified by a grade stamp
- Maximum moisture content 19% at time of installation
- Wood framing members which are supported on concrete in direct contact with soil shall be separated from the concrete with 6 mil polyethylene

Walls

- Exterior walls shall consist of:
 - cladding, brick veneer or stucco
 - sheathing paper lapped 4" at joints
 - 7/16" fibreboard or gypsum board or 7/16" plywood sheathing
 - 2x6 studs @ 16" o.c.
 - 2x6 bottom plate and double 2x6 top plate
 - 2x4 studs @ 16" o.c. can be utilized provided the combined R value of the batt insulation and exterior rigid insulation achieves R=24.
- Interior loadbearing walls shall consist of:
 - 2x4 studs @ 16" o.c.
 - 2x4 bottom plate and double 2x4 top plate
 - 2x4 mid-girts if not sheathed
 - 1/2" gypsum board sheathing

Floors

- See Tables for floor joist size and spacing requirements
- Joists to have minimum 1 1/2" of end bearing
- Joists shall bear on a sill plate fixed to foundation with 1/2" anchor bolts @ 7" o.c.
- Header joists between 3' 11" and 10' 6" in length shall be doubled. Header joists exceeding 10' 6" shall be sized by calculations
- Trimmer joists shall be doubled when supporting header is between 2' 7" and 6' 7". Trimmer joists shall be sized by calculations when supported header exceeds 6' 7".
- 2x2 cross bridging required not more than 6' 11" from each support and from other rows of bridging
- Joists shall be supported on joist hangers at all flush beams, trimmers, and headers.
- Joists located under parallel non-loadbearing partitions shall be doubled
- See Tables for subflooring requirements

Foundation Walls

- To be poured concrete, unit masonry or preserved wood (see drawings for type and thickness)
- Dampproofing shall be a heavy coat of bituminous material
- Foundation wall to extend minimum 5 7/8" above finished grade.
- A drainage layer is required on the outside of a foundation wall where the interior insulation extends more than 2'-11" below exterior grade. A drainage layer shall consist of:
 - Min. 3/4" mineral fibre insulation with min. Density of 3.6 lb/ft³
 - Min. 4" of free drainage granular material, or
 - An approved system which provides equivalent performance
- Foundation walls shall be braced or have the floor joists installed before backfilling

Concrete Floor Slabs

- Garage, carport and exterior slabs and exterior steps shall be 4500psi concrete with 5-8#x8x48 in. reinforcement
- Other slabs 3500psi concrete
- Minimum 3" thick, placed on a minimum 4" of coarse, clean, granular material
- All fill other than coarse clean material placed beneath concrete slabs shall be compacted to provide uniform support

Masonry Walls

- Where constructed of 3 1/2" brick, wall shall be bonded with header course every 8th course
- Provide 2" solid masonry or continuous 1 1/2" plate under all roof and floor framing members
- Provide 7 1/2" solid masonry under beams and columns
- Masonry wall to be tied to each tier of joists with 1 9/16" x 3/16" corrosion resistant steel straps, keyed minimum 4" into masonry. When joists are parallel to wall, ties are to extend across at least 3 joists @ 6" o.c.
- Inside back of wall to be parged and covered with No.15 breather-type asphalt paper
- For reduced foundation walls to allow a brick facing while maintaining lateral support, tie minimum 3 1/2" brick to minimum 3 1/2" back-up block, with corrosion resistant ties at least 0.020", in cross sectional area, spaced 7 7/8" vertically and 2'-11" horizontally, with joints completely filled with mortar
- Masonry over openings shall be supported on corrosion resistant or prime coated steel lintels with a minimum of 5 7/8" and bearing

Masonry Veneer

- Minimum 2 3/4" thick if joints are not raked and 3 1/2" thick if joints are raked
- Minimum 1" air space to sheathing
- Provide weep holes @ 31 1/2" o.c. at the bottom of the cavity and over doors and windows
- Direct drainage through weep holes with 20 mil poly flashing extending minimum 5 7/8" up behind the sheathing paper
- Veneer ties minimum 0.030" thick x 7/8" wide corrosion resistant straps spaced @ 23 5/8" vertically and 15 3/4" horizontally
- Fasten ties with corrosion resistant 0.125" diameter screws or spiral nails which penetrate at least 1-3/16" into studs

Roof & Ceilings

- See Tables for rafter, roof joist and ceiling joist size and spacing requirements
- Hip and valley rafters shall be 2" deeper than common rafters
- 2x4 collar ties @ rafter spacing with 1x4 continuous brace at mid span if collar tie exceeds 7' 10" in length
- See Tables for roof sheathing requirements

Notching & Drilling of Trusses, Joists, Rafters

- Holes in floor, roof and ceiling members to be maximum 1/4" actual depth of member and not less than 2" from edges
- Notches in floor, roof and ceiling members to be located on top of the member within 1/2" of the actual depth from the edge of bearing and not greater than 1/3 joist depth
- Wall studs may be notched or drilled provided that no less than 2/3 the depth of the stud remains, if load bearing, and 1 9/16" if non-load bearing
- Roof truss members shall not be notched, drilled or weakened unless accommodated in the design

Roofing

- Fasteners for roofing shall be corrosion resistant. Roofing nails shall penetrate through or at least 1/2" into roof sheathing
- Every asphalt shingle shall be fastened with at least 4 nails
- Eave protection shall extend 2' 11" up the roof slope from the edge, and at least 11 3/4" from the inside face of the exterior wall, and shall consist of Type M or Type S Roll Roofing laid with minimum 4" head and end laps cemented together, or glass Fibre or Polyester Fibre coated base sheets, or self sealing composite membranes consisting of modified bituminous coated material. Eave protection is not required for unheated buildings, for roofs exceeding a slope of 1 in 15, or where a low slope asphalt shingle application is provided
- Open valleys shall be flashed with 2 layers of roll roofing, or 1 layer of steel sheet min. 23 5/8" wide
- Flashing shall be provided at the intersection of shingle roofs with exterior walls and chimneys
- Sheet metal flashing shall consist of not less than 1/16" sheet lead, 0.013" galvanized steel, 0.018" copper, 0.018" zinc, or 0.019" aluminum

Natural Ventilation

- Every roof space above an insulated ceiling shall be ventilated, with unobstructed openings equal to not less than 1/150 of insulated area
- Insulated roof spaces not incorporating an attic shall be ventilated with unobstructed openings equal to not less than 1/150 of insulated area
- Roof vents shall be uniformly distributed and designed to prevent the entry of rain, snow or insects
- Unheated crawl spaces shall be provided with 1.1 ft² of ventilation for each 538 ft²
- Minimum natural ventilation areas, where mechanical ventilation is not provided, are:
 - Bathrooms: 0.97 ft²
 - other rooms: 3 ft²
- Unfinished basement: 0.2% of floor area

Doors and Windows

- Every floor level containing a bedroom and not served by an exterior door shall contain at least 1 window having an unobstructed area of 3.8 ft² and no dimension less than 15", which is openable from the inside without tools
- Exterior house doors and windows within 6' 7" from grade shall be constructed to resist forced entry. Doors shall have a deadbolt lock
- The principal entry door shall have either a door viewer, transparent glazing or a sidegint

Exterior Walls

- No windows or other unprotected openings are permitted in exterior walls less than 3' 11" from property lines, or
- 5/8" fire rated drywall shall be installed on the inside face of attached garage exterior walls and gable ends of roofs which are less than 3' 11" from property lines
- Non combustible cladding shall be installed on all exterior walls less than 23 5/8" from property lines

Ceramic Tile

- When ceramic tile applied to a mortar bed with adhesive, the bed shall be a minimum of 1/2" thick & reinforced with galvanized diamond mesh lath, applied over polyethylene on subflooring on joists at no more than 16" o.c. with at least 2 rows cross bridging

Access to Attics and Crawl Spaces

- Access to attics minimum 21 5/8" x 2' -11" to be provided to every crawl space and every roof space which is 108 ft² or more in area and more than 23 5/8" in height

Garage Gasproofing

- The walls and ceiling of an attached garage shall be constructed and sealed so as to provide an effective barrier to exhaust fumes
- All plumbing and other penetrations through the walls and ceiling shall be caulked
- Doors between the dwelling and attached garage may not open into a bedroom and shall be weatherstripped and have a self-closer

