Staff Report Summary

Item # 18

Ward # 5

File: A031/20

Applicant: Denise Levy and Larry Levine

Address: 55 Hallmark Court, Thornhill

Agent: Enrique Valencia - Valencia Enterprises

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	☑ Positive Comment ☒ Negative Comment	Condition(s) ☑ ☒
Committee of Adjustment	☑	
Building Standards	☑	
Building Inspection	☑	
Development Planning	Under Review	
Cultural Heritage (Urban Design)	☑	
Development Engineering	☑	
Parks, Forestry and Horticulture Operations	☑	
By-law & Compliance	☑	
Financial Planning & Development	☑	
Fire Department	☑	
TRCA		
Ministry of Transportation	☑	
Region of York	☑	
Alectra (Formerly PowerStream)	☑	
Public Correspondence **(see Schedule B)**		

Adjournment History: None.

Background History: None.

Staff Report Prepared By: Lenore Providence
Hearing Date: Thursday, June 11, 2020

Minor Variance Application

Agenda Item: 18

A031/20

Ward: 5

Staff Report Prepared By: Lenore Providence, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing:	Thursday, June 11, 2020 at 6:00 p.m. **As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.** A live stream of the meeting is available at **Vaughan.ca/LiveCouncil** Please submit written comments by mail or email to: City of Vaughan Office of the City Clerk – Committee of Adjustment 2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1 **cofa@vaughan.ca** To make an electronic deputation at the meeting please see Important Information on next page for instructions or contact the Committee of Adjustment at **cofa@vaughan.ca** or **905-832-8585**. Ext. **8332.** **Written comments and public deputation requests must be received by noon on the last business day prior to the scheduled hearing.**
Applicant:	Denise Levy and Larry Levine
Agent:	Enrique Valencia - Valencia Enterprises
Property:	**55 Hallmark Court, Thornhill**
Zoning:	The subject lands are zoned R4, Residential Zone and subject to the provisions of Exception 9(471) under By-law 1-88 as amended.
OP Designation:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
Related Files:	None.
Purpose:	Relief from the by-law is being requested to permit the construction of a proposed front yard, second storey addition over the existing garage.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum garage size of 3 metres x 6 metres is required.	1. To permit a minimum garage size of 3.48 metres x 3.36 metres.
2. A minimum of 71.78 m2 of soft landscaping is required.	2. To permit a minimum of 26.27 m2 of Rear yard soft landscaping.
3. A minimum Rear yard setback of 7.5 metres is required.	3. To permit a minimum Rear yard setback of 0.53 metres to an accessory structure.
4. A minimum Interior side yard setback of 1.2 metres is required.	4. To permit a minimum Interior side yard setback of 0.2 metres to an accessory structure.

Background (previous applications approved by the Committee on the subject land): N/A

Adjournment History: N/A

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:
Public notice was mailed on May 27, 2020

Applicant confirmed posting of signage on May 19, 2020

Property Information	
Existing Structures	**Year Constructed**
Dwelling	2014
Covered Patio	2014-2015
Inground Swimming Pool	2014-2015
Shed	2014-2015

Applicant has advised that they cannot comply with By-law for the following reason(s):
1. Existing Garage was modified from a 2 Car Garage to a 1 Car Garage and made smaller. Unable to comply with by law requesting a garage with interior dimensions of 3.0m x 6.0m.
2. Existing Landscaping does not comply with today's bylaw requirements.
3. & 4. Existing accessory structure does not meet today's setback requirements.

Adjournment Request: N/A

Building Standards (Zoning Review):
Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file.

Building Permit No. 14-001123 for Single Detached Dwelling - Alteration, Issue Date: May 26, 2014
Building Permit No. 14-002912 for Single Detached Dwelling - Alteration, Issue Date: Oct 15, 2014
Building Permit No. 20-000274 for Single Detached Dwelling - Addition, Issue Date: (Not Yet Issued)

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Please note Section 4.1.1(b) that states the maximum height of an accessory building or structure measured from the average finished ground level to the highest point of the said building or structure shall be 4.5 metres. The nearest part of the roof shall not be more than three(3) metres above finished grade.

An A/C unit and/or pool equipment shall be setback a minimum of 0.6 metres from the interior side lot line; and may encroach a maximum of 1.5 metres into the required rear yard or exterior side yard.

Building Inspections (Septic):
No comments or concerns

Development Planning:
Application under review.

Cultural Heritage (Urban Design):
No comments or concerns

Development Engineering:
Additional Comments:

The agent/applicant has addressed the following Development Engineering concerns stated below.

1) The owner/applicant has provide a brief to demonstrate the appropriate LID (Low-impact Development) measures to the satisfaction of DE to address the reduced soft landscaping coverage from 71.78m2 to 26.27m2 in order to mitigate potential impacts on the municipal storm water system. The owner/applicant has advised the site has maintained the same conditions for 6 years with no issues noted and plan to introduce more soft landscaping within their property.

2) The minimal setback to the existing shed is 0.2m and 0.53m is less than Engineering's typical minimum required setback requirement of 0.6m for storm drainage. The applicant has proposed to introduce rainware eavestrough drains to the existing shed to discharged on the existing soft landscaping to mitigate the risks of draining on to the neighboring property.

The Development Engineering (DE) Department does not object to variance application A031/20.

Parks, Forestry and Horticulture Operations:
Forestry has no comments at this time.

By-Law and Compliance, Licensing and Permit Services:
No comments or concerns

Financial Planning and Development Finance:
No comment no concerns

Fire Department:
No comments or concerns

Schedule A – Plans & Sketches

Schedule B – Public Correspondence
None.

Schedule C - Agency Comments
MTO – Located outside of MTO permit control area
Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

Schedule D - Previous Approvals (Notice of Decision)
None.

Staff Recommendations:
Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting at **vaughan.ca/LiveCouncil.** To make an electronic deputation, residents must contact the Committee of Adjustment no later than **noon** on the last business prior to the day of the scheduled hearing (see above for contact details).

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

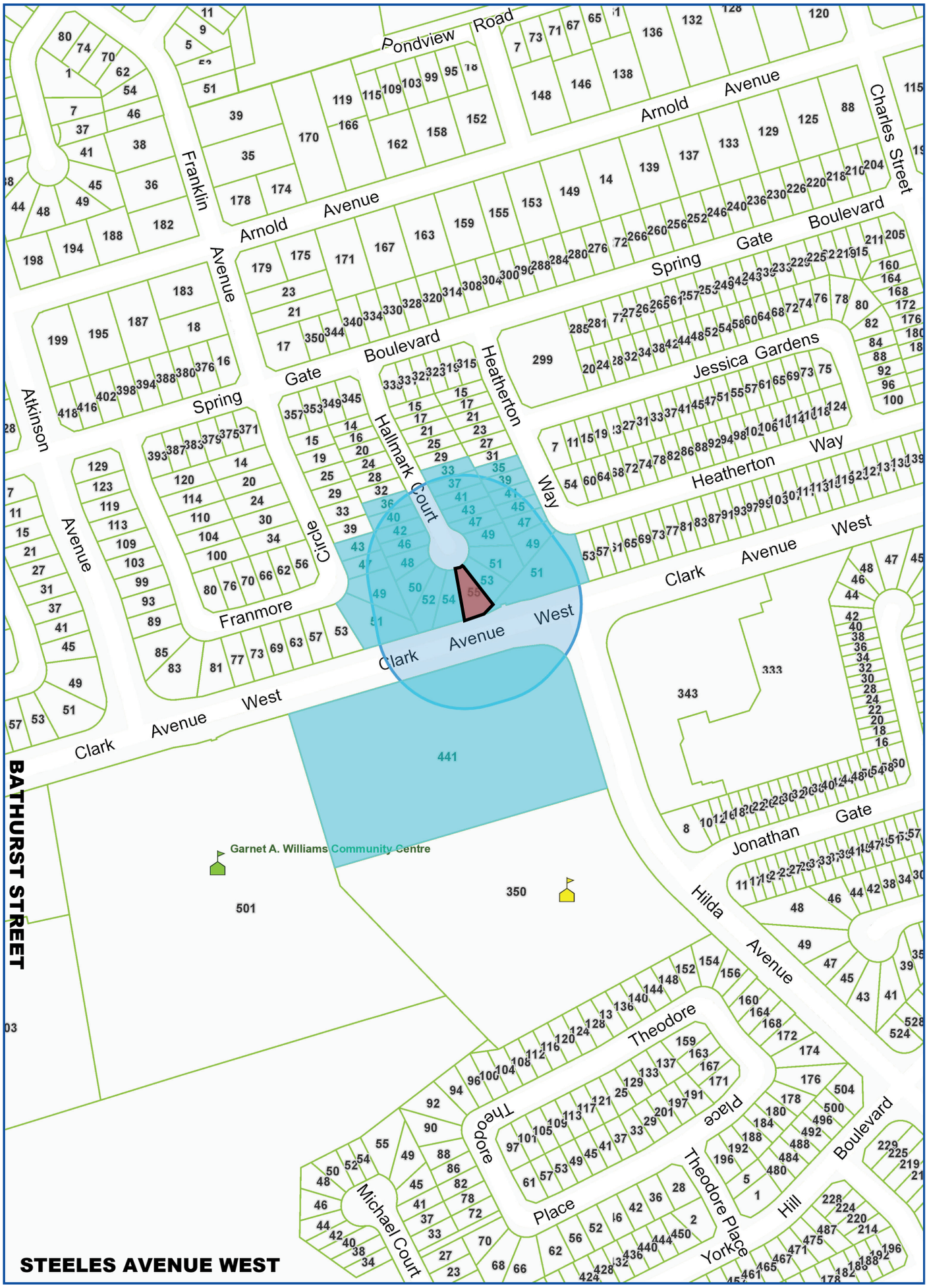
For further information please contact the City of Vaughan, Committee of Adjustment

