

**File:** A135/19

**Applicant:** Aldo Mirigello

**Address:** 176 Davidson Drive, Woodbridge ON

**Agent:** Sabrina Sgotto - Weston Consulting

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection	<input checked="" type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	
Cultural Heritage (Urban Design)	<input checked="" type="checkbox"/>	
Development Engineering	<input checked="" type="checkbox"/>	
Parks, Forestry and Horticulture Operations		
By-law & Compliance	<input checked="" type="checkbox"/>	
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department		
TRCA		
Ministry of Transportation		
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)	<input checked="" type="checkbox"/>	

Adjournment History: October 31, 2019, December 12, 2019 (see next page for details)

Background History: A115/19 and A131/15 (see next page for details)

Staff Report Prepared By: Lenore Providence  
Hearing Date: Thursday , June 11, 2020



Minor Variance  
Application

Agenda Item: 22

A135/19

Ward: 2

Staff Report Prepared By: Lenore Providence, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing: Thursday, June 11, 2020 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

Please submit written comments by mail or email to:

City of Vaughan  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
[cofa@vaughan.ca](mailto:cofa@vaughan.ca)

To make an electronic deputation at the meeting please see Important Information on next page for instructions or contact the Committee of Adjustment at [cofa@vaughan.ca](mailto:cofa@vaughan.ca) or 905-832-8585. Ext. 8332.

Written comments and public deputation requests must be received by noon on the last business day prior to the scheduled hearing.

Applicant:	Aldo Mirigello
Agent:	Sabrina Sgotto - Weston Consulting Group Inc.
Property:	176 Davidson Drive, Woodbridge ON
Zoning:	The subject lands are zoned R1 Residential Zone One, and subject to the provisions of Exception No. 9(1349), under By-law 1-88 as amended.
OP Designation:	VOP 2010: "Low Rise Residential", Volume 2, Section 11.11 Woodbridge Centre Secondary Plan
Related Files:	None.
Purpose:	Relief from the by-law is being requested to permit the existing cabana located in the rear yard

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A maximum total of 67m2 is permitted for all accessory buildings.	1. To permit a maximum of 135.2 m2 of floor area of the accessory building.
2. A maximum lot coverage of 30% is permitted.	2. To permit a total maximum lot coverage of 45.1% (Dwelling 34.5% and Cabana 10.6%).
3. A maximum building height of 4.5 metres is permitted for the accessory building.	3. To permit a maximum building height of 5.13 metres for the accessory building.
4. A maximum building height of 3.0 metres is permitted to the nearest part of the roof for the accessory building.	4. To permit a maximum building height of 3.45 metres to the nearest part of the roof for the

Background (previous applications approved by the Committee on the subject land):

Application No.:	Description:	Status of Approval: Approved/Refused/Withdrawn/ OMB/Concurrent
A115/18	Relief from the by-law is requested to permit the proposed construction of a cabana located in the rear yard 1. To permit a minimum rear yard setback of 1.25metres to the accessory building. 2. To permit a minimum rear yard setback of 1.25 metres to the exterior stairs of the accessory building.	Partially Approved –August 16, 2018.  Variances 1, 2 & 7 were approved.

Application No.:	Description:	Status of Approval: Approved/Refused/Withdrawn/ OMB/Concurrent
	3. To permit a maximum of 135.2 m2 of floor area of the accessory building. 4. To permit a total maximum lot coverage of 45.1% (dwelling 34.5%, cabana 10.6%) 5. To permit a maximum building height of 5.55 metres for the accessory building. 6. To permit a maximum building height of 4.20 metres to the nearest part of the roof for the accessory building. 7. To permit a minimum rear yard landscaping of 16.3%.	Variances 3, 4, 5 & 6 were refused.
A131/15	To permit the construction of a single-family dwelling, as follows: To permit a maximum lot coverage 34.97% (includes 1.7% covered unenclosed front portico)	Approved April 30, 2015

For information on the previous approvals listed above please visit [www.vaughan.ca](http://www.vaughan.ca). To search for a file number, enter it using quotes around it. For example, “A001/17”.

To search property address, enter street number and street name using quotes. For example, “2141 Major Mackenzie”. Do not include street type (i.e. drive).

Adjournment History:

Hearing Date:	Members Absent from Hearing:	Status of Adjournment: (i.e. date/sine die)	Reason for Adjournment:
Dec. 12/19	None	April 2/20 or sooner	Agent requested adjournment to April 2020 or sooner as discussions with City staff are ongoing. The applicant could not proceed to the April 2 meeting due to the office closure.
Oct. 31/19		December 12/19	New agent requires time to review the application.

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:

Public notice was mailed on May 27, 2020

Applicant confirmed posting of signage on May 28, 2020

Property Information	
Existing Structures	Year Constructed
Dwelling	2017
Cabana	2017

Applicant has advised that they cannot comply with By-law for the following reason(s): The cabana is existing, and has been before the committee through minor Variance Application A 115/18, i have made every effort to find another way to conform. To comply would mean a complete demolition, and hundreds of thousands of dollars in expenses. I respectfully ask, that the committee re consider, under the circumstances. I respectfully, i ask that the committee look at previous approvals for variances, for accessory buildings, Previous historical applications with similar variances approved, A 196/18, A077/18, A 138/18, A024/14, A106/16, A196/18, all with Planning support, for other Vaughan residents.

A 196/18, A077/18, A 138/18, A024/14, A106/16, A196/18 have been included in Schedule E.

Adjournment Request: N/A

Building Standards (Zoning Review):

Stop Work Order(s) and Order(s) to Comply:  
Order No. 17-000250, Order to Comply for , Issue Date: Oct 31, 2017

Building Permit No. 17-003391 for Shed/Gazebo - (Not Yet Issued)

Building Inspections (Septic):

No comments or concerns

**Development Planning:**

Vaughan Official Plan 2010 ('VOP 2010'): "Low Rise Residential", Volume 2, Section 11.11 Woodbridge Centre Secondary Plan

The Owner is requesting permission to maintain an existing cabana in the rear yard, requiring the above noted variances. On August 16, 2018, the Committee of Adjustment partially refused variances for the maintenance of the existing cabana (A115/18), including a revised reduction to the maximum building height of 5.55 m. At the request of the Development Planning Department, the Owner is proposing to reduce the maximum building height to 5.13 m by eliminating the middle peak to be flush with the rest of the roof structure.

On April 30, 2015, the Committee of Adjustment approved Minor Variance Application A131/15 to permit an increase in the maximum lot coverage from 30% to 34.97% for the construction of the existing dwelling on the subject lands. The current application to permit the existing cabana is for an additional 10.13% in lot coverage, increased maximum building height to the top of the roof from the permitted 4.5 m to 5.13 m, an increased maximum building height to the nearest part of the roof from 3 m to 4.2 m, and an increased area devoted to accessory structures from 67 m<sup>2</sup> to 135.2 m<sup>2</sup>.

The Development Planning Department is satisfied with the revision to the reduced 5.13 m building height as it addresses previous concerns. The proposed height is consistent with previous approvals in similar R1V lots and is more appropriate for the subject property. While the lot coverage and gross floor area of the cabana remain unchanged, the reduced height of 5.13 m improves the design and massing of the structure, thereby minimizing overall impacts to the adjacent neighbours to the east and west.

Zoning By-law 1-88 includes all covered areas of a structure when calculating lot coverage and floor area of an accessory structure. The total floor area of the cabana is 135.2m<sup>2</sup>, including 55m<sup>2</sup> in roof coverage for the opened and unenclosed entertainment areas abutting the neighbouring properties. The gross floor area of the enclosed portion of the cabana is limited to 60.1m<sup>2</sup>. The cabana is located in the rear yard and a heavily wooded area of the golf course and would not result in adverse impacts to the neighbouring property. Moreover, the further increase in lot coverage does not impact the streetscape as the cabana is located in the rear yard with limited visibility from the street line.

Accordingly, the Development Planning Department is of the opinion that the revised proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

The Development Planning Department recommends approval of the minor variance application.

**Cultural Heritage (Urban Design):**

No comments or concerns

**Development Engineering:**

The Development Engineering (DE) Department does not object to variance application A135/19.

**Parks, Forestry and Horticulture Operations:**

No comments or concerns

**By-Law and Compliance, Licensing and Permit Services:**

No comments or concerns

**Financial Planning and Development Finance:**

No comment no concerns

**Fire Department:**

No Response.

**Schedule A – Plans & Sketches****Schedule B – Public Correspondence**

A135/19 – Public Correspondence (175 Davidson Drive)  
 A135/19 – Public Correspondence (187 Davidson Drive)  
 A135/19 – Public Correspondence (2 Davidson Drive)  
 A135/19 – Public Correspondence (188 Davidson Drive)  
 A135/19 – Public Correspondence (162 Davidson Drive)  
 A135/19 – Public Correspondence (20 Lloyd Street)  
 A135/19 – Public Correspondence (170 Davidson Drive)  
 A135/19 – Public Correspondence (184 Davidson Drive)



**Schedule C - Agency Comments**

Alectra (Formerly PowerStream) – No concerns or objections

**Schedule D - Previous Approvals (Notice of Decision)**

Minor Variance A115/18

Minor Variance A131/15

**Schedule E – Similar Approvals (Notice of Decision)****Background (previous applications approved by the Committee):**

Minor Variance A196/18

Minor Variance A138/18

Minor Variance A077/18

Minor Variance A106/16

Minor Variance A024/14

**Staff Recommendations:**

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

**Conditions**

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**Please Note:**

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

**Notice to the Applicant – Development Charges**

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department;

## Notice to Public

**PLEASE NOTE:** As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

**PUBLIC CONSULTATION DURING OFFICE CLOSURE:** Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
[cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**ELECTRONIC PARTICIPATION:** During the COVID-19 emergency, residents can view a live stream of the meeting at [vaughan.ca/LiveCouncil](http://vaughan.ca/LiveCouncil). To make an electronic deputation, residents must contact the Committee of Adjustment no later than **noon** on the last business prior to the day of the scheduled hearing (see above for contact details).

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

**PUBLIC RECORD:** Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

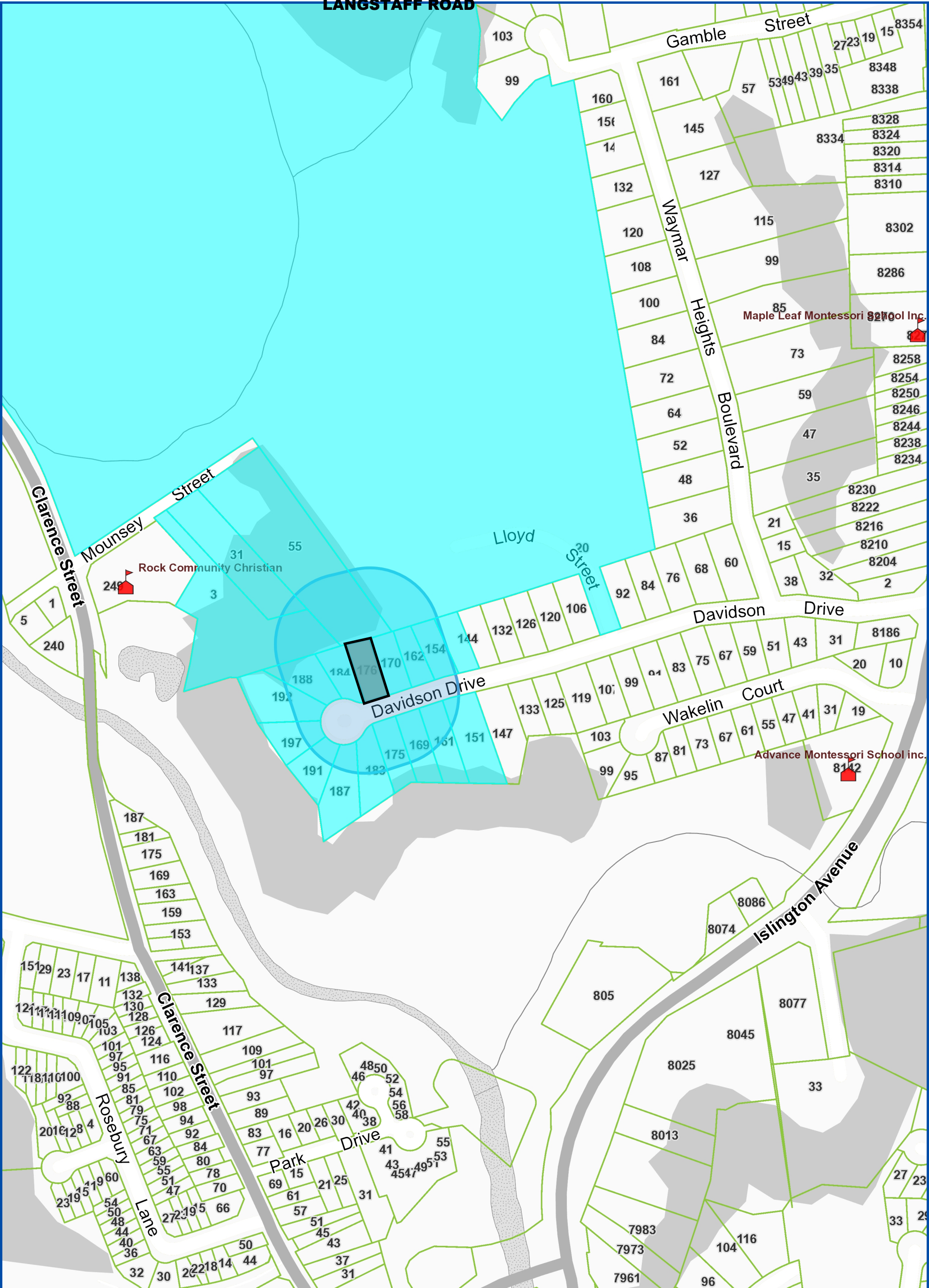
**For further information please contact the City of Vaughan, Committee of Adjustment**

T 905 832 8585 Extension 8394  
E [CofA@vaughan.ca](mailto:CofA@vaughan.ca)

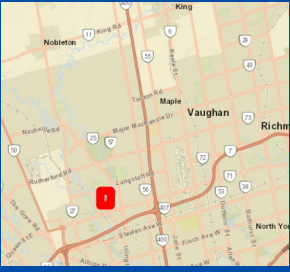
Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

Location Map  
Plans & Sketches



Map Information:



Title:

176 Davidson Drive, Woodbridge

NOTIFICATION MAP - A135/19

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



HIGHWAY 7

Scale: 1: 4,514

0 0.07 km



Created By:

Infrastructure Delivery  
Department  
July 11, 2018 12:17 PM

Projection:  
NAD 83  
UTM Zone  
17N



Revised

March 4, 2020

A135/19

NOTES:

Builder to provide location and elevation of storm / sanitary sewer laterals at streetline prior to commencing any works. Adjustments (if any) to be made prior to proceeding with any building activity.

Note:

ELEVATIONS ARE GEODETIC AND ARE REFERRED TO CAN-NET BASE STATION "TORO" HAVING AN ORTHOMETRIC ELEVATION OF 111.272 METRES.

REAR YARD STATISTICS

TOTAL REAR YARD AREA : 500m<sup>2</sup>  
POOL : 67.0m<sup>2</sup> (13.4%)  
CABANA : 135.2m<sup>2</sup> (27.0%)  
SOFT LANDSCAPING : 151.9m<sup>2</sup> (31.0%)  
HARD LANDSCAPING : 42.9m<sup>2</sup> (8.6%)

BUILDING STATISTICS

LOT AREA : 1274.83m<sup>2</sup>  
DWELLING : 439.5m<sup>2</sup> (34.5%)  
CABANA : 135.2m<sup>2</sup> (10.6%)  
TOTAL : 574.7m<sup>2</sup> (45.1%)

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE

CLIENT  
CUSTOM RESIDENCE

PROJECT/LOCATION  
176 DAVIDSON DR.  
VAUGHAN, ONTARIO

DRAWING  
SITE GRADING PLAN

BUILDING STATISTICS

REG. PLAN No.	
ZONE	R1
LOT NUMBER	6
LOT AREA(m <sup>2</sup> )	1274.83m <sup>2</sup>
BLDG AREA(m <sup>2</sup> )	574.7m <sup>2</sup>
LOT COVERAGE(%)	45.1%
No. OF STOREYS	2
MEAN HEIGHT(m)	8.94m
PEAK HEIGHT(m)	N/A
DECK LINE(m)	N/A

LEGEND	
FFE	FINISHED FLOOR ELEVATION
TFW	TOP OF FOUNDATION WALL
TBS	TOP OF BASEMENT SLAB
USF	UNDER SIDE FOOTING
USFR	UNDER SIDE FOOTING @ REAR
USFG	UNDER SIDE FOOTING @ GARAGE
TEF	TOP OF ENGINEERED FILL
R	NUMBER OF RISERS TO GRADE
WOD	WALKOUT DECK
LOB	LOOKOUT BASEMENT
WOB	WALK OUT BASEMENT
REV	REVERSE PLAN
STD	STANDARD PLAN
DOOR	DOOR
WINDOW	WINDOW
BELL	BELL PEDISTAL
CABLE	CABLE PEDISTAL
CATCH	CATCH BASIN
DBL	DBL CATCH BASIN
ENG	ENGINEERED FILL
HYDRO	HYDRO CONNECTION
FIRE	FIRE HYDRANT
STREET	STREET LIGHT
MAIL	MAIL BOX
TRANS	TRANSFORMER
WATER	WATER VALVE
WATER	WATER CONNECTION
SEWER	SEWER CONNECTIONS
SEWER	SEWER CONNECTIONS
AIR	AIR CONDITIONING
DOWN	DOWN SPOUT TO SPLASH PAD
SWALE	SWALE DIRECTION
CHAIN	CHAINLINK FENCE
PRIVACY	PRIVACY FENCE
SOUND	SOUND BARRIER
FOOTING	FOOTING TO BE EXTENDED
PROPOSED	TO 1.25 MIN. BELOW GRADE
PROPOSED	GRADE
EXISTING	EXISTING GRADE

ISSUED OR REVISION COMMENTS				
NO.	DESCRIPTION	DATE	OWN	CHK
1	ISSUED FOR REVIEW (SITED)	APR. 11/13	NP	BS
2	ISSUED FOR REVIEW	MAY. 14/13	NP	BS
3	REV. PER ENG. COMM.	NOV. 7/13	NP	BS
4	ISSUED FOR FINAL	NOV. 11/13	NP	NP
5	RE-ISSUED FOR FINAL	FEB. 18/15	RK	NP
6	REVISED PER CITY COMM.	MAR. 5/15	NP	NP
7	RE ISSUED FOR FINAL	MAR. 9/15	NP	NP
8	RE-GRADED AS PER NEW MODEL	APR. 21/15	BWS	NP
9	ISSUED FOR REVIEW	APR. 30/15	BWS	NP
10	ISSUED FOR REVIEW	MAY 11/15	BWS	NP
11	ISSUED FOR REVIEW	MAY 22/15	BWS	NP
12	ADDED CABANA - FOR REVIEW	SEP. 27/15	SDU	NP
13	REV. AS PER ALDO COMMENTS	JULY 31/16	NA	AL
14	REV. AS PER ALDO COMMENTS	AUG. 09/16	BWS	AL



I, ARTHUR PUTYAN, LAWYER, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C, PART 3, SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 41230  
FIRM BCIN: 28995  
DATE:

SIGNATURE:

DRAWN BY  
BWS

SCALE  
1:250

PROJECT No.  
12091

LOT NUMBER  
6



- 1) All...
- 2) The contractor shall check and verify all given grade elevations and drainage prior to commencement of construction.
- 3) Under side of footing shown is taken from architectural plans and may not represent actual footing depth.
- 4) Footings must bear on native, undisturbed soil or rock, and be a minimum of 1.22 m below finished grade.
- 5) Exterior cladding, thresholds, and window sills shall be a minimum of 150 mm above finished grade.
- 6) Driveways must be clear of light standards by a MIN of 1.5m and other above ground services or other obstructions (hydro transformers) bell pedestals, etc.) by a minimum of 3.0m no deflection in driveway alignment is permitted to achieve the clearance.
- 7) Any above ground utilities not meeting the above noted minimum clearances from proposed driveway are to be relocated at the applicants expense.
- 8) SWALES:
  - I) Swales providing internal drainage from each lot shall have a minimum slope of 2%.
  - II) Swales must be 1.0 m from lot line to higher property.
  - III) Minimum swale depth to be 250mm.
  - IV) Maximum swale side slope to be 3H:1V.
  - V) Maximum depth of rear yard swale to be 750 mm.
  - VI) Maximum depth of side yard swale to be 450 mm.
  - 7) Eave downspouts must discharge onto splash-pads and towards the street. Connections to weeping tiles or sewers are not permitted.
- 10) EMBANKMENTS:
  - Maximum 4H: 1V slope if < 1M high.
  - Maximum 4H: 1V slope if > 1M high.
  - Terraces minimum 1.5m wide.
- 11) All lot surfaces to be constructed with a minimum grade of 2.0 % and a maximum grade of 5.0 %.
- 12) Where rear lot catchbasins are provided, house footing adjacent to the RLCB lead must be lower than the lead.

REVISED TO 42.4% Δ115/18

#1, #3, #4

2. To permit a total max. lot coverage of 45.1% ( Dwelling 34.5% Cabana 10.6%)

1. To permit a maximum of 135.2 m2 of floor area of the accessory building.
3. To permit a maximum building height of 5.13 metres for the accessory building.
4. To permit a maximum building height of 3.45 metres to the nearest part of the roof for the accessory building.

Note:  
POOL EQUIPMENT WILL BE STORED IN THE MECHANICAL ROOM OF THE CABANA BASEMENT.

