



File: A013/20

Applicant: Maryam Sharifi and
Hossein Yarmohammadi

Address: 53 Riverside Boulevard, Thornhill

Agent: Ali Malek

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment <input checked="" type="checkbox"/> Negative Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection	<input checked="" type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	
Cultural Heritage (Urban Design)	<input checked="" type="checkbox"/>	
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
By-law & Compliance	<input checked="" type="checkbox"/>	
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	
TRCA		
Ministry of Transportation		
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)	<input checked="" type="checkbox"/>	

Adjournment History: None.

Background History: None.



Minor Variance
Application

Agenda Item: 07

A013/20

Ward: 5

Staff Report Prepared By: Lenore Providence, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing: Thursday, June 11, 2020 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

Please submit written comments by mail or email to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

To make an electronic deputation at the meeting please see Important Information on next page for instructions or contact the Committee of Adjustment at cofa@vaughan.ca or 905-832-8585. Ext. 8332.

Written comments and public deputation requests must be received by noon on the last business day prior to the scheduled hearing.

Applicant: Maryam Sharifi and Hossein Yarmohammadi

Agent: Ali Malek

Property: 53 Riverside Boulevard, Thornhill

Zoning: The subject lands are zoned R1V, Residential under By-law 1-88 as amended.

OP Designation: City of Vaughan Official Plan (‘VOP 2010’): “Low-Rise Residential”

Related Files: None.

Purpose: Relief from the By-law is being requested to permit the construction of a proposed single family dwelling.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum exterior side yard setback of 9.0 metres is required.	1. To permit a minimum exterior side yard setback 6.97 metres.
2. A maximum building height of 9.5 metres is permitted.	2. To permit a maximum building height of 10.0 metres.
3. A maximum lot coverage of 20% is permitted.	3. To permit a maximum lot coverage of 25.18% (dwelling 22.99%, covered porch 0.43% and covered deck 1.74%).
4. A minimum interior garage length of 6.0 metres is required.	4. To permit a minimum interior garage length of 5.94 metres.

Background (previous applications approved by the Committee on the subject land): N/A

Adjournment History: N/A

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until noon on the last business day prior to the day of the scheduled Meeting.

Committee of Adjustment:
Public notice was mailed on May 27, 2020

Applicant confirmed posting of signage on May 14, 2020

Property Information	
Existing Structures	Year Constructed
Dwelling	Proposed
Deck	Proposed

Applicant has advised that they cannot comply with By-law for the following reason(s):

1. The existing lot is not a full size lot and it’s narrow down at back of property and for this reason the coverage will not comply.
2. Because of the same reason as #1 proposed building can’t comply with exterior side set back

Adjournment Request: N/A

Building Standards (Zoning Review):
Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file.

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2.

A revised driveway width of 5.99 metres on the lot is now shown. The Applicant shall be advised that the maximum width of a driveway at the street curb and a curb cut shall be six (6) metres, and the portion of the driveway between the street line and the street curb shall not exceed six (6) metres in width.

The purpose of the application refers to the construction of a new two storey single family dwelling. A finished basement with a nanny suite and kitchen, two kitchens on the main floor, two master bedrooms on the second floor, and a basement walk-up are shown on drawings submitted. The Applicant shall be advised that Zoning review has been conducted for a proposed single family detached dwelling only, not a single family detached dwelling unit with a secondary suite, and not a multiple family dwelling unit.

Building Inspections (Septic):
No comments or concerns

Development Planning:
City of Vaughan Official Plan (‘VOP 2010’): “Low-Rise Residential”

The Owner is requesting permission to construct a 2-storey dwelling with above noted variances.

The Development Planning Department does not object to variances 1 and 4. A reduced exterior side yard of 6.97 m is appropriate for the development of the area, given that the existing shed (to be demolished) is located closer to right-of-way than the nearest wall of the proposed dwelling and caused no visibility implications. In addition, a reduction of 0.06 m for the interior length of a garage in minor and will be able to accommodate the length of a car.

The proposed building height of 10 m (variance 2) represents an increase of 0.5 m that only applies to the portion of the roof with a flat design (measured from finished grade to the top of the flat roof). Development Planning recognize that the dwelling’s proposed height in terms of scale is compatible with the other 2-storey homes in the neighborhood.

The proposed dwelling coverage of 25.18% (variance 3), consists of a main dwelling (with an attached garage) with a total ground floor area of 248.05 m² (22.99%), a covered porch of 4.7m² (0.44%), and a rear covered deck of 18.85 m² (1.75%). Development Planning staff are of the opinion that the increase in lot coverage will not disrupt the existing character of the neighborhood, as the spacious setbacks of the R1V zone are being maintained which allows the dwelling’s mass to remain proportional to the lot size.

Parks, Forestry and Horticulture Operations have reviewed the Tree Preservation Plan included in the arborist report (prepared by D. Andrew White, dated March 17, 2020) and have no concerns subject to their conditions.

The Development Planning Department reviewed the application and is of the opinion that it is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

The Development Planning Department recommends approval of the application.

Cultural Heritage (Urban Design):
No comments or concerns

Development Engineering:

The Development Engineering (DE) Department does not object to variance application A013/20 subject to the following condition(s):

The owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit Development Engineering's front desk on the 2nd floor of City Hall to apply for lot grading and/or servicing approval.

Parks, Forestry and Horticulture Operations:

A Private Property Tree Removal & Protection Permit (Construction/Infill) is required for the removal/injury to trees (over 20cm at base) on the subject property and trees located within 6 meters of the subject property, as per By-Law 052-2018;

Municipal By-law 052-2018 directs that municipal and private trees shall be protected during all phases of construction. MLA-107B Light Duty Tree Hoarding Protection Detail (Snow Fence) shall be used for trees within the road allowance and MLA-107A Heavy Duty Tree Protection Detail (Plywood) for all other trees;

Applicant shall inform Vaughan Forestry once Tree Protection has been installed, for Vaughan Forestry to inspect and approve according to specifications;

Tree protection & preservation methods must be followed according to City of Vaughan By-law 052-2018;

The Parks, Forestry and Horticulture Operations does not object to variance application A013/20 subject to the following condition(s):

1. Applicant must obtain a private property tree removal & protection permit prior to application approval;
2. Tree protection/preservation in the form of either light duty or heavy-duty hoarding shall be installed and approved in accordance with Forestry's requirements prior to tree removal permit issuance;
3. An Arborist Report and Tree Inventory shall be submitted with private property tree removal application form to satisfy Forestry's requirements;

By-Law and Compliance, Licensing and Permit Services:

No comments or concerns

Financial Planning and Development Finance:

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment

That the payment of applicable Special Area Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Special Area Development Charge By-laws in effect at time of payment.