Alarms and Detectors

- At least one smoke alarm shall be installed on or near the ceiling on each floor and basement level 2' 11" or more above an adjacent level
- Smoke alarms shall be interconnected and located such that one is within 16' 5" of every bedroom door and no more than 49' 3" travel distance from any point on a floor
- A carbon monoxide detector shall be installed on or near the ceiling in every room containing a solid fuel burning fireplace or stove

Columns, Beams & Lintels

- Steel beams and columns shall be shop primed.
- Minimum 3 1/2" end bearing for wood and steel beams, with 7 7/8" solid masonry beneath the beam.
- Steel columns to have minimum outside diameter of 2 7/8" and minimum wall thickness of 3/16"
- Wood columns for carports and garages shall be minimum 3 1/2" x 3 1/2" in all other cases either 5 1/2" x 5 1/2" or 7 1/4" round, unless calculations based on actual loads show lesser sizes are adequate. All columns shall be not less than the width of the supported member
- Masonry columns shall be a minimum of 11 3/8" x 11 3/8" or 9 1/2" x 15"
- Provide solid blocking the full width of the supported member under all concentrated loads

Insulation & Weatherproofing

Zone 1 Less than 5000 Degree-Days with AFUE ≥ 90%	Compliance Package A
Ceiling with attic	RS/R Value 8.81 / R60
Ceiling without attic	RS/R Value 5.46 / R31
Exposed floor	RS/R Value 5.46 / R31
Walls above grade	RS/R Value 4.23 / R24
Basement walls	RS/R Value 3.52 / R20

Delta system drainage protection on waterproofing membrane on 8" reinforced poured concrete foundation wall	RS/R Value 1.76 / R10
15M @ 16" horiz. & vert. o.c.	RS/R Value 1.76 / R10

KEYED TO 24"x8" POURED CONCR. STRIP FOOTING W/ 4-15M CONT. HORIZ. BOTTOM RE-BARS ON NATURALLY UNDISTURBED SOIL	1.6
Skylights	2.8

Space heating equipment	90%
Minimum AFUE	90%
HRV	-

Minimum Efficiency	-
Unfinished basements where minimum EF	0.57

- Ducts passing through unheated space shall be made airtight with tape or sealant
- Caulking shall be provided for all exterior doors and windows between the frame and the exterior cladding
- Weatherstripping shall be provided on all doors and access hatches to the exterior, except doors from a garage to the exterior
- Exterior walls, ceilings and floors shall be constructed so as to provide a continuous barrier to the passage of water vapour from the interior and to the leakage of air from the exterior

Stairs

- Maximum Rise 7 7/8"
- Minimum Run 8 1/4"
- Minimum Tread 9 1/4"
- Minimum Head Room 6' 5"
- Minimum Width 2' 10"
- Curved stairs shall have a min. run of 5 7/8" at any point and a minimum overage run of 7 7/8"
- Winders which converge to a point in stairs must turn through an angle of no more than 90°, with no less than 30" for more than 45" per tread. Sets of winders must be separated by 3' 11" along the run of the stair
- A landing minimum 2' 11" in length is required at the top of any stair leading to the principal entrance to a dwelling, and other entrances with more than 3 risers
- Exterior concrete stairs with more than 2 risers require foundations

Handrails and Guards

- A handrail is required for interior stairs containing more than 2 risers and exterior stairs to containing more than 3 risers
- Guards are required around every accessible surface which is more than 23 5/8" above the adjacent level
- Interior and exterior guards min. 2' 11" high. Exterior guards shall be 3' 6" high where height above adjacent surface exceeds 5' 11"
- Guards shall have no openings greater than 4", and no member between 4" and 2' 11" that will facilitate climbing

Plumbing

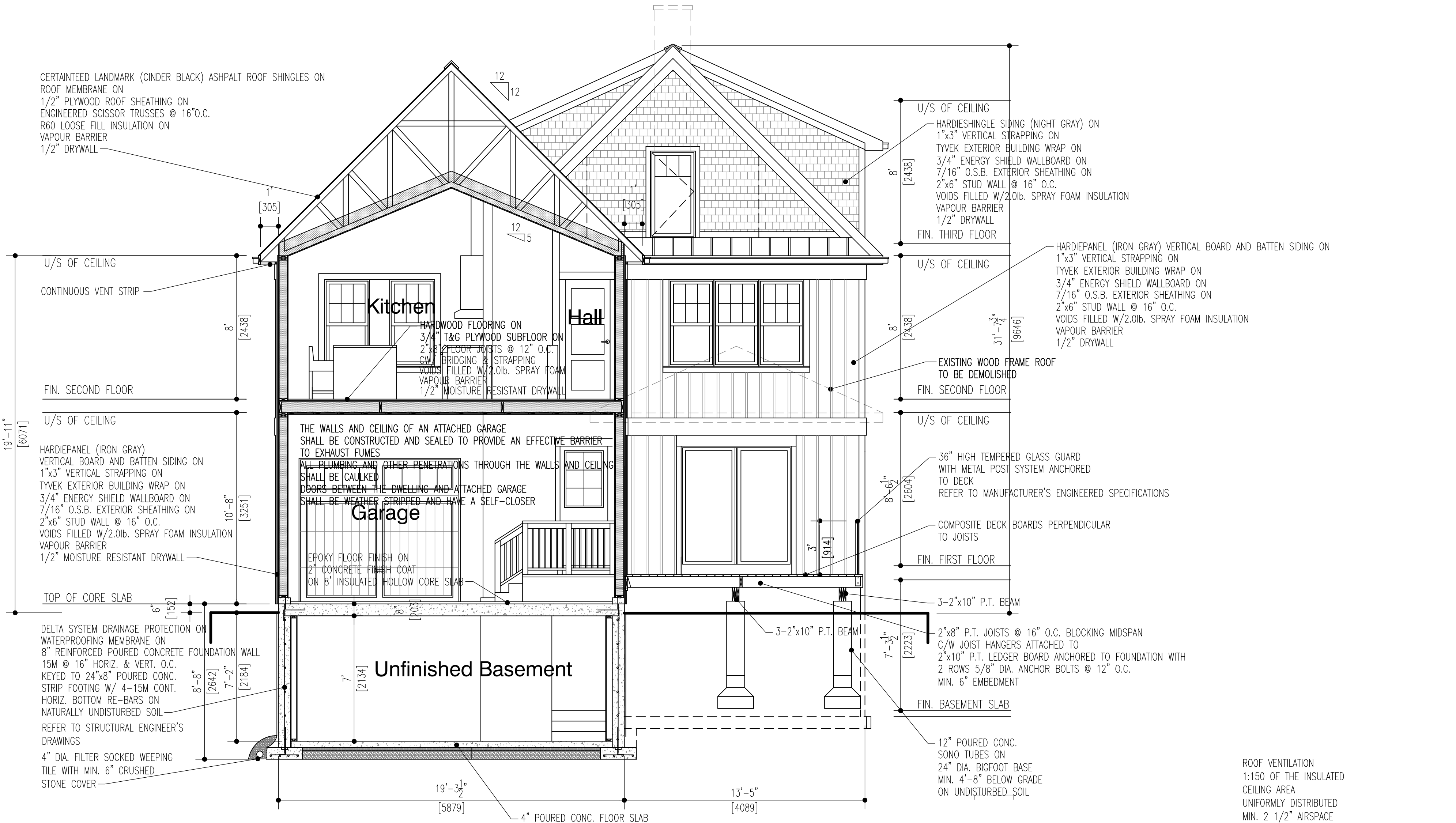
- Every dwelling requires a kitchen sink, lavatory, water closet, bathtub or shower stall and the installation or availability of laundry facilities
- A floor drain shall be installed in the basement, and connected to the sanitary sewer where gravity drainage is possible. In other cases, it shall be connected to a storm drainage system, ditch or dry well