DAVIDSON DRIVE  
(BY REGISTERED PLAN 4632)

**Revised**  
March 4, 2020

TOTAL PERIPHERAL WALL AREA	1129.33 SF	104.91 m <sup>2</sup>
FRONT GLAZING AREA	95.04 SF	8.83 m <sup>2</sup>
LEFT SIDE GLAZING AREA	9 SF	0.84 m <sup>2</sup>
RIGHT SIDE GLAZING AREA	38.34 SF	3.56 m <sup>2</sup>
REAR GLAZING AREA	32.16 SF	2.99 m <sup>2</sup>
TOTAL GLAZING AREA	174.54 SF	16.21 m <sup>2</sup>
TOTAL GLAZING PERCENTAGE	15.46 %	

Peak Height: 5.13m  
Nearest Part of Roof Height: 3.45m



**PRELIMINARY-NOT  
FOR CONSTRUCTION**

NOVEMBER 21, 2019

project  
Cabana

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	02-SEP-16	REM	AL	8	RE-ISSUED FOR FINAL	10-OCT-17	AL	AL
2	STEPPED GRADE	28-SEP-16	SP	REM	11	REVISED PER CITY COMMENTS <span style="border: 1px solid black; padding: 0 2px;">2</span>	04-JUN-18	AL	AL
3	REVISED PER CLIENT COMMENTS	15-MAY-17	AB	AL	12	REVISED AS PER CITY COMMENTS <span style="border: 1px solid black; padding: 0 2px;">3</span>	05-SEP-18	AD	AL
6	ISSUED FOR FINAL	05-JUN-17	AL	AL	13	REVISED AS PER CITY COMMENTS <span style="border: 1px solid black; padding: 0 2px;">4</span>	21-NOV-18	AL	AL
					14	REVISED AS PER CITY COMMENTS <span style="border: 1px solid black; padding: 0 2px;">5</span>	02-MAR-20	WU	AL

marketing name



scale  
 $3/16" = 1'0"$

project #  
16079

page

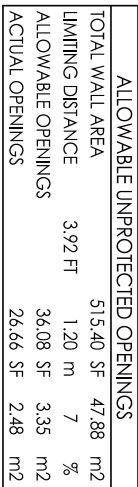
# A4







**Revised**  
March 4, 2020



I, \_\_\_\_\_, DECLARE THAT I HAVE REVIEWED AND TAKEN  
DESIGN RESPONSIBILITY FOR THE DESIGN OF THIS PROJECT.  
OF **RN DESIGN LTD**, UNDER THE PROFESSIONAL REGULATION  
OF THE BUILDING ACT 1984, PART II, CHAPTER 10, SECTION 3.2.4.  
REGULATIONS, THE DESIGN IS TO BE USED IN ACCORDANCE WITH THE TERMS OF THE AGREEMENT.  
QUANTITY SURVEYOR'S SIGNATURE: \_\_\_\_\_  
FIRM NAME: \_\_\_\_\_  
DATE: \_\_\_\_\_

**PRELIMINARY-NOT  
FOR CONSTRUCTION**

NOVEMBER 21, 2019

#				revisions				date				dwn				chk			
1	ISSUED FOR CLIENT REVIEW			02-SEP-16	REM	AL	8	RE-ISSUED FOR FINAL			10-OCT-17	AL	AL						
2	STEPPED GRADE			28-SEP-16	SP	REM	11	REVISED PER CITY COMMENTS			04-JUN-18	AL	AL						
3	REVISED PER CLIENT COMMENTS			15-MAY-17	AB	AL	12	REVISED AS PER CITY COMMENTS			05-SEP-18	AD							
6	ISSUED FOR FINAL			05-JUN-17	AL	AL	13	REVISED AS PER CITY COMMENTS			21-NOV-18	AL	AL						
							14	REVISED AS PER CITY COMMENTS			02-MAR-20	WU	AL						

**RN design**  
Imagine • Inspire • Create

scale project #  
3/16" = 1'0" 16079

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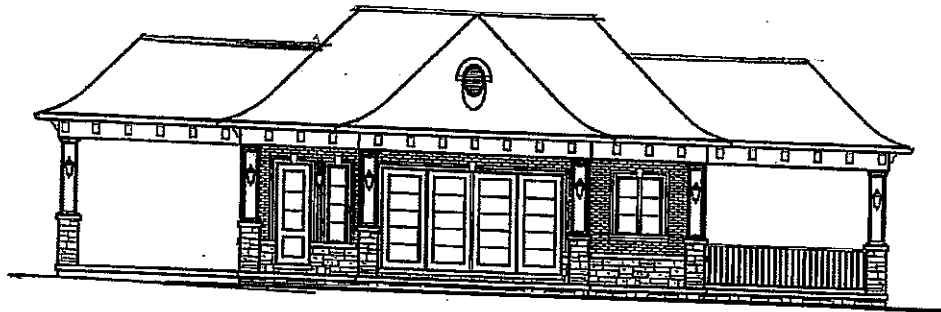
# A6



Revised

October 24, 2019

A135/19



Drawing List:

- A0 TITLE SHEET
- A1 BASEMENT FLOOR ELEV 'A'
- A2 GROUND FLOOR ELEV 'A'
- A3 ROOF PLAN ELEV 'A'
- A4 FRONT ELEVATION 'A'
- A5 RIGHT SIDE ELEVATION 'A'
- A6 REAR ELEVATION 'A'
- A7 LEFT SIDE ELEVATION 'A'
- D1 CONSTRUCTION NOTES
- D2 CONSTRUCTION NOTES
- D3 CONSTRUCTION NOTES
- D4 CONSTRUCTION NOTES

Areas:

	ELEVATION 'A'	
	SF	SM
GROUND FLOOR	647.3	60.1
TOTAL AREA	647.3	60.1
COVERAGE INC PORCH	1455.2	135.2

Cabana

PICCO ENGINEERING  
10001432R

JUN 06 2017



I, ARTHUR PIN YAN LAW, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.  
QUALIFIED DESIGNER BCIN: 41230  
FIRM BCIN: 26995  
DATE: JUNE 05, 2017

SIGNATURE

client

project  
Cabana

location  
VAUGHAN  
marketing name

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	05-27-16	REM	AL	5	REVISED AS PER ENG COMMENTS	05-27-16	PS	AL
2	STOPPED GRADE	06-02-16	SP	REM	6	ISSUED FOR FINAL	05-27-16	AL	AL
3	REVISED PER CLIENT COMMENTS	10-01-17	AL	AL					
4	REVISED PER FLOOR/DECK COORD	10-01-17	AL	AL					

RN design  
Imagine • Inspire • Create



client  
CABANA

scale  
3/16" = 1'0"

project #  
16079

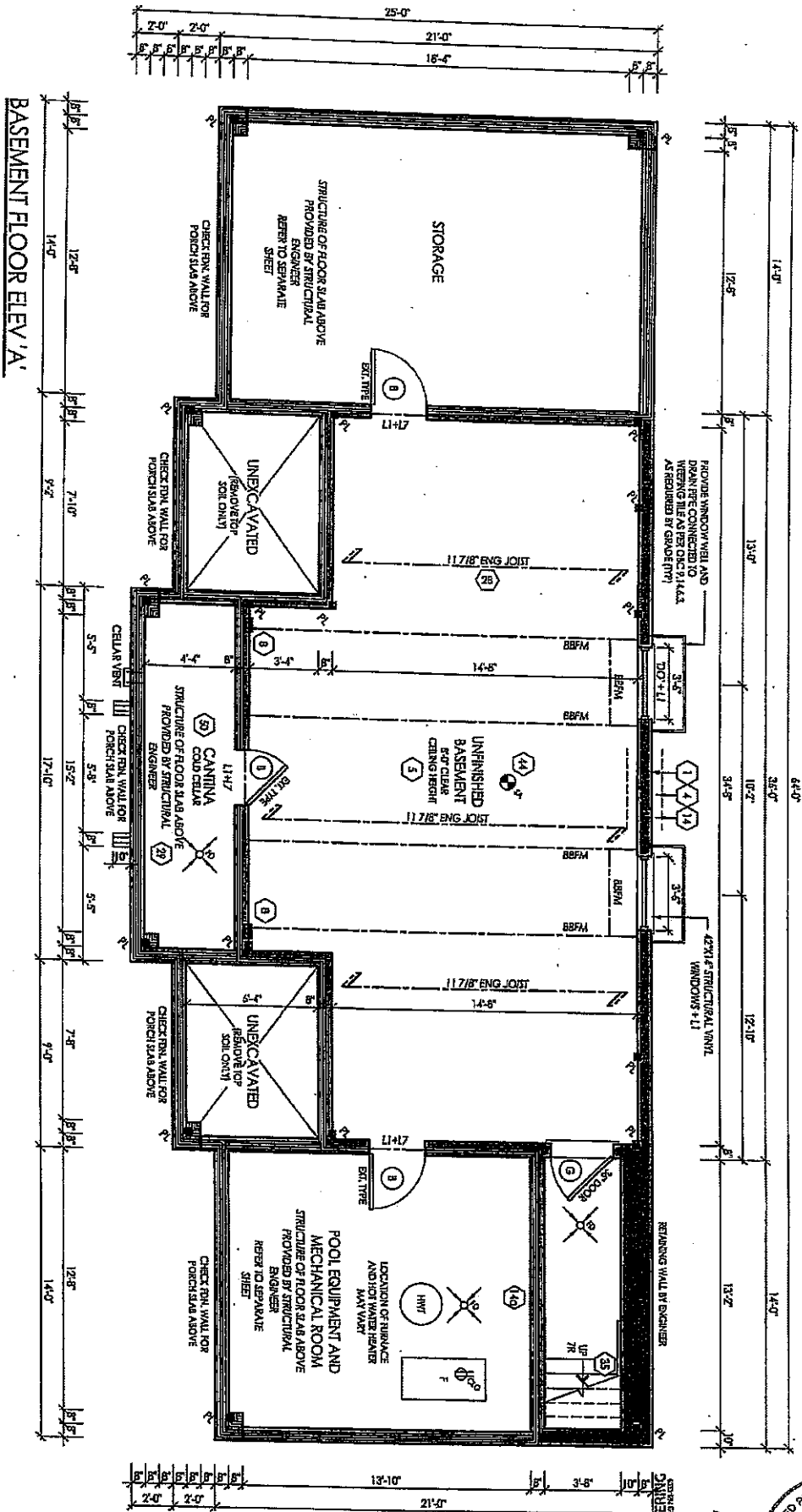
page

A0

Revised

October 24, 2019

A135/19



I, ARTHUR PUI YAN LAM, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF MY DESIGN FIRM UNDER DIVISION C, PART 3, SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER SIGN: 41230  
FIRM SIGN: 26995  
DATE: JUNE 05, 2017

SIGNATURE:

project					location				
Cabana					VAUGHAN				
revisions					revisions				
#	description	date	chn	chk	#	description	date	chn	chk
1	ISSUED FOR CLIENT REVIEW	05-24-17	AL	AL	5	ISSUED FOR FINAL	05-24-17	AL	AL
2	STUPPED GRADE	05-24-17	AL	AL					
4	REVISED FOR FLOOR/DRUSE COORD	11-04-17	AL	AL					
5	REVISED AS PER ENG COMMENTS	05-24-17	AL	AL					

6 2017

LICENSED PROFESSIONAL ENGINEER  
J. G. ALVAREZ

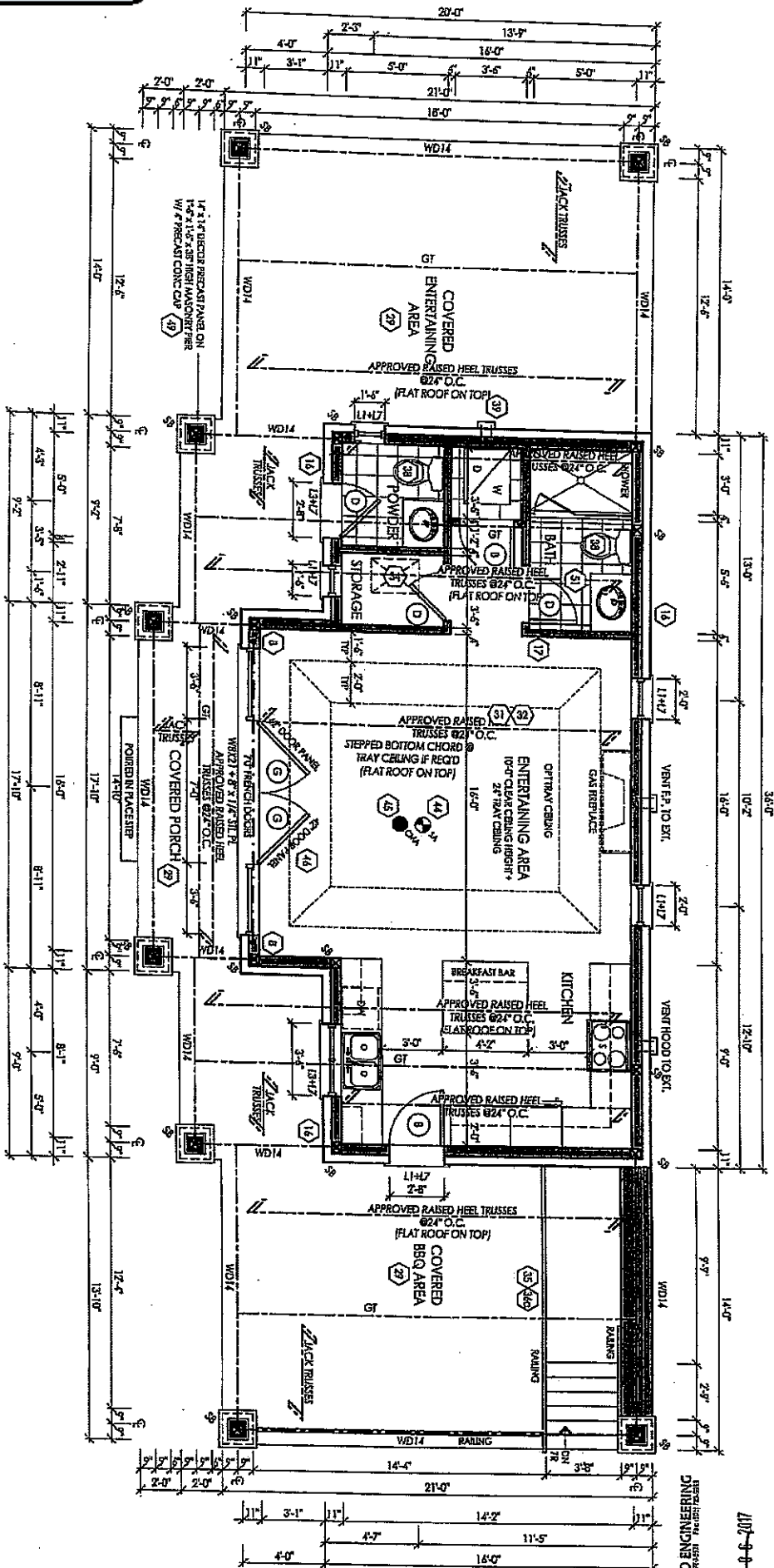
CABANA

12th OF ONARIO  
3/24/2019

project # 16079

page A1

GROUND FLOOR ELEV. A



I, ARTHUR PUI YAN LAW, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF IN DESIGN LTD. UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 41233  
FIRM BCIN: 24995  
DATE: JUNE 05, 2017

SIGNATURE: \_\_\_\_\_

revisions					revisions				
#	description	date	drawn	chk	#	description	date	drawn	chk
1	ISSUED FOR CLIENT REVIEW	05/24/18	REM	AL	5	REVISED AS PER ENG COMMENTS	05/24/17	PH	AL
2	STREPPED GRADE	28/07/18	2P	REM	6	ISSUED FOR FINAL	05/24/17	AL	AL
3	REVISED PER CLIENT COMMENTS	15/04/17	AL	AL					
4	REVISED PER FLOORING COORD	28/07/17	AL	AL					

107-9-0-1101

PROFESSIONAL ENGINEERING  
J. G. ALVAREZ  
100014325

scale  
3/16" = 1'-0"

project #  
16079

page  
A2

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

- A135/19 – Public Correspondence (175 Davidson Drive)
- A135/19 – Public Correspondence (187 Davidson Drive)
- A135/19 – Public Correspondence (2 Davidson Drive)
- A135/19 – Public Correspondence (188 Davidson Drive)
- A135/19 – Public Correspondence (162 Davidson Drive)
- A135/19 – Public Correspondence (20 Lloyd Street)
- A135/19 – Public Correspondence (170 Davidson Drive)
- A135/19 – Public Correspondence (184 Davidson Drive)

**A135/19**

**RECEIVED**

**October 21, 2019**

Committee of Adjustment

October 17, 2019

The City of Vaughan  
City Clerks Department  
2141 Major Mackenzie Drive  
Maple, Ontario  
L6A 1T1

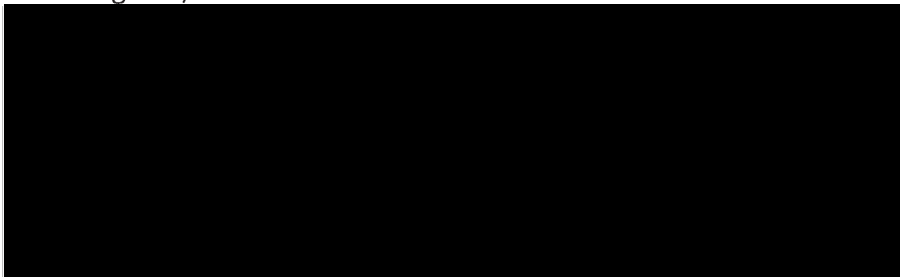
Attention: Lenore Providence

Re: C of A File # A135/19  
176 Davidson Drive

With respect to the above application, my name is Fionelle Carozza and I live at 175 Davidson Drive.

Please be advised that we have no objection to this application, and we are in support of approving it in its current form, and variance requests as they apply to coverage, height(s) and overall size.

Regards,





**A135/19**



October 17, 2019

The City of Vaughan  
City Clerks Department  
2141 Major Mackenzie Drive  
Maple, Ontario  
L6A 1T1

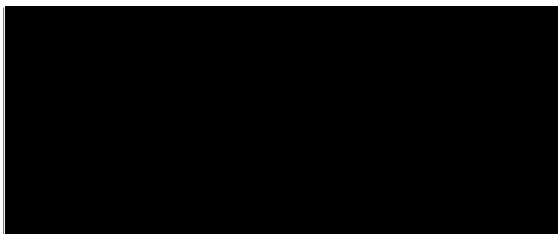
Attention: Lenore Providence

Re: C of A File # A135/19  
176 Davidson Drive

With respect to the above application, my name is Mary Monardo, and I live at 187 Davidson Drive.

Please be advised that we have no objection to this application, and we are in support of approving it in its current form, and variance requests as they apply to coverage, height(s) and overall size.

Regards,





**A135/19**

October 17, 2019

The City of Vaughan  
City Clerks Department  
2141 Major Mackenzie Drive  
Maple, Ontario  
L6A 1T1

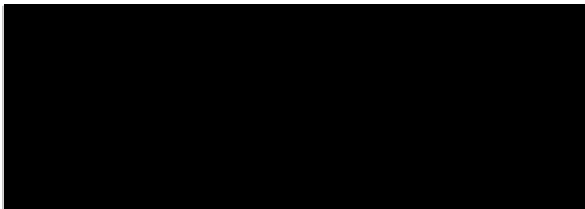
Attention: Lenore Providence

Re: C of A File # A135/19  
176 Davidson Drive

With respect to the above application, my name is Sandra Monardo, and I live at 2 Davidson Drive.

Please be advised that we have no objection to this application, and we are in support of approving it in its current form, and variance requests as they apply to coverage, height(s) and overall size.

Regards,



**RECEIVED**

**October 10, 2019**

Committee of Adjustment

**A135/19**

October 10, 2019

The City of Vaughan  
City Clerks Department  
2141 Major Mackenzie Drive  
Maple, Ontario  
L6A 1T1

Attention: Lenore Providence

Re: C of A File # A135/19  
176 Davidson Drive

With respect to the above application, my name is Tony Di Giuseppe, and I live at 188 Davidson Drive, my property is the second property, directly West of the subject property. I have had an opportunity to review the application with my neighbour Mr. Mirigello.

Please be advised that I have no objection to this application, and I am in support of approving it in its current form, and variance requests as they apply to coverage and height(s), and size.

Regards,



---

Tony Di Giuseppe  
188 Davidson Drive

**RECEIVED**

**October 10, 2019**

Committee of Adjustment

**A135/19**

October 9, 2019

The City of Vaughan  
City Clerks Department  
2141 Major Mackenzie Drive  
Maple, Ontario  
L6A 1T1

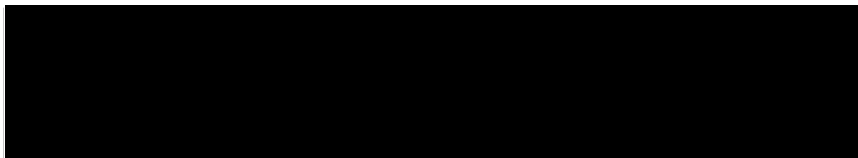
Attention: Lenore Providence

Re: C of A File # A135/19  
176 Davidson Drive

With respect to the above application, my name is Anthony Macri, and I live at 162 Davidson Drive, my property is the second property, directly East of the subject property. I have had an opportunity to review the application with my neighbour Mr. Mirigello.

Please be advised that I have no objection to this application, and I am in support of approving it in its current form, and variance requests as they apply to coverage and height(s), and size.

Regards,



Anthony Macri  
162 Davidson Drive

**RECEIVED**

**October 10, 2019**

Committee of Adjustment

**A135/19**



October 8, 2019

The City of Vaughan  
City Clerks Department  
2141 Major Mackenzie Drive  
Maple, Ontario  
L6A 1T1

Attention: Lenore Providence

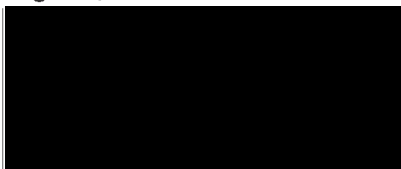
Re: C of A File # A135/19  
176 Davidson Drive

With respect to the above application, my name is Angelo Greco, representing The Country Club, the members and staff of the property located at 20 Lloyd Street. Our property is directly North of the subject property. We have had an opportunity to review the application with the property owner to the South, Mr. Mirigello.

There has been zero complaints as it pertains to the structure in question.

Please be advised that we have no objection to this application, and we are in support of approving it in its current form, and variance requests as they apply to coverage, height(s) and overall size.

Regards,



Angelo J. Greco  
Director Of Operations  
The Country Club



**RECEIVED**

**October 9, 2019**

Committee of Adjustment

**A135/19**

October 8, 2019

The City of Vaughan  
City Clerks Department  
2141 Major Mackenzie Drive  
Maple, Ontario  
L6A 1T1

Attention: Lenore Providence

Re: C of A File # A135/19  
176 Davidson Drive

With respect to the above application, my name is Gary Trombetta, and I live at 170 Davidson Drive, my property is directly east of the subject property. I have had an opportunity to review the application with my neighbour Mr. Mirigello.

Please be advised that I have no objection to this application, and I am in support of approving it in its current form, and variance requests as they apply to coverage, height(s) and overall size.

Regards, *GT*

  
\_\_\_\_\_  
Gary Trombetta  
170 Davidson Drive  


**RECEIVED**

**October 9, 2019**

Committee of Adjustment

**A135/19**

October 8, 2019

The City Of Vaughan  
City Clerks Department  
2141 Major Mackenzie Drive  
Maple, Ontario  
L6A 1T1

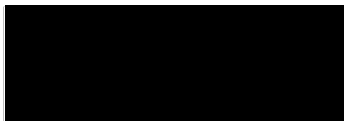
Attention: Lenore Providence

Re: C of A File # A135/19  
176 Davidson Drive

With respect to the above application, my name is Rosemary Lecce and I live at 184 Davidson Drive, my property is directly West of the subject property. I have had an opportunity to review the application with my neighbour Mr. Mirigello.

Please be advised that I have no objection to this application, and I am in support of approving it in its current form, and variance requests as they apply to coverage, height(s) and overall size.

Regards,



Rosemary Lecce  
184 Davidson Drive



Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

Alectra (Formerly PowerStream) – No concerns or objections



**COMMENTS:**

☐

We have reviewed the proposed Variance Application and have no comments or objections to its approval.

☒

We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).

☐

We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

**References:**

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI  
**Phone:** 1-877-963-6900 ext. 31297  
**Fax:** 905-532-4401  
**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mr. Tony D'Onofrio  
Supervisor, Subdivisions & New Services  
**Phone:** 1-877-963-6900 ext. 24419  
**Fax:** 905-532-4401  
**Email:** [tony.donofrio@alectrautilities.com](mailto:tony.donofrio@alectrautilities.com)

## Providence, Lenore

---

**Subject:** FW: [External] FW: (A135/19) MVAR.19.V.0416 - 176 Davidson Drive

---

**From:** Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

**Sent:** June-03-20 3:10 PM

**To:** Providence, Lenore <Lenore.Providence@vaughan.ca>

**Subject:** RE: [External] FW: (A135/19) MVAR.19.V.0416 - 176 Davidson Drive

Good afternoon Lenore,

The Regional Municipality of York has completed its review of the above re-submission and has no comment.