T 905 832 8585 Extension 8394
E CofA@vaughan.ca

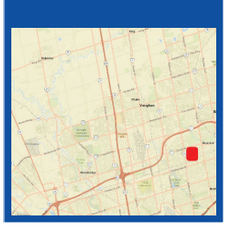
Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

Location Map
Plans & Sketches



Map Information:



Title:

55 HALLMARK COURT, THORNHILL

LOCATION MAP - A031/20

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.

VAUGHAN

Scale: 1: 3,564

0 0.06 km

Created By:

Infrastructure Delivery Department

May 13, 2020 5:41 PM

Projection:

NAD 83

UTM Zone 17N

Arfa Design Inc

GENERAL NOTES:
All construction to adhere to these plans and spec's and to conform to the ontario code and all other applicable codes and authorities having jurisdiction.general contractor shall check and verify all dimentions and reports all errors and ommisions before proceding with the work.

QUALIFICATION INFORMATION

NAME SAHAR ARFA
FIRM NAME ARFA DESIGN INC
BCIN 107072
BCIN 110518

I review and take responsibility for the design work on behalf of Arfa design inc registered under subsection 3.2.4 of devision c of the building code.in the appropriate classes categories

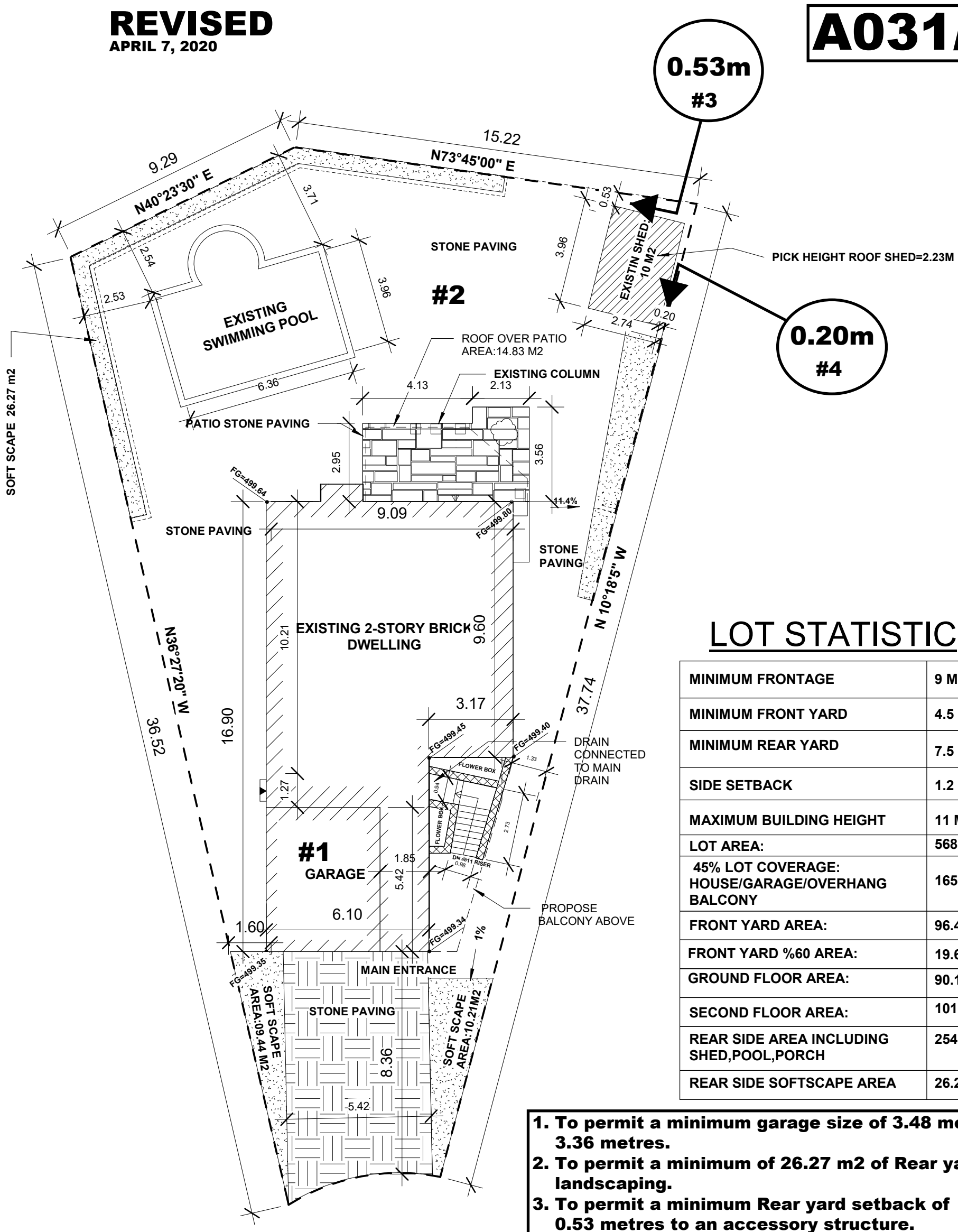
PROJECT NAME
PROJECT ADDRESS

DRAWING NAME
SITE PLAN

A10
SCALE 1 : 150

REVISED
APRIL 7, 2020

A031/20



LOT STATISTIC

MINIMUM FRONTAGE	9 M
MINIMUM FRONT YARD	4.5 M
MINIMUM REAR YARD	7.5 M
SIDE SETBACK	1.2 M
MAXIMUM BUILDING HEIGHT	11 M
LOT AREA:	568.05 M2
45% LOT COVERAGE: HOUSE/GARAGE/OVERHANG BALCONY	165.19 M2
FRONT YARD AREA:	96.43 M2
FRONT YARD %60 AREA:	19.65 M2
GROUND FLOOR AREA:	90.19 M2
SECOND FLOOR AREA:	101.63 M2
REAR SIDE AREA INCLUDING SHED,POOL,PORCH	254.63 M2
REAR SIDE SOFTSCAPE AREA	26.27 M2

1. **To permit a minimum garage size of 3.48 metres x 3.36 metres.**
2. **To permit a minimum of 26.27 m2 of Rear yard soft landscaping.**
3. **To permit a minimum Rear yard setback of 0.53 metres to an accessory structure.**
4. **To permit a minimum Interior side yard setback of 0.2 metres to an accessory structure.**