Fire Department:

No comments or concerns

Schedule A – Plans & Sketches**Schedule B – Public Correspondence**

Public Correspondence (Objection Letter) – 34 Uplands Avenue

Schedule C - Agency Comments

Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

Schedule D - Previous Approvals (Notice of Decision)

None.

Staff Recommendations:

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	Development Engineering Jason Pham 905-832-8585 x 8716 jason.pham@vaughan.ca	The owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit Development Engineering's front desk on the 2nd floor of City Hall to apply for lot grading and/or servicing approval.
2	Parks, Forestry and Horticulture Operations Andrew Swedlo 905-832-8585 x 3615 Andrew.Swedlo@vaughan.ca	1. Applicant must obtain a private property tree removal & protection permit prior to application approval; 2. Tree protection/preservation in the form of either light duty or heavy-duty hoarding shall be installed and approved in accordance with Forestry’s requirements prior to tree removal permit issuance; 3. An Arborist Report and Tree Inventory shall be submitted with private property tree removal application form to satisfy Forestry’s requirements;

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting at vaughan.ca/LiveCouncil. To make an electronic deputation, residents must contact the Committee of Adjustment no later than **noon** on the last business prior to the day of the scheduled hearing (see above for contact details).

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

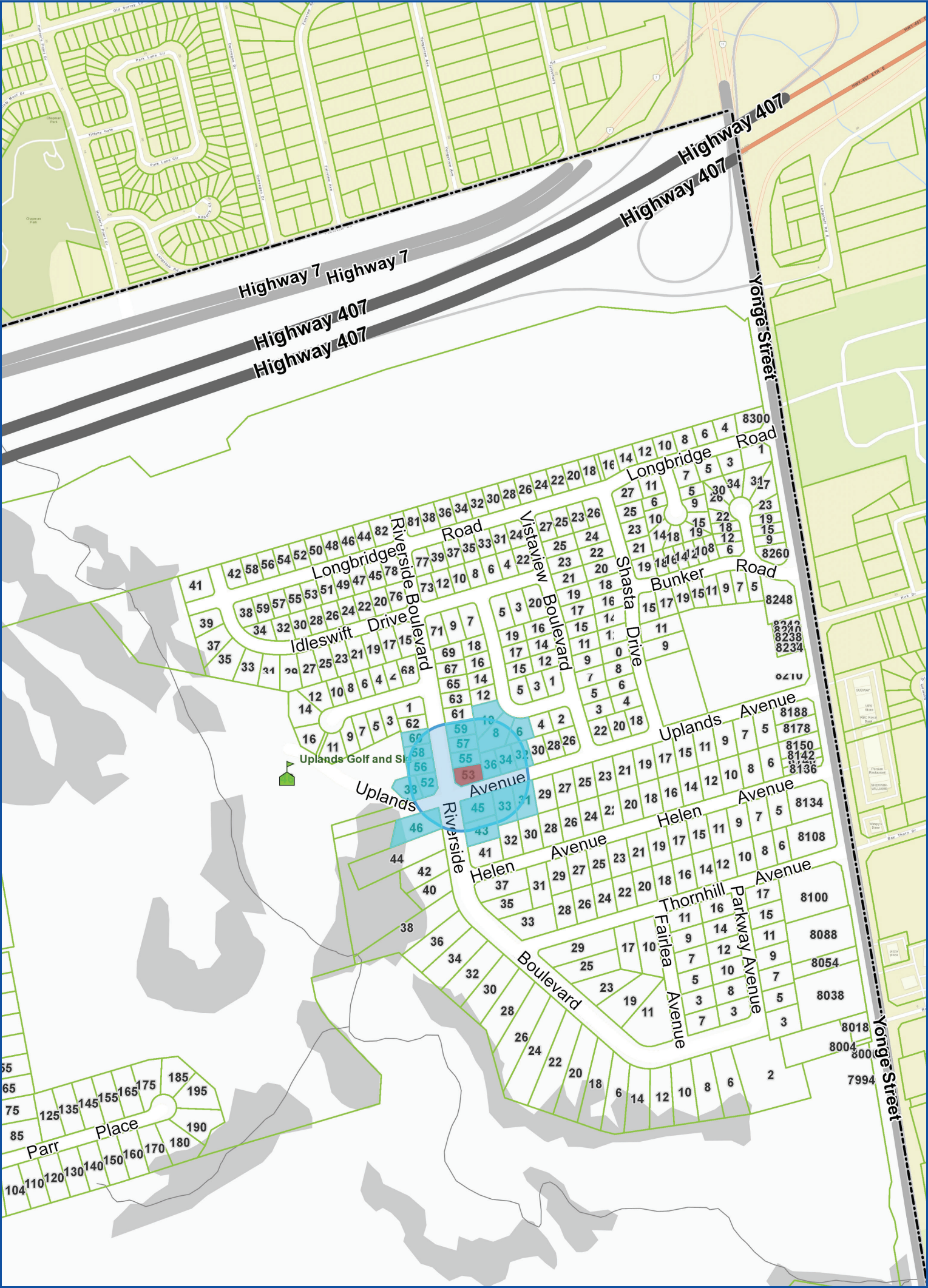
For further information please contact the City of Vaughan, Committee of Adjustment