Please let me know if you have any further questions

Best

*Gabrielle*

Gabrielle Hurst mcip rpp | Associate Planner| Community Planning and Development Services | Corporate Services  
The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877 464 9675 ext 71538 | [Gabrielle.hurst@york.ca](mailto:Gabrielle.hurst@york.ca) | [www.york.ca](http://www.york.ca)

Schedule D: Previous Approvals (Notice of Decision)

Minor Variance Application A115/18  
Minor Variance Application A131/15

## NOTICE OF DECISION

### Minor Variance Application A115/18

Section 45 of the Planning Act, R.S.O. 1990, c.P.13

**Date of Hearing:** Thursday, August 16, 2018  
**Applicant:** Aldo Mirigello  
**Agent** RN Design Ltd  
**Property:** **176 Davidson Dr Woodbridge**  
**Zoning:** The subject lands are zoned R1 Residential Zone One, and subject to the provisions of Exception 9(1349) under By-law 1-88 as amended.  
**OP Designation:** VOP 2010: "Low Rise Residential" under the Woodbridge Centre Secondary Plan (Section 11.11, Volume 2)  
**Related Files:** None  
**Purpose:** Relief from the by-law is requested to permit the proposed ~~proposed~~ **\*existing** cabana located in the rear yard

Note: Applicant has confirmed cabana is existing

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum rear yard setback of 7.5 metres is required.	1. To permit a minimum rear yard setback of 1.25 metres to the accessory building.
2. A minimum rear yard setback of 5.7 metres is required.	2. To permit a minimum rear yard setback of 1.25 metres to the exterior stairs of the accessory building.
3. Where the area of the rear yard exceeds 135m <sup>2</sup> , a minimum of 60% of that portion of the rear yard in excess of 135m <sup>2</sup> shall be composed of soft landscaping.	7. To permit a minimum rear yard landscaping of 42.4%.

**Sketch:** A sketch illustrating the request has been attached to the decision.

**Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:**

THAT variances 1, 2 & 7 (above) for Application No. A115/18 on behalf of Aldo Mirigello be **APPROVED**, in accordance with the sketch submitted with the application (as required by Ontario Regulation 200/96) and subject to the following conditions:

	Department/Agency	Condition
1	Development Engineering Brad Steeves  905-832-8585 x 8977 <a href="mailto:brad.steeves@vaughan.ca">brad.steeves@vaughan.ca</a>	1) The Owner/applicant shall submit the final Lot Grading Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading approval prior to any work being undertaken on the property. Please visit or contact Development Engineering's front desk on the 2nd floor of City Hall to apply for lot grading approval.  2) The Owner/applicant shall apply for a pool permit and receive grading approval for the proposed in ground pool with the Development Engineering (DE) Department.

**For the following reasons:**

- 1. The general intent and purpose of the by-law will be maintained.
- 2. The general intent and purpose of the official plan will be maintained.
- 3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- 4. The requested variance(s) is/are minor in nature.

**Please Note:**

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

**Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:**

THAT variances 3, 4, 5 & 6 (below) for Application No. A115/18, on behalf of Aldo Mirigello, be **REFUSED**.

3. A maximum of 67m2 is permitted for all accessory buildings.	3. To permit a maximum of 135.2 m2 of floor area of the accessory building.
4. A maximum lot coverage of 30% is permitted.	4. To permit a total maximum lot coverage of 45.1%.
5. A maximum building height of 4.5 metres is permitted for the accessory building.	5. To permit a maximum building height of 5.55 metres for the accessory building.
6. A maximum building height of 3.0 metres is permitted to the nearest part of the roof of the accessory building.	6. To permit a maximum building height of 4.20 metres to the nearest part of the roof for the accessory building.


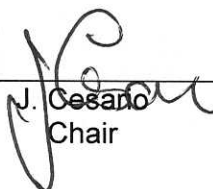



**For the following reasons:**


- 1. The general intent and purpose of the by-law will not be maintained.
- 2. The general intent and purpose of the official plan will not be maintained.
- 3. The requested variance(s) is/are not acceptable for the appropriate development of the subject lands.
- 4. The requested variance(s) is/are not minor in nature.

**Written & oral submissions considered in the making of this decision were received from the following:**

Public Written Submissions	Public Oral Submissions
* Public Correspondence received and considered by the Committee in making this decision	*Please refer to the approved Minutes of the Thursday , August 16, 2018 meeting for submission details.
Name: Concerned Citizen Nature of Correspondence: Letter of Objection	Name: Address:

**SIGNED BY ALL MEMBERS PRESENT WHO CONCUR IN THIS DECISION:**

 H. Zheng Member	 J. Cesano Chair	 R. Buckler Vice Chair
 M. Mauti Member		 A. Perrella Member

<b>DATE OF HEARING:</b>	<b>Thursday , August 16, 2018</b>
<b>DATE OF NOTICE:</b>	<b>August 24, 2018</b>
<b>LAST DAY FOR *APPEAL:</b> *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	<b>September 05, 2018 4:30 p.m.</b>
<b>CERTIFICATION:</b> I hereby certify that this is a true copy of the decision of the City of Vaughan's Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.  Christine Vigneault, ACST Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

**Appealing to The Local Planning Appeal Tribunal**  
The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or any other person or public body who has an interest in the matter may within 20 days of the making of the decision appeal to the Local Planning Appeal Tribunal (LPAT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal (A1 Appeal Form) setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Local Planning Appeal Tribunal Act*.

Note: A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days of the date of the making of the decision, the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

**Appeal Fees & Forms**

**Local Planning Appeal Tribunal:** The LPAT appeal fee is \$300 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The LPAT Appeal Fee must be paid by certified cheque or money order payable to the "Minister of Finance". Notice of appeal forms (A1 Appeal Form – Minor Variance) can be obtained at [www.elto.gov.on.ca](http://www.elto.gov.on.ca) or by visiting our office.

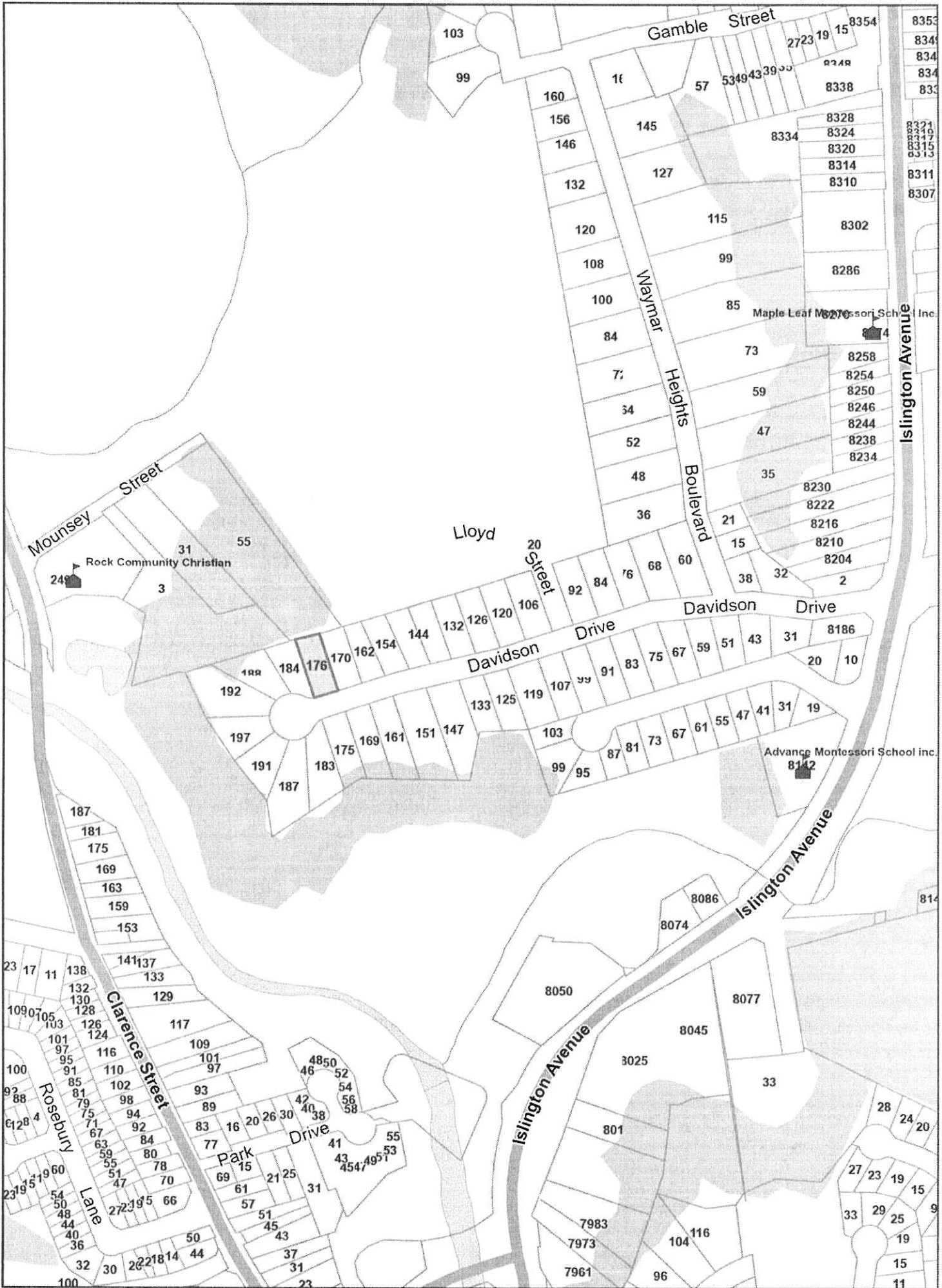
**City of Vaughan LPAT Processing Fee:** \$793.00 per application

\*Please note that all fees are subject to change.

**Conditions**

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from each respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All applicable conditions must be cleared prior to the issuance of a Building Permit.





<b>Map Information:</b> 	<b>Title:</b> 176 Davidson Drive, Woodbridge		 <b>VAUGHAN</b>	
	<b>LOCATION MAP - A115/18</b>			<b>Scale:</b> 1:4,514 0 0.07 km
	<b>Disclaimer:</b> Every reasonable effort has been made to ensure that the information appearing on this map is accurate and correct. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.			<b>Created By:</b> Infrastructure Delivery Department July 11, 2018 12:09 PM
				<b>Projection:</b> NAD 83 UTM Zone 17N

# LOT GRADING NOTES:

- All dimensions and grade elevations are expressed in SI units.
- The contractor shall check and verify all given grade elevations and drainage prior to commencement of construction.
- Underside of footing shown is taken from architectural plans and may not represent actual footing depth.
- Footings must bear on native, undisturbed soil or rock, and be a minimum of 1.22 m below finished grade.
- Exterior cladding, thresholds, and window sills shall be a minimum of 150 mm above finished grade.
- Driveways must be clear of light standards by a MIN of 1.5m and other above ground services or other obstructions (hydro transformers) bell pedestals, etc.) by a minimum of 5.0m no deflection in driveway alignments is permitted to achieve the clearance.
- Any above ground utilities not meeting the above noted minimum clearances from proposed driveway are to be relocated at the applicants expense.
- SWALES:
  - Swales providing internal drainage from each lot shall have a minimum slope of 2%.
  - Swales must be 1.0 m from lot line to higher property.
  - Minimum swale depth to be 250mm.
  - Maximum swale side slope to be 3H:1V.
  - Maximum depth of rear yard swale to be 750 mm.
  - Maximum depth of side yard swale to be 450 mm.
- Eave downspouts must discharge onto splash-pads and towards the street. Connections to weeping tiles or sewers are not permitted.
- EMBANKMENTS:
  - Maximum 3H: 1V slope if < 1M high.
  - Maximum 4H: 1V slope if > 1M high.
  - Maximum depth of side yard swale to be 450 mm.
  - Maximum depth of side yard swale to be 450 mm.
  - Maximum depth of side yard swale to be 450 mm.
  - Maximum depth of side yard swale to be 450 mm.
- All lot surfaces to be constructed with a minimum grade of 2.0 % and a maximum grade of 5.0 %.
- Where rear lot catchbasins are provided, house footing adjacent to the RLCB lead must be lower than the lead.

## NOTES:

Builder to provide location and elevation of storm / sanitary sewer laterals at streetline prior to commencing any works. Adjustments (if any) to be made prior to proceeding with any building activity.

## Note:

ELEVATIONS ARE GEODETIC AND ARE REFERRED TO CAN-NET BASE STATION "TORO" HAVING AN ORTHOMETRIC ELEVATION OF 111.272 METRES.

## REAR YARD STATISTICS

TOTAL REAR YARD AREA : 500m<sup>2</sup>  
 POOL : 67.0m<sup>2</sup> (13.4%)  
 CABANA : 135.2m<sup>2</sup> (27.0%)  
 HARD LANDSCAPING : 142.9m<sup>2</sup> (28.6%)  
 SOFT LANDSCAPING : 154.9m<sup>2</sup> (42.4% IS BASED ON BY-LAW REQUIREMENT, TOTAL REAR YARD OF 365m<sup>2</sup>)

## BUILDING STATISTICS

LOT AREA : 1274.83m<sup>2</sup>  
 DWELLING : 439.5m<sup>2</sup> (34.5%)  
 CABANA : 135.2m<sup>2</sup> (10.6%)  
 TOTAL : 574.7m<sup>2</sup> (45.1%)

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

CLIENT  
 CUSTOM RESIDENCE

PROJECT/LOCATION  
 176 DAVIDSON DR.  
 VAUGHAN, ONTARIO

DRAWING  
 SITE GRADING PLAN

## BUILDING STATISTICS

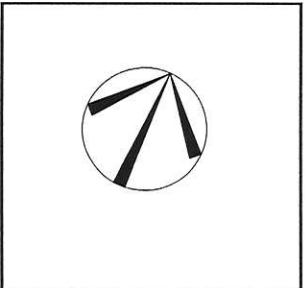
REG. PLAN No.	R1
ZONE	R1
LOT NUMBER	6
LOT AREA(m <sup>2</sup> )	1274.83m <sup>2</sup>
BLDG AREA(m <sup>2</sup> )	574.7m <sup>2</sup>
LOT COVERAGE(%)	45.1%
No. OF STOREYS	2
MEAN HEIGHT(m)	8.94m
PEAK HEIGHT(m)	N/A
DECK LINE(m)	N/A

## LEGEND

FFE	FINISHED FLOOR ELEVATION
TFW	TOP OF FOUNDATION WALL
TBS	TOP OF BASEMENT SLAB
USF	UNDER SIDE FOOTING
USFR	UNDER SIDE FOOTING @ REAR
USFG	UNDER SIDE FOOTING @ GARAGE
TEF	TOP OF ENGINEERED FILL
R	NUMBER OF RISERS TO GRADE
WOD	WALKOUT DECK
LOB	LOOKOUT BASEMENT
WOB	WALK OUT BASEMENT
REV	REVERSE PLAN
STD	STANDARD PLAN
DOOR	DOOR
WINDOW	WINDOW
BELL PEDISTAL	BELL PEDISTAL
CABLE PEDISTAL	CABLE PEDISTAL
CATCH BASIN	CATCH BASIN
DBL CATCH BASIN	DBL CATCH BASIN
ENGINEERED FILL	ENGINEERED FILL
HYDRO CONNECTION	HYDRO CONNECTION
FIRE HYDRANT	FIRE HYDRANT
STREET LIGHT	STREET LIGHT
MAIL BOX	MAIL BOX
TRANSFORMER	TRANSFORMER
WATER VALVE	WATER VALVE
WATER CONNECTION	WATER CONNECTION
SEWER CONNECTIONS 2 LOTS	SEWER CONNECTIONS 2 LOTS
SEWER CONNECTIONS 1 LOT	SEWER CONNECTIONS 1 LOT
AIR CONDITIONING	AIR CONDITIONING
DOWN SPOUT TO SPLASH PAD	DOWN SPOUT TO SPLASH PAD
SWALE DIRECTION	SWALE DIRECTION
CHAINLINK FENCE	CHAINLINK FENCE
PRIVACY FENCE	PRIVACY FENCE
SOUND BARRIER	SOUND BARRIER
FOOTING TO BE EXTENDED TO 1.25 (MIN) BELOW GRADE	FOOTING TO BE EXTENDED TO 1.25 (MIN) BELOW GRADE
PROPOSED GRADE	PROPOSED GRADE
EXISTING GRADE	EXISTING GRADE

## ISSUED OR REVISION COMMENTS

NO.	DESCRIPTION	DATE	DWN	CHK
1	ISSUED FOR REVIEW (SITED)	APR. 11/13	NP	BS
2	ISSUED FOR REVIEW	MAY. 14/13	NP	BS
3	REV. PER ENG. COMM.	NOV. 7/13	NP	BS
4	ISSUED FOR FINAL	NOV. 11/13	NP	NP
5	RE-ISSUED FOR FINAL	FEB. 18/13	RK	NP
6	REVISED PER CITY COMM.	MAR. 5/15	NP	NP
7	RE ISSUED FOR FINAL	MAR. 9/15	NP	NP
8	RE-GRADED AS PER NEW MODEL	APR. 21/15	BWS	
9	ISSUED FOR REVIEW	APR. 30/15	BWS	NP
10	ISSUED FOR REVIEW	MAY 11/15	BWS	NP
11	ISSUED FOR REVIEW	MAY 22/15	BWS	NP
12	ADDED CABANA-FOR REVIEW	SEP. 27/16	SDU	NP
13	REV. AS PER ALDO COMMENTS	JULY 31/18	MA	AL
14	REV. AS PER ALDO COMMENTS	AUG. 09/18	BWS	AL



I, ARTHUR PUI YAN LAW, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD UNDER DIVISION C, PART-3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.  
 QUALIFIED DESIGNER BCIN: 41230  
 FIRM BCIN: 26995  
 DATE:

SIGNATURE:

DRAWN BY  
 BWS

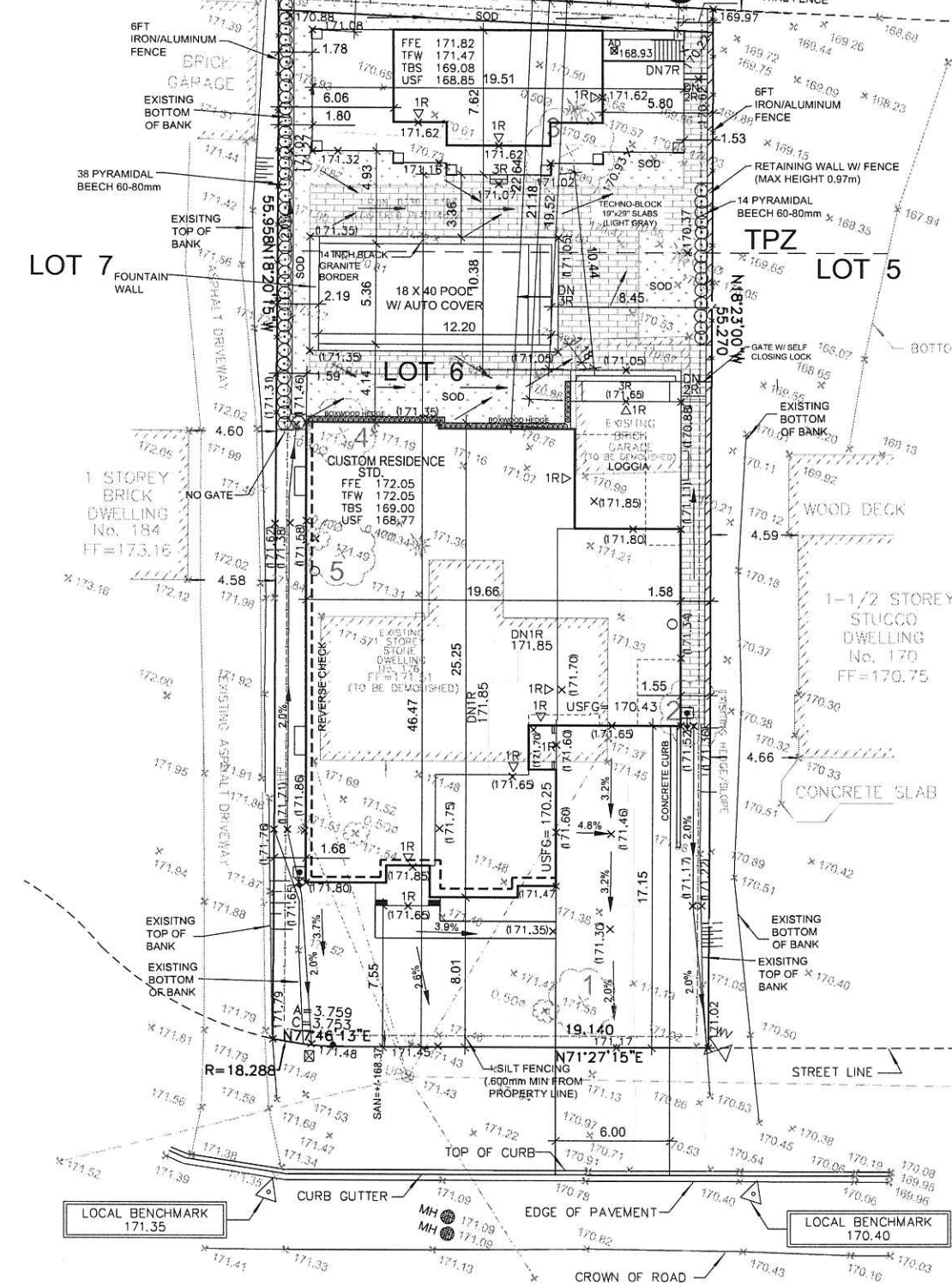
SCALE  
 1:250

PROJECT No.  
 12091

LOT NUMBER  
 6



REVISED AUG. 10/18



DAVIDSON DRIVE  
 (BY REGISTERED PLAN 4632)

## APPROVED FOR GRADING

I have reviewed the site and grading plan for the proposed building(s) to be constructed on Lot(s) \_\_\_\_\_ and hereby certify that:  
 1. The proposed grading and appurtenant drainage works comply with sound engineer principles.  
 2. The proposed grading is in conformity with the grading plan approved for the subdivision and will not adversely affect adjacent lands.  
 3. The proposed building is compatible with the proposed grading.  
 VALDOR ENGINEERING INC.

Date: .....

## Note:

POOL EQUIPMENT WILL BE STORED IN THE MECHANICAL ROOM OF THE CABANA BASEMENT.



## **NOTICE OF DECISION**

### **MINOR VARIANCES**

**FILE NUMBER:** A131/15

**APPLICANT:** ALDO MIRIGELLO

**PROPERTY:** Part of Lot 8, Concession 7, (Lot 6, Registered Plan 4032) municipally known as 176 Davidson Drive, Woodbridge

**ZONING:** The subject lands are zoned R1, Residential Zone One and subject to the provisions of Exception 9(1349) under By-law 1-88 as amended.

**PURPOSE:** To permit the construction of a single family dwelling, as follows:

**PROPOSAL:** To permit a maximum lot coverage of ~~38%~~ **34.97% (incl. 1.7% covered unenclosed front portico)**

**BY-LAW REQUIREMENT:** A maximum lot coverage of 30% is permitted.

Sketches are attached illustrating the request.

**MOVED BY:**

*may manti*

**SECONDED BY:**

*R. B. ...*

THAT the Committee is of the opinion that the variances sought, can be considered minor and are desirable for the appropriate development and use of the land. The general intent and purpose of the By-law and the Official Plan will be maintained.

THAT Application No. **A131/15, ALDO MIRIGELLO**, be **APPROVED**, in accordance with the sketches attached

**THIS MINOR VARIANCE DECISION IS NOT A BUILDING PERMIT AUTHORIZING CONSTRUCTION UNDER THE BUILDING CODE ACT, R.S.O. 1990, AS AMENDED. A BUILDING PERMIT MAY BE REQUIRED. PLEASE CONTACT THE BUILDING STANDARDS DEPARTMENT IN THE EVENT THAT YOU REQUIRE FURTHER CLARIFICATION.**

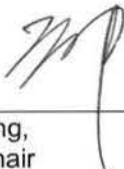
**CARRIED.**




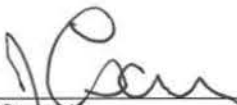
CHAIR: 

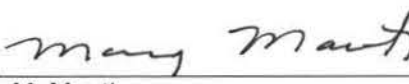
Signed by all members present who concur in this decision:

  
A. Perrella,  
Chair

  
H. Zheng,  
Vice Chair

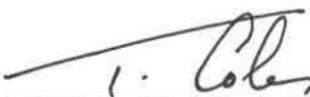
  
R. Buckler,  
Member

  
J. Cesario,  
Member

  
M. Mauti,  
Member

**CERTIFICATION**

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.