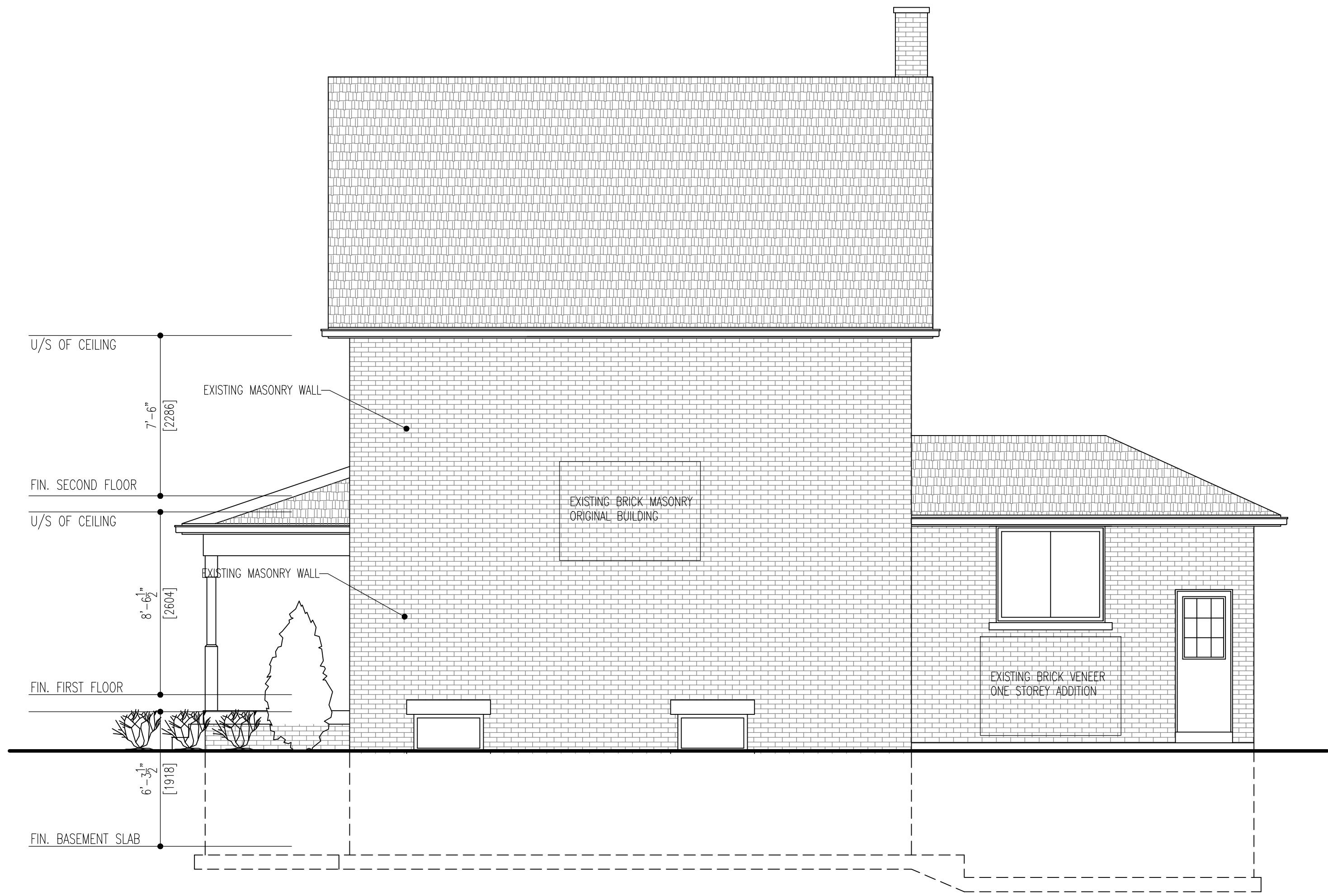
Electrical

- An exterior light controlled by an interior switch is required at every entrance
- A light controlled by a switch is required in every kitchen, bedroom, living room, utility room, laundry room, dining room, bathroom, vestibule, hallway, garage and carport.
- A switched receptacle may be provided instead of a light in bedrooms and living rooms
- Stairs shall be lighted, and except where serving an unfinished basement shall be controlled by a 3 way switch at the head and foot of the stairs
- Basements require a light for each 323 ft², controlled by a switch at the head of the stairs

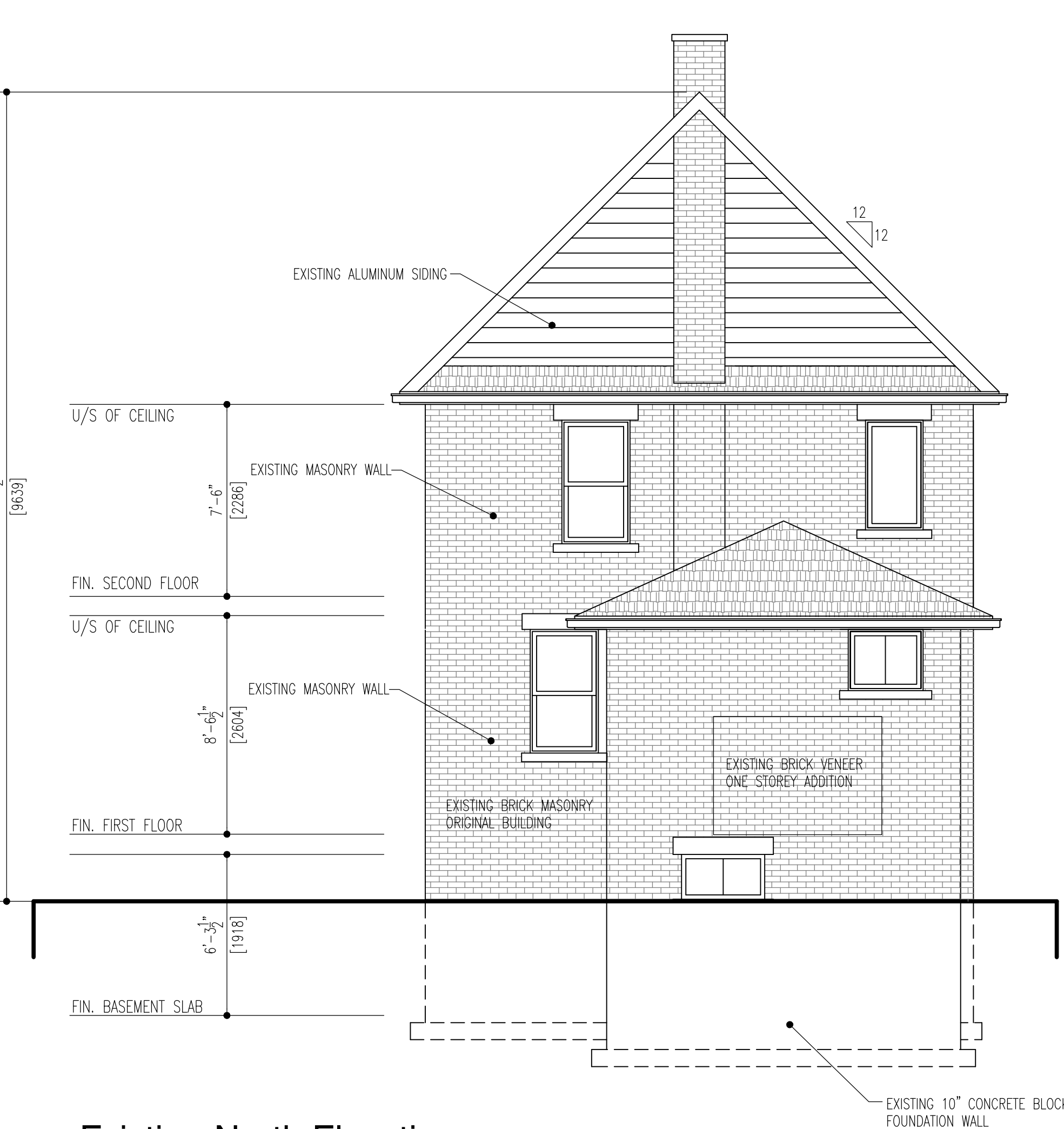
Mechanical Ventilation

- A mechanical ventilation system is required with a total capacity at least equal to the sum of:
 - 10 cfm each for basement and master bedroom
 - 5 cfm for each other room
- A principal dwelling exhaust fan shall be installed and controlled by a centrally located switch identified as such
- Supplemental exhaust shall be installed so that the total capacity of all kitchen, bathroom and other exhausts, less the principal exhaust, is not less than the total required capacity
- A Heat Recovery Ventilator may be employed in lieu of exhaust to provide ventilation. An HRV is required if any solid fuel burning appliances are installed
- Supply air intakes shall be located so as to avoid contamination from exhaust outlets