T 905 832 8585 Extension 8394
E CofA@vaughan.ca

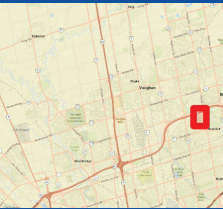
Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

Location Map
Plans & Sketches



Map Information:



Title:

53 RIVERSIDE BOULEVARD, THORNHILL

LOCATION MAP - A013/20

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:7,128

0 0.11 km



Created By:

Infrastructure Delivery
Department
May 15, 2020 4:57 PM

Projection:

NAD 83
UTM Zone
17N

SURVEYOR'S REAL PROPERTY REPORT - PART 1

PLAN OF
LOT 1
REGISTERED PLAN M-1279
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK
SCALE 1:250



© COPYRIGHT
PEARSON & PEARSON SURVEYING LTD. 2018
Ontario Land Surveyors

Metric
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Part 2
1. THE RE-ESTABLISHMENT OF THE SUBJECT PROPERTY BOUNDARIES
WAS BASED ON INFORMATION CONTAINED IN THE RELEVANT TITLE
DOCUMENTS, REGISTERED PLANS AND ON THE EVIDENCE OF OTHER
SURVEYS FOUND DURING THE COURSE OF PREPARING THE SUBJECT
SURVEY.

2. THE TYPE AND LOCATION OF THE EXISTING BUILDINGS AND OTHER
IMPROVEMENTS, FENCES, ETC., ON OR NEAR THE SUBJECT PROPERTY ARE
AS SHOWN ON THE SURVEY PLAN.

3. COMPLIANCE WITH MUNICIPAL ZONING REQUIREMENTS IS NOT
CERTIFIED BY THIS REPORT.

4. AS WE ARE UNAWARE AT THIS TIME OF THE OWNERSHIP OR AGE OF
FENCES, WE ARE UNABLE TO COMMENT AS TO ANY ENCROACHMENTS
THEREBY CREATED BY THE LOCATION OF THE FENCES WITH RESPECT TO
PROPERTY LINES. THE PRESENT POSITION OF THE FENCES WITH RESPECT
TO THE PROPERTY LINES ARE SHOWN ON THE SURVEY PLAN.

5. No. 53 RIVERSIDE BOULEVARD - SUBJECT TO AN EASEMENT IN
FAVOUR OF THE CORPORATION OF THE TOWNSHIP OF VAUGHAN
(RE: SEWERS & WATER SERVICES) AS SET OUT IN INSTRUMENT
No. LB261393

SURVEY PREPARED FOR: HOSSEIN YARMOHAMMADI

Bearing Note

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE EASTERLY
LIMIT OF RIVERSIDE BOULEVARD SHOWN ON REGISTERED PLAN M-1279 AS
HAVING A BEARING OF N09°29'50"W.

Benchmark

ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE
CITY OF VAUGHAN ELEVATION DATUM. ELEVATION = 189.864m
BENCHMARK : MONUMENT No. 105070098

Note

SUBSTANTIAL AMOUNTS OF SNOW & ICE ACCUMULATION ON THE GROUND
AT TIME OF SURVEY.

Surveyor's Certificate

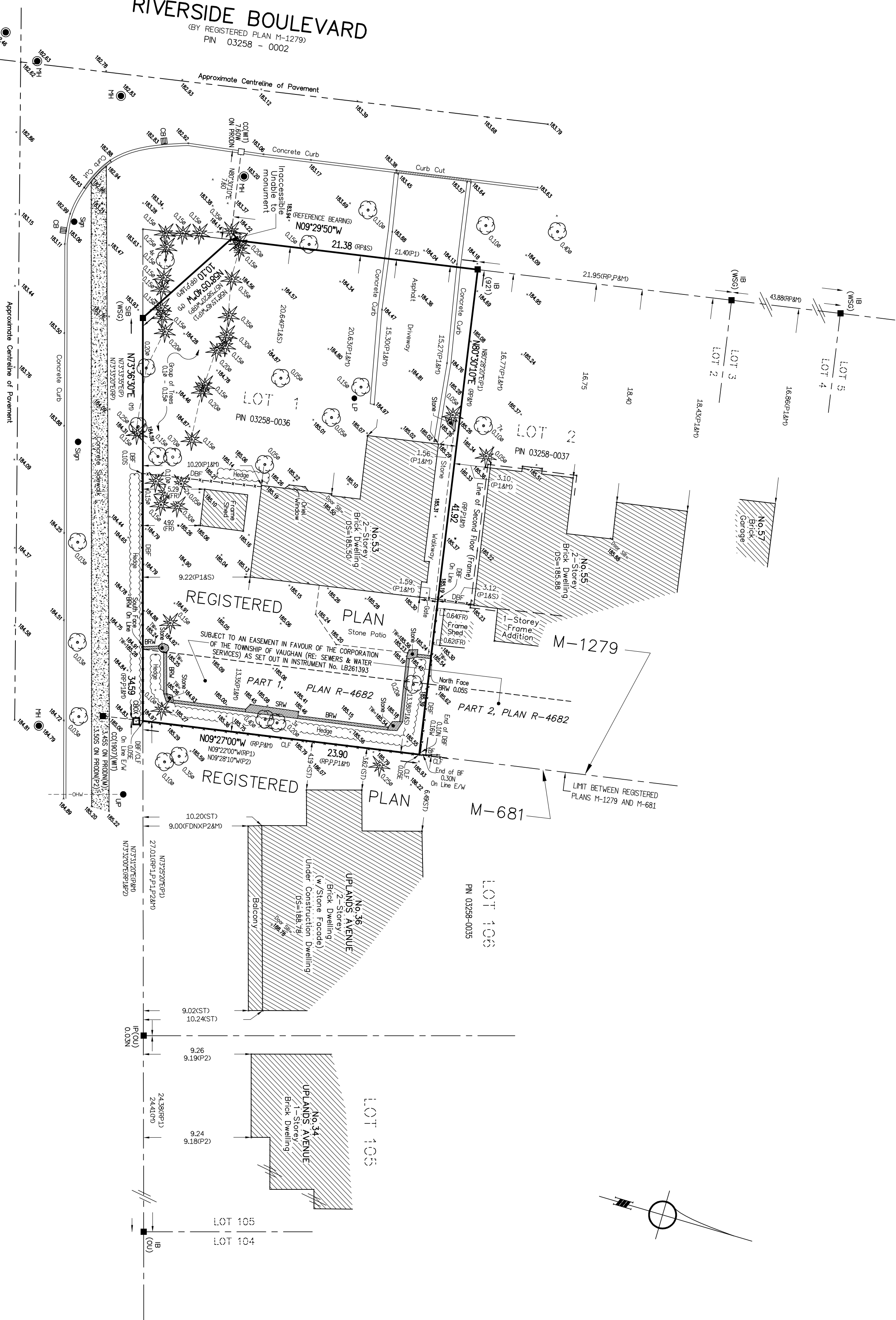
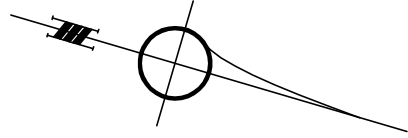
I CERTIFY THAT :
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH
THE SURVEY ACT AND THE SURVEYORS ACT AND THE REGULATIONS
MADE UNDER THEM,
2. THE SURVEY WAS COMPLETED ON THE 18TH DAY OF JANUARY, 2018.