  
Todd Coles, BES, MCIP, RPP  
Manager of Development Services  
and Secretary-Treasurer to  
Committee of Adjustment

<b>Date of Hearing:</b>	<b>APRIL 30, 2015</b>
<b>Last Date of Appeal:</b>	<b>MAY 20, 2015</b>

**APPEALS**

**APPEALS MUST BE RECEIVED BY THIS OFFICE NO LATER THAN 4:30 P.M. ON THE LAST DATE OF APPEAL NOTED ABOVE.**

Should you decide to appeal this decision to the Ontario Municipal Board, a copy of an appeal form is available for download in Microsoft Word and Adobe Acrobat versions from the Ontario Municipal Board website at [www.omb.gov.on.ca](http://www.omb.gov.on.ca). If you do not have Internet access, these forms can be picked up at the City of Vaughan, Committee of Adjustment offices.

Please fill out Form A1 and follow the instructions as provided by the Ontario Municipal Board and submit your appeal to the City of Vaughan, Committee of Adjustment on or before the date stated above. You must enclose the completed form with the \$690.00 processing fee, paid by certified cheque or money order, to the "TREASURER, CITY OF VAUGHAN" and the appeal fee of \$125.00 for each application appealed, paid by certified cheque or money order, made payable to the "ONTARIO MINISTER OF FINANCE".

**NOTE:** The Planning Act provides for appeals to be filed by "persons". As groups or associations, such as residents or ratepayers groups which do not have incorporated status, may not be considered "persons" for the purposes of the Act, groups wishing to appeal this decision should do so in the name of individual group members, and not in the name of the group.

**CONDITIONS**

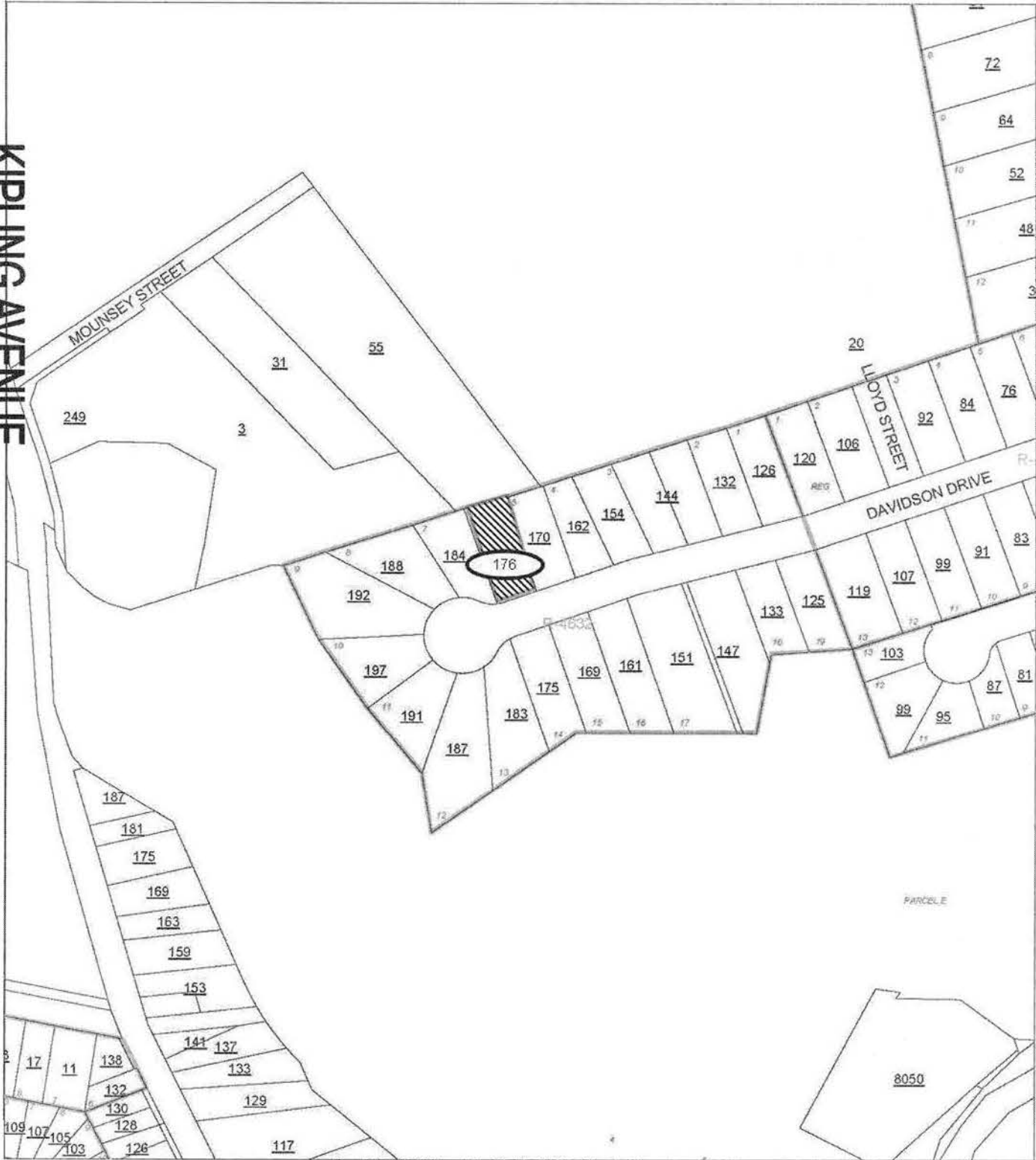
IF ANY CONDITIONS ARE IMPOSED ON THIS APPLICATION, THE FINAL DATE FOR FULFILLING THEM IS: **MAY 20, 2016**



LANGSTAFF ROAD

KIPLING AVENUE

ISLINGTON AVENUE



HIGHWAY 7



COMMITTEE OF ADJUSTMENT  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
Phone: (905)832-8585 Fax: (905)832-8535

	FILE NUMBER:	A131/15
	APPLICANT:	ALDO MIRIGELLO
		<b>Subject Area</b> Municipally known as 176 Davidson Drive, Woodbridge

**Schedule E: Similar Approval (as provided by the applicant)**

- Minor Variance A196/18
- Minor Variance A138/18
- Minor Variance A077/18
- Minor Variance A106/16
- Minor Variance A024/14



**NOTICE OF DECISION**  
**Minor Variance Application A196/18**  
 Section 45 of the Planning Act, R.S.O., 1990, c.P.13

**Date of Hearing:** Thursday, March 7, 2019  
**Applicant:** Christina Marotta  
**Agent** Sandra Wojtecki - Richard Wengle Architect Inc  
**Property:** **153 Old Humber Crescent, Kleinburg ON**  
**Zoning:** The subject lands are zoned RR Rural Residential, and subject to the provisions of Exception No. 9(741) under By-law 1-88 as amended.  
**OP Designation:** VOP 2010: 'Low-Rise Residential' and 'Natural Areas' within the 'Greenbelt Natural Heritage System'  
**Related Files:** None.  
**Purpose:** Relief from the by-law is being requested to permit the construction of a proposed two-storey dwelling, two (2) detached accessory structures (garages) located in the westerly side yard and a cabana located in the rear/easterly side yard. The existing dwelling is to be demolished.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A maximum lot coverage of 10% is permitted.	1. To permit a maximum lot coverage of 16.18% for the dwelling, accessory buildings and all covered areas (Dwelling 9.251%, Garages 2.985%, Cabana 1.272%, Covered areas 2.672%).
2. A maximum building height of 9.5 metres is permitted for the dwelling.	2. To permit a maximum building height of 11.34 metres for the dwelling.
3. A minimum interior side yard setback of 4.20 metres is required to the stairs of the accessory building.	3. To permit a minimum interior side yard setback of 3.05 metres to the stairs of the accessory building. (cabana)
4. A maximum building height of 4.5 metres is permitted to the highest point of the roof for the accessory building.	4. To permit a maximum building height of 5.32 metres to the highest point of the roof for the accessory building. (cabana)
5. A maximum building height of 3.0 metres is permitted to the nearest part of the roof for the accessory building.	5. To permit a maximum building height of 3.76 metres to the nearest part of the roof for the accessory building. (cabana)
6. 4. A maximum building height of 4.5 metres is permitted to the highest point of the roof for the accessory building.	6. To permit a maximum building height of 7.84 metres for the accessory building (garage 1) to the highest point of the roof.
7. A maximum building height of 3.0 metres is permitted to the nearest part of the roof for the accessory building.	7. To permit a maximum building height of 4.19 metres for the accessory building (garage 1) to the nearest part of the roof.
8. A maximum building height of 4.5 metres is permitted to the highest point of the roof for the accessory building.	8. To permit a maximum building height of 7.84 metres for the accessory building (garage 2) to the highest point of the roof.
9. A maximum building height of 3.0 metres is permitted to the nearest part of the roof for the accessory building.	9. To permit a maximum building height of 4.19 metres for the accessory building (garage 2) to the nearest part of the roof.
10. A maximum floor area of 67m2 is permitted for all accessory buildings.	10. To permit a maximum of 304.72m2 of floor area for all accessory buildings.

**Sketch:** A sketch illustrating the request has been attached to the decision.

Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:

THAT Application No. A196/18 on behalf of Christina Marotta, be **APPROVED**, in accordance with the sketch submitted with the application (as required by Ontario Regulation 200/96) and subject to the following conditions:

	Department/Agency	Condition
1	Development Engineering Brad Steeves  905-832-8585 x 8977 <a href="mailto:brad.steeves@vaughan.ca">brad.steeves@vaughan.ca</a>	1. The Owner/applicant shall submit the final Lot Grading/Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading/servicing approval prior to any work being undertaken on the property. Please visit or contact Development Engineering's front desk on the 2nd floor of City Hall to apply for lot grading/servicing approval.  2. The Owner/applicant shall demonstrate appropriate LID (Low-impact Development) measures to the satisfaction of DE to address the increased lot coverage area from 10% to 16.18% in order to mitigate potential impacts on the municipal stormwater system.

For the following reasons:

1. The general intent and purpose of the by-law will be maintained.
2. The general intent and purpose of the official plan will be maintained.
3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
4. The requested variance(s) is/are minor in nature.

Please Note:

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.


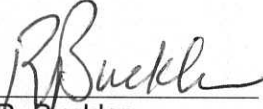
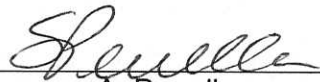

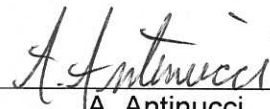
Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

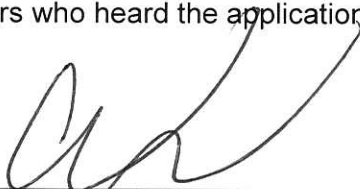
Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Written & oral submissions considered in the making of this decision were received from the following:

Public Written Submissions	Public Oral Submissions
* Public Correspondence received and considered by the Committee in making this decision	*Please refer to the approved Minutes of the Thursday , March 07, 2019 meeting for submission details.
Name: Address: Nature of Correspondence:	Name: Address:
Name: Address: Nature of Correspondence:	Name: Address:
Name: Address: Nature of Correspondence:	Name: Address:

**SIGNED BY ALL MEMBERS PRESENT WHO CONCUR IN THIS DECISION:**

 H. Zheng Member	 R. Buckler Chair	 A. Perrella Vice Chair
 S. Kerwin Member	 A. Antinucci Member	

<b>DATE OF HEARING:</b>	<b>Thursday, March 7, 2019</b>
<b>DATE OF NOTICE:</b>	<b>March 15, 2019</b>
<b>LAST DAY FOR *APPEAL:</b> *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	<b>March 27, 2019 4:30 p.m.</b>
<b>CERTIFICATION:</b> I hereby certify that this is a true copy of the decision of the City of Vaughan's Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.  Christine Vigneault, ACST Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

**Appealing to The Local Planning Appeal Tribunal**  
The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or any other person or public body who has an interest in the matter may within 20 days of the making of the decision appeal to the Local Planning Appeal Tribunal (LPAT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal (A1 Appeal Form) setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Local Planning Appeal Tribunal Act*.

Note: A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days of the date of the making of the decision, the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

**Appeal Fees & Forms**

**Local Planning Appeal Tribunal:** The LPAT appeal fee is \$300 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The LPAT Appeal Fee must be paid by certified cheque or money order payable to the "Minister of Finance". Notice of appeal forms (A1 Appeal Form – Minor Variance) can be obtained at [www.elto.gov.on.ca](http://www.elto.gov.on.ca) or by visiting our office.

**City of Vaughan LPAT Processing Fee:** \$817.00 per application

\*Please note that all fees are subject to change.

**Conditions**

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from each respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All applicable conditions must be cleared prior to the issuance of a Building Permit.




Title:

153 OLD HUMBER CRESCENT, KLEINBURG


LOCATION MAP - A196/18

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.

 VAUGHAN

Scale: 1:4,514

0 0.07 km 

Created By:

Infrastructure Delivery  
Department  
December 5, 2018 7:52 PM

Projection:

NAD 83  
UTM Zone  
17N



**NEW**  
November 9, 2018

**A196/18**

**VITULLO RESIDENCE**

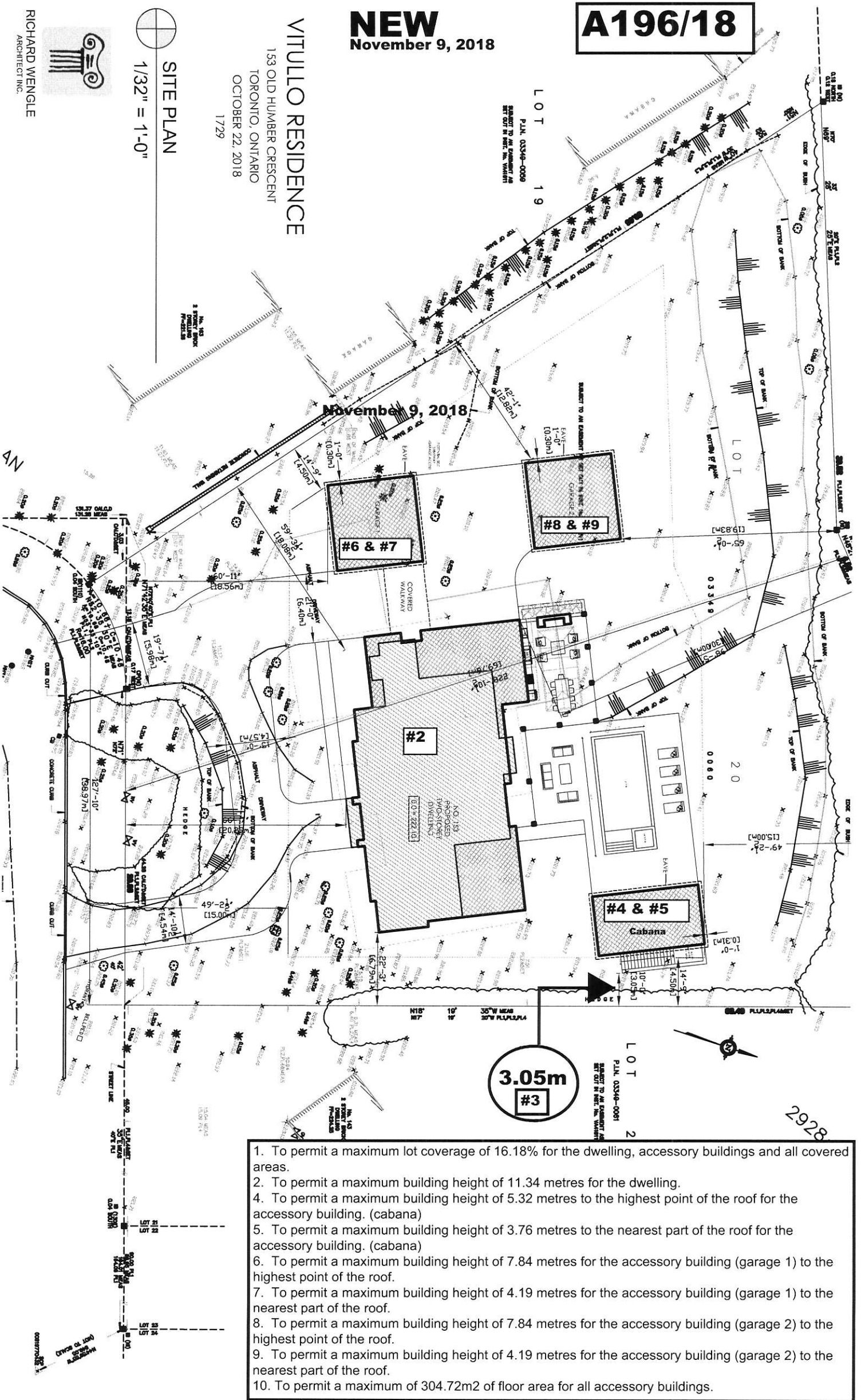
153 OLD HUMBER CRESCENT  
TORONTO, ONTARIO  
OCTOBER 22, 2018  
1729

  
SITE PLAN  
1/32" = 1'-0"

RICHARD WENGLE  
ARCHITECT INC.



N

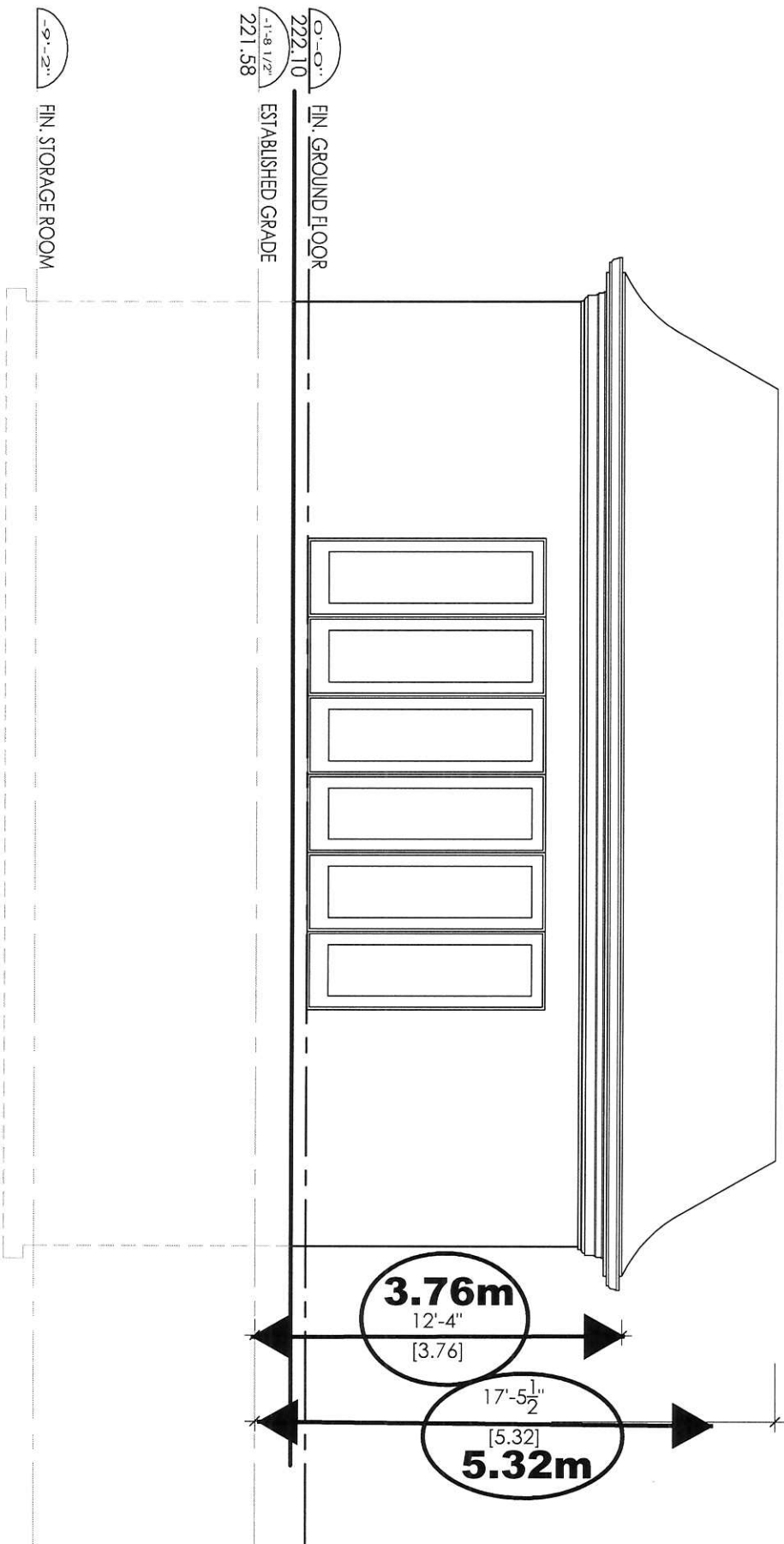


1. To permit a maximum lot coverage of 16.18% for the dwelling, accessory buildings and all covered areas.
2. To permit a maximum building height of 11.34 metres for the dwelling.
4. To permit a maximum building height of 5.32 metres to the highest point of the roof for the accessory building. (cabana)
5. To permit a maximum building height of 3.76 metres to the nearest part of the roof for the accessory building. (cabana)
6. To permit a maximum building height of 7.84 metres for the accessory building (garage 1) to the highest point of the roof.
7. To permit a maximum building height of 4.19 metres for the accessory building (garage 1) to the nearest part of the roof.
8. To permit a maximum building height of 7.84 metres for the accessory building (garage 2) to the highest point of the roof.
9. To permit a maximum building height of 4.19 metres for the accessory building (garage 2) to the nearest part of the roof.
10. To permit a maximum of 304.72m<sup>2</sup> of floor area for all accessory buildings.

CABANA WEST ELEVATION  
3/16" = 1'-0"



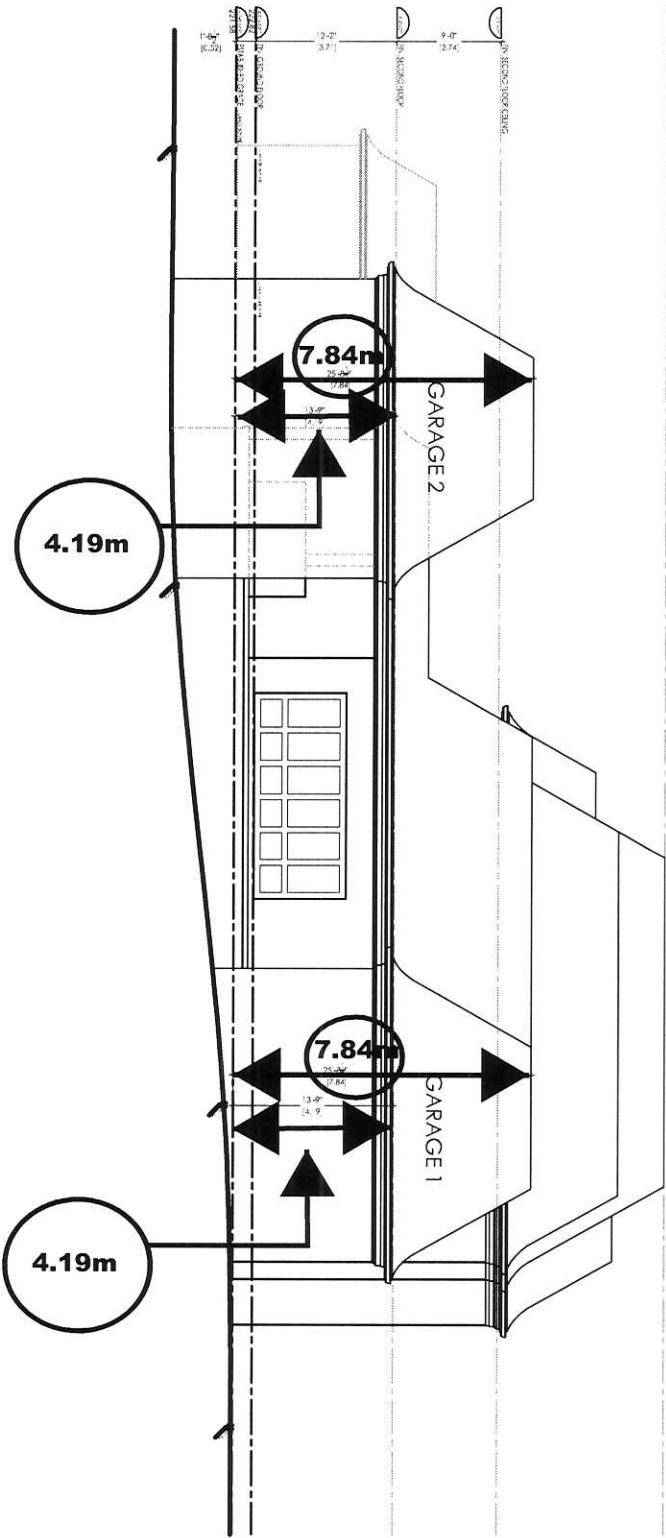
RICHARD WENGLE  
ARCHITECT INC.