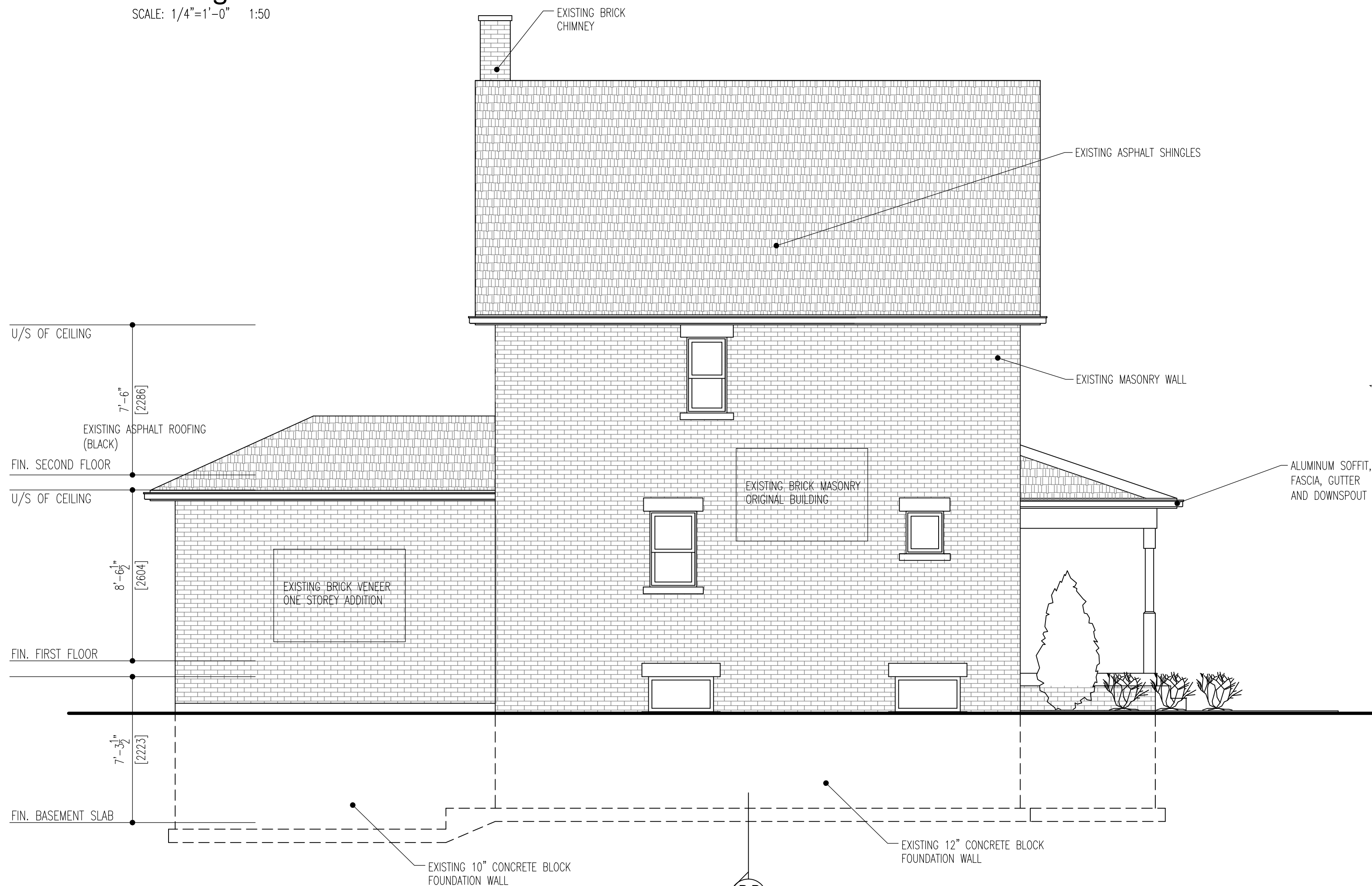




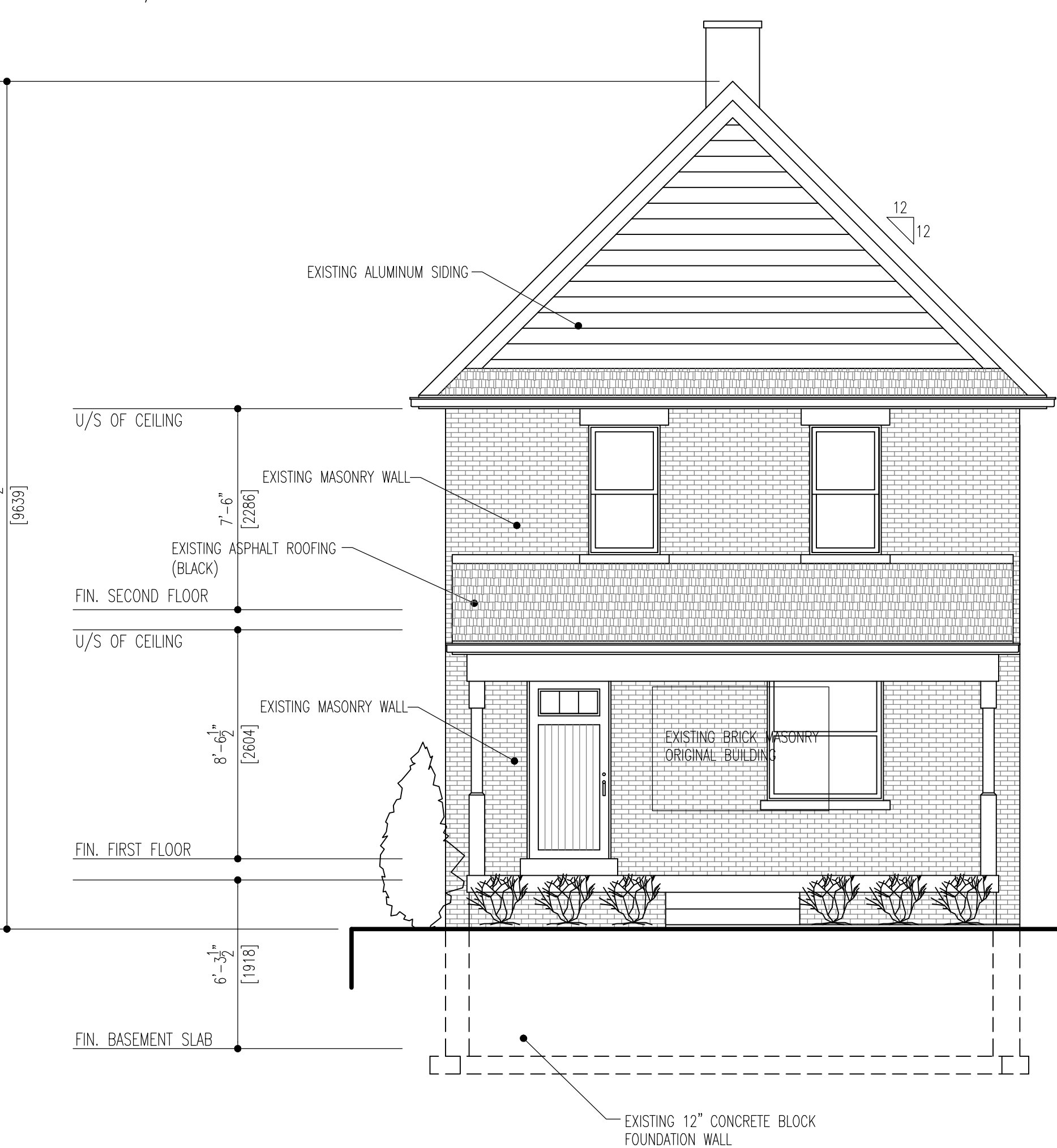
Existing East Elevation
SCALE: 1/4"=1'-0" 1:50