January 29, 2018
Date

Jason Chu-Ho To
Ontario Land Surveyor

10933 JANE STREET, SECOND FLOOR, MARK
ONTARIO, L6A 1S1
O. : (416) 907-7327
E. : michelle.pearson@pearson-surveying.com

DRAWING : 1455-RiversideBoulevard53-SRP-RDVG
CALC. BY JTI
DRAWN BY JTI
CHECKED BY JTI/JP



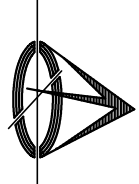
UPLANDS AVENUE
(BY REGISTERED PLAN 3765)
PIN 03258 - 0152

(BY REGISTERED PLAN 3765)
PIN 03258 - 0152

Legend

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT SET
- SB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- CC DENOTES CUT CROSS
- WIT DENOTES WITNESS
- OU DENOTES ORIGIN UNKNOWN
- PROD DENOTES PRODUCTION
- S DENOTES SET
- M DENOTES MEASURED
- N/S/E/W DENOTES NORTH/SOUTH/EAST/WEST
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- P200 DENOTES REGISTERED PLAN M-681

- TW DENOTES TOP OF WALL ELEVATION
- BRW DENOTES BRICK RETAINING WALL
- SRW DENOTES STONE RETAINING WALL
- DBF DENOTES DOUBLE BOARD FENCE
- BF DENOTES BOARD FENCE
- CLF DENOTES CHAIN LINK FENCE
- FDN DENOTES TIES TO CONCRETE FOUNDATION
- ST DENOTES TIES TO STONE
- FR DENOTES TIES TO FRAME
- CBX DENOTES CABLE BOX
- OHW DENOTES OVERHEAD WIRES
- UP DENOTES UTILITY POLE
- LP DENOTES LAMP POST
- MAH DENOTES MANHOLE
- CB DENOTES CATCHBASIN
- DS DENOTES DAUGHTER (GROUND)
- DC DENOTES DECIDUOUS TREE WITH TRUNK DIAETER
- NT DENOTES NON-DECIDUOUS TREE WITH TRUNK DIAETER
- CON DENOTES CONIFEROUS TREE WITH TRUNK DIAETER
- ALL BUILDING TIES ARE TAKEN FROM THE BRICK FACE
- UNLESS OTHERWISE NOTED.



ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SURVEYORS
2038383

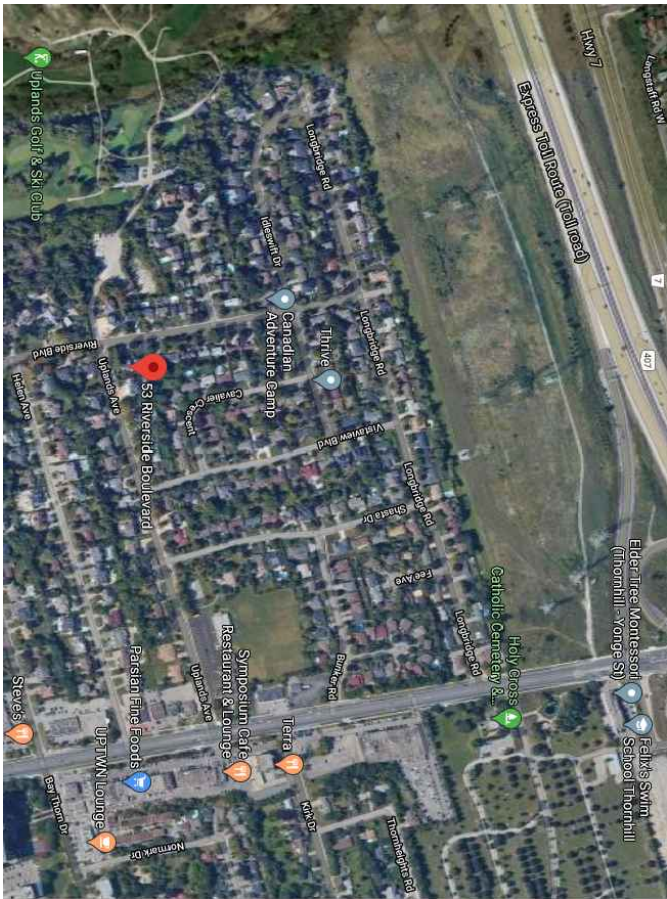
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ORIGINAL COPY
ISSUED BY THE SURVEYOR.
In accordance with 29(3)
Regulation 1102, Section 29(3).