VITULLO RESIDENCE

153 OLD HUMBER CRESCENT  
TORONTO, ONTARIO  
OCTOBER 22, 2018  
1729

WEST ELEVATION  
1/16" = 1'-0"



RICHARD WENGLE  
ARCHITECT INC.

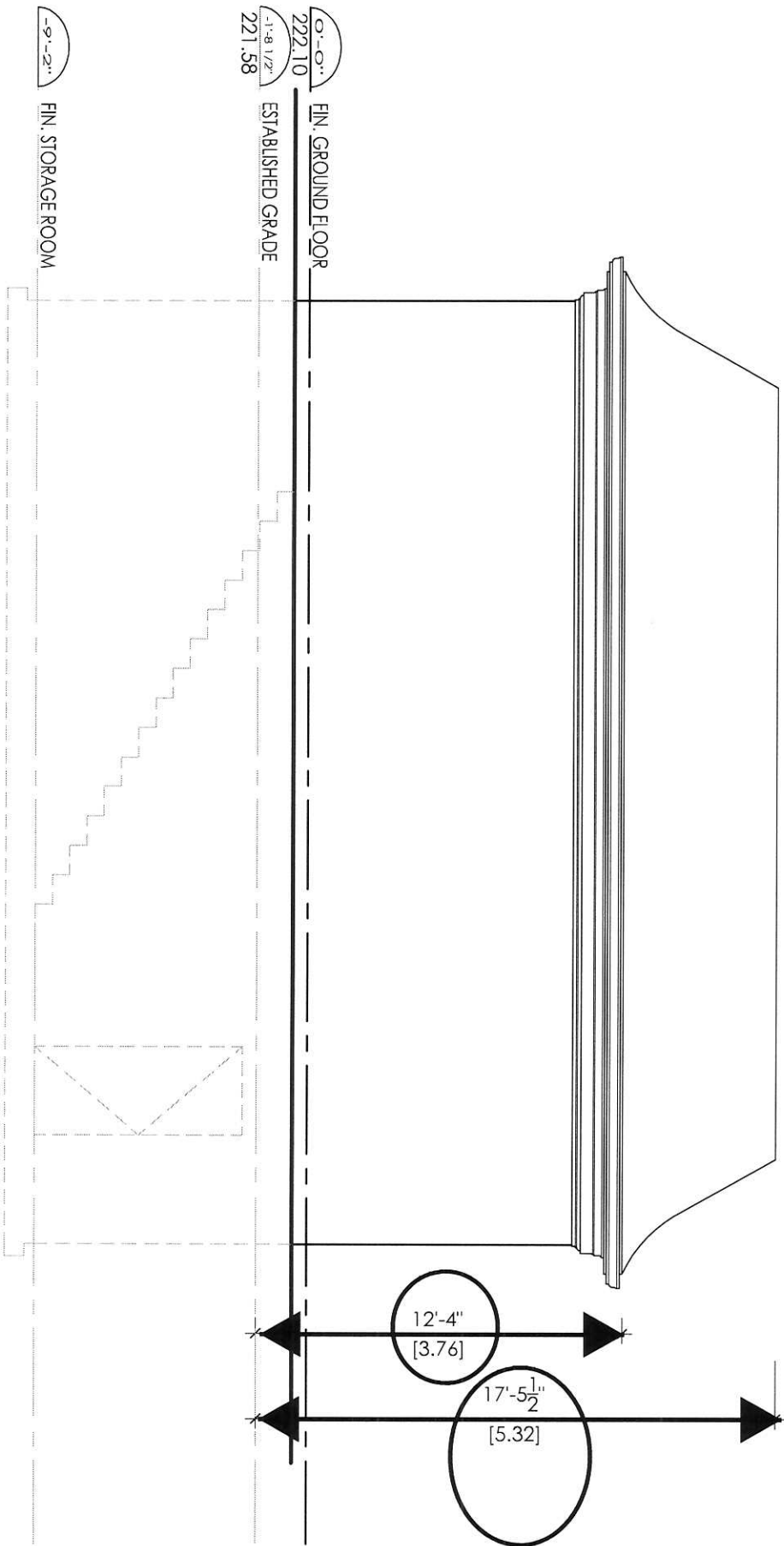
VITULLO RESIDENCE

153 OLD HUMBER CRESCENT  
TORONTO, ONTARIO  
OCTOBER 22, 2018  
1729

CABANA EAST ELEVATION  
3/16" = 1'-0"



RICHARD WENGLE  
ARCHITECT INC.



VITULLO RESIDENCE

153 OLD HUMBER CRESCENT  
TORONTO, ONTARIO  
OCTOBER 22, 2018  
1/729

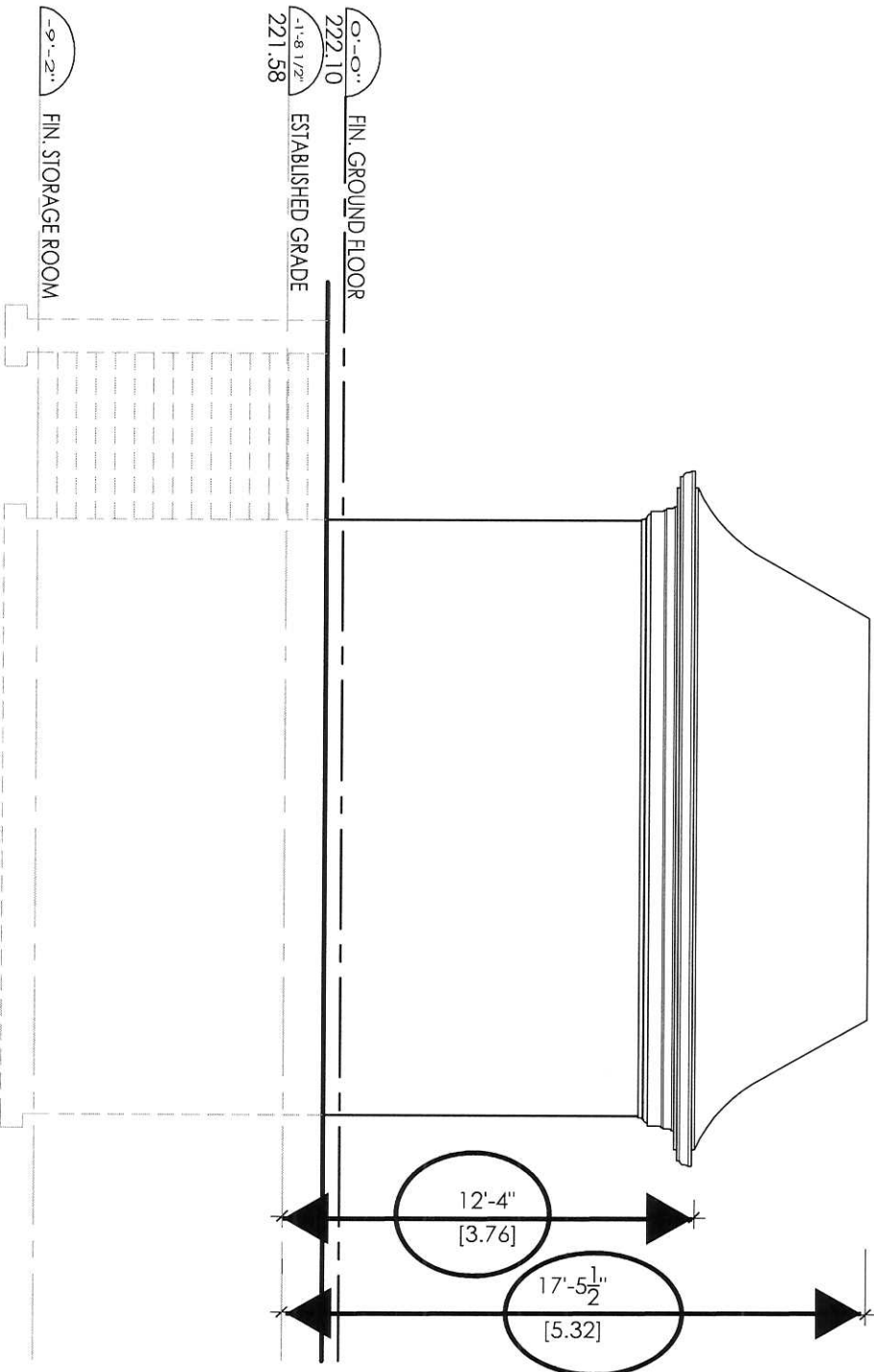




CABANA NORTH ELEVATION  
3/16" = 1'-0"



RICHARD WENGLE  
ARCHITECT INC.



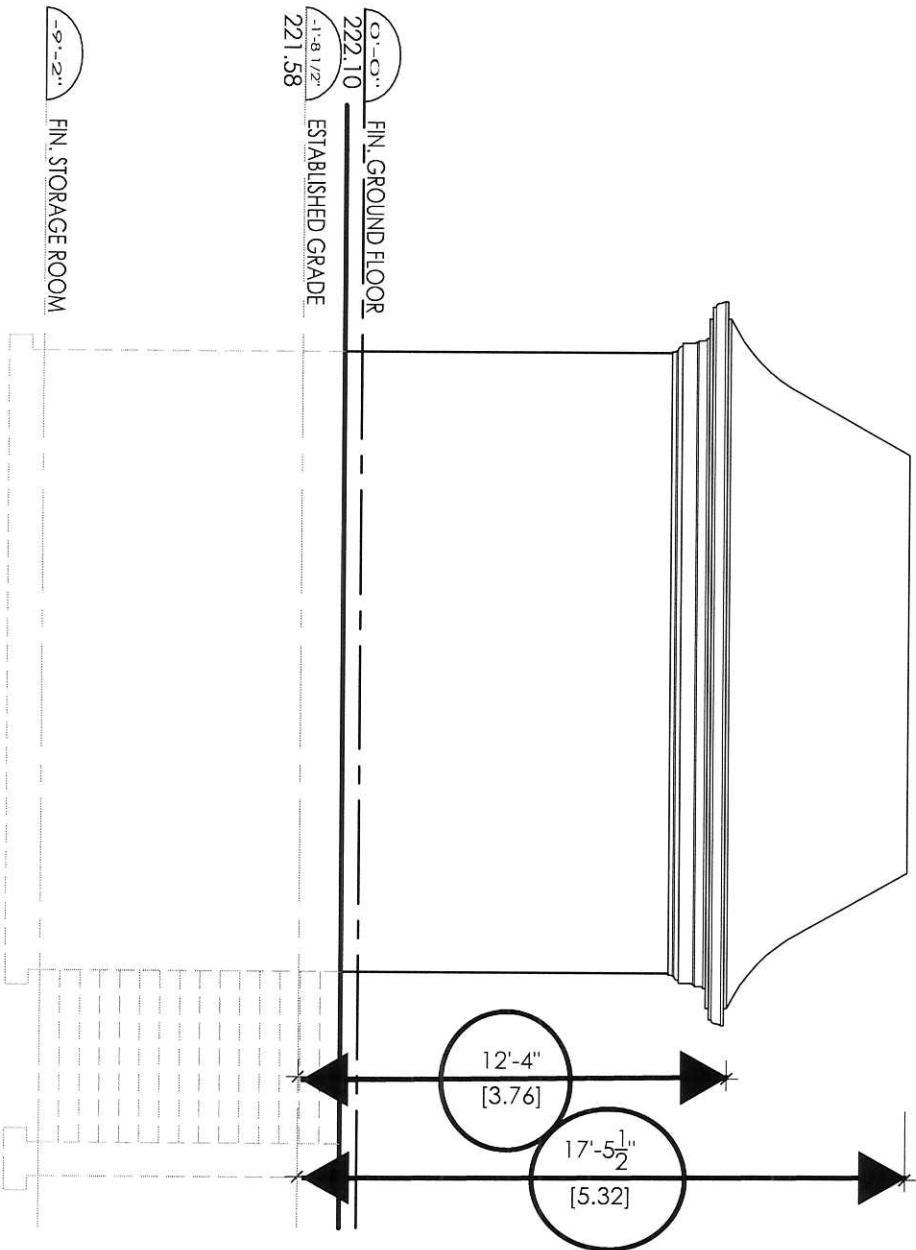
VITULLO RESIDENCE

153 OLD HUMBER CRESCENT  
TORONTO, ONTARIO  
OCTOBER 22, 2018  
1729

CABANA SOUTH ELEVATION  
3/16" = 1'-0"



RICHARD WENGLE  
ARCHITECT INC.



VITULLO RESIDENCE

153 OLD HUMBER CRESCENT  
TORONTO, ONTARIO  
OCTOBER 22, 2018  
1729

**NOTICE OF DECISION**  
**Minor Variance Application A138/18**  
 Section 45 of the Planning Act, R.S.O. 1990, c.P.13

**Date of Hearing:** Thursday, March 7, 2019  
**Applicant:** Shana Ditta  
**Agent:** Fausto Cortese  
**Property:** 63 Rainbow's End Kleinburg ON L0J 1C0  
**Zoning:** The subject lands are zoned R1, Residential Zone, and subject to the provisions of Exception 9(1162) under By-law 1-88 as amended.  
**OP Designation:** VOP 2010: "Low-Rise Residential"  
**Related Files:** None.  
**Purpose:** Relief from the by-law is being requested to permit the construction of a proposed cabana and shed (pool equipment inside) to be located in the rear yard and to permit the existing in-ground pool.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A pool shall only be located in the Rear Yard.	1. To permit a pool not completely in the Rear yard.
2. A minimum Exterior Side yard setback of 4.5 metres is required.	2. To permit a minimum Exterior Side yard setback of 3.97 metres to a pool.
3. A minimum Exterior Side yard setback of 4.5 metres is required.	3. To permit a minimum Exterior Side yard setback of 0.83 metres to a shed.
4. A minimum Rear Yard setback of 7.5 metres is required.	4. To permit a minimum Rear Yard setback of 2.42 metres to a Cabana.
5. A minimum of 60% of the excess Rear Yard area greater than 135 m2 shall be soft landscape.	5. To permit a minimum of 35.59% Soft Landscaping for the area in excess of 135m2.
6. A maximum Height of 3.0 metres is permitted to the nearest part of the roof of an accessory structure.	6. To permit a maximum Height of 4.083 metres to the nearest part of the roof of an accessory structure.

**Sketch:** A sketch illustrating the request has been attached to the decision.

**Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:**

THAT Application No. A138/18 on behalf of Shana Ditta, be **APPROVED**, in accordance with the sketch submitted with the application (as required by Ontario Regulation 200/96) and subject to the following conditions:

	Department/Agency	Condition
1	Development Planning Christopher Cosentino 905-832-8585 x 8215 <a href="mailto:christopher.cosentino@vaughan.ca">christopher.cosentino@vaughan.ca</a>	That the Owner provides photographic documentation which shows that the works to increase the soft landscaping have been completed to the satisfaction of the Development Planning Department.
2	Development Engineering Brad Steeves 905-832-8585 x 8977 <a href="mailto:brad.steeves@vaughan.ca">brad.steeves@vaughan.ca</a>	1. The Owner/applicant shall submit the final Lot Grading Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading approval for the proposed cabana

	Department/Agency	Condition
		<p>prior to any work being undertaken on the property. Please visit or contact Development Engineering's front desk on the 2nd floor of City Hall to apply for lot grading approval.</p> <p>2. The Owner/applicant shall demonstrate appropriate LID (Low-impact Development) measures to the satisfaction of DE to address the increased impervious area (minimum of 35.59% soft landscaping compared to the By-law requirement of minimum 60% soft landscaping) in order to mitigate potential impacts on the municipal stormwater system.</p>

**For the following reasons:**

1. The general intent and purpose of the by-law will be maintained.
2. The general intent and purpose of the official plan will be maintained.
3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
4. The requested variance(s) is/are minor in nature.

**Please Note:**

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.


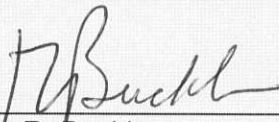
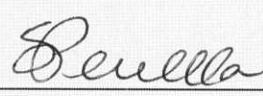
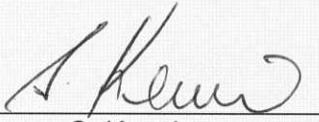

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

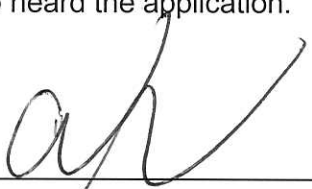
Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

**Written & oral submissions considered in the making of this decision were received from the following:**

Public Written Submissions	Public Oral Submissions
* Public Correspondence received and considered by the Committee in making this decision	*Please refer to the approved Minutes of the Thursday , March 07, 2019 meeting for submission details.
Name: Address: Nature of Correspondence:	Name: Address:
Name: Address: Nature of Correspondence:	Name: Address:
Name: Address: Nature of Correspondence:	Name: Address:

**SIGNED BY ALL MEMBERS PRESENT WHO CONCUR IN THIS DECISION:**

		
H. Zheng Member	R. Buckler Chair	A. Perrella Vice Chair
		
S. Kerwin Member		A. Antinucci Member

<b>DATE OF HEARING:</b>	<b>Thursday, March 7, 2019</b>
<b>DATE OF NOTICE:</b>	<b>March 15, 2019</b>
<b>LAST DAY FOR *APPEAL:</b> *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	<b>March 27, 2019 4:30 p.m.</b>
<b>CERTIFICATION:</b> I hereby certify that this is a true copy of the decision of the City of Vaughan's Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.   _____ Christine Vigneault, ACST Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

**Appealing to The Local Planning Appeal Tribunal**  
*The Planning Act, R.S.O. 1990, as amended, Section 45*

The applicant, the Minister or any other person or public body who has an interest in the matter may within 20 days of the making of the decision appeal to the Local Planning Appeal Tribunal (LPAT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal (A1 Appeal Form) setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Local Planning Appeal Tribunal Act*.

Note: A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days of the date of the making of the decision, the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

**Appeal Fees & Forms**

**Local Planning Appeal Tribunal:** The LPAT appeal fee is \$300 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The LPAT Appeal Fee must be paid by certified cheque or money order payable to the "Minister of Finance". Notice of appeal forms (A1 Appeal Form – Minor Variance) can be obtained at [www.elto.gov.on.ca](http://www.elto.gov.on.ca) or by visiting our office.

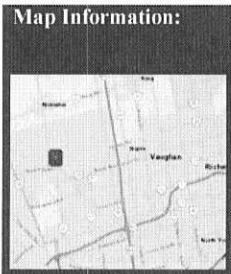
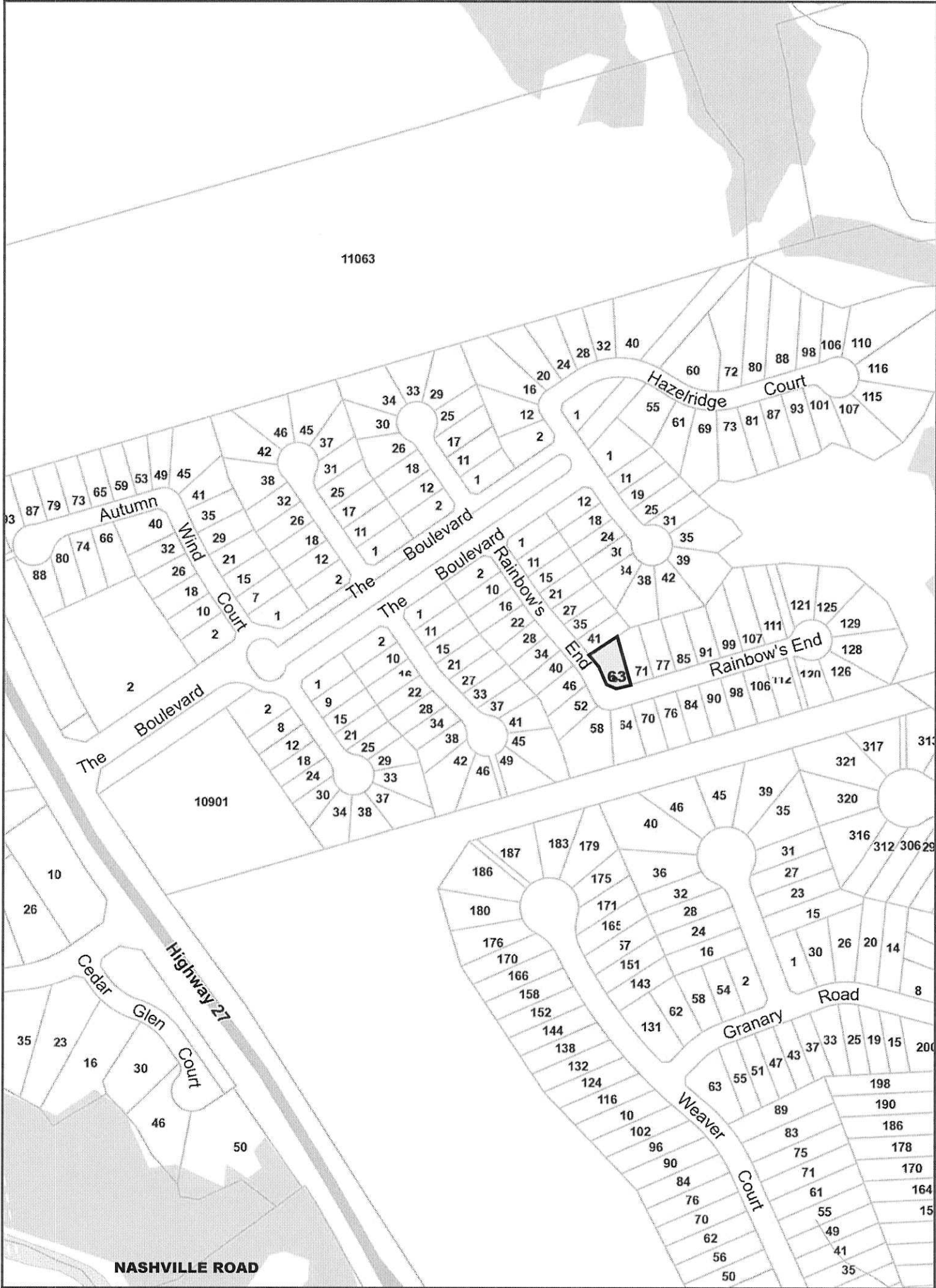
**City of Vaughan LPAT Processing Fee:** \$817.00 per application

\*Please note that all fees are subject to change.