NOTE:
ALL AREA ARE STONED PAVING EXCEPT THE DOTET HATCH THAT REPRESENT THE SOFT SCAPING

SITE PLAN
SCALE 1:150

Arfa Design Inc

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REVISION DATE: 07-04-2020

PROJECT NAME

PROJECT ADDRESS

DRAWING NAME

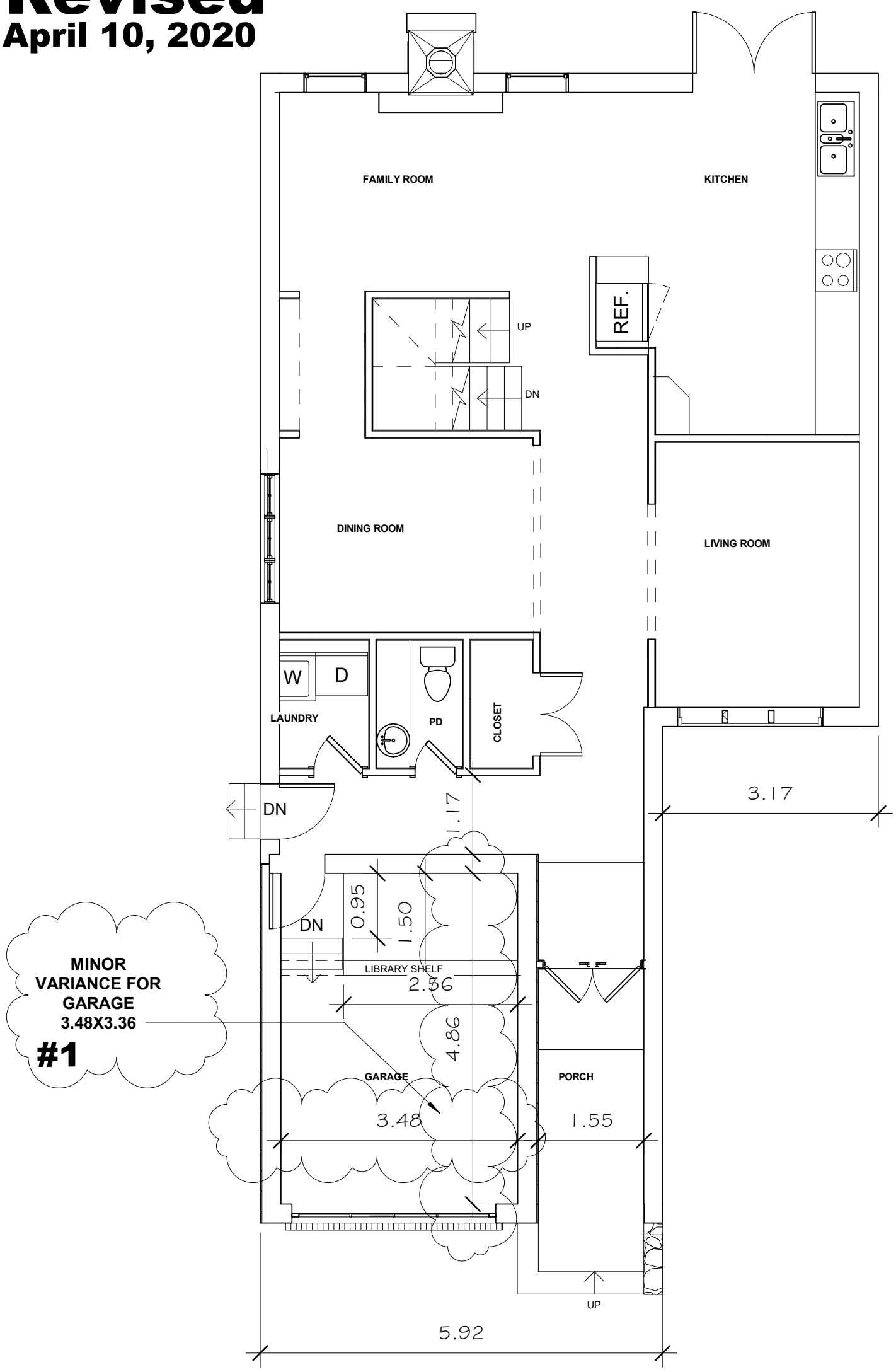
EXISTING FIRST FLOOR

A12

SCALE 1 : 70

Revised
April 10, 2020

A031/19



EXISTING FIRST FLOOR

SCALE 1:70

EXISTING FRONT ELEVATION

SCALE 1:70

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PROJECT NAME

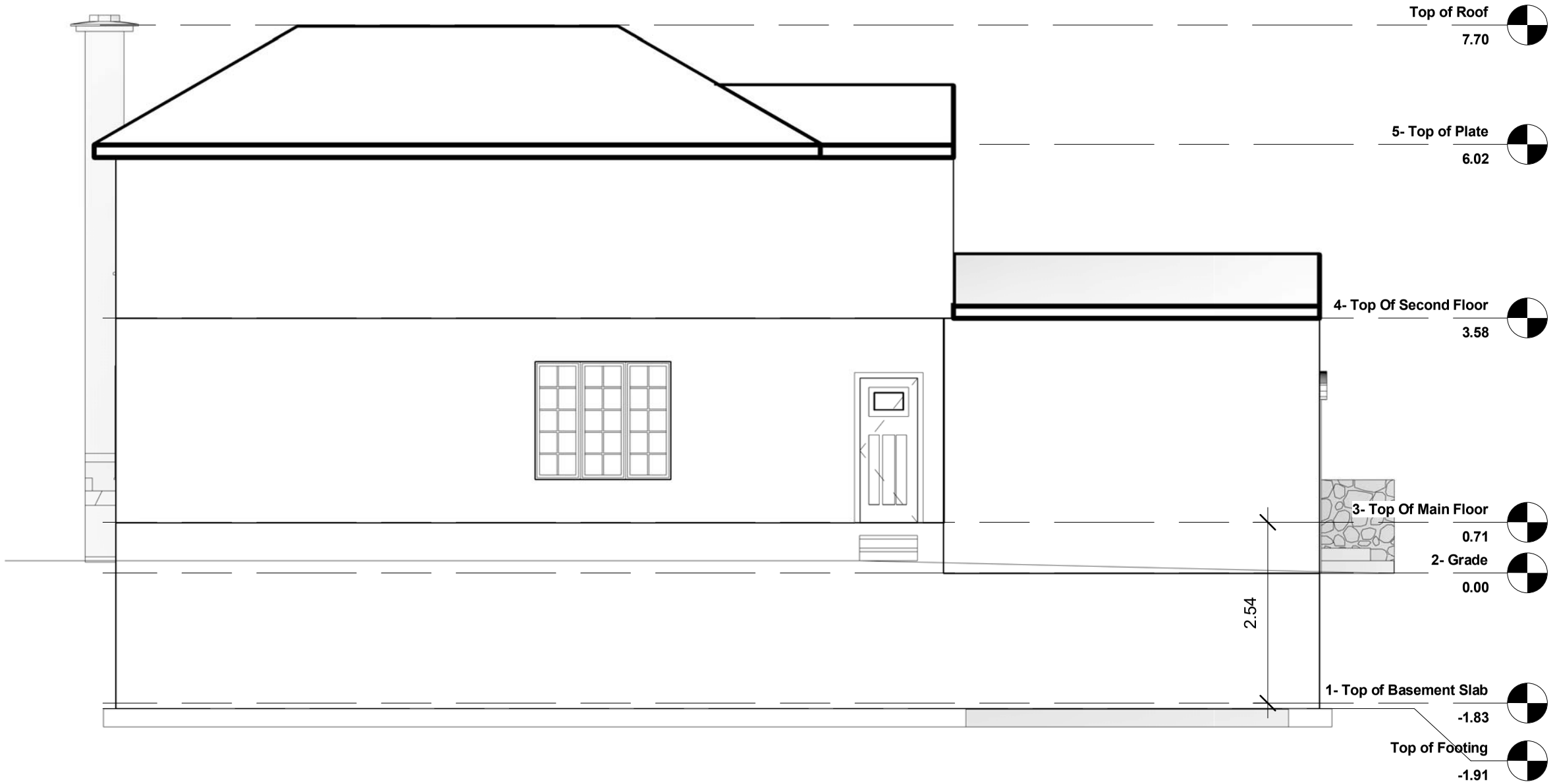
PROJECT ADDRESS

DRAWING NAME

EXISTING FRONT ELEVATION

A14

SCALE	1 : 70



EXISTING LEFT ELEVATION

SCALE 1:70

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PROJECT NAME

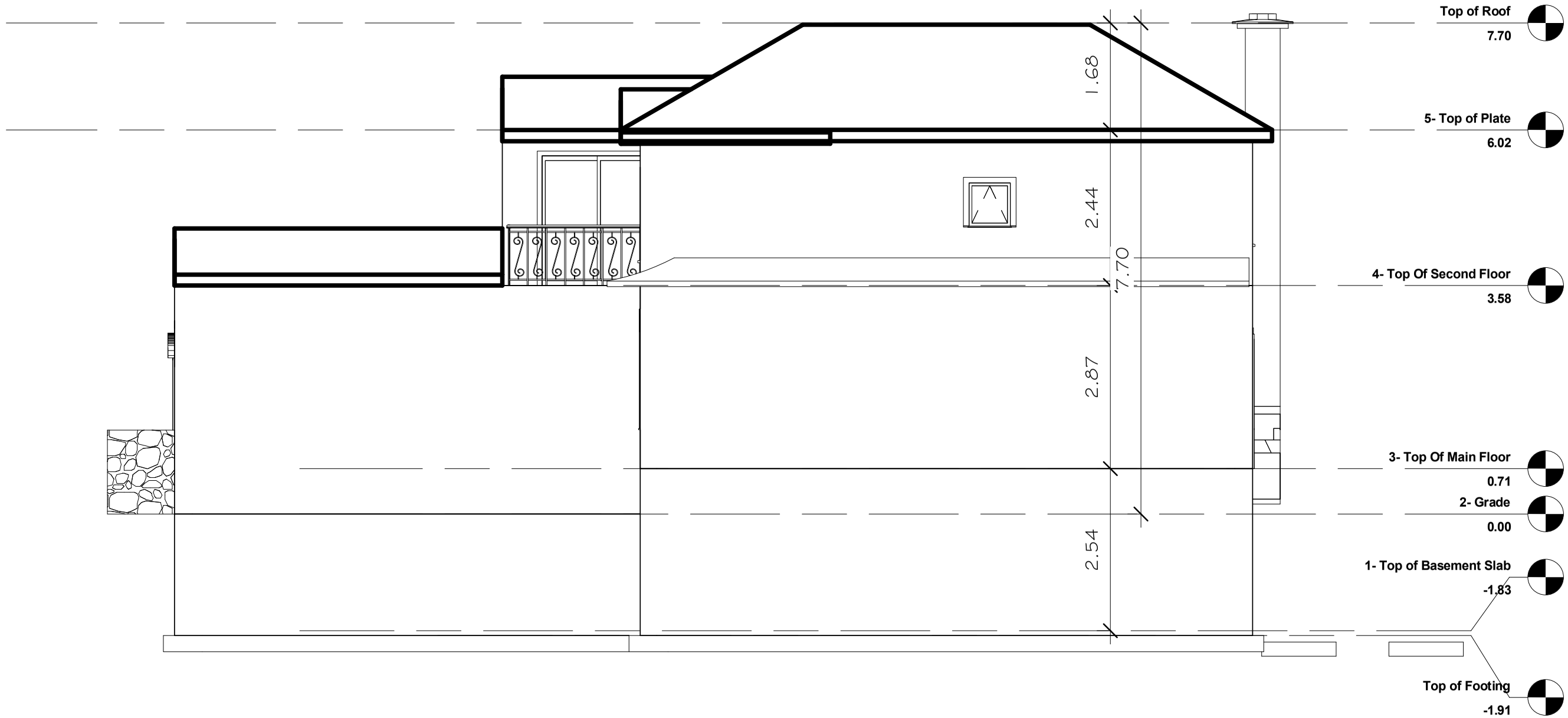
PROJECT ADDRESS

DRAWING NAME

EXISTING LEFT ELEVATION

A15

SCALE 1 : 70



EXISTING RIGHT ELEVATION

SCALE 1:70

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PROJECT NAME

PROJECT ADDRESS

DRAWING NAME

EXISTING RIGHT ELEVATION

A16

SCALE 1 : 70