10933 JANE STREET, SECOND FLOOR, MARK
ONTARIO, L6A 1S1
O. : (416) 907-7327
E. : michelle.pearson@pearson-surveying.com

DRAWING : 1455-RiversideBoulevard53-SRP-RDVG
CALC. BY JTI
DRAWN BY JTI
CHECKED BY JTI/JP



LOCATION MAP



A013/20

LEGEND

EXISTING CONSTRUCTION TO REMAIN

CONSTRUCTION TO BE REMOVED.
REFER TO DEMOLITION NOTES

NEW CONSTRUCTION

NEW MASONRY CONSTRUCTION

THERMAL OR ACOUSTIC INSUL. BATTS

PROPERTY LINE

DOOR.

INSULATED DOOR.

FINISHED FLOOR TO CEILING HEIGHT

NEW FINISHED FLOOR ELEVATION

NEW ELEVATION MARKER

EXISTING ELEVATION MARKER

CONSTRUCTION NOTES

CONSTRUCTION TYPES

WINDOW AND DOOR TAGS

BASEMENT WINDOW #

GROUND FLOOR WINDOW #

SECOND FLOOR WINDOW #

THIRD FLOOR WINDOW #

EXTERIOR DOOR #

STEEL POST (SEE STRUCTURAL)

STEEL POST ABOVE (SEE STRUCTURAL)

WOOD POST (SEE STRUCTURAL)

WOOD POST ABOVE (SEE STRUCTURAL)

BYLAW 1-88

53 RIVERSIDE BLVD
THORNHILL, ON L4J 1H8

NEW 2 STOREY SINGLE FAMILY DWELLING

SITE STATISTICS				
ZONING DESIGNATION		R1V		
MINIMUM LOT AREA		845 M ²		
EXISTING LOT AREA		1078.82 M ² [11612.3 FT ²]		
MINIMUM LOT FRONTAGE		30.0 M		
EXISTING LOT FRONTAGE		28.14 M		
COVERAGE	MAX. PERMITTED	PROPOSED		
MAIN BUILDING	215.7 M ² [2322 FT ²] 20%	248.05 M ² [2670 FT ²]	22.99%	
FRONT COVERED PORCH		4.7 M ² [50.8 FT ²]	0.43%	0.435%
REAR DECK		18.85 M ² [202.9 FT ²]	1.74%	1.747%
TOTAL		271.6 M ² [2923.7 FT ²]	25.17%	25.18%

HEIGHT	MAX. PERMITTED	PROPOSED
SLOPED ROOF HEIGHT	9.50 M	10.00 M
FLAT ROOF HEIGHT	9.50 M	9.64 M

SETBACKS	MIN. REQUIRED	PROPOSED
FRONT YARD SETBACK /WEST	13.75 M	13.83 M
REAR YARD SETBACK /EAST	7.5 M	11.06 M
INTERIOR SIDE YARD SETBACK/NORTH	1.50 M	1.50 M
EXTERIOR SIDE YARD SETBACK/SOUTH	9.00 M	6.97 M

DRIVEWAY	MAX. PERMITTED	PROPOSED
DRIVEWAY WIDTH	9.00 M	5.99 M

GROSS FLOOR AREA CALCULATIONS		PROPOSED
GROUND FLOOR	204.5 M ²	[2201 FT ²]
MEZZANINE	65.75 M ²	[708 FT ²]
SECOND FLOOR	222.2 M ²	[2392 FT ²]
TOTAL	492.45 M ²	[5301 FT ²]
BASEMENT	217.9 M ²	[2346 FT ²]

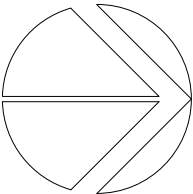
REVISED
MACH 26, 2020

NO.	DATE	REVISION DESCRIPTION	NOTE
1	2020-02-07	ISSUED FOR COA	CITY
2	2020-03-26	REVISED AS PER BUILDING STANDARDS DEPARTMENT COMMENT	CITY

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STAMP

NORTH



PROJ/REV. NO.

USG 275-19

SHEET TITLE

STATISTICS

PROJECT

53 RIVERSIDE BLVD,
THORNHILL, ON L4J 1H8

DWG NO.