**Conditions**

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from each respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All applicable conditions must be cleared prior to the issuance of a Building Permit.






Title:

**LOCATION MAP - A138/18**


**63 RAINBOW'S END, KLEINBURG**

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.

 **VAUGHAN**

Scale: 1:4,514

0 0.07 km 

Created By:

Infrastructure Delivery  
Department  
January 30, 2019 7:40 PM

Projection:

NAD 83  
UTM Zone  
17N

**February 21, 2019**  
**January 21, 2019**

## KEY PLAN

[illegible]

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.

DO NOT SCALE DRAWING.



**FAUSTO CORTESE**  
ARCHITECTS

3590 RUTHERFORD RD. UNIT 7  
VAUGHAN, ONTARIO, L4H 3T8  
416-806-7000  
FCORTESE@FCARCHITECTS.CA

CT-  
PROPOSED  
POOL CABANA  
AT  
63 RAINBOW END  
CITY OF VAUGHAN

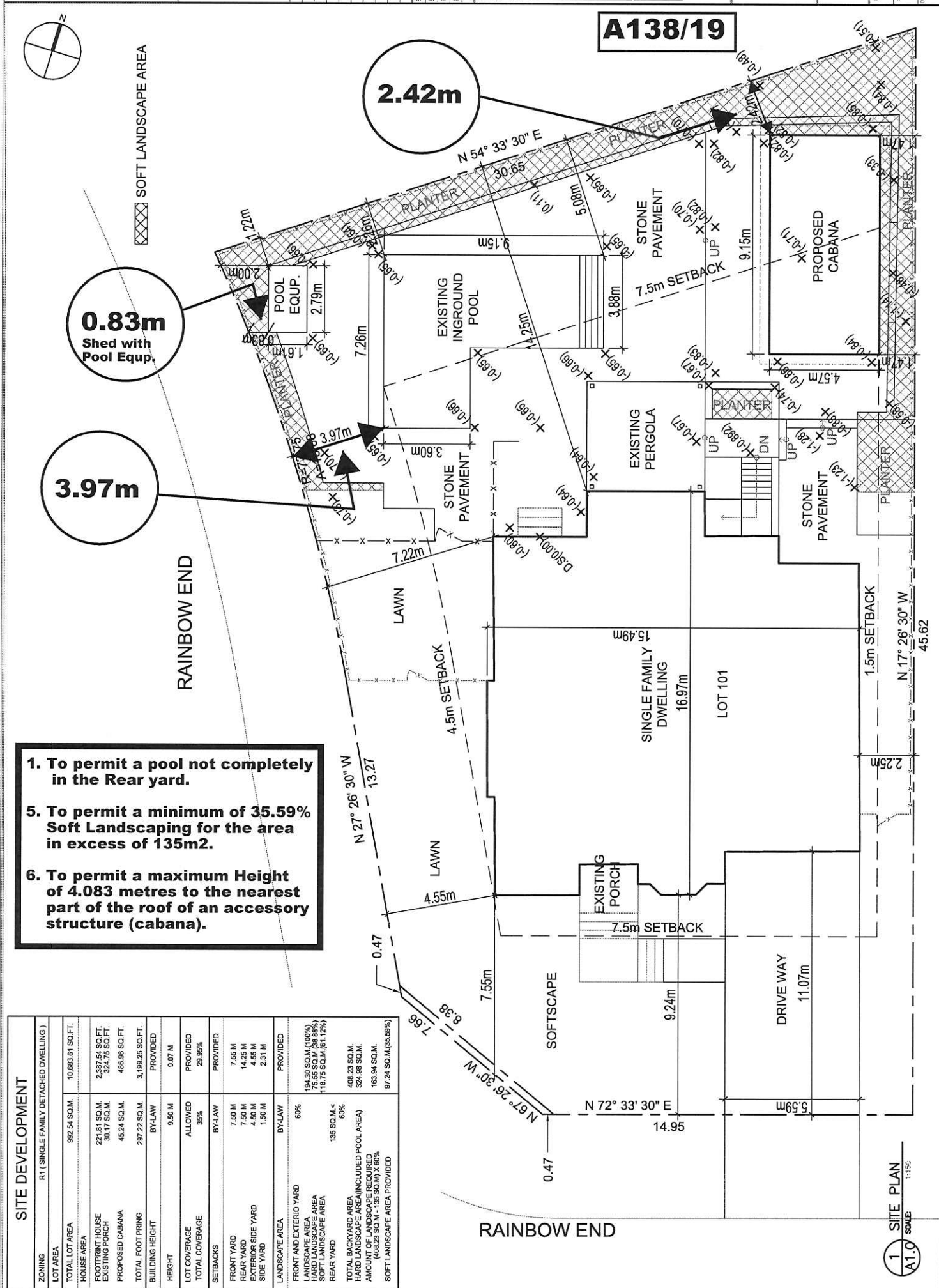
SITE PLAN

.....

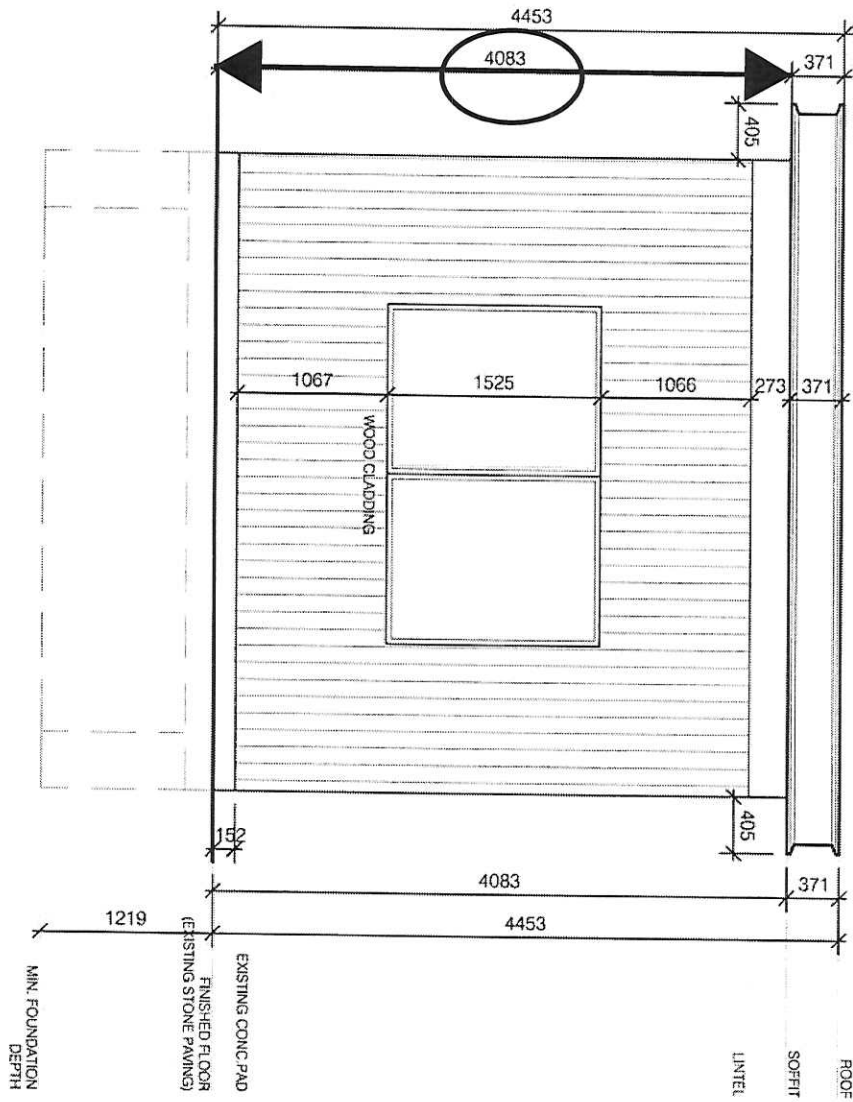
APRIL 2018

2018

A1.0



SITE DEVELOPMENT			
ZONING	RT (SINGLE FAMILY DETACHED DWELLING )		
LOT AREA			
TOTAL LOT AREA	932.54 SQ.M.	10,683.61 SQ.FT.	
HOUSE AREA			
FOOTPRINT HOUSE	221.61 SQ.M.	2,387.64 SQ.FT.	
EXISTING PORCH	30.17 SQ.M.	324.74 SQ.FT.	
PROPOSED CABANA	45.24 SQ.M.	488.98 SQ.FT.	
TOTAL FOOT PRINTING	297.22 SQ.M.	3,199.25 SQ.FT.	
BUILDING HEIGHT	BY-LAW	PROVIDED	
HEIGHT	9.50 M	9.07 M	
LOT COVERAGE	ALLOWED	PROVIDED	
TOTAL COVERAGE	35%	29.95%	
SETBACKS	BY-LAW	PROVIDED	
FRONT YARD	7.50 M	7.55 M	
REAR YARD	7.50 M	14.25 M	
LEFT SIDE YARD	4.50 M	4.55 M	
RIGHT SIDE YARD	1.50 M	2.31 M	
LANDSCAPE AREA	BY-LAW	PROVIDED	
FRONT AND EXTERIOR YARD LANDSCAPE AREA	60%	194.30 SQ.M.(100%)	
REAR LANDSCAPE AREA		324.98 SQ.M.(66.23%)	
SOFT LANDSCAPE AREA		118.75 SQ.M.(61.12%)	
REAR YARD	135 SQ.M.< 60%		
TOTAL BACKYARD AREA		408.23 SQ.M.	
HARD LANDSCAPE AREAINCLUDED POOL AREA)		324.98 SQ.M.	
AMOUNT OF LANDSCAPE REQUIRED (66.23 SQ.M. - 135 SQ.M.) X 90%		163.94 SQ.M.	
SOFT LANDSCAPE AREA PROVIDED		97.24 SQ.M.(55.95%)	



1 NORTH ELEVATION  
A3.0 SCALE 1:50

[illegible]



**NOTICE OF DECISION**  
**Minor Variance Application A077/18**  
 Section 45 of the Planning Act, R.S.O. 1990, c.P.13

**Date of Hearing:** Thursday, January 10, 2019  
**Applicant:** Franca Zeppa  
**Agent** John Zipay & Associates  
**Property:** **43 Pennon Road, Kleinburg**  
**Zoning:** The subject lands are zoned R1V Old Village Residential under By-law 1-88 as amended.  
**OP Designation:** VOP 2010: "Low-Rise Residential"  
**Related Files:** None  
**Purpose:** Relief from the by-law is being requested to permit the construction of a proposed single family dwelling.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum front yard setback of 19.92 metres is required (existing 22.13 m -10%).	1. To permit a minimum front yard setback of 16.22 metres to a dwelling.
2. A minimum front yard setback of 19.92 metres is required (existing 22.13 m -10%).	2. To permit a minimum front yard setback of 13.38 metres to terraces (which are excavated).
3. A maximum lot coverage of 20% is permitted.	<del>3. To permit a maximum lot coverage of 29.5% (dwelling 25% including covered porch areas + accessory building 4.5%).</del>  To permit a total maximum lot coverage of 28.29%
4. A maximum building height of 9.5 metres is permitted.	4. To permit a maximum building height of 10.95 metres for a dwelling.
5. A maximum building height of 4.5 metres is permitted.	<del>5. To permit a maximum building height of 6.58 metres for an accessory building (cabana).</del>  To permit a maximum building height of 5.70 metres for an accessory building (cabana)
6. A maximum building height of 3.0 metres is permitted.	6. To permit a maximum building height of 3.05 metres from average finished ground level to the nearest part of the roof for an accessory building (cabana).
7. A maximum floor area of 67 square metres is permitted.	7. To permit a maximum floor area of 92.59 square metres for an accessory building (cabana).
8. A minimum rear yard setback of 7.5 metres is required.	8. To permit a minimum rear yard setback of 6.31 metres to an accessory building (cabana).
9. A reverse slope driveway is not permitted.	9. To permit a reverse slope driveway.
10. Eaves and gutter shall not project more than 0.5 metres into all required yards.	10. To permit eaves and gutters to project 0.74 metres into a minimum required yard (dwelling and cabana).

**Sketch:** A sketch illustrating the request has been attached to the decision.

Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:

THAT Application No. A077/18 on behalf of Franca Zeppa be **APPROVED**, in accordance with the sketch submitted with the application (as required by Ontario Regulation 200/96) and subject to the following conditions:

	Department/Agency	Condition
1	Development Engineering Steve Lysecki  905-832-2281 ext. 8731 Steve.Lysecki@Vaughan.ca	1) The Owner / Applicant shall apply to the Development Inspection & Grading Division of the Development Engineering Department for Lot Grading Approval prior to any work taking place on the property for construction of the proposed dwelling. The application(s) can be made at the Development Engineering Department counter on the 2nd floor of City Hall and proof of application shall be sent to Steve Lysecki at Steve.Lysecki@Vaughan.ca to clear this condition. Should the Owner require assistance with application for approval, please see counter staff at the Development Engineering counter, or call Steve Lysecki at Vaughan City Hall at 905-832-2281 ext. 8731.  2) The Owner / Applicant shall complete a capacity analysis, to the satisfaction of the Development Engineering (DE) Department, of the receiving storm sewer should the proposed sump pump be connected to the sewer. The Owner / Applicant shall contact Steve Lysecki of DE to discuss and undertake this analysis.
2	Planning Department Chris Cosentino  905-832-8585, ext. 8215 christopher.cosentino@vaughan.ca	1) A total of 39 replacement trees are required for the proposal. The Owner shall provide a Landscape Plan indicating the location of the proposed replacement trees. Cash-in-lieu payment at a rate of \$550 per replacement tree is required for any required replacement trees that are not accommodated on site.  2) The Owner shall provide a Tree Protection Zone (TPZ) around tree #448 (as identified in the tree inventory).  3) The Owner shall resubmit an amended Tree Inventory/Preservation Plan and Arborist Report in accordance with the provided Urban Design comment memo dated January 2, 2019.
3	Committee of Adjustment Christine Vigneault  905-832-8585 ext. 8332 Christine.vigneault@vaughan.ca	That a revised sketch be submitted reflecting the Committee's approval for Variance No. 3 & 5 (see variance chart)


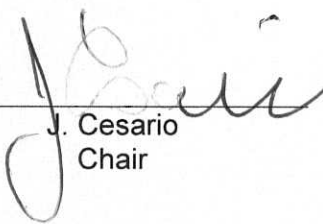
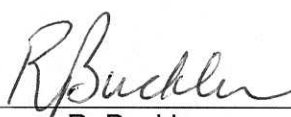
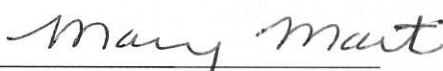

**For the following reasons:**

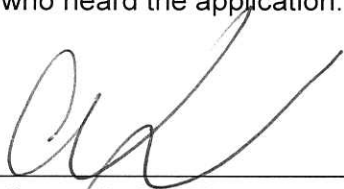
1. The general intent and purpose of the by-law will be maintained.
2. The general intent and purpose of the official plan will be maintained.
3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
4. The requested variance(s) is/are minor in nature.

Written & oral submissions considered in the making of this decision were received from the following:

Public Written Submissions	Public Oral Submissions
* Public Correspondence received and considered by the Committee in making this decision	*Please refer to the approved Minutes of the Thursday , January 10, 2019 meeting for submission details.
Name: Nadia & Phillip Lazzarino Address: 25 Pennon Road Nature of Correspondence: Letter of Objection	Name: Address:

SIGNED BY ALL MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

		
H. Zheng Member	J. Cesario Chair	R. Buckler Vice Chair
		
M. Mauti Member		A. Perrella Member

DATE OF HEARING:	Thursday, January 10, 2019
DATE OF NOTICE:	January 18, 2019
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	January 30, 2019 4:30 p.m.
<b>CERTIFICATION:</b> I hereby certify that this is a true copy of the decision of the City of Vaughan's Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.  Christine Vigneault, ACST Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

**Appealing to The Local Planning Appeal Tribunal**  
The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or any other person or public body who has an interest in the matter may within 20 days of the making of the decision appeal to the Local Planning Appeal Tribunal (LPAT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal (A1 Appeal Form) setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Local Planning Appeal Tribunal Act*.

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**Appeal Fees & Forms**

**Local Planning Appeal Tribunal:** The LPAT appeal fee is \$300 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The LPAT Appeal Fee must be paid by certified cheque or money order payable to the "Minister of Finance". Notice of appeal forms (A1 Appeal Form – Minor Variance) can be obtained at [www.elto.gov.on.ca](http://www.elto.gov.on.ca) or by visiting our office.

**City of Vaughan LPAT Processing Fee:** \$817.00 per application

\*Please note that all fees are subject to change.

**Conditions**

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from each respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All applicable conditions must be cleared prior to the issuance of a Building Permit.



VAUGHAN

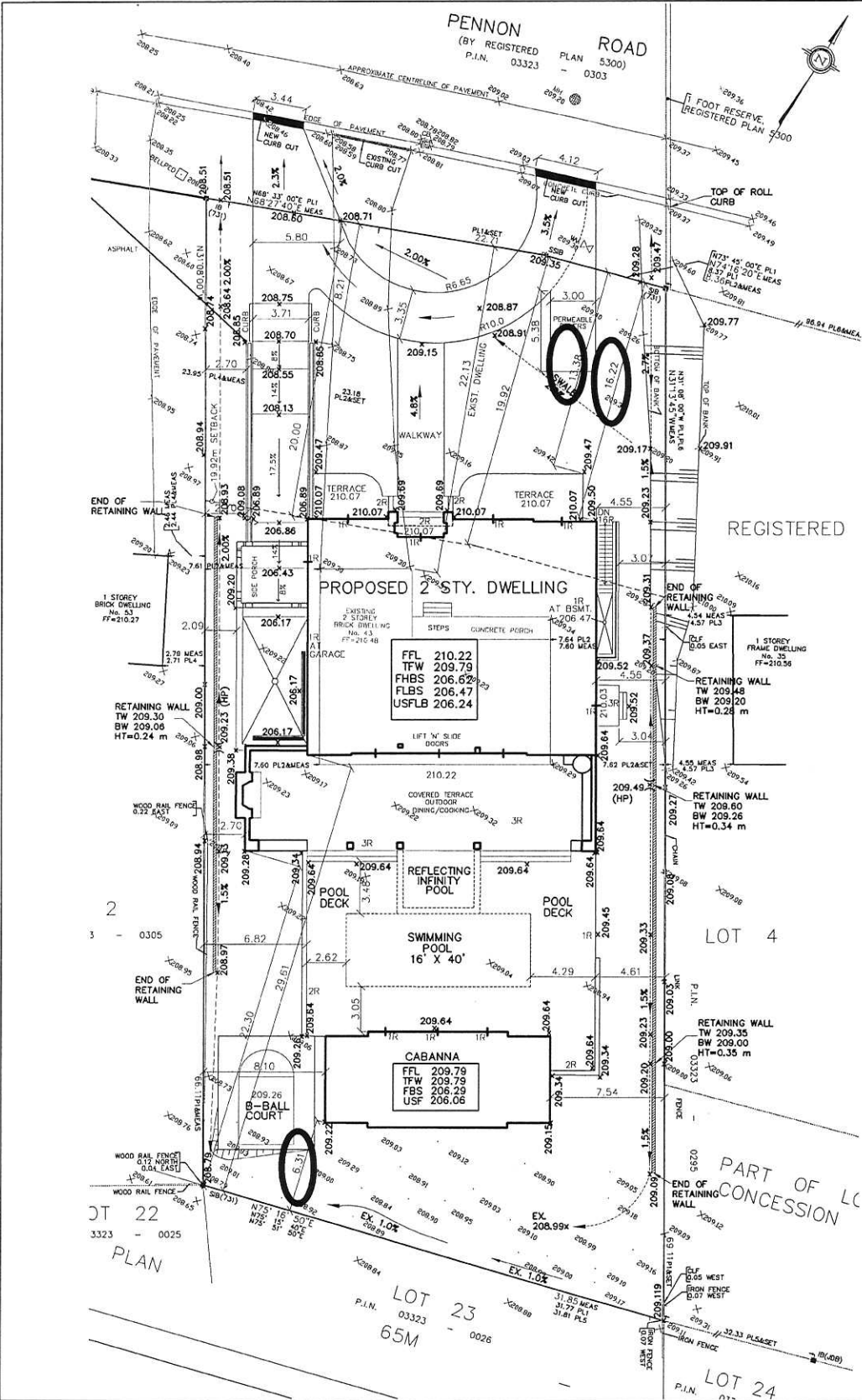
## A077/18 - Location Map

43 Pennon Road, Kleinburg



September 7, 2018 4:13 PM





GENERAL NOTES

1. Builder and Surveyor to confirm difference between FFL and USF before proceeding with excavation. Report discrepancies to the Architect.
2. Surveyor is to comply with the municipality regarding setbacks in laying out the work. Any discrepancies are to be reported to the Architect and the builder.
3. The builder shall comply with all current municipal standards for Subdivision Lot Drainage and Grading as they relate to max. & min. slopes for yards, swales & drives and clearances to street furniture and services for driveways.
4. The builder shall check and verify all given grade elevations and drainage prior to commencement of construction.
5. Builder shall verify location of existing and proposed utilities prior to commencement of construction. Footings to bear on natural undisturbed soil and be a min. of 1.22m below finished grade. Underside of footings shown are taken from architectural plans and may not represent actual footing level.
6. All dimensions and grade elevations are shown in metres.
7. Unless otherwise indicated, finished floor level is 0.40m above Specified House Grade at entry points to house and provision of 2 risers at entries must be made to gain entry into house. Maintain top of foundation wall min. 0.15m above finished grade.
8. These General Notes apply to all drawings for Siting & Grading including siting on individual sheets.
9. All front and rear yards shall be graded at a 2% - 5% grade within 6.0m of the dwelling unit.

DATE	REF.	DESCRIPTION
10.16.18	FP	REVISED HOUSE/POOL/CABANA PER NEW DESIGN
9.29.18	FP	FINALIZED SITE PLAN FOR COA
06.29.18	FP	REVISED HOUSE/POOL/CABANA PER NEW DESIGN
04.11.18	FP	SHIFED HOUSE/POOL/CABANA REVISED STATISTICS
2.15.18	FP	UPDATED STATISTICS ADDED EXIST. FRONT SETBACK
2.15.18	FP	UPDATED HEIGHT
01.30.18	FP	UPDATED HEIGHT

DO NOT SCALE DRAWING



Proposal:

1. To permit a minimum front yard setback of 16.22 metres to a dwelling.
2. To permit a minimum front yard setback of 13.38 metres to terraces (which are excavated).
3. To permit a maximum lot coverage of 29.5% (dwelling 25% including covered porch areas + accessory building 4.5%).
4. To permit a maximum building height of 10.95 metres for a dwelling.
5. To permit a maximum building height of 6.58 metres for an accessory building (cabana).
6. To permit a max bldg height of 3.05 metres from average finished ground level to the nearest part of the roof for an accessory bldg (cabana).
7. To permit a maximum floor area of 92.59 square metres for an accessory building (cabana).
8. To permit a minimum rear yard setback of 6.31 metres to an accessory building (cabana).
9. To permit a reverse slope driveway.
10. To permit eaves and gutters to project 0.74 metres into a minimum required yard (dwelling and cabana).