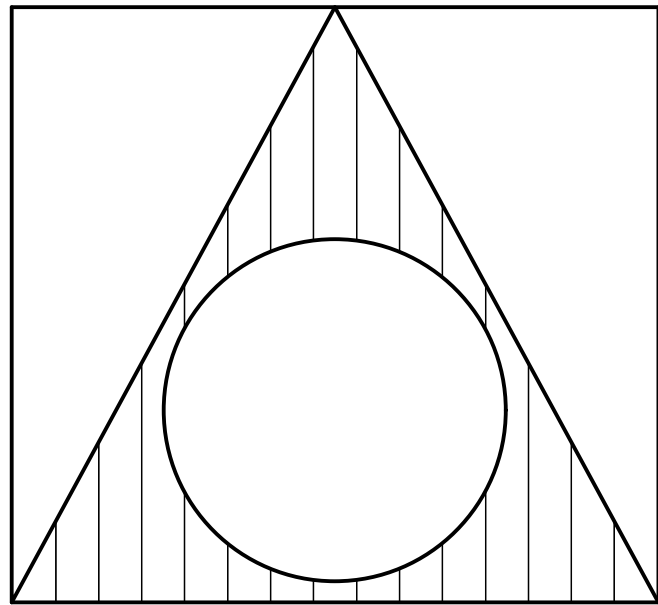
Existing North Elevation
SCALE: 1/4"=1'-0" 1:50



Existing West Elevation
SCALE: 1/4"=1'-0" 1:50



Existing South Elevation
SCALE: 1/4"=1'-0" 1:50



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DO NOT SCALE DRAWINGS.

USE ONLY THE LATEST REVISED DRAWINGS OR THOSE THAT ARE MARKED "FINAL ISSUED FOR CONSTRUCTION".

Telephone/Fax: (705) 721-1409
toivovahidesign@gmail.com

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.5.1. OF THE O.B.C.

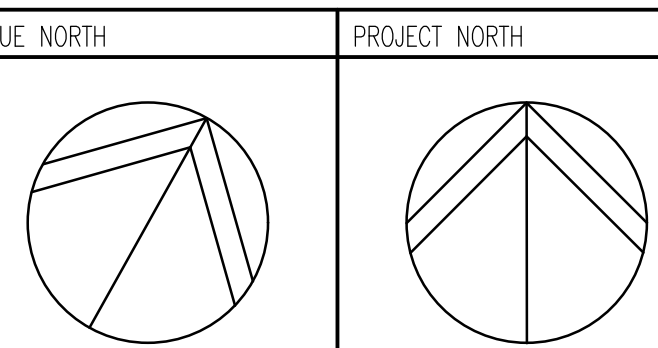
TOIVO VAHI
NAME SIGNATURE BOIN
31358

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.4.1. OF THE O.B.C.

2434627 ONTARIO INC.
o/a TOIVO VAHI DESIGN
FIRM NAME BOIN
32927

2.	REVISED FOR HERITAGE REVIEW	19/02/20	T.V.
1.	ISSUED FOR PERMIT REVIEW	26/09/19	T.V.
NO.	REVISION	DATE	APPR.

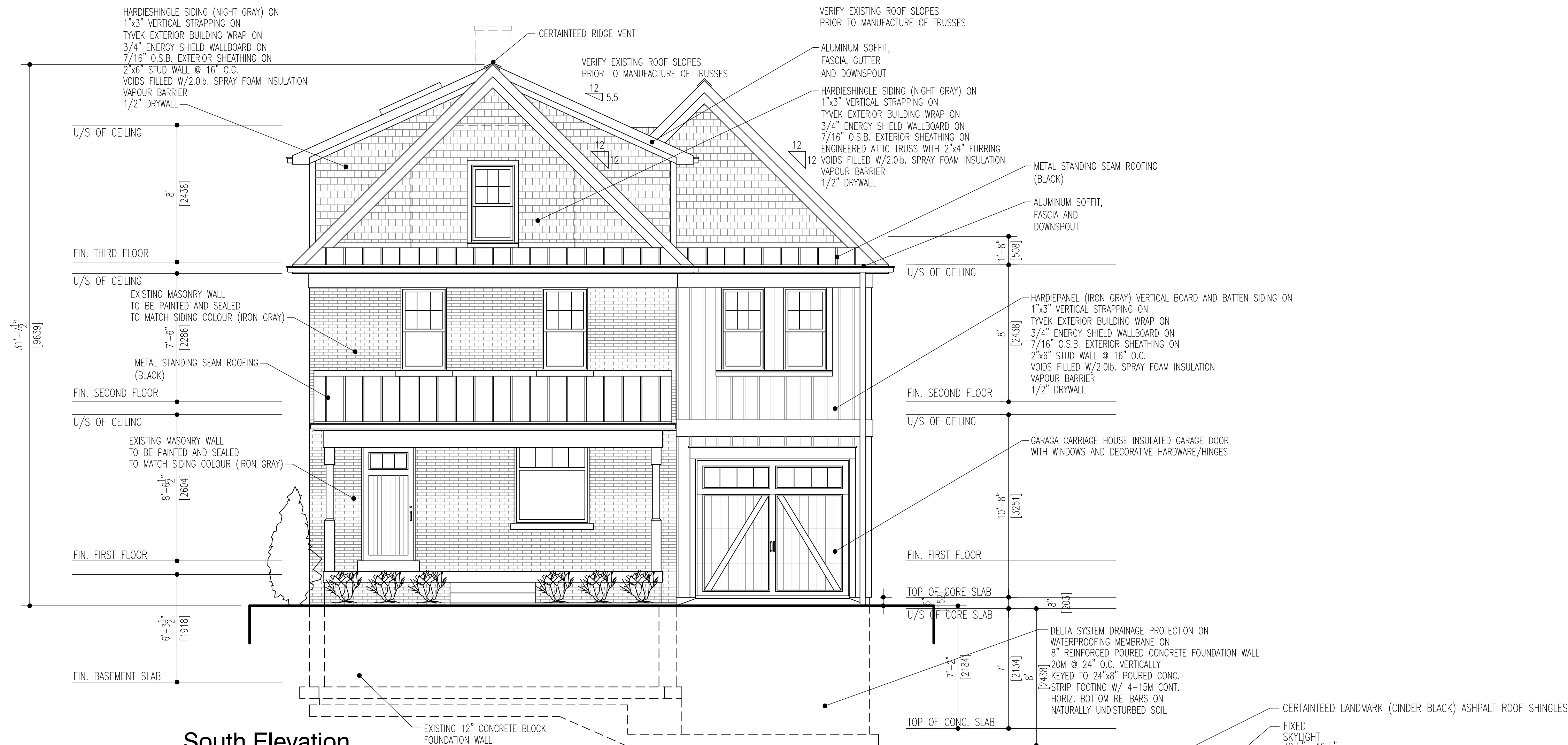
PROJECT:
NEW TWO STOREY REAR ADDITION WITH ATTACHED GARAGE
TO EXISTING TWO STOREY SINGLE FAMILY DWELLING
32 Abell Avenue
VAUGHAN, ONTARIO