A0-0

11'x17' SHEET SIZE

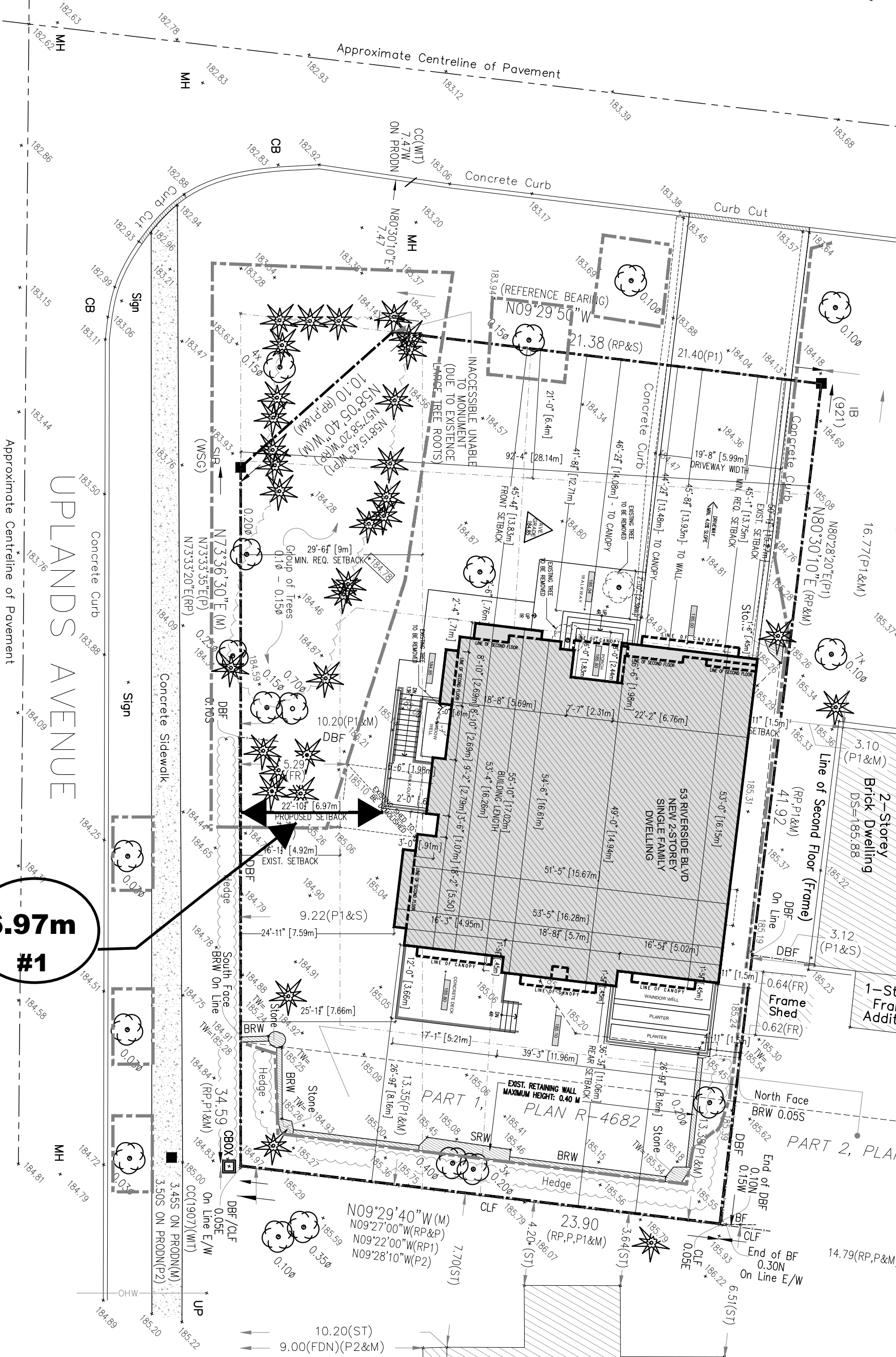
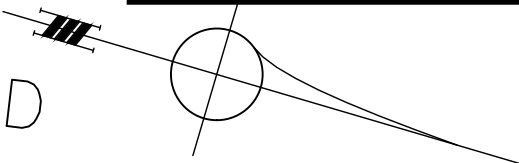
DESIGN



236 Leslie Mill Road Toronto, ON M8B 2T5
phone: 416-850-0021
info@urbanscapedesign.com | www.urbanscapedesign.com

REVISED
MACH 26, 2020

RIVERSIDE BOULEVARD
(BY REGISTERED PLAN M-1279)



1. To permit a minimum exterior side yard setback 6.97 metres.
2. To permit a maximum building height of 10.0 metres.
3. To permit a maximum lot coverage of 25.17% (dwelling 22.99%, covered porch 0.43% and covered deck 1.74%).
4. To permit a minimum interior garage length of 5.94 metres.

NO.	DATE	REVISION DESCRIPTION	NOTE
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Stamp area with North arrow and project details.

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Stamp area with North arrow and project details.

A013/20

REVISED

MARCH 26, 2020

NO.	DATE	REVISION DESCRIPTION	NOTE
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STAMP

NORTH

PROJ/REV. NO

USG 275-19

SHEET TITLE

SIDE (SOUTH) ELEVATION

SCALE: 1/8"=1'-0"

DWG NO.

A2-2

11"x17" SHEET SIZE

DESIGN

URBANSCAPE
ARCHITECTS

236 Lesmill Road Toronto, ON M3B 2T5
phone: 416.850.0021
info@urbanscapegroup.com | www.urbanscapegroup.com

236 Lesmill Road Toronto, ON M3B 2T5

phone: 416.850.0021

info@urbanscapegroup.com | www.urbanscapegroup.com

NOTE

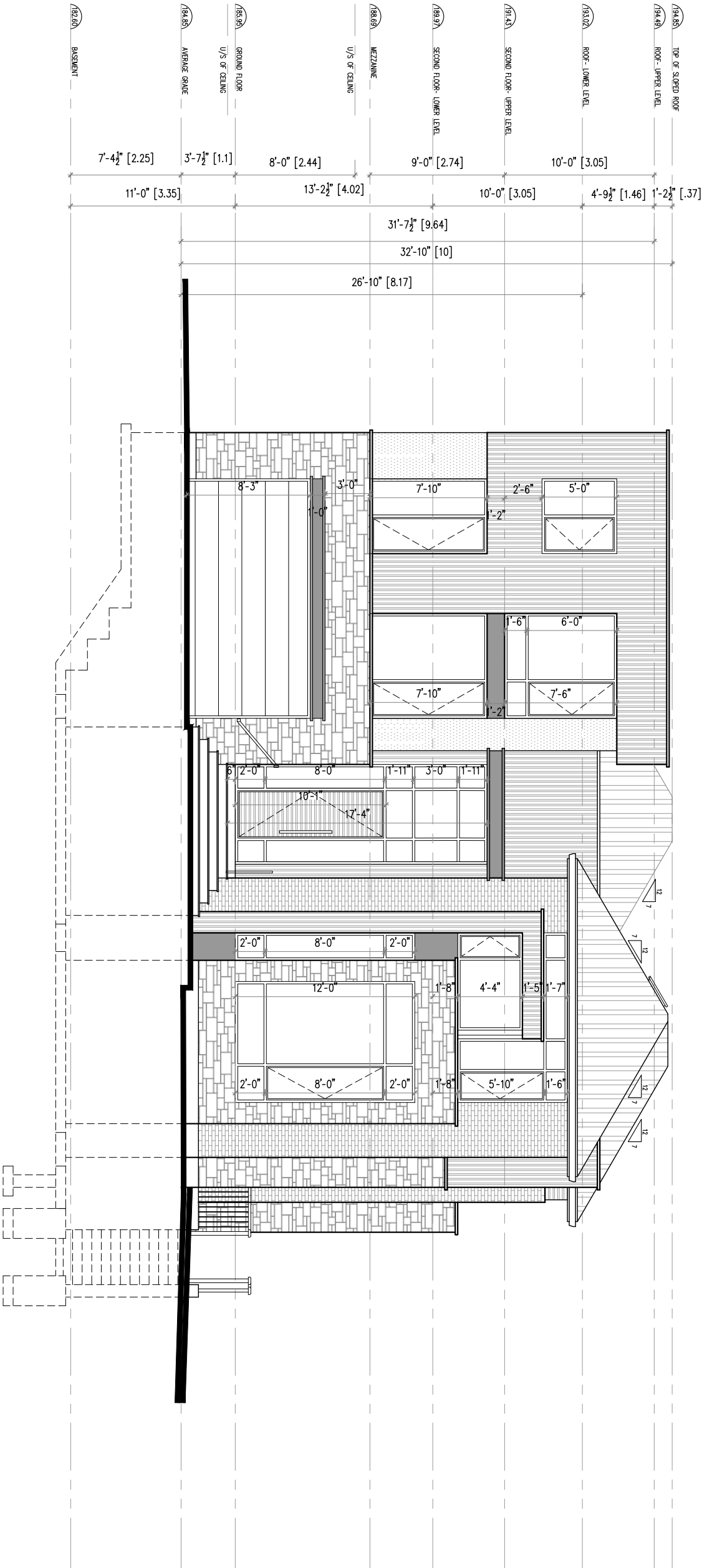
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REPORTED TO THE CONSULTANT(S) DO NOT PROCEED WITH WORK WITHOUT APPROVED REVISION TO THE DRAWING