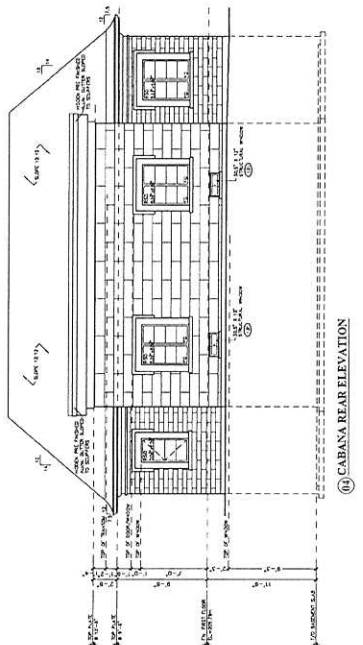
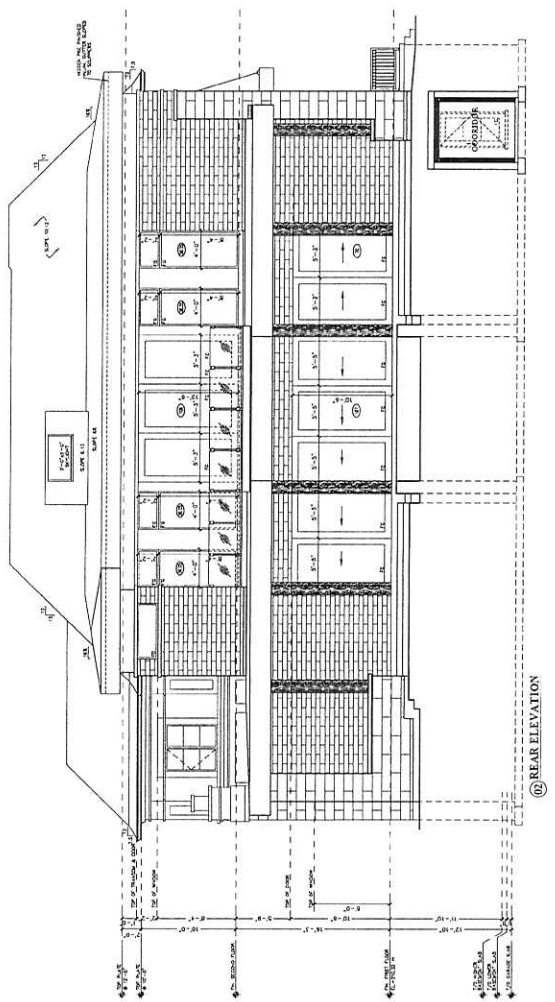
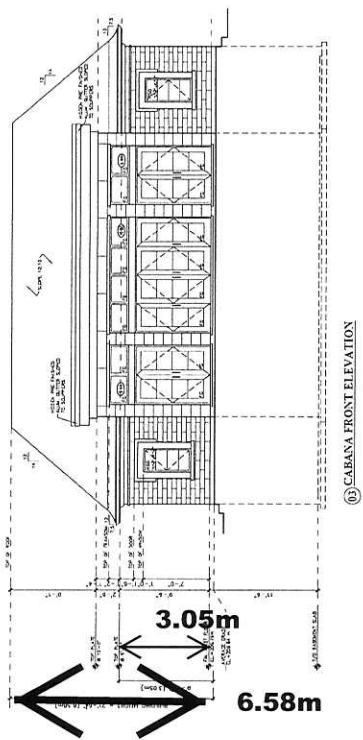
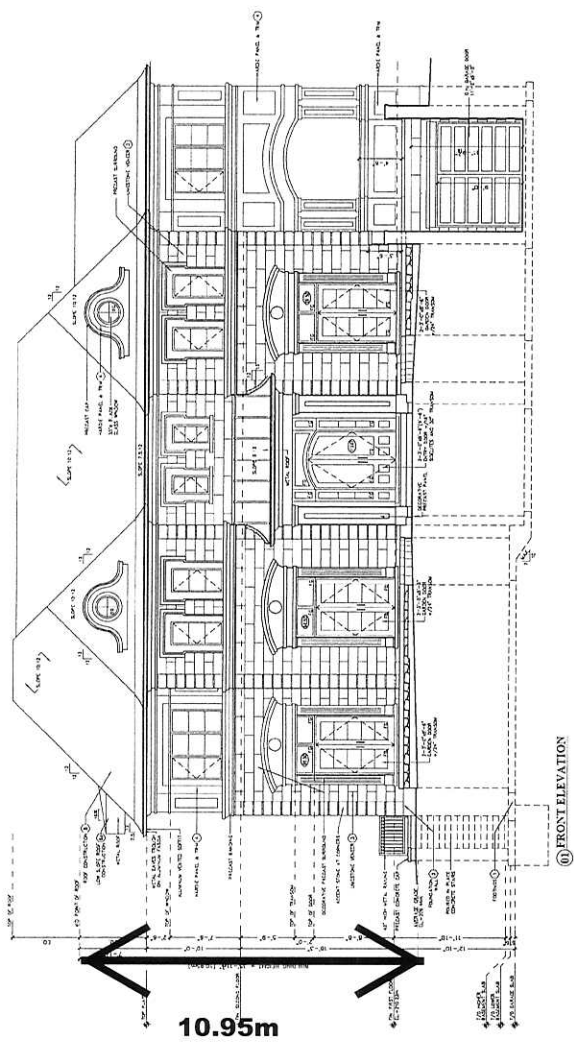
- HYDRANT
- ⊗ TRANSFORMER
- ⊗ VALVE CHAMBER
- WATER SERVICE
- ▼ STORM & SANITARY CONNECTION
- ▼ SINGLE STORM & SANITARY CONNECTION

— G GAS LOCATION

Item	Area (m²)	Percentage (%)
SETBACKS (ACCESSORY BUILDING)		
Side Yards	7.54m	1.50m
Rear Yard	6.31m	7.50m
HARD LANDSCAPING AREA	403.19m²	
SOFT LANDSCAPING AREA	327.65m² (81.26%)	(60.0% of H.L.A.)

08.14.17	Job Number	Drawn By
17-1374	17-1374	FP
Scale	1:300	
Cad Dwg.	Sheet Number	
17-1374-SP		



[illegible]

### PRELIMINARY DRAWINGS



## REFERENCES

DE MEYER ET AL.

VALUATION OF LUMEN 343

### KONT & REAK ANTIOR ELEVATIONS

Date	Amount \$
OCT. 16, 2010	—

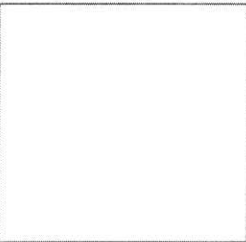
17-1374

 $0/18^\circ = 1^\circ = 0^\circ$

ADDENDUM  
AGENDA ITEM

8  
COMMITTEE OF ADJUSTMENT

- municipality regarding setbacks in laying out the work. Any discrepancies are to be reported to the Architect and the builder.
- 3 The builder shall comply with all current municipal standards for Subdivision Lot Drainage and Grading as they relate to max. & min. slopes for yards, roads & drives and clearances to street furniture and services for driveways.
- 4 The builder shall check and verify all given grade elevations and drainage prior to commencement of construction.
- 5 Builder shall verify location of existing and proposed utilities prior to commencement of construction. Footings to bear on natural undisturbed soil and be a min. of 1.23m below finished grade. Underside of footings shown are taken from architectural plans and may not represent actual footing level. All dimensions and grade elevations shown in metres.
- 7 Unless otherwise indicated, finished floor level is 0.40m above Specified House Grade at entry points to house and provision of 2 risers at entries must be made to gain entry into house. Maintain top of foundation wall min. 0.15m above finished grade.
- 8 These General Notes apply to all drawings for Siting & Grading including siting on individual sheets.
- 9 All front and rear yards shall be graded at a 2% - 5% grade within 6.0m of the dwelling unit.



10.16.18	FP	REVISED HOUSE/POOL/CABANA PER NEW DESIGN
9.29.18	FP	FINALIZED SITE PLAN FOR COA
06.29.18	FP	REVISED HOUSE/POOL/CABANA PER NEW DESIGN
04.11.18	FP	SHIFTED HOUSE/POOL/CABANA REVISED STATISTICS
2.15.18	FP	UPDATED STATISTICS ADDED EXIST. FRONT SETBACK
2.15.18	FP	UPDATED HEIGHT
01.30.18	FP	UPDATED HEIGHT

DO NOT SCALE DRAWING

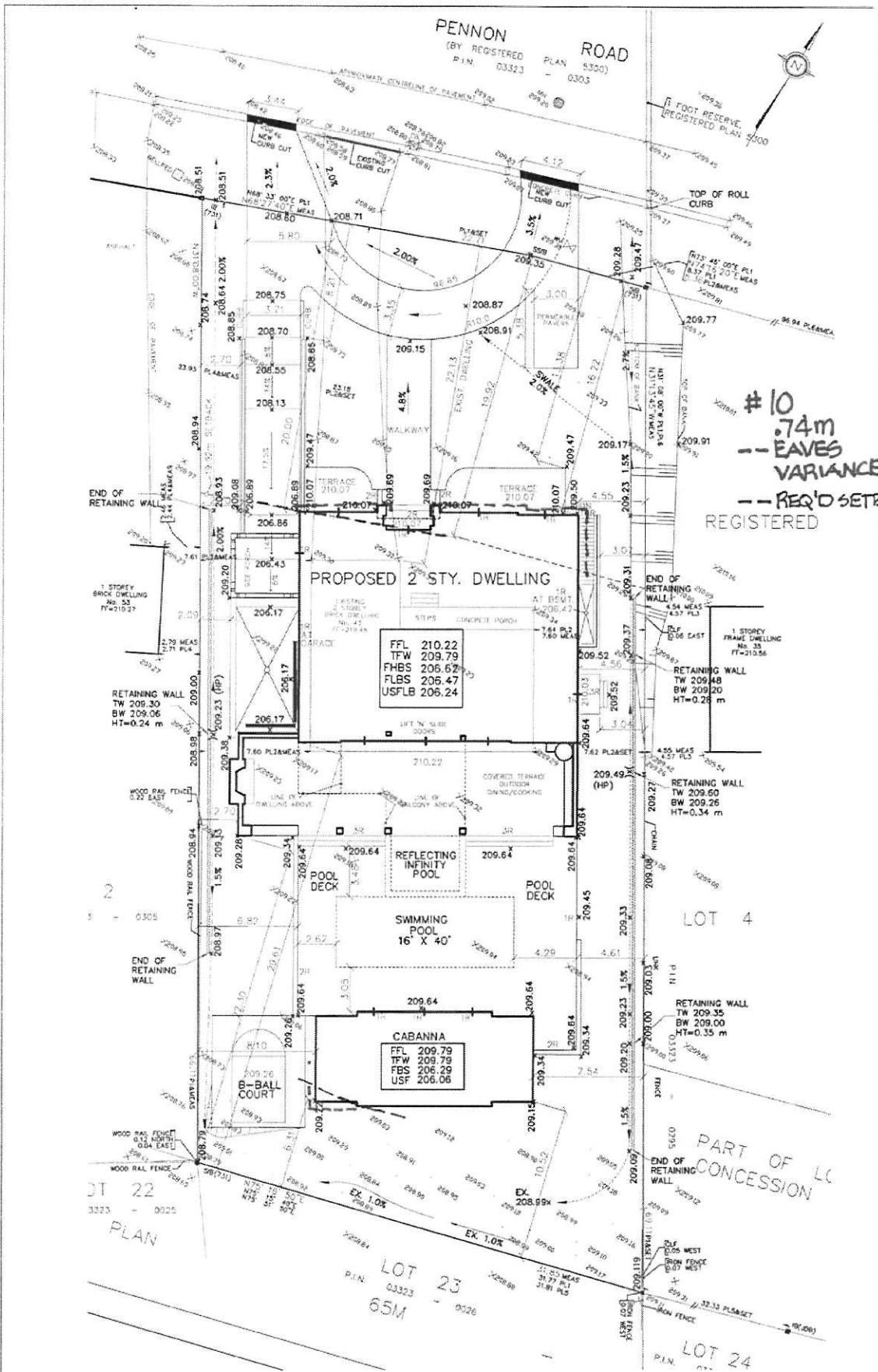
architects inc.

70 Glen Road,  
Unit #20,  
Woodbridge, Ontario,  
(416) 895-1905  
265-2688

INFILL RESIDENCE  
43 PENNON ROAD  
VAUGHAN, ONTARIO

LEGAL DESCRIPTION:  
PART 1  
PLAN OF LOT 1  
REGISTERED PLAN 7553  
CITY OF VAUGHAN  
REGIONAL MUNICIPALITY  
OF YORK

SITE PLAN	
Date	Checked By
08.14.17	
Job Number	Drawn By
17-1374	FP
Scale	
1:300	
Cad Dwg.	Sheet Number
17-1374-SP	



LEGEND	
286.0	PROPOSED GRADES
286.0	PROPOSED GRADE
286.0	DIRECTION OF FLOW
FFL	FINISHED FLOOR LEVEL
TFW	TOP OF FOUNDATION WALL
FHBS	FINISHED HIGHER BASEMENT SLAB
FLBS	FINISHED LOWER BASEMENT SLAB
FFER/F	FINISHED FLOOR ENTRY REAR/FRONT
USFLB	UNDERSIDE OF FOOTINGS LOWER BSMY
SL	STREET LIGHT
HYDRANT	HYDRANT
TRANSFORMER	TRANSFORMER
VALVE CHAMBER	VALVE CHAMBER
WATER SERVICE	WATER SERVICE
STORM & SANITARY CONNECTION	STORM & SANITARY CONNECTION
SINGLE STORM & SANITARY CONNECTION	SINGLE STORM & SANITARY CONNECTION
CABLE TV PEDESTAL	CABLE TV PEDESTAL
BELL PEDESTAL	BELL PEDESTAL
CATCH BASIN	CATCH BASIN
EXTERIOR DOOR LOCATION	EXTERIOR DOOR LOCATION
SWALE DIRECTION	SWALE DIRECTION
WALK OUT DECK	WALK OUT DECK
WALK OUT BASEMENT	WALK OUT BASEMENT
REVERSE PLAN	REVERSE PLAN
DOWNSPOUT	DOWNSPOUT
ENGINEERED FILL	ENGINEERED FILL
STREET SIGN	STREET SIGN
HYDRO TAIL	HYDRO TAIL
GAS LOCATION	GAS LOCATION

SITE STATISTICS		
	PROPOSED	REQUIRED
LOT AREA	2070.89m <sup>2</sup>	845m <sup>2</sup>
LOT FRONTAGE	30.44m	30.0m
LOT COVERAGE (incl. covered Porch areas)	609.57m <sup>2</sup> (29.5%)	414.17m <sup>2</sup> (20.0%)
LOT COVERAGE- DWELLING	516.98m <sup>2</sup> (25.0%)	
LOT COVERAGE- ACCESSORY BUILDING	92.59m <sup>2</sup> (4.5%)	67.0m <sup>2</sup>
LANDSCAPING AREA	1260.67m <sup>2</sup> (60.8%)	
DRIVEWAY & WALKWAYS	200.62m <sup>2</sup> (9.7%)	
AVERAGE GRADE	209.44	
BUILDING HEIGHT DWELLING	10.95m	9.5m
BUILDING HEIGHT ACCESSORY BLDG.	6.58m	4.50m
NEAREST PART OF ROOF-ACCESSORY BLDG	3.05m	3.00m
SETBACKS (DWELLING)		
Front Yard	16.22m	22.13 - 2.213 = 19.92m
Side Yards	2.09m	1.50m
Rear Yard	29.61m	7.5m
SETBACKS (ACCESSORY BUILDING)		
Side Yards	7.54m	1.50m
Rear Yard	6.31m	7.50m
HARD LANDSCAPING AREA	403.19m <sup>2</sup>	
SOFT LANDSCAPING AREA	327.65m <sup>2</sup> (81.26%)	(60.0% of H.L.A.)

# **NOTICE OF DECISION**

## **MINOR VARIANCES**

**FILE NUMBER:** A106/16

**APPLICANT:** ARMANDO BALDASSARRA

**PROPERTY:** Part of Lot 13, Concession 6, (Lot 29, Registered Plan No. 5757), municipally known as 206 Pine Valley Cres., Woodbridge.

**ZONING:** The subject lands are zoned RR, Rural Residential under By-law 1-88 as amended.

**PURPOSE:** To permit the construction of a proposed one-storey detached garage.

**PROPOSAL:**

1. To permit a minimum interior side yard setback of 2.45m to the detached garage.
2. To permit a maximum eaves and gutter encroachment of 0.71m for the detached garage.
3. To permit a maximum building height of 10.48m for the detached garage.
4. To permit the nearest part of the roof to be no more than 6.15m above finished grade for the detached garage.
5. To permit the maximum area of all accessory buildings and structures not to exceed 290.71 sq.m.
6. To permit a maximum lot coverage of 20.55%
7. To permit a reverse slope driveway for the detached garage.

**BY-LAW REQUIREMENT:**

1. Minimum interior side yard setback 4.5m (detached garage).
2. Maximum encroachment of eaves and gutters 0.5m (detached garage).
3. Maximum building height 4.5m (detached garage).
4. The nearest part of the roof shall not be more than 3.0m above finished grade (detached garage).
5. The maximum area of all accessory buildings and structures shall not exceed 67 square meters.
6. Maximum lot coverage 10%.
7. All driveways shall have a positive slope away from all parts of the building or structure to the street.

**BACKGROUND INFORMATION:** Other Planning Act Applications  
The land which is the subject in this application was also the subject of another application under the Planning Act:

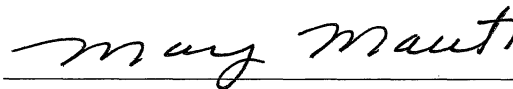
**MINOR VARIANCE APPLICATION:**

**A166/09 - APPROVED - Jul. 23/09** (lot coverage 18.2%, max height 9.9m nearest part 4.4m, CABANA: RYS 8m; area 164.87m<sup>2</sup>, height 5.51m; nearest point 3.51m)

**A084/09 - APPROVED April 28/09** (lot coverage of 15.3%)

A sketch is attached illustrating the request.

**MOVED BY:**



**SECONDED BY:**



THAT the Committee is of the opinion that the variances sought, can be considered minor and are desirable for the appropriate development and use of the land. The general intent and purpose of the By-law and the Official Plan will be maintained.

THAT Application No. **A106/16, ARMANDO BALDASSARRA**, be **APPROVED**, in accordance with the sketches attached and subject to the following conditions:

1. That prior to the issuance of a building permit for the proposed detached garage, the Owner shall submit an Arborist Report prepared by a qualified arborist for the mature deciduous tree, to the satisfaction of the Development Planning Department. The Arborist Report shall identify that the tree will be protected during the construction of the proposed garage and identify the measures that will be used to protect the tree. If the Arborist Report recommends that the tree is to be removed, the Owner is required to provide compensation for this tree, if required, to the satisfaction of the Development Planning Department;

2. That if the condition(s) listed above is/are not fulfilled and the Building Permit is not applied for within twelve (12) months of the date this decision becomes final and binding, the said decision shall expire and shall be deemed to have been annulled and rescinded by the Committee. **(PLEASE NOTE THAT THIS TIME PERIOD CANNOT BE EXTENDED IN ANY WAY, FAILURE TO MEET THIS DEADLINE WILL RESULT IN REQUIRING A NEW APPLICATION AND FEE.)**

**VERY IMPORTANT: IT IS THE RESPONSIBILITY OF THE OWNER/APPLICANT AND/OR AGENT TO OBTAIN AND PROVIDE A CLEARANCE LETTER FROM EACH AGENCY AND/OR DEPARTMENT LISTED IN THE CONDITIONS WHETHER "IF REQUIRED" APPEARS IN THE CONDITION OR NOT, AND FORWARD THIS CLEARANCE LETTER TO THE SECRETARY-TREASURER AS SOON AS THE CONDITIONS ARE FULFILLED.**


**FAILURE TO COMPLY WITH THIS PROCEDURE WILL RESULT IN A LETTER BEING FORWARDED BY THE SECRETARY-TREASURER INDICATING THIS FILE HAS LAPSED AND, THEREFORE, WILL NECESSITATE THAT A NEW APPLICATION BE SUBMITTED TO LEGALIZE THIS PROPERTY.**

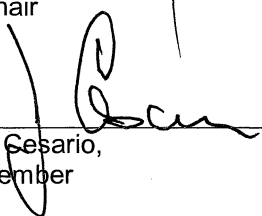
**THIS MINOR VARIANCE DECISION IS NOT A BUILDING PERMIT AUTHORIZING CONSTRUCTION UNDER THE BUILDING CODE ACT, R.S.O. 1990, AS AMENDED. A BUILDING PERMIT MAY BE REQUIRED. PLEASE CONTACT THE BUILDING STANDARDS DEPARTMENT IN THE EVENT THAT YOU REQUIRE FURTHER CLARIFICATION.**

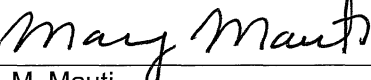
**CARRIED.**


**CHAIR:**


Signed by all members present who concur in this decision:

  
\_\_\_\_\_  
H. Zheng,  
Chair

  
\_\_\_\_\_  
J. Cesario,  
Member

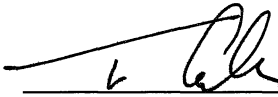
  
\_\_\_\_\_  
M. Mauti,  
Vice Chair

  
\_\_\_\_\_  
R. Buckler,  
Member

  
\_\_\_\_\_  
A. Perrella,  
Member

**CERTIFICATION**

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.

  
\_\_\_\_\_  
Todd Coles, BES, MCIP, RPP  
Manager of Development Services  
and Secretary-Treasurer to  
Committee of Adjustment

<b>Date of Hearing:</b>	<b>MARCH 17, 2016</b>
<b>Last Date of Appeal:</b>	<b>APRIL 6, 2016</b>

**APPEALS**

**APPEALS MUST BE RECEIVED BY THIS OFFICE NO LATER THAN 4:30 P.M. ON THE LAST DATE OF APPEAL NOTED ABOVE.**

Should you decide to appeal this decision to the Ontario Municipal Board, a copy of an appeal form is available for download in Microsoft Word and Adobe Acrobat versions from the Ontario Municipal Board website at [www.omb.gov.on.ca](http://www.omb.gov.on.ca). If you do not have Internet access, these forms can be picked up at the City of Vaughan, Committee of Adjustment offices.

