Staff Report Summary

Item # 09

Ward # 3

File: A166/19

Applicant: Glenn and Anna Bortolus

Address: 25 Hanson Court, Woodbridge

Agent: N/A

Please note that comments received after the preparation of this Staff Report (up until 12:00 p.m. on the scheduled hearing date) will be provided as an addendum.

Commenting Department	☑ Positive Comment ☒ Negative Comment	Condition(s) ☑ ☒
Committee of Adjustment	☑	
Building Standards	☑	
Building Inspection	☑	
Development Planning	☑	
Cultural Heritage (Urban Design)	☑	
Development Engineering	☑	
Parks, Forestry and Horticulture Operations	☑	
By-law & Compliance	☑	
Financial Planning & Development	☑	
Fire Department		
TRCA		
Ministry of Transportation		
Region of York	☑	
Alectra (Formerly PowerStream)	☑	
Public Correspondence **(see Schedule B)**	☑	

Adjournment History: None.

Background History: None.

Staff Report Prepared By: Lenore Providence
Hearing Date: Thursday, February 6, 2020

Minor Variance Application

Agenda Item: 09

A166/19

Ward: 3

Staff Report Prepared By: Lenore Providence, Assistant Secretary Treasurer

Date of Hearing: Thursday, February 6, 2020

Applicant: Glenn and Anna Bortolus

Agent: None

Property: **25 Hanson Ct Woodbridge ON L4L 4X8**

Zoning: The subject lands are zoned RR Rural Residential, and subject to the provisions of Exception No. 9(178) under By-law 1-88 as amended.

OP Designation: VOP 2010 - Low Rise Residential

Related Files: None.

Purpose: Relief from the by-law is requested to permit the proposed construction of a cabana located in the rear yard.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum rear yard setback of 15 metres is required.	1. To permit a minimum rear yard setback of 4.68 metres to the accessory building (cabana).
2. A maximum lot coverage of 10% is permitted for all structures and covered areas.	2. To permit a total lot coverage of 20.06% for the dwelling (16.82%), porch (1.77%) and accessory building (cabana, 1.47%).
3. A maximum building height of 4.5 metres is permitted to the highest point.	3. To permit a maximum building height of 5.89 metres for the accessory building (cabana) to the highest point.
4. A maximum eave and gutter encroachment of 0.50 metres is permitted.	4. To permit a maximum eave and gutter encroachment of 0.56 metres for the accessory building (cabana).

Background (previous applications approved by the Committee on the subject land):

Application No.:	Description:	Status of Approval: Approved/Refused/Withdrawn/ OMB/Concurrent
A332/17	To permit the proposed construction of a single family dwelling with: 1. A minimum front yard setback of 9.02 metres to the dwelling. 2. A minimum interior side yard (south) setback of 4.46 metres to the dwelling. 3. A minimum rear yard setback of 5.92 metres to the accessory building (cabana). 4. A maximum lot coverage of 19.22%. (16.82% dwelling, 1.77% covered porch, 0.63% cabana) 5. A maximum curb cut and the portion of the driveway between the street line and the street curb of 9.75 metres. 6. A maximum driveway width of 12.75 metres. 7. A maximum eave and gutter encroachment of 0.71 metres at the front and 0.65 metres for the interior side yard	Approved December 7, 2017

For information on the previous approvals listed above please visit . To search for a file number, enter it using quotes around it. For example, “A001/17”.

To search property address, enter street number and street name using quotes. For example, “2141 Major Mackenzie”. Do not include street type (i.e. drive).

Adjournment History: N/A

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **4:00 p.m**. on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:
Public notice was mailed on January 22, 2020

Applicant confirmed posting of signage on January 16, 2020

Property Information	
Existing Structures	**Year Constructed**
Cabana	2018

Applicant has advised that they cannot comply with By-law for the following reason(s): The unique shape and configuration of the existing lot caused constraints on the siting and location of a dwelling in compliance with the zoning by-law.

Adjournment Request: N/A

Building Standards (Zoning Review):
Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file.

Building Permit No. 18-001052 for Single Detached Dwelling - Residential Demolition, Issue Date: May 09, 2018
Building Permit No. 19-002038 for Shed/Gazebo - (Not Yet Issued)
Building Permit No. 18-001094 for Single Detached Dwelling - Issue Date: Jun 22, 2018
Building Permit No. 18-001094 for Single Detached Dwelling - Alteration, Issue Date: Jun 03, 2019

Please note the following:

The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority.