REVISED
MARCH 26, 2020



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STAMP

NORTH

PROJ./REV. NO.

USG 275-19

SHEET TITLE

FRONT (WEST) ELEVATION
SCALE: 1/8"=1'-0"

DWG NO.

A2-1

11'x17' SHEET SIZE

DESIGN

URBANS
ARCHITECTS

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phone: 416.850.0021
info@urbanscapedesigngroup.com | www.urbanscapedesigngroup.com

A013/20

REVISED
MARCH 26, 2020

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AND THE DATED REVISION FIELD STATES:
ISSUED FOR CONSTRUCTION

STAMP

NORTH

PROJ./REV. NO

DWG NO.

DESIGN

USG 275-19

SHEET TITLE

REAR (NORTH) ELEVATION

SCALE: 1/8"=1'-0"

A2-3

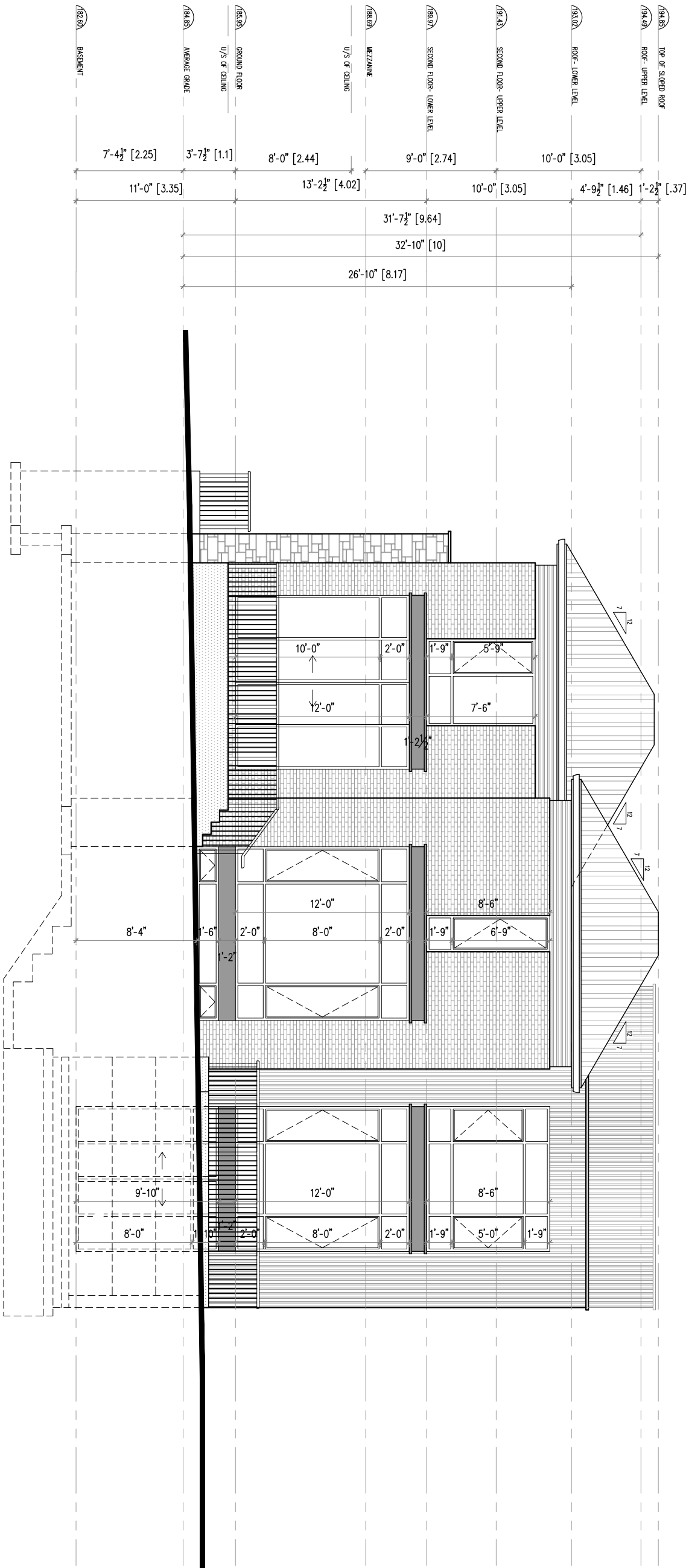
11"x17" SHEET SIZE

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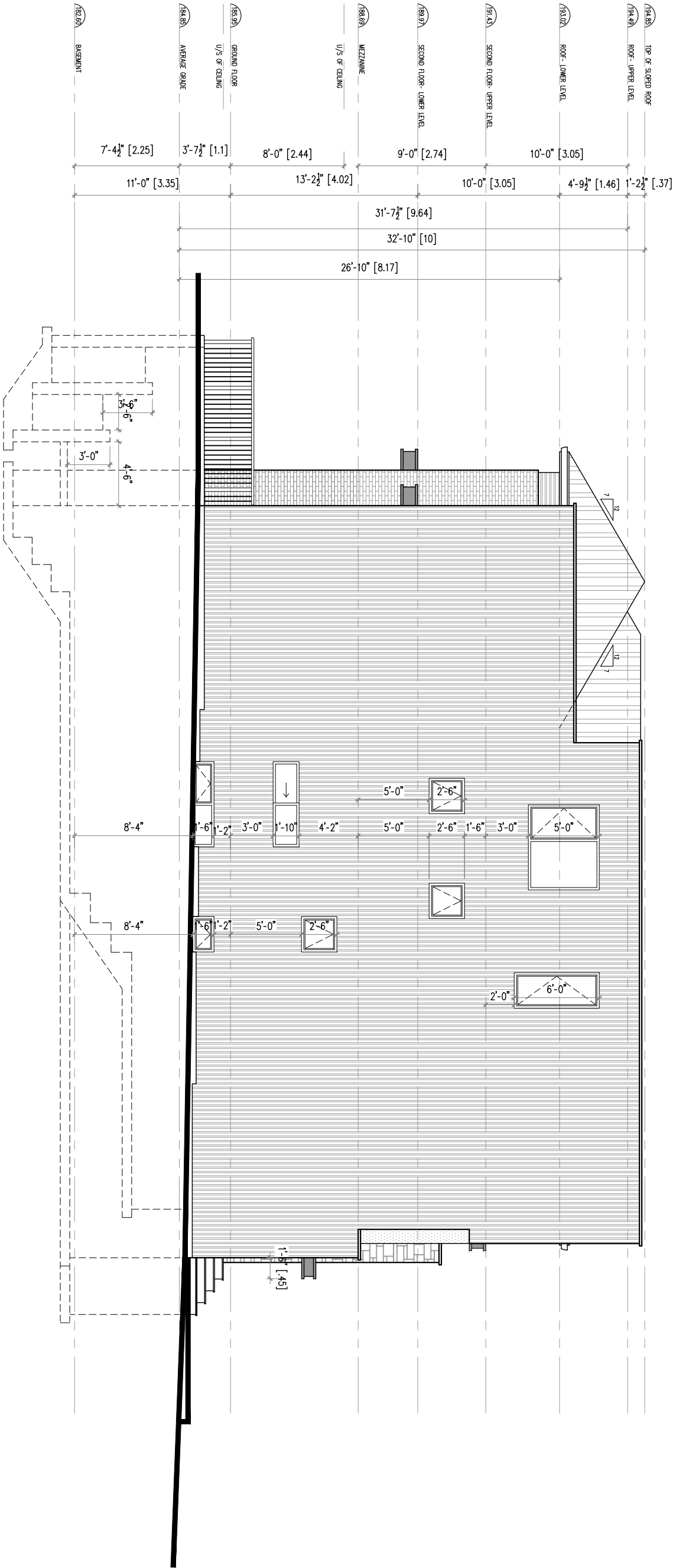


URBANSCAPE
ARCHITECTS



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STAMP

NORTH

PROJ/REV. NO.

DWG NO.

DESIGN

USG 275-19

SIDE (WEST) ELEVATION

SCALE: 1/8"=1'-0"

A2-4

11"x17" SHEET SIZE

PROJECT

53 RIVERSIDE BLVD.
THORNHILL, ON L4J 1H8

236 Leslie Road Toronto, ON M3B 2T5
phone: 416-850.0021
info@urbanscapedgroup.com | www.urbanscapedgroup.com

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

Public Correspondence (Objection Letter) – 34 Uplands Avenue

RECEIVED

June 4, 2020

Committee of Adjustment

From: Residents of 34 Uplands Avenue,
To: Committee of Adjustment Panel
Subject: Minor Variance Application A013/20

Dear committee of Adjustment Panel,

Unfortunately, my household and I will not be able to participate at the hearing on Thursday, June 11, 2020 for the Minor Variance Application A013/20, because we all work at essential service, and connecting through phone or skype is out of option. After discussing the matter at home, we all oppose the proposal. The proposed plan is requiring using more space from the land, which means it is going to occupy more space.