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PROJECT NAME

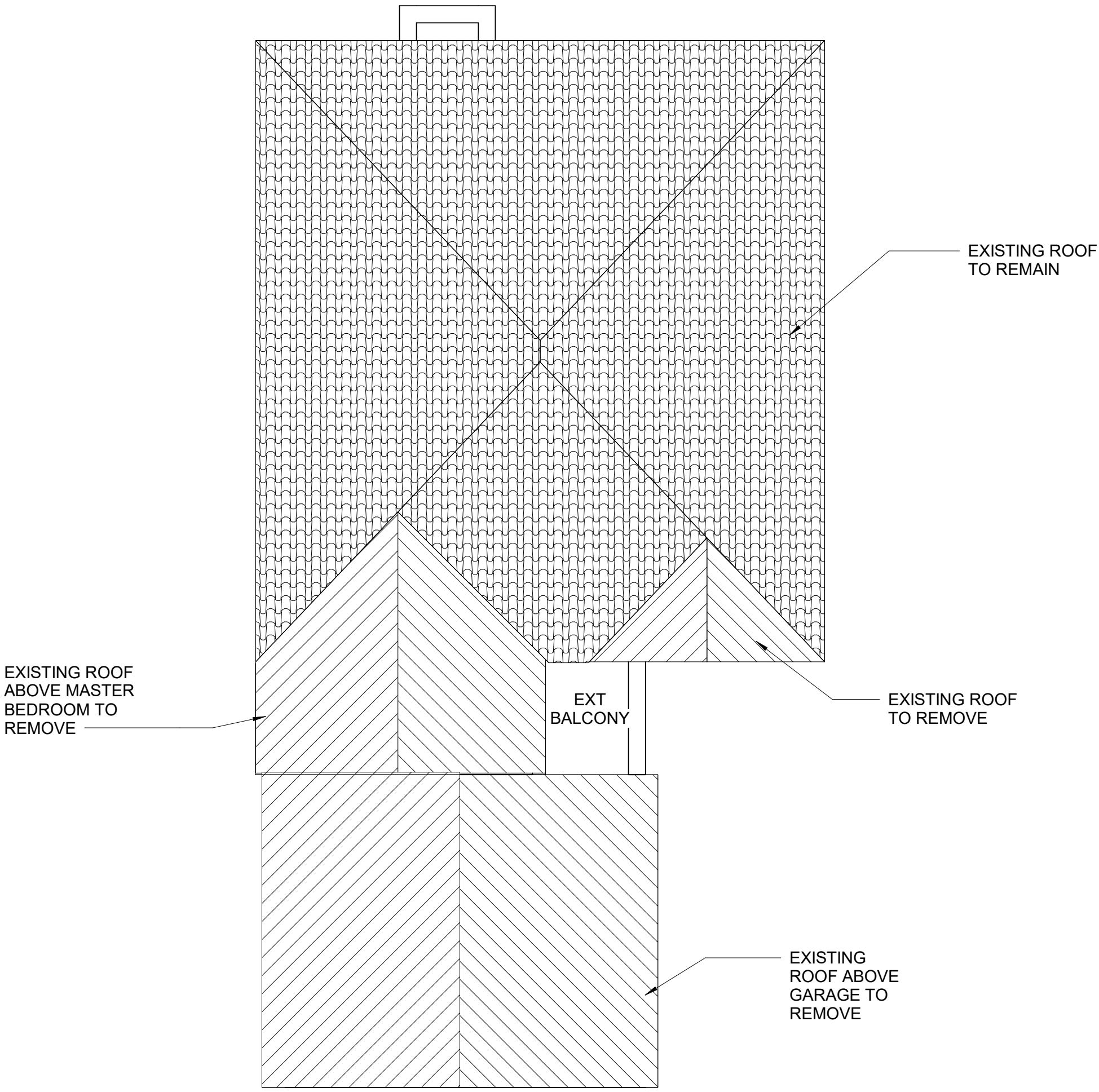
PROJECT ADDRESS

DRAWING NAME

EXISTING ROOF PLAN

A17

SCALE 1 : 70



EXISTING ROOF PLAN

SCALE 1:70

PROPOSE FRONT ELEVATION

SCALE 1:70

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PROJECT NAME

PROJECT ADDRESS

DRAWING NAME

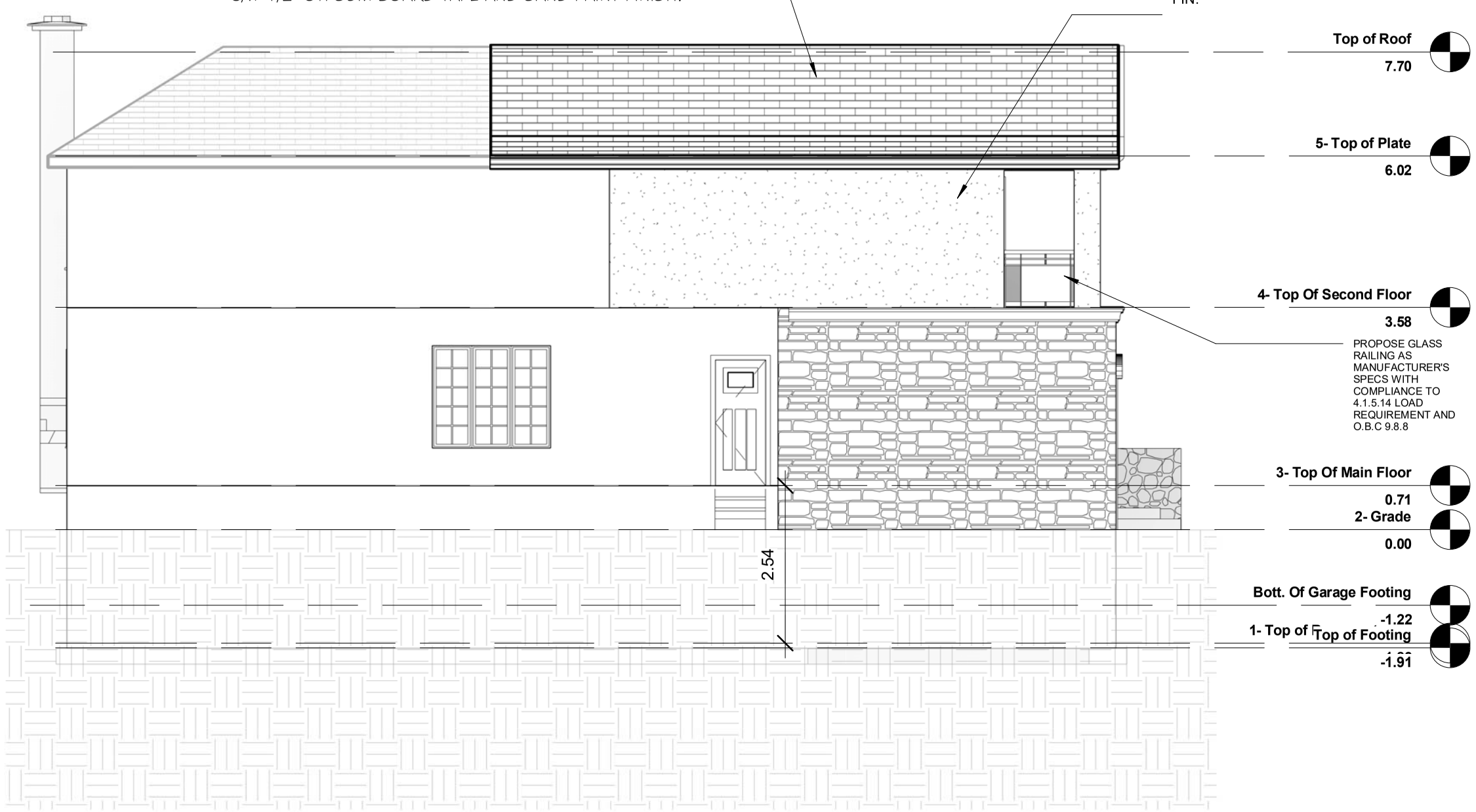
PROPOSE FRONT ELEVATION

A21

SCALE 1 : 70

SLOPED ROOF CONSTRUCTION
NO. 210 ASPHALT SHINGLES ON 15 LB BLDG PAPER
ON 1/2" PLYWOOD SHEATHING ON ENGINEERED ROOF
TRUSSES OR AS INDICATED ON DRAWINGS.
PROVIDE APPROVED EAVES PROTECTION TO MIN. 12"
BEYOND INNER FACE OF EXTERIOR WALL.
MIN. R-50 BATT INSULATION OR BLOWN LOOSE FILL INSULATION.
W/ 6 mil POLY VAPOUR BARRIER (WARM SIDE)
C/W 1/2" GYPSUM BOARD TAPE AND SAND-PAINT FINISH.

STUCCO SYSTEM WALL FINISH COAT
OVER BROWN COAT OVER SCRATCH COAT
OVER SELF- FURRING LATH - 2 LAYER OF
WATER RESISTANCE BARRIER -
1/2" EXTERIOR GRADE PLYWOOD
- 2"X6" WOOD STUDS @ 16" O.C.
R-24 BATT INSULATION
6mm POLY V.B.
1/2" GYPSUM BOARD. TAPE AND SANDED. PAINT FIN.