An A/C unit and/or pool equipment shall be setback a minimum of 0.60 metres from the interior side lot line; and may encroach a maximum of 1.5 metres into the required rear yard.

The maximum height of any retaining wall constructed on a property line between 2 residential lots, shall be 1.0 metre.

Any architectural or design element used in hard landscaping greater than 1.8 metres in height shall be set back from the property line an equal distance to its height.

This review is based on the accessory building with covered terrace and inground pool.

Building Inspections (Septic):
No comments or concerns

Development Planning:
Vaughan Official Plan 2010 ('VOP 2010'): Low-Rise Residential

The Owner is proposing to construct a cabana located in the rear yard with the above-noted variances. The Committee of Adjustment previously approved Minor Variance File A332/17 for variances pertaining to the single family dwelling (currently under construction) and a cabana in the rear yard.

The Owner is proposing changes to the cabana that was originally approved by the Committee of Adjustment (A332/17). The size of the cabana is increasing from 25.50m2 to 59.75m2, resulting in a new lot coverage of 20.06%, a reduced rear yard setback of 4.68m and an eave/gutter encroachment of 0.56m. As the cabana is located in the rear yard adjacent to a golf course and will not adversely impact neighbouring properties, Variances #1, #2 and #4 are considered minor in nature. The proposed cabana has a maximum building height of 5.89m, to the highest point of the decorative louvre vent and the remainder of the cabana is at 4.75m. The intent and purpose of the zoning by-law relating to maximum building height of an accessory structure is maintained. On this basis, the Development Planning Department has no objection to the requested variances.

The Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land. The Development Planning Department recommends approval of the application.

Cultural Heritage (Urban Design):
No comments or concerns

Development Engineering:
The Development Engineering (DE) Department does not object to variance application A166/19.

Parks, Forestry and Horticulture Operations:
Forestry has already issued a permit for the proposed works permit number #2019-167. No additional comment at this time.

By-Law and Compliance, Licensing and Permit Services:
No comments or concerns

Financial Planning and Development Finance:
No comment no concerns

Fire Department:
No Response.

Schedule A – Plans & Sketches

Schedule B – Public Correspondence
Letter of Support – G. De Gasperis, 20 Hanson Court, Woodbridge
Letter of Support – S. De Gasperis, 11 Hanson Court, Woodbridge
Letter of Support – A. & S. Franzolini, 10 Hanson Court, Woodbridge
Letter of Support – R. Franzolini, Nova Plumbing & Heating Ltd, 144 Romina Drive, Concord
Letter of Support – F. and R. Carogioiello, 137 Balding Boulevard, Woodbridge
Letter of Support – S. Carogioiello, Royal Pine Homes, 200-3550 Langstaff Road
Letter of Support – M. De Simone, 180 Balding Boulevard, Woodbridge

Schedule C - Agency Comments
Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

Schedule D - Previous Approvals (Notice of Decision)
Minor Variance A332/17

Staff Recommendations:
Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96.

Please Note:

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department;

Notice to Public

WRITTEN SUBMISSIONS: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Public written submissions on an Application shall only be received by the Secretary Treasurer until **4:00 p.m**. on the last business day **prior** to the day of the scheduled Meeting.

Written submissions can be mailed and/or emailed to:

City of Vaughan
Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
CofA@vaughan.ca

ORAL SUBMISSIONS: If you wish to attend the meeting you will be given an opportunity to make an oral submission. Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings are audio recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