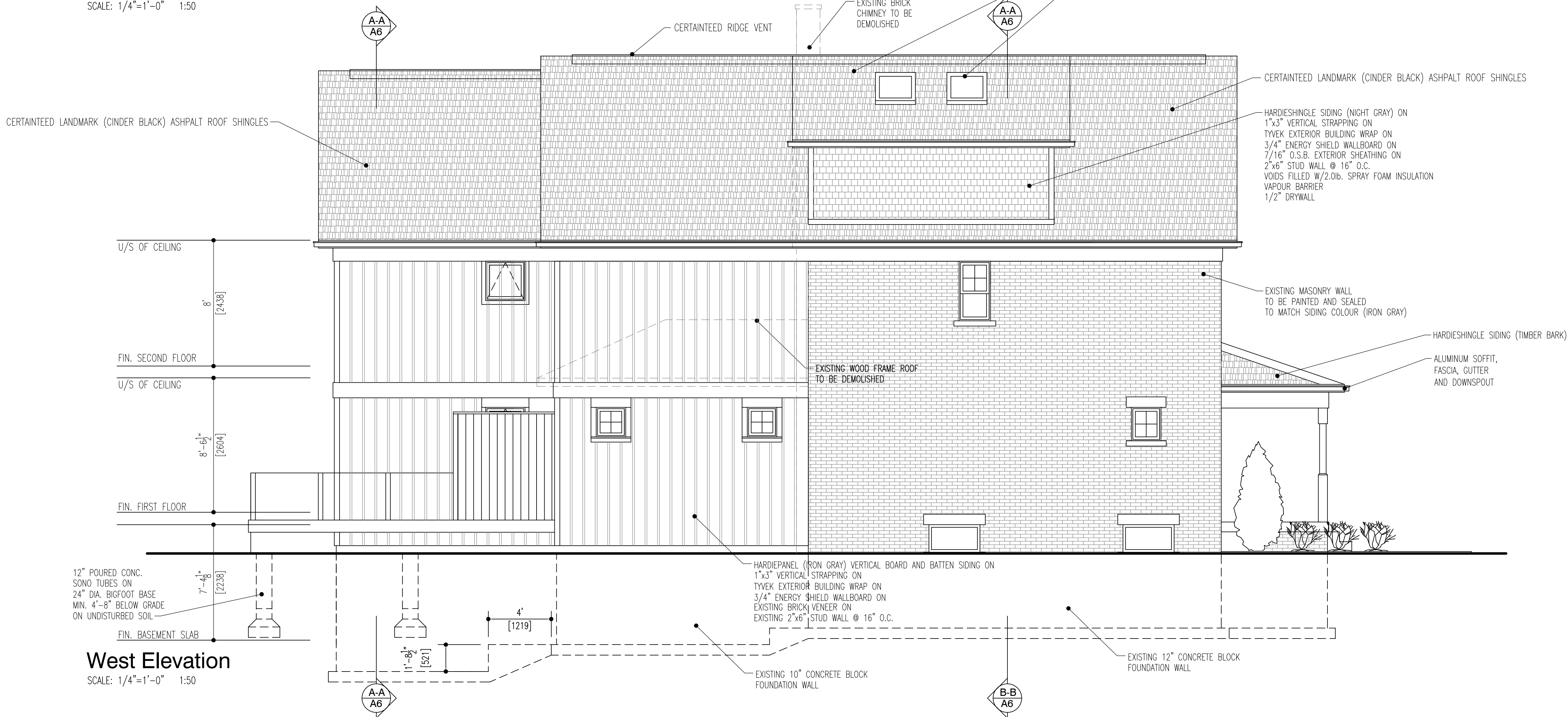
DRAWING CONTENT:
Existing Elevations

DRAWN BY: T.V.	PROJ. NO.: 2018-06	DRAWING NO.: E3
DATE: SEPT. 2018	SCALE: AS NOTED	

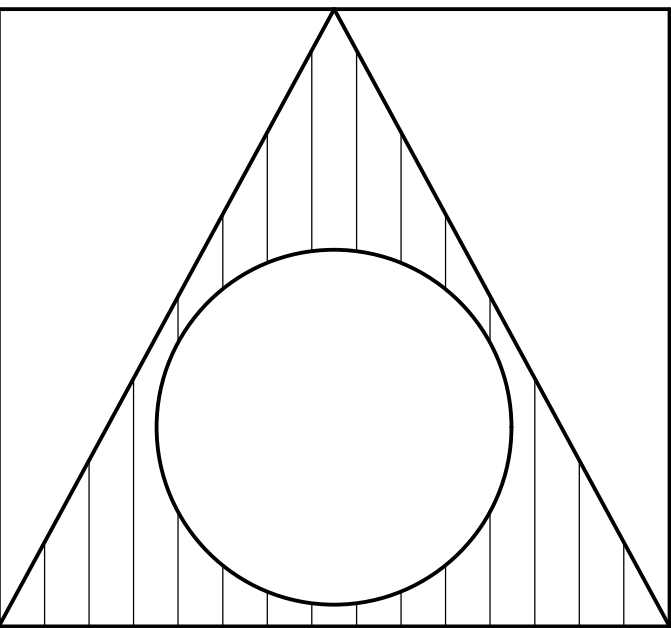
ATTACHMENT 5



South Elevation
SCALE: 1/4"=1'-0" 1:50



West Elevation
SCALE: 1/4"=1'-0" 1:50



toivo vahi design
2434627 ONTARIO INC.

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TOIVO VAHI	31358
NAME	BCIN

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.4.1. OF THE O.B.C.

2434627 ONTARIO INC.	32927
a/o TOIVO VAHI DESIGN	BCIN
FIRM NAME	

2.	REVISED FOR HERITAGE REVIEW	31/01/20	T.V.
1.	ISSUED FOR PERMIT REVIEW	26/09/19	T.V.
NO.	REVISION	DATE	APPR.

PROJECT:
NEW TWO STOREY REAR ADDITION WITH ATTACHED GARAGE
TO EXISTING TWO STOREY SINGLE FAMILY DWELLING
32 Abell Avenue
VAUGHAN, ONTARIO

TRUE NORTH	PROJECT NORTH

DRAWING CONTENT:

Elevations

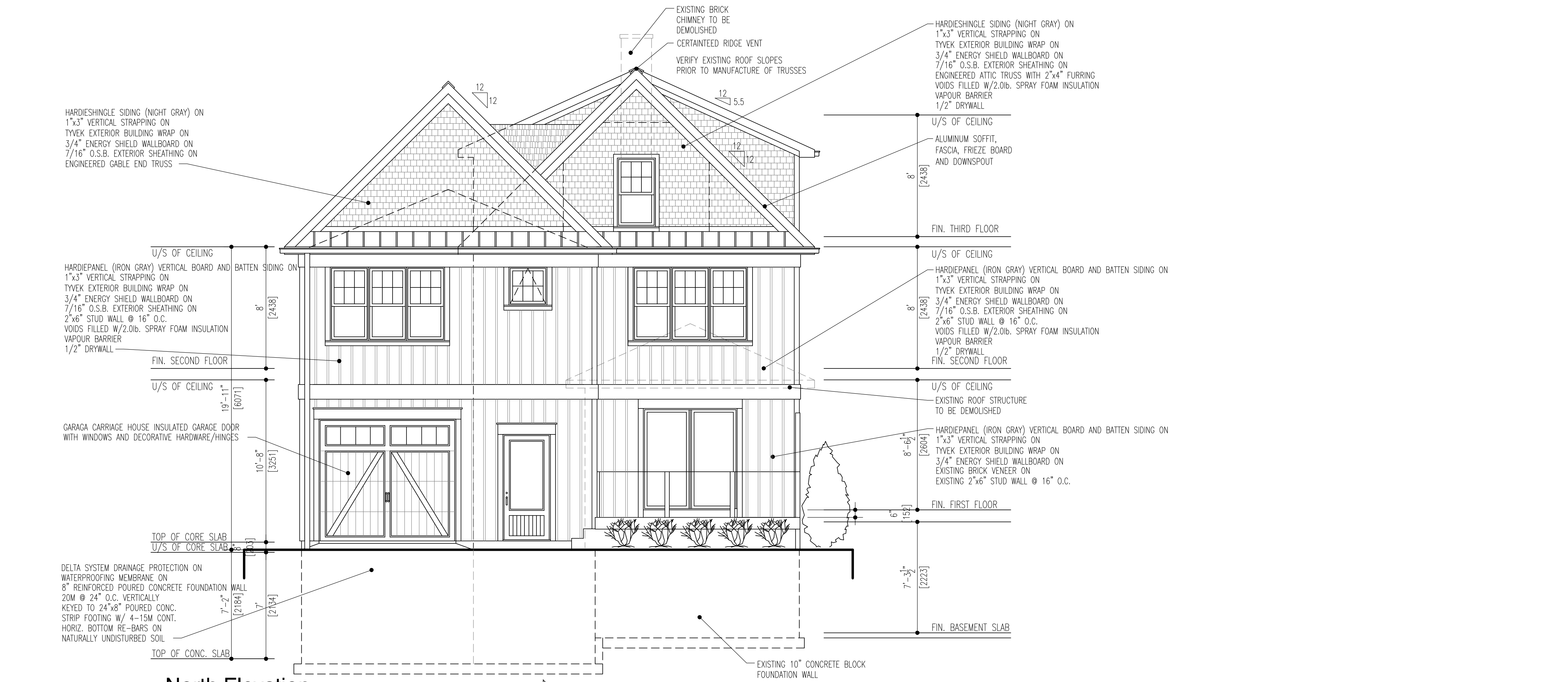
DRAWN BY:	PROJ. NO.:
T.V.	2018-06

DATE:
SEPT. 2018

SCALE:
AS NOTED

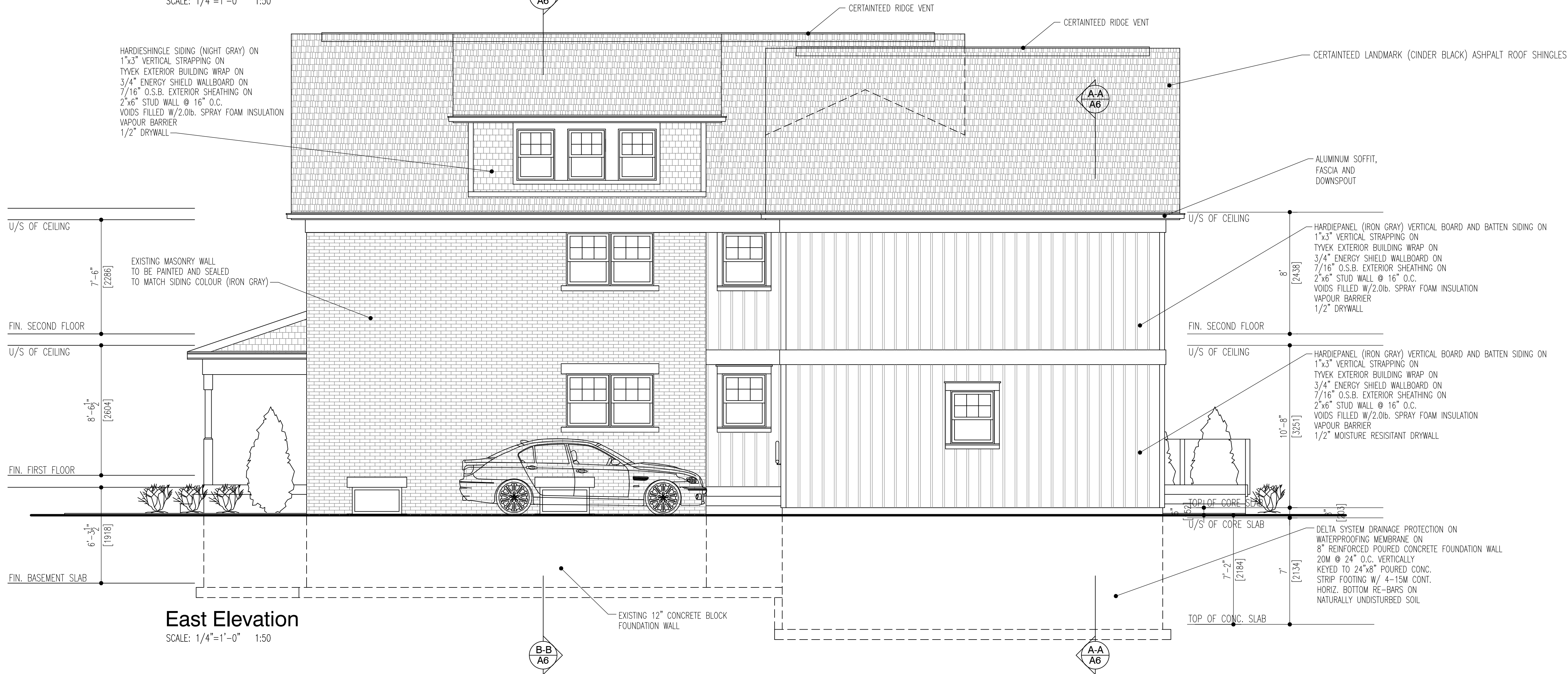
DRAWING NO.:

A4



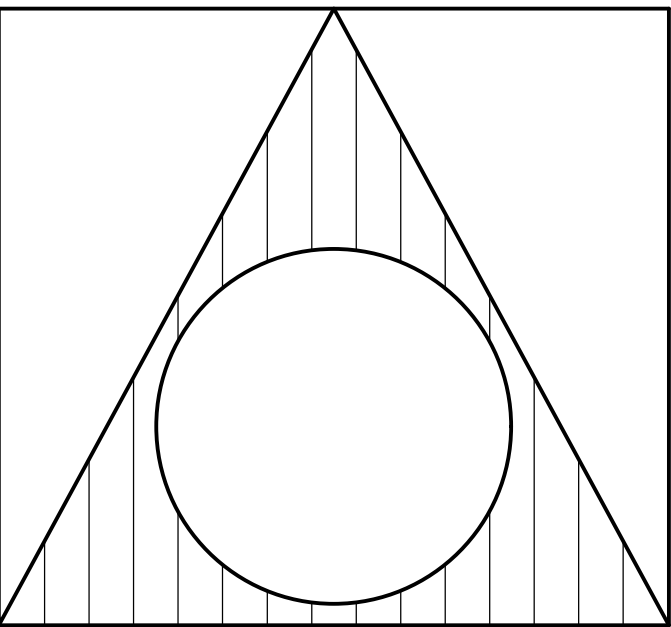
North Elevation

SCALE: 1/4"=1'-0" 1:50



East Elevation

SCALE: 1/4"=1'-0" 1:50



toivo vahi design

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TOIVO VAHI
NAME SIGNATURE BCIN 31358

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.4.1. OF THE O.B.C.

2434627 ONTARIO INC.
o/a TOIVO VAHI DESIGN
FIRM NAME BCIN 32927

2.	ISSUED FOR HERITAGE REVIEW	31/01/20	T.V.
1.	ISSUED FOR PERMIT REVIEW	26/09/19	T.V.
NO.	REVISION	DATE	APPR.

PROJECT:
NEW TWO STOREY REAR ADDITION WITH ATTACHED GARAGE
TO EXISTING TWO STOREY SINGLE FAMILY DWELLING
32 Abell Avenue
VAUGHAN, ONTARIO


TRUE NORTH	PROJECT NORTH

DRAWING CONTENT: Elevations		
DRAWN BY: T.V.	PROJ. NO.: 2018-06	A5
DATE: SEPT. 2018		
SCALE: AS NOTED		


32 Abell Avenue



ATTACHMENT 6




The products you'll see below are readily available for zip code **L0L 1X0**. Not your zip code? **Update it now.**




HARDIEPANEL® VERTICAL SIDING

SELECT CEDARMILL®

Our natural cedar look has a soft texture that mimics wood.






HARDIEPANEL® VERTICAL SIDING


SMOOTH

You can't go wrong with this simple, versatile look.



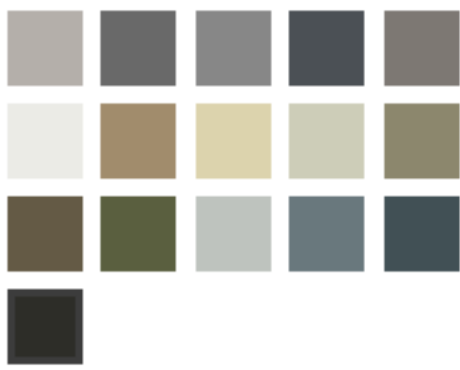
THE STATEMENT COLLECTION™

Classic shades—engineered with long-lasting ColorPlus® Technology—will make a statement that resonates for generations. The tried and true colors of James Hardie's Statement Collection™ products were designed for every home. They're our most popular hues. And they are readily available in your region.



SIDING COLORS

Iron Gray



Request a Quote >

Request a Sample >

Colors shown may vary due to screen resolution. Please see actual product sample for true color.