PROPOSE LEFT ELEVATION

SCALE 1:80

Arfa Design Inc

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PROJECT NAME

PROJECT ADDRESS

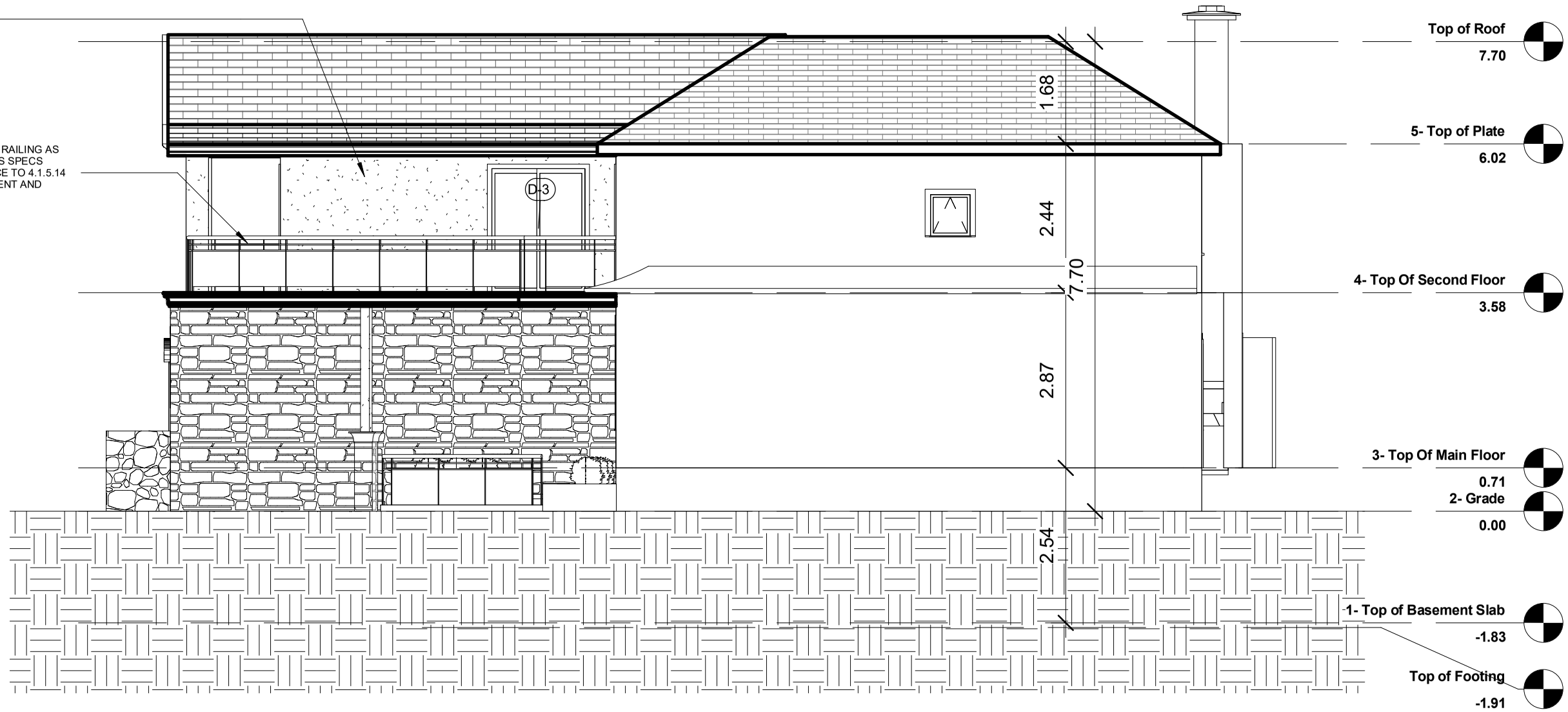
DRAWING NAME

PROPOSE LEFT ELEVATION

A22

SCALE 1 : 80

STUCCO SYSTEM WALL FINISH COAT
OVER BROWN COAT OVER SCRATCH COAT
OVER SELF- FURRING LATH - 2 LAYER OF
WATER RESISTANCE BARRIER -
1/2" EXTERIOR GRADE PLYWOOD
- 2"X6" WOOD STUDS @ 16" O.C.
R-24 BATT INSULATION
6mm POLY V.B.
1/2" GYPSUM BOARD. TAPE AND SANDED. PAINT
FIN.