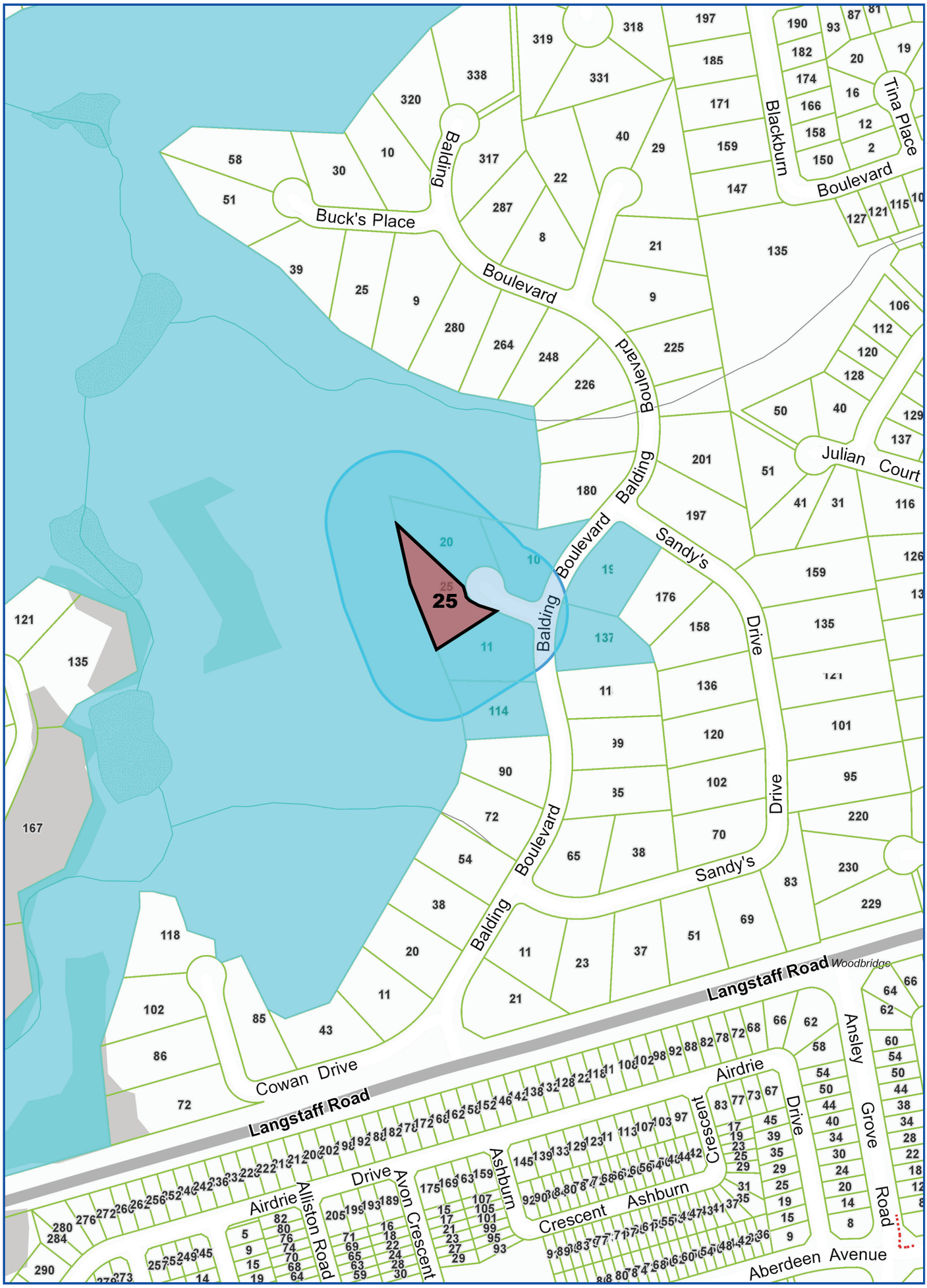
For further information please contact the City of Vaughan, Committee of Adjustment

T 905 832 8585 Extension 8394
E CofA@vaughan.ca

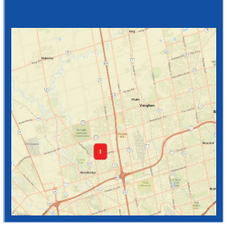
Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum. Correspondence will only be accepted until 12:00 p.m. on the date of the scheduled hearing.

Location Map
Sketches



Map Information:



Title:

25 HANSON COURT, WOODBRIDGE

LOCATION MAP - A166/19

Disclaimer:
Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.

VAUGHAN

Scale: 1: 4,514
0 0.07 km

Created By:
Infrastructure Delivery Department
January 15, 2020 6:17 PM

Projection:
NAD 83
UTM Zone 17N

A166/19

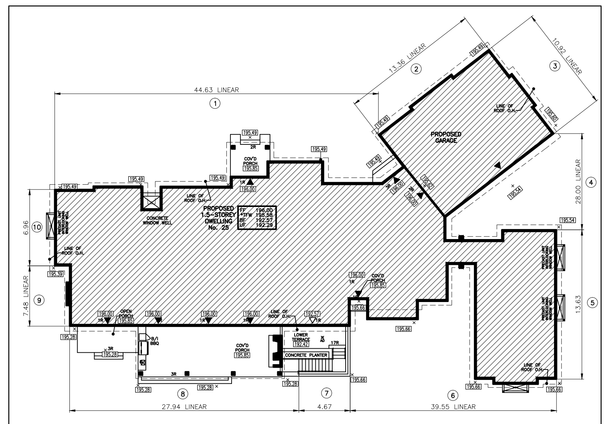
VAUGHAN

CITY OF VAUGHAN
DEVELOPMENT/TRANSPORTATION ENGINEERING DEPARTMENT
LOT GRADING NOTES

THE FOLLOWING NOTES APPLY TO THE CONSTRUCTION GOVERNED BY THE REFERENCE PERMIT AND SHALL FORM PART OF THE DRAWINGS ATTACHED HERETO:

1. All site plans, drawings and construction shall comply with the City of Vaughan Lot Grading Criteria, City of Vaughan Engineering Standards, and applicable Provincial Standards, the Ontario Building Code, Subdivision Agreement and By-Law 1-88 unless otherwise approved.
2. Approval of this site plan does not release the Builder/Applicant/Owner of their responsibilities to ensure the proposed drainage works are compatible with the overall drainage within the subdivision. Proposed lot drainage shall not adversely affect adjacent properties.
3. Alterations to existing grades shall not be permitted within 600mm of lot lines unless specifically approved as part of this permit. The approved grading/drainage pattern for this lot/block shall be maintained and alterations not approved as part of this Permit shall be restored by the Builder/Applicant/Owner to the satisfaction of the City of Vaughan.
4. Sedimentation/siltation control measures shall be installed prior to construction and offset a minimum of 600mm from lot lines. These measures shall be maintained in order to prevent adversities to adjacent lands. Refer to attached sample drawing.
5. Builder shall verify existing and proposed grade elevations prior to construction. Footings to bear on undisturbed soil and be a minimum of 1.22m below finished grade.
6. Provide elevation for: top of foundation wall; underside of footing; top of basement floor and finish floor.
7. Show reverse veneer wall where applicable.
8. Sanitary and Storm Invert Elevation shall be shown at main lateral connection and at property line. City Engineering Department/York Region approval is required for sanitary, storm and water box location and installation to be for lot line prior to construction.
9. Water, storm and sanitary services that are to be reused or decommissioned are to be identified on the drawing.
10. Downspouts of Rain water Leaders shall discharge onto splash pads and drain towards the street. Splash pads shall outlet over sodded land where possible to encourage infiltration of surface runoff.
11. High Point on split lot drainage to be a minimum of 2.0m behind front downspout location to ensure drainage outlets to street.
12. Top of foundation walls, exterior cladding, window and door sills shall be a minimum of 150mm above finished grade.
13. The Designer/Consultant/Engineer/Architect is responsible to ensure that height, thickness, lateral bracing, etc. off all foundation walls conform to OBC. OBC subsection 9.15.4 shall apply.
14. All front and rear yards shall be graded at a 2% - 5% gradient within 5m of the building.
15. Drainage swales shall be graded with a 2% -5% gradient. Desirable swale depth is 250mm. Minimum swale depth is 150mm. Maximum swale depth is variable and depends on location and safety considerations, but must not exceed 450mm.
16. Centerline of swales shall be located 600mm from lot lines unless otherwise approved.
17. Centerline of swales must not be located less than 600mm from any foundation wall.
18. Artificial embankments and or retaining walls shall not be permitted unless approved as part of this Permit. The maximum embankment slope shall be 3:1 (horizontal to vertical) with a maximum grade differential of 600mm.
19. Proposed retaining walls are to be constructed in accordance with the City of Vaughan Lot Grading Criteria and By-Law 1-88. Retaining walls exceeding 1.0 metre in height shall be designed, inspected and certified by a Professional Engineer and shall be served by guards or otherwise treated to reduce any public hazard. All retaining walls shall be constructed of stone, precast blocks or concrete. A retaining wall which exceeds 1.0 metre in height must be set back from the nearest property line or distance equal to its height.
20. Driveway grades shall be 1.5% - 8% and compatible with approved sidewalk grades. Boulevard grades shall be 2% - 5%.
21. Driveways shall be a minimum of 1.0m from any tree, catch basin or above ground utility or other obstruction.
22. Water service stops are to be located in the grass portion of the front yard, as per City of Vaughan Standard I-1.
23. Driveways, curb cuts and driveway culverts shall be located, approved and constructed in accordance with the requirements of the City Engineering Department, York Region and By-Law 1-88. A separate permit is required from the City's Engineering/Public Works Department for curb cuts and/or proposed culverts.
24. Footings constructed next to catch basin lead pipe or other Municipal Service shall be inspected below lead pipe excavation. Footings must be constructed on undisturbed soil or Soil Consultants verification required.
25. If the proposed construction is in an area of fill a Professional Engineer is to inspect the excavation and certify the stability and bearing capacity of the soil prior to construction.
26. Prior to Letter of Credit release the Owner shall submit an as-built survey illustrating both proposed and as constructed grade elevations. A Storm Water Management report authored by a Professional Engineer and/or Lot Grading Certification by a Professional Engineer or Ontario Land Surveyor shall be submitted to the City upon their request.
27. Post construction flows, from a 5 year storm frequency, shall not exceed the flows for preconstruction conditions, for the same storm, unless it is demonstrated to the satisfaction of the City that uncontrolled flows will not adversely affect the existing drainage patterns. (These flows shall be computed using the rational method only.)
28. "The building shall be located or the building site graded so that water will not accumulate at or near the building and will not adversely affect adjacent properties." OBC 9.14.6.1.(1)
29. TRCA approval required where grade changes will occur that abut regulated areas; existing natural or artificial watercourse, open channel, swale or ditch used to drain land.