AVAILABLE SIZES

THICKNESS: 3.312"	WIDTHS: 48" EXPOSURES: 48"
LENGTH: 96" boards	

Warranty Information >

LANDMARK®

COLORVIEW

GET AN ESTIMATE

OVERVIEW

TECHNICAL INFO

INSTALLATION

WARRANTY

FIND A PRO

LANDMARK®

For homeowners seeking true peace of mind, Landmark® shingles are the high-quality, reliable choice for beautifying and protecting a home. With a dual-layered design that emulates the dimensionality of true wood shake, Landmark asphalt shingles offer the heaviest weight and widest array of color options in their class, allowing you to create or re-create the ideal look for your home with confidence. Backed by a 100+ year legacy of trusted manufacturing performance, all Landmark shingles include CertainTeed's industry-leading, lifetime-limited warranty.

- Certified as meeting the industry's toughest third-party (UL) manufacturing quality standards
- Dual-layered construction provides extra protection from the elements
- Ten year StreakFighter® algae-resistance warranty
- Class A fire-resistance rating

Due to variation in computer monitors and printers, the color samples seen on your computer screen may not exactly match the corresponding color. To verify actual product color, ask to see the actual product, available through a CertainTeed contractor or distributor.

PRODUCT OVERVIEW

- [Landmark Series Brochure - Northwest](#)
- [Landmark Series Brochure - North Central](#)
- [Landmark Series Brochure - Lake Central](#)
- [Landmark Series Brochure - Northeast](#)
- [\(More Info\)](#)

TECHNICAL SPECS

- [Data Sheet - Landmark Series](#)
- [SDS - Asphalt Shingle - AR](#)
- [SDS - Asphalt Shingle - non-AR](#)
- [3-Part Spec - Landmark](#)
- [\(More Info\)](#)

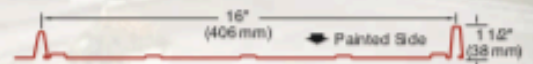
INSTALLATION

- [Landmark Installation Instructions](#)
- [Video:Installing Landmark - five course pattern, alternate closed cut valley & skylight flashing](#)
- [\(More Info\)](#)

Make a statement without
saying a word...

INTRODUCING
TWO NEW
MATTE COLOURS

PRESTIGE



THE RESIDENTIAL METAL ROOFING COLLECTION BY VICWEST

Standard Finish - 16" (26 Gauge)

56161 Cambridge White	56076 White White	56069 Bone White	56162 Antique Linen	56074 Tan	56154 Metro Brown	56062 Dark Brown
56080 Bright Red	56090 Ivory	56065 Mist Green	56073 Dark Green	56157 Turquoise	56067 Slate Blue	56081 Royale Blue
56079 Heron Blue	56068 Black	56072 Charcoal	56071 Stone Grey	56082 Regent Grey	AZ 150 Galvalume TM Plus	

Standard Finish - 20" (24 Gauge)

56062 Dark Brown	56064 Dark Red	56068 Black	ME3234 Copper	AZ 180 Galvalume TM Plus

Matte Finish - 26 Gauge

9822 Ebony	10695 Shadow Deep Gray
9821 Graphite	10740 Burnished Slate
10276 Espresso	

Our **Prestige** roof is an elegant batten-style roofing profile that is installed direct on a solid substrate using Vicwest's unique snap-in-place design. Visually striking and available in a rich, sophisticated colour palette, **Prestige** is the perfect solution for homeowners looking for a "statement" roof. Engineered from 24 or 26-gauge steel and backed by a 50-year lifetime limited transferable finish warranty, **Prestige** makes a bold statement and is fully supported by the best warranty in its class.

Note: GalvalumeTM is not a 50-year finish

vicwest.com



BUILDING FOR TOMORROW

Colours shown above may vary from actual colours due to printing process. We recommend you ask your Vicwest distributor for actual samples before making a colour selection.



HARDIESHINGLE® SIDING

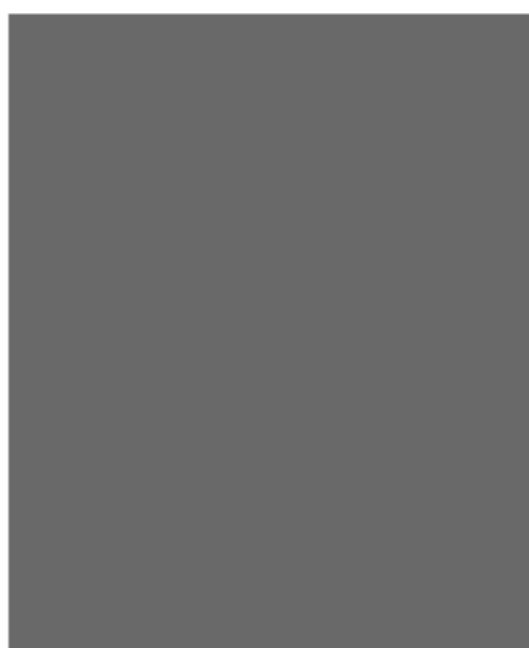
STRAIGHT EDGE PANEL

A clean-lined, tailored look.



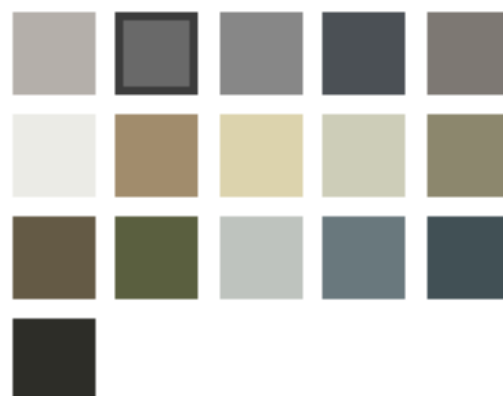
THE STATEMENT COLLECTION™

Classic shades—engineered with long-lasting ColorPlus® Technology—will make a statement that resonates for generations. The tried and true colors of James Hardie's Statement Collection™ products were designed for every home. They're our most popular hues. And they are readily available in your region.



SIDING COLORS

Night Gray



[Request a Quote >](#)

[Request a Sample](#)



Colors shown may vary due to screen resolution. Please see actual product sample for true color.

AVAILABLE SIZES

THICKNESS: 3.25"	WIDTHS: 15.25" EXPOSURES: 6.976"
LENGTH: 48" boards	

[Warranty Information >](#)

Not finding the color you're looking for?

[+ See More Color Options](#)

SIZING INTERIOR HARDWARE GRILLES EXTERIOR GLASS SUMMARY

400 Series Double-Hung Window



SAVE

FIND A DEALER

PRODUCT
DETAILS

REQUEST A
QUOTE

To purchase this product or customize it further, take this summary to your Andersen dealer.

Product Name	400 Series Double-Hung Window
Product ID#	TW2636
Unit Width	31 5/8"
Unit Height	44 7/8"
Interior Color	Pine
Glass	Low-E4® Glass
Hardware	Standard Lock and Keeper, Black
Optional Hardware	None, Black
Grille Pattern	Colonial - Top Sash Only
Grille Width	3/4"
Exterior Color	Sandtone
Exterior Trim Profile	None
Exterior Trim Color	Sandtone

* Distressed bronze and oil rubbed bronze are 'living' finishes that will change with time and use.

* Options shown are not available for all products within the series. Computer monitor limitations prevent exact color duplication. For an accurate representation of color options please view actual color samples available at your Andersen window & patio door supplier.

SUMMARY OF YOUR GARAGE DOOR PROJECT



Model:	Eastman E-22
Quantity:	1
Size:	9' 0" x 7' 0" (width x height)
Sections:	1¾"-thick galvanized steel + 5/8" overlays, insulation R-16 26-gauge galvanized steel, woodgrain finish; Each section is built with solid mechanical interlocking joint using triple contact InterLok weatherstripping. Pressure-injected polyurethane foam insulation.
Color:	Claystone, Overlays: Claystone
Windows:	Thermopane - Decorative inserts Richmond (40" X 13") Sealed thermal glass inserted into a polypropylene frame; windows are thermopane.

Please note that colors shown on your screen may vary based on your screen or printer settings. To have a precise view of colors, contacts a Garaga dealer for samples.



Find a Garaga Dealer near you!

To get your project started