PROPOSE RIGHT ELEVATION

SCALE 1:80

Arfa Design Inc

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PROJECT NAME

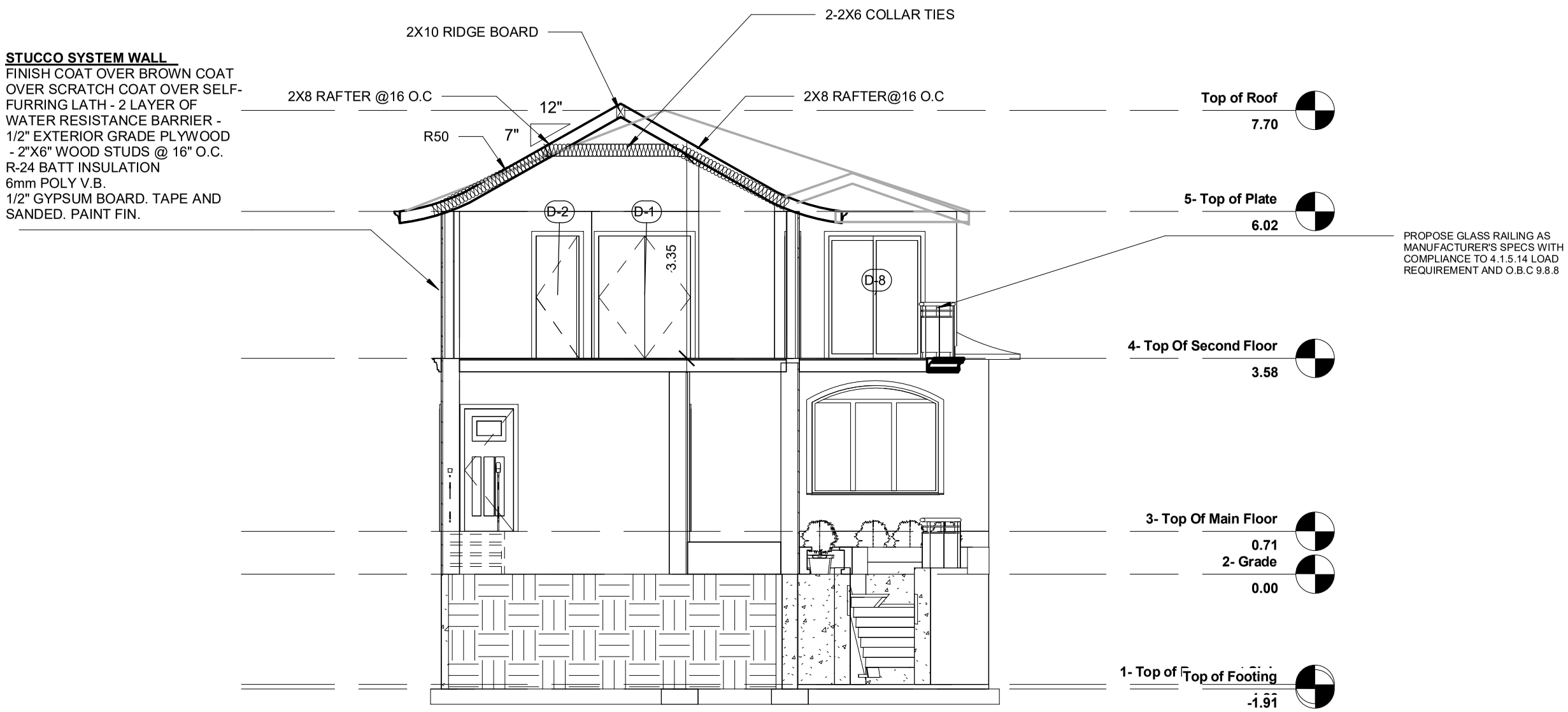
PROJECT ADDRESS

DRAWING NAME

PROPOSE RIGHT ELEVATION

A23

SCALE 1 : 80



PROPOSE SECTION

SCALE 1:80

Arfa Design Inc

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PROJECT NAME

PROJECT ADDRESS

DRAWING NAME

PROPOSE SECTION

A24

SCALE 1 : 80

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PROJECT NAME

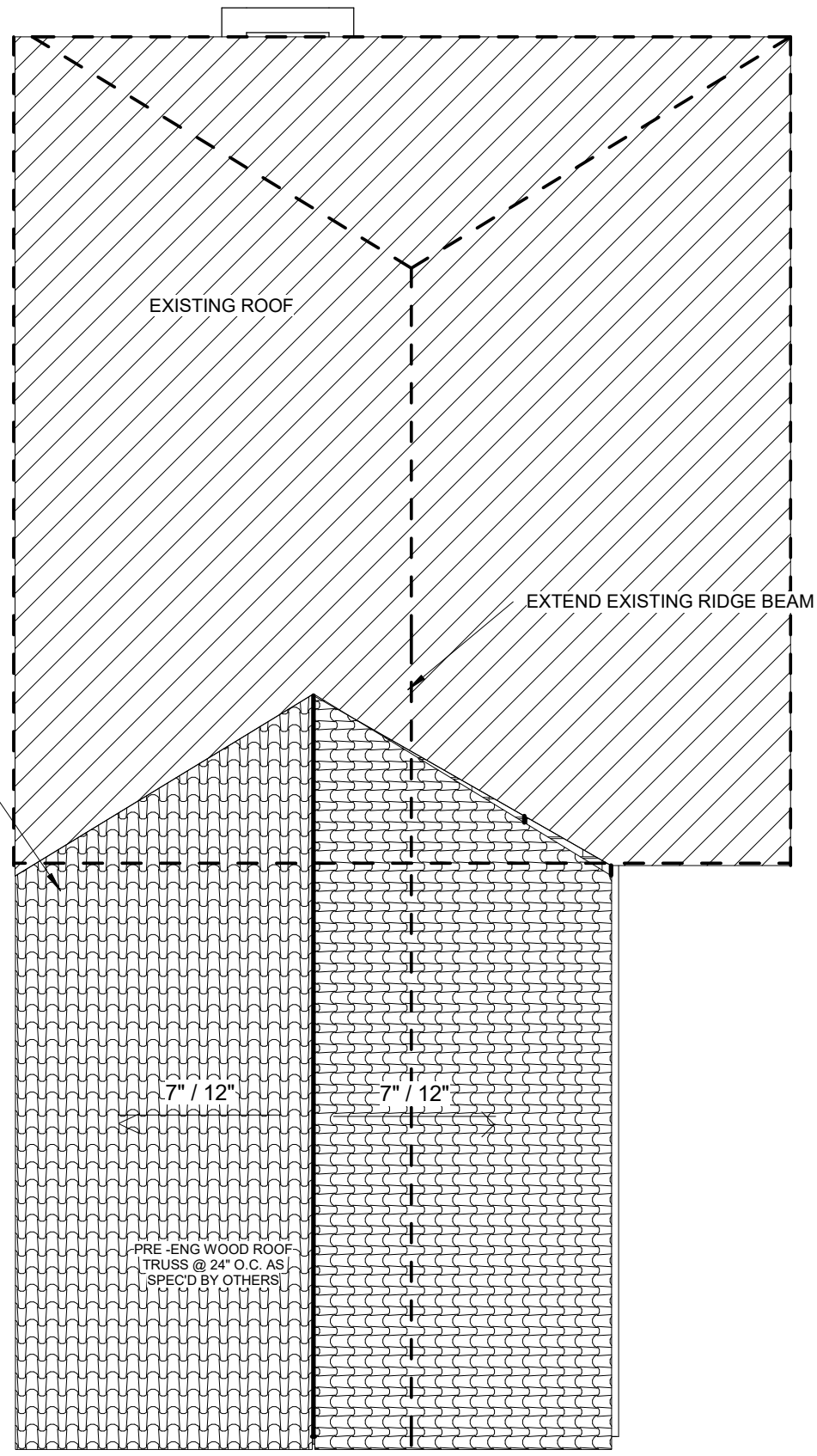
PROJECT ADDRESS

DRAWING NAME

PROPOSE ROOF PLAN

A25

SCALE 1 : 80



SLOPED ROOF CONSTRUCTION
N0. 210 ASPHALT SHINGLES ON 15 LB BLDG PAPER
ON 1/2" PLYWOOD SHEATHING ON ENGINEERED ROOF
TRUSSES OR AS INDICATED ON DRAWINGS.
PROVIDE APPROVED EAVES PROTECTION TO MIN. 12"
BEYOND INNER FACE OF EXTERIOR WALL.
MIN. R-50 BATT INSULATION OR BLOWN LOOSE FILL INSULATION.
W/ 6 mil POLY VAPOUR BARRIER (WARM SIDE)
C/W 1/2" GYPSUM BOARD TAPE AND SAND-PAINT FINISH.

VENT:
ROOF OR ATTIC SPACE:
ROOF OR ATTIC SPACE ABOVE INSULATED CEILING