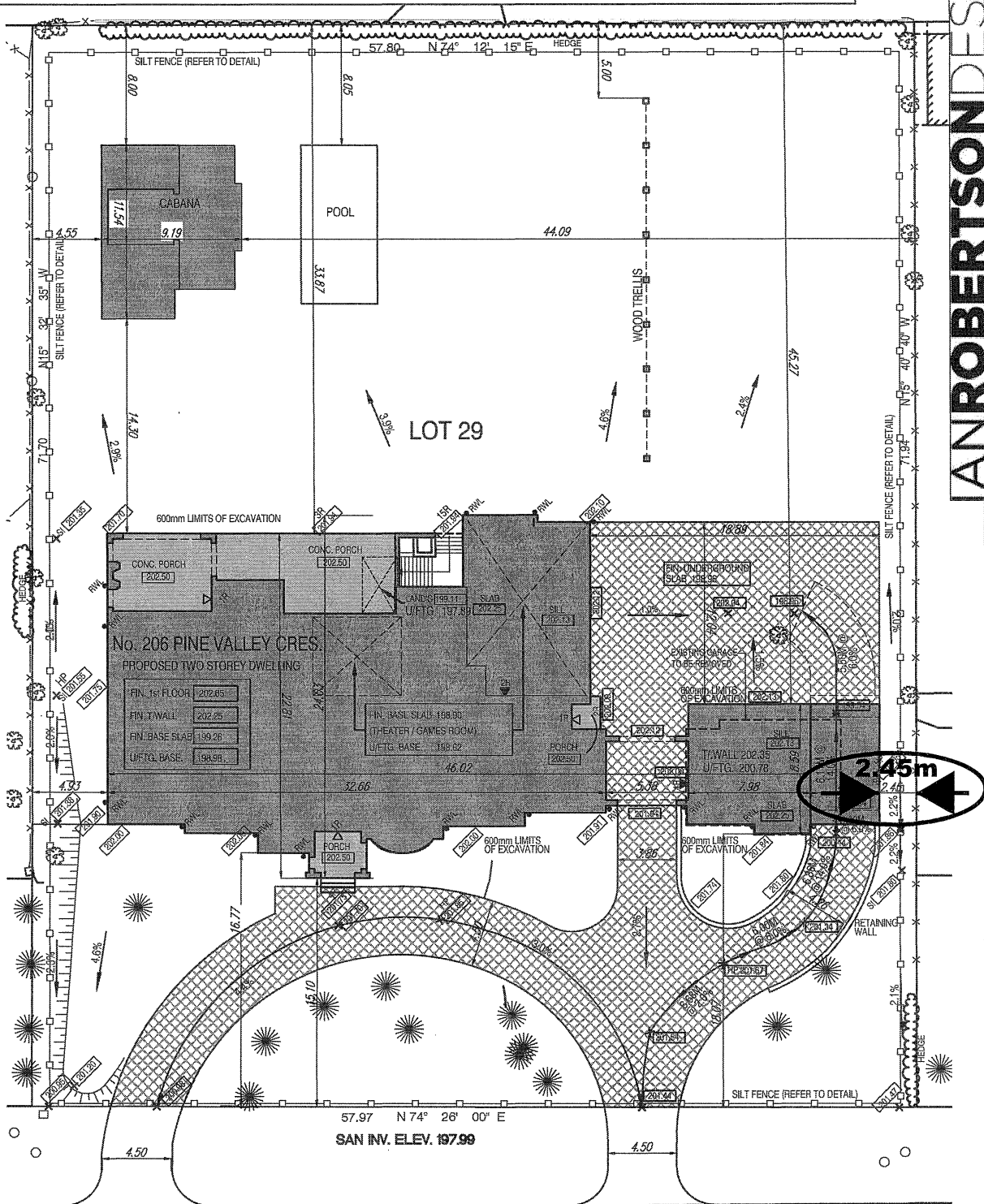
Please fill out Form A1 and follow the instructions as provided by the Ontario Municipal Board and submit your appeal to the City of Vaughan, Committee of Adjustment on or before the date stated above. You must enclose the completed form with the \$708.00 processing fee, paid by **certified cheque** or **money order**, to the "TREASURER, CITY OF VAUGHAN" and the appeal fee of \$125.00 for each application appealed, paid by **certified cheque** or **money order**, made payable to the "ONTARIO MINISTER OF FINANCE".

**NOTE:** The Planning Act provides for appeals to be filed by "persons". As groups or associations, such as residents or ratepayers groups which do not have incorporated status, may not be considered "persons" for the purposes of the Act, groups wishing to appeal this decision should do so in the name of individual group members, and not in the name of the group.

**CONDITIONS**

**IF ANY CONDITIONS ARE IMPOSED ON THIS APPLICATION, THE FINAL DATE FOR FULFILLING THEM IS:**  
**APRIL 6, 2017**

LOT 29 - 206 PINE VALLEY CRES.



SITE STATS		
	EXISTING	PROPOSED
LOT AREA	4156.78 SM	4156.78 SM
LOT FRONTAGE	57.97M	57.97M
HOUSE COVERAGE INCL PORCH	13.55% 563.61SM	13.55% 563.61SM
DETACHED GARAGE COVERAGE	1.91% 71.72 SM	2.44% 101.72 SM
EXISTING BREEZEWAY COVERAGE	0.58% 24.12 SM	0.58% 24.12 SM
EXISTING CABANA COVERAGE	3.96% 164.87 SM	3.96% 164.87 SM
TOTAL COVERAGE	19.83% 824.32 SM	20.55% 854.32 SM
COVERAGE OF ACCESSORY BLDGS	6.27% 260.71 SM	6.99% 290.71 SM
SETBACKS		
-FRONT	15.10M	15.10M
-SIDE	4.93M	4.93M
-SIDE	6.96M	6.96M
-REAR	33.87M	33.87M
SETBACKS (PARKING GARAGE)		
-FRONT		18.07M
-SIDE		2.45M
-REAR		45.27M
BUILDING HEIGHT	12.9M	12.9M
BUILDING HEIGHT ACCESSORY	9.79M	10.48M
WALL HEIGHT ACCESSORY		6.15M
BUILDING HEIGHT TRELLIS	3.5M	3.5M
BUILDING DEPTH	24.03M	24.03M
SOFT LANDSCAPE AREA	66% (703.76SM)	66% (703.76SM)

- PINE VALLEY CRES.
2. To permit a maximum eaves and gutter encroachment of 0.71m for the detached garage.
  3. To permit a maximum building height of 10.48m for the detached garage.
  4. To permit the nearest part of the roof to be no more than 6.15m above finished grade for the detached garage.
  5. To permit the maximum area of all accessory buildings and structures not to exceed 290.71m2.
  6. To permit a maximum lot coverage of 20.55%
  7. To permit a reverse slope driveway for the detached garage.

CUSTOM RESIDENCE

LOT 29

206 PINE VALLEY CRES

CITY OF VAUGHAN

SITE PLAN

BM

FEB. 25, 2016

15-47

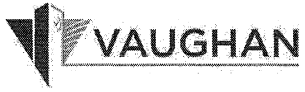
SP1

1:300

20 RIVERMEDE ROAD, UNIT 101, VAUGHAN, ONTARIO, L4K 1N3

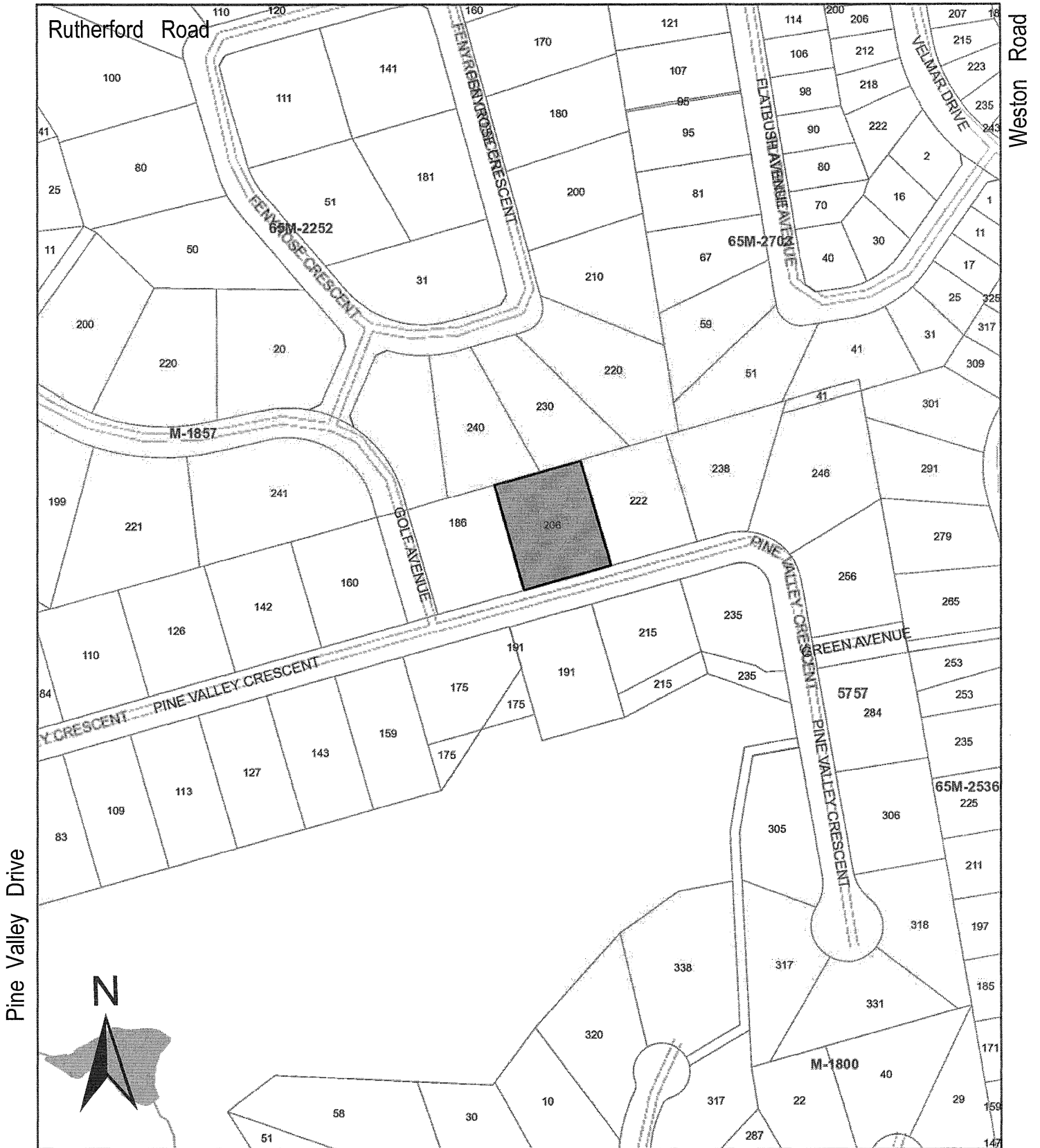
PHONE: (905) 699-2111; FAX: 1 (866) 602-1163; www.ianrobertsondesign.com





# Location Map - A106/16

City of Vaughan | City of Vaughan, Teranet |



0 0.05 0.1 0.2 Kilometers

The City of Vaughan makes every effort to ensure that this map is free of errors but does not warrant that the map or its features are spatially, tabularly, or temporally accurate or fit for a particular use. This map is provided by the City of Vaughan without warranties of any kind, either expressed or implied.



## **NOTICE OF DECISION**

### **MINOR VARIANCES**

**FILE NUMBER:** A024/14

**APPLICANT:** STEVE CAROGIOIELLO

**PROPERTY:** Part of Lot 22, Concession 8, (Lot 10, Registered Plan 65M-3747, municipally known as 28 Nightfall Court, Woodbridge).

**ZONING:** The subject lands are zoned RR, Rural Residential Zone and subject to the provisions of Exception 9(577) under By-law 1-88 as amended.

**PURPOSE:** To permit the maintenance of an existing cabana at the rear of an existing two-storey single family dwelling.

**PROPOSAL:**

1. To permit a rear yard setback of 12.65 metres to the accessory building (cabana).
2. To permit a building height of 6.25 metres for the accessory building (cabana).
3. To permit a height of 4.26 metres to the nearest part of the roof of the accessory building (cabana).
4. To permit a floor area of 103.12 m<sup>2</sup> for the accessory building (cabana).
5. To permit a lot coverage of 18.1% (16.12% for the dwelling and 1.98% for the accessory building).
- ~~6. To permit an interior side yard setback of 0.38 metres to the retaining wall.~~

**BY-LAW REQUIREMENT:**

1. A minimum rear yard setback of 15.0 metres is permitted.
2. A maximum building height of 4.5 metres is permitted.
3. A maximum height of 3.0 metres is permitted to the nearest part of the roof.
4. A maximum floor area of 67 m<sup>2</sup> is permitted.
5. A total maximum lot coverage of 10% is permitted.
- ~~6. A minimum interior side yard setback of 2.0 metres is permitted to the retaining wall.~~

**BACKGROUND INFORMATION:** Other Planning Act Applications  
The land which is the subject in this application was also the subject of another application under the Planning Act:

**MINOR VARIANCE APPLICATION:**

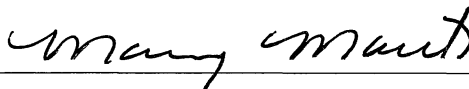
**A114/08- APPROVED - MAY 22/08** - (lot coverage=14.95%; Side yard setback 2.3m & Driveway width 11.18m) **Clearance of conditions ltr. issued Feb. 2/09.**

A sketch is attached illustrating the request.

**MOVED BY:**



**SECONDED BY:**



THAT the Committee is of the opinion that the variances sought, can be considered minor and are desirable for the appropriate development and use of the land. The general intent and purpose of the By-law and the Official Plan will be maintained.

THAT Application No. **A024/14, STEVE CAROGIOIELLO**, be **APPROVED**<sup>as amended</sup> in accordance with the sketches attached and subject to the following conditions:

1. That the applicant successfully obtains a revision to their existing Ontario Regulation 166/06 permit (C-130736) from the TRCA to recognize the changes in design of the proposed cabana and retaining walls, if required, to the satisfaction of the Toronto and Region Conservation Authority;
2. The applicant submit the variance application fee of **\$300** payable to the Toronto and Region Conservation Authority, if required, to the satisfaction of the Toronto and Region Conservation Authority

3. That if the condition(s) listed above is/are not fulfilled and the Building Permit is not applied for within twelve (12) months of the date this decision becomes final and binding, the said decision shall expire and shall be deemed to have been annulled and rescinded by the Committee. **(PLEASE NOTE THAT THIS TIME PERIOD CANNOT BE EXTENDED IN ANY WAY, FAILURE TO MEET THIS DEADLINE WILL RESULT IN REQUIRING A NEW APPLICATION AND FEE.)**

**VERY IMPORTANT: IT IS THE RESPONSIBILITY OF THE OWNER/APPLICANT AND/OR AGENT TO OBTAIN AND PROVIDE A CLEARANCE LETTER FROM EACH AGENCY AND/OR DEPARTMENT LISTED IN THE CONDITIONS WHETHER "IF REQUIRED" APPEARS IN THE CONDITION OR NOT, AND FORWARD THIS CLEARANCE LETTER TO THE SECRETARY-TREASURER AS SOON AS THE CONDITIONS ARE FULFILLED.**


**FAILURE TO COMPLY WITH THIS PROCEDURE WILL RESULT IN A LETTER BEING FORWARDED BY THE SECRETARY-TREASURER INDICATING THIS FILE HAS LAPSED AND, THEREFORE, WILL NECESSITATE THAT A NEW APPLICATION BE SUBMITTED TO LEGALIZE THIS PROPERTY.**


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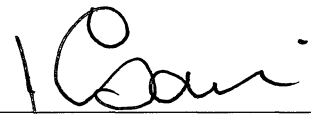
**CARRIED.**


CHAIR: 

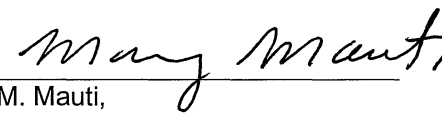
Signed by all members present who concur in this decision:

  
A. Perrella,  
Chair

  
H. Zheng,  
Vice Chair

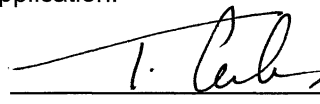
  
J. Cesario,  
Member

  
L. Fluxgold,  
Member

  
M. Mauti,  
Member

**CERTIFICATION**

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.

  
Todd Coles, BES, MCIP, RPP  
Manager of Development Services  
and Secretary-Treasurer to  
Committee of Adjustment

**Date of Hearing: FEBRUARY 27, 2014**

**Last Date of Appeal: MARCH 19, 2014**

**APPEALS**

**APPEALS MUST BE RECEIVED BY THIS OFFICE NO LATER THAN 4:30 P.M. ON THE LAST DATE OF APPEAL NOTED ABOVE.**

Should you decide to appeal this decision to the Ontario Municipal Board, a copy of an appeal form is available for download in Microsoft Word and Adobe Acrobat versions from the Ontario Municipal Board website at [www.omb.gov.on.ca](http://www.omb.gov.on.ca). If you do not have Internet access, these forms can be picked up at the City of Vaughan, Committee of Adjustment offices.

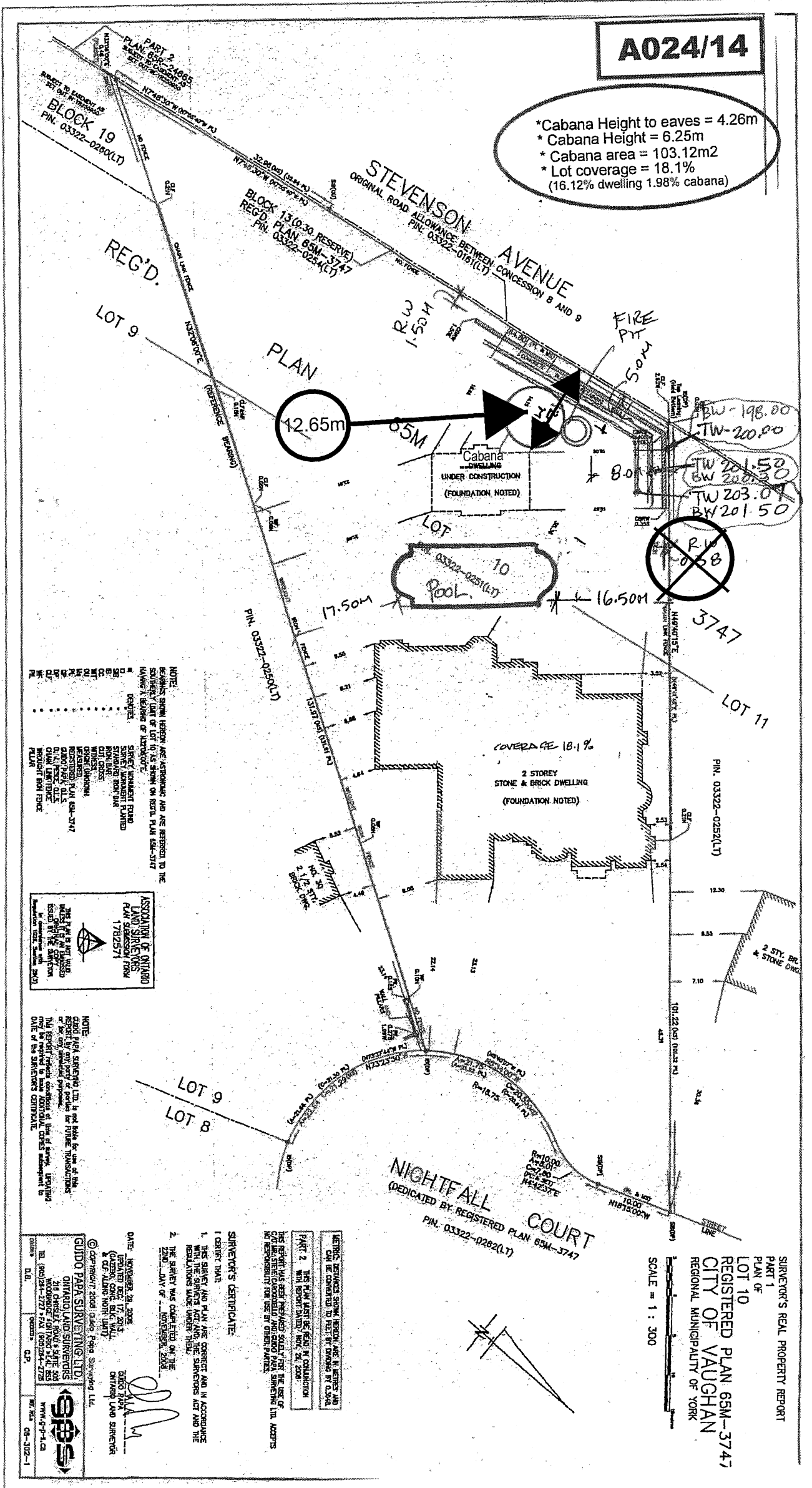
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**CONDITIONS**

IF ANY CONDITIONS ARE IMPOSED ON THIS APPLICATION, THE FINAL DATE FOR FULFILLING THEM IS:

**MARCH 19, 2015**

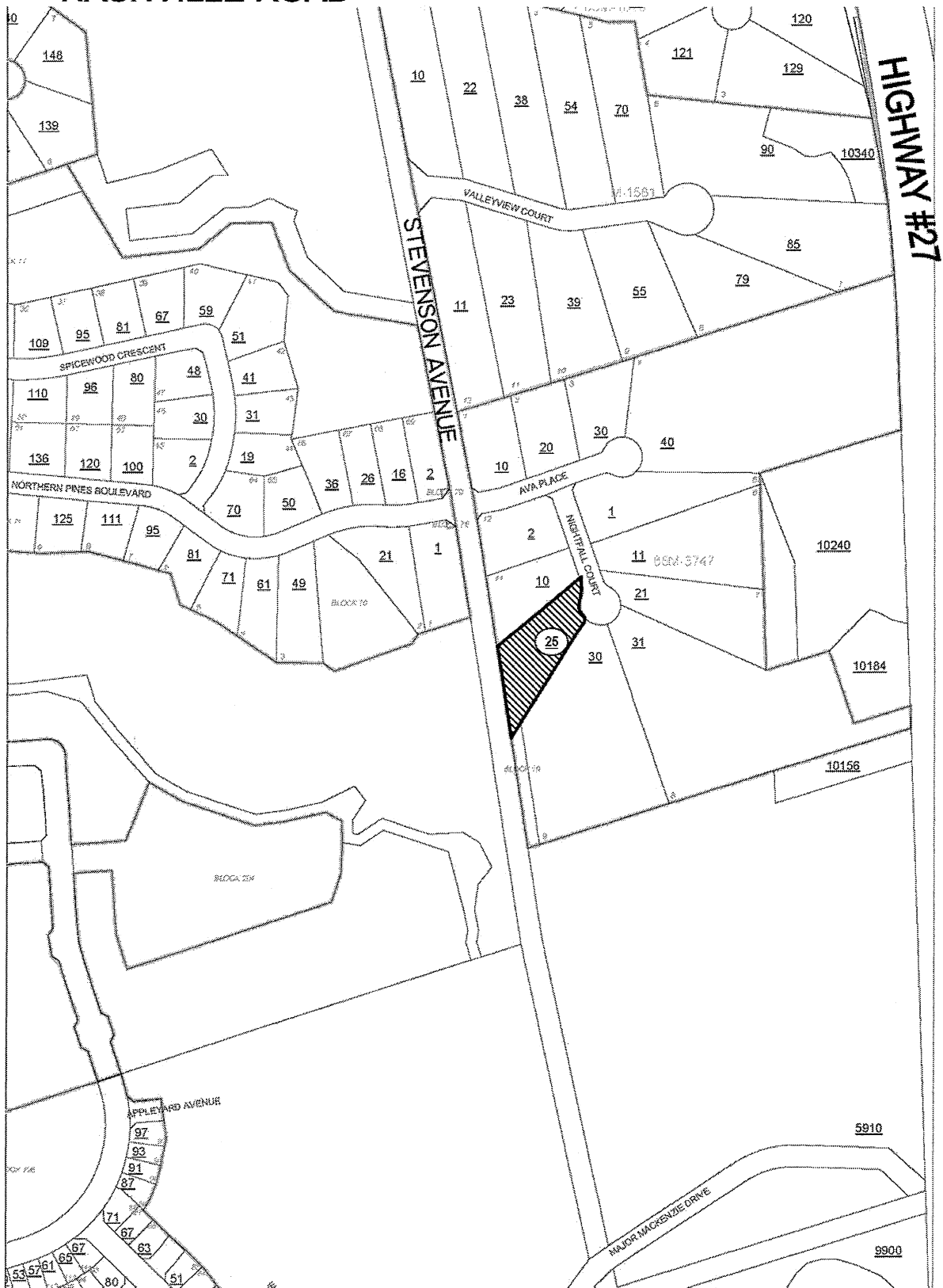


ROOF OVERHANGS ARE TO  
BE 18" UNLESS NOTED




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# NASHVILLE ROAD



COMMITTEE OF ADJUSTMENT  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
Phone: (905)832-8585 Fax: (905)832-8535

	FILE NUMBER:	A024/14
	APPLICANT:	STEVE CAROGIOIELLO
		<b>Subject Area</b> Municipally known as 28 NIGHTFALL COURT, WOODBRIDGE