The proposal affects us as following:

1. Already the by-law requirement is very generous in giving enough space to build the houses here, and on some occasions, we have felt we have no privacy in our backyard. Buildings with higher height and more extensive lengths will lead to bold this feeling more.
2. The scenery and look of the street and environment of the neighborhood get affected negatively by this proposal.

In conclusion, we require the status quo and follow the by-law requirement and reject the proposal.

Kind Regards,
Residents of 34 Uplands Avenue

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mr. Tony D'Onofrio
Supervisor, Subdivisions (Alectra East)
Phone: 1-877-963-6900 ext. 24419

Email: tony.donofrio@alectrautilities.com

Providence, Lenore

Subject: FW: RESPONSE A013-20 - REQUEST FOR COMMENTS - 53 Riverside Road, Thornhill (Full circulation)

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: April-20-20 9:34 AM

To: Providence, Lenore <Lenore.Providence@vaughan.ca>; MacPherson, Adriana <Adriana.MacPherson@vaughan.ca>; Attwala, Pravina <Pravina.Attwala@vaughan.ca>

Subject: [External] RESPONSE A013-20 - REQUEST FOR COMMENTS - 53 Riverside Road, Thornhill (Full circulation)

Good Morning Lenore,

The Regional Municipality of York has completed its review of the above minor variance and has **no comment**.
Regards,

Gabrielle

Gabrielle Hurst mcip rpp | Associate Planner, Community Planning and Development Services | Corporate Services
The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877 464 9675 ext 71538 | Gabrielle.hurst@york.ca | www.york.ca