SHALL BE VENTILATED WITH OPENING TO
THE EXTERIOR TO PROVIDE UNOBSTRUCTED VENT
AREA OF NOT LESS THAN 1/300 OF THE
INSULATED CEILING SPACE. FOR CATHEDRAL
CEILING OR ROOF SLOPE LESS THAN 1 IN 6:
1/150 OF THE INSULATED CEILING AREA AND
UNIFORMLY DISTRIBUTED TO VENTILATE
EACH ROOF SPACE. PROVIDE 50% OF THE
REQUIRED VENT AREA NEAR THE LOWER
PART OF THE ROOF AND 50% NEAR THE RIDGE.
VENTS MAY BE ROOF , EAVE OR GABLE END
TYPES, OR ANY COMBINATION THEREOF.
VENTS SHALL BE UNIFORMLY DISTRIBUTED ON
OPPOSITE SIDES OF THE BUILDING. VENTS SHALL
PREVENT THE ENTRY OF RAIN, SNOW, AND
INSECTS. PROVIDE ACCESS HATCHWAY TO ROOF
OR ATTIC SPACE: MIN 500mmX700mm
UNOBSTRUCTED OPENING C/W. WEATHER-STRIPPING
AND INSULATED COVER OR ROOF.

SOFFIT VENT
PRE-FINISHED ALUMINUM SOFFIT OR SIMILAR (COLOR TO BE DETERMINED)
AS REQUIRED PER O.B.C. 9.19.1 & 9.19.1.2

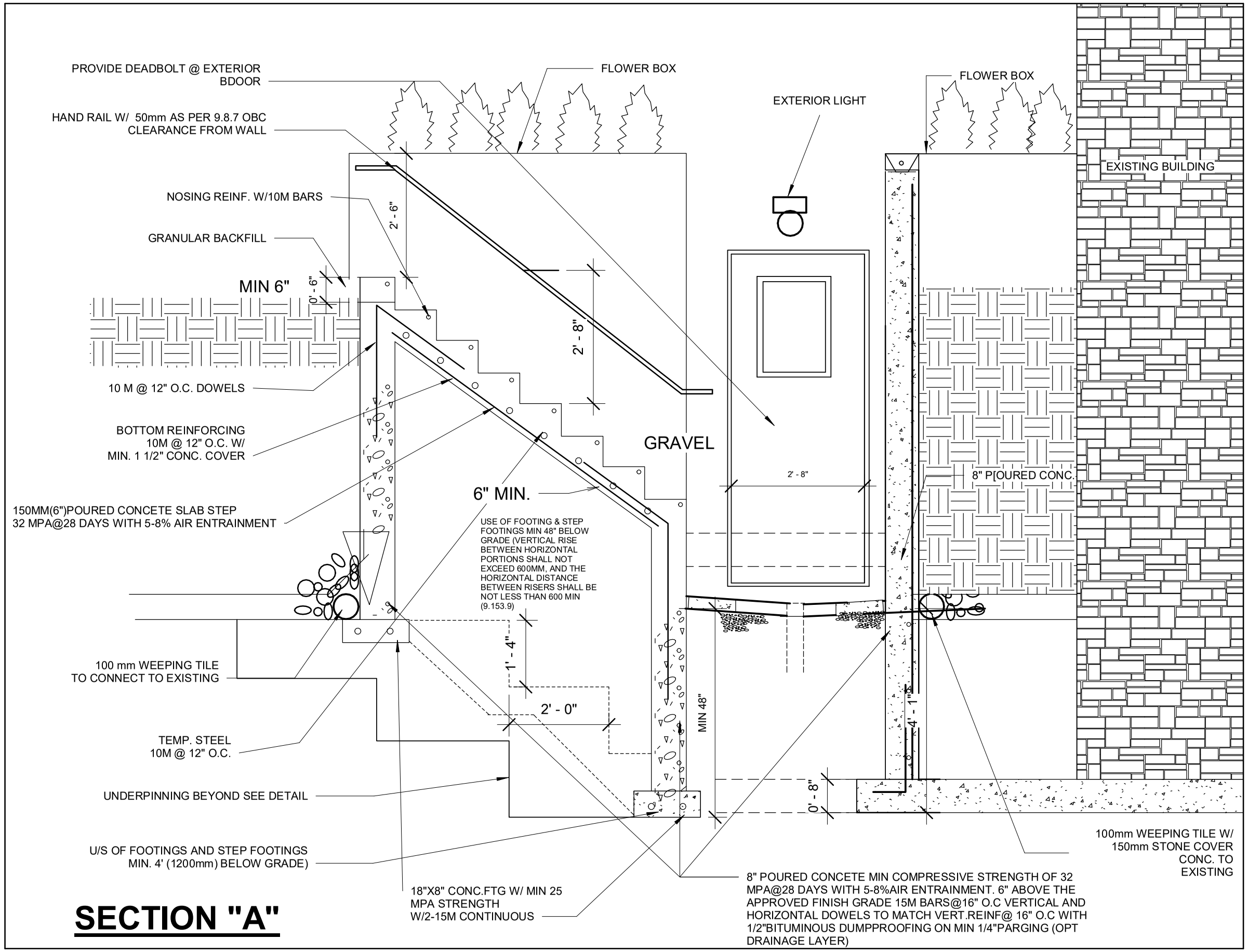
EAVES PROTECTION MEMBRANE T0
EXTEND FROM THE EDGE OF THE ROOF
, 36" UP THE SLOPE BUT NOT LESS THAN
12" BEYOND THE INTERIOR FACE OF THE
EXTERIOR WALL.

PREFINISHED ALUMINUM FASCIA OR SIMILAR
EAVESTROUGH & RAIN WATER LEADERS
PROVIDE DRIP EDGE AT FASCIA & VENTED SOFFIT
EXTEND DOWNSPOUTS TO GRADE LEVEL

FLASHING:
PROVIDE COPPER FLASHING OR SIMILAR IN ALL THE
FOLLOWING LOCATIONS (SUCH AS BUT NOT LIMITED) TO
BENEATH JOINTED MASONRY SILLS
OVER HEADS OF WINDOWS AND DOORS SET FURTHER THAN 1/4 THE EAVES
OVERHANG BELOW THE SOFFIT
AROUND CHIMNEYS, OR ANY ELEMENTS CROSSING ROOF SURFACES
THAT ARE NOT SUPPLIED WITH MANUFACTURERS FLASHING
AT INTERSECTION OF ROOF SURFACES WITH EXTERIOR WALLS
AT ALL ROOF VALLEYS

PROPOSE ROOF PLAN

SCALE 1:80



SECTION "A"

Arfa Design Inc

GENERAL NOTES:

All construction to adhere to these plans and spec's and to conform to the ontario code and all other applicable codes and authorities having jurisdiction.general contractor shall check and verify all dimentions and reports all errors and ommisions before proceding with the work.

QUALIFICATION INFORMATION

NAME	FIRM NAME
SAHAR ARFA	ARFA DESIGN INC
BCIN 107072	BCIN 110518

I review and take resposnsibility for the design work on behalf of Arfa design inc registered under subsection 3.2.4 of devision c of the building code.in the appropriate classes categories

PROJECT NAME

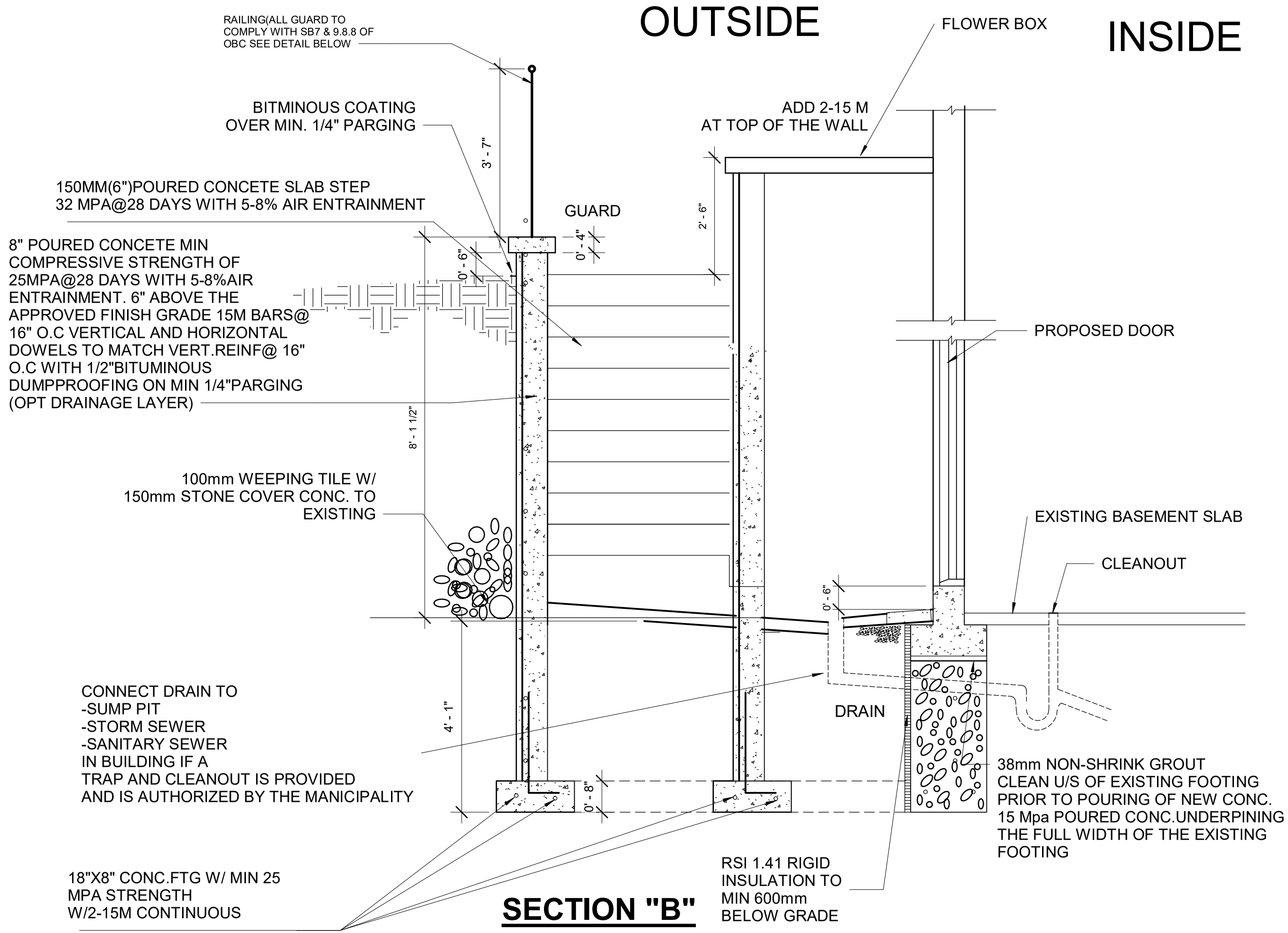
PROJECT ADDRESS

DRAWING NAME

WALK OUT SECTION A-A

A27

SCALE 1/2" = 1'-0"



SECTION "B"

Arfa Design Inc

GENERAL NOTES:

All construction to adhere to these plans and spec's and to conform to the ontario code and all other applicable codes and authorities having jurisdiction.general contractor shall check and verify all dimentions and reports all errors and ommisions before proceding with the work.

QUALIFICATION INFORMATION

NAME	FIRM NAME
SAHAR ARFA	ARFA DESIGN INC
BCIN 107072	BCIN 110518

I review and take resposnsibility for the design work on behalf of Arfa design inc registered under subsection 3.2.4 of devision c of the building code.in the appropriate classes categories

PROJECT NAME

PROJECT ADDRESS

DRAWING NAME

WALK OUT SECTION B-B

A28

SCALE 1/2" = 1'-0"

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

None.

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

MTO – Located outside of MTO permit control area
Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

Providence, Lenore

Subject: FW: A031-20 - REQUEST FOR COMMENTS - 55 Hallmark Ct, Concord (Full circulation)

From: Della Mora, Dan (MTO) <Dan.DellaMora@ontario.ca>

Sent: April-22-20 4:19 PM

To: Providence, Lenore <Lenore.Providence@vaughan.ca>
Cc: Scholz, Kevin (MTO) <Kevin.Scholz@ontario.ca>
Subject: [External] RE: A031-20 - REQUEST FOR COMMENTS - 55 Hallmark Ct, Concord (Full circulation)

Hi Lenore,

MTO Highway Corridor Management Section has reviewed the location of the above-reference application. Please be advised that the subject **land is located outside of MTO Permit Control Area**. As a result, an MTO Permit from this office is not required.

Regards,

Dan

Dan Della Mora
Senior Project Manager
Dan.DellaMora@ontario.ca

COMMENTS:

☐	We have reviewed the proposed Variance Application and have no comments or objections to its approval.
X	We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
☐	We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mr. Tony D'Onofrio
Supervisor, Subdivisions (Alectra East)
Phone: 1-877-963-6900 ext. 24419

Email: tony.donofrio@alectrautilities.com

Providence, Lenore

Subject: FW: Emailing: A031-20 - REQUEST FOR COMMENTS - 55 Hallmark Ct Concord (Full circulation)
Attachments: A031-20 - REQUEST FOR COMMENTS - 55 Hallmark Ct Concord (Full circulation).msg

-----Original Message-----
From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>
Sent: April-20-20 9:21 AM
To: Providence, Lenore <Lenore.Providence@vaughan.ca>; Attwala, Pravina <Pravina.Attwala@vaughan.ca>; MacPherson, Adriana <Adriana.MacPherson@vaughan.ca>
Subject: [External] Emailing: A031-20 - REQUEST FOR COMMENTS - 55 Hallmark Ct Concord (Full circulation)

Good morning Lenore,
The Regional Municipality of York has completed its review of the above minor variance and has no comment.
Regards,

Gabrielle

Gabrielle Hurst mcip rpp | Associate Planner, Community Planning and Development Services | Corporate Services The Regional Municipality of York |17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877 464 9675 ext 71538 | Gabrielle.hurst@york.ca |www.york.ca