Revised on December 12, 2016



FINISHED GRADE DIAGRAM nts

Wall No.	Wall Average Grade	Wall Length (m)	Product
1	195.49	44.63	8724.72
2	195.55	13.36	2612.55
3	195.57	10.92	2135.62
4	195.54	28.00	5475.12
5	195.60	13.63	2666.03
6	195.66	39.55	7738.35
7	195.47	4.67	912.84
8	195.28	27.94	5456.12
9	195.34	7.48	1461.14
10	195.44	6.96	1360.26
TOTAL	1954.94	197.14	38542.77
FINISHED GRADE =		TOTAL PRODUCT divided by TOTAL WALL LENGTH =	
		=	195.50

SITE DATA

LOT AREA	4058.15 sm (0.406 ha)
ZONING	RR
FINISHED GRADE	195.50 m
LOT COVERAGE	
HOUSE & GARAGE	682.53 sm (16.82%)
COV'D PORCHES	71.97 sm (1.77%)
CABANA + COV'D TERRACE	59.75 sm (1.47%)
TOTAL COVERAGE	814.25 sm (20.06%)
MAX. ALLOWED COVERAGE	405.82 sm (10.00%)
FLOOR AREA – BUILDING "A"	
GROUND FLOOR (INC. 133.3sf OF STAIRS & 1341.7sf OF GARAGE)	6226.2 sf (578.41 sm)
SECOND FLOOR (INC. 85.3sf OF STAIRS)	587.2 sf (54.55 sm)
FLOOR AREA – BUILDING "B"	
GROUND FLOOR	1120.4 sf (104.09 sm)
TOTAL AREA COMBINED	7933.8 sf (737.05 sm)
ATTACHED GARAGE	1341.7 sf (124.64 sm)
FINISHED BASEMENT	317.8 sf (29.52 sm)
CABANA	643.1 sf (59.75 sm)
FRONT YARD AREA	667.68 sm
'FRONT YARD LANDSCAPING'	79.86 % (533.24 sm)
'FRONT YARD SOFT LANDSCAPING'	85.82 % (452.33 sm)
REAR YARD AREA	2033.29 sm
REAR YARD AREA >135sm (2033.29 – 135)	1898.29 sm
'REAR YARD SOFT LANDSCAPING'	76.49 % (1452.07 sm)

VAUGHAN STANDARD NOTES

ROOF DRAINS TO DISCHARGE AT FRONT OF DWELLING UNITS ONTO GRASSED AREAS VIA CONCRETE SPLASH PADS AND NOT CONFLICT WITH WALKWAYS.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL GIVEN GRADE ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. FOOTINGS TO BEAR ON NATURAL UNDISTURBED SOIL OR ROCK AND TO BE A MINIMUM OF 1.22M BELOW FINISHED GRADE.

ALL FRONT AND REAR YARDS SHALL BE GRADED AT A 2% –5% GRADE WITHIN 6.0M OF THE DWELLING UNIT.

MAXIMUM DRIVEWAY SLOPE SHALL BE 8%

THE MAXIMUM, ALLOWABLE SLOPE IS 3:1 (HORIZONTAL TO VERTICAL) WITH A MAXIMUM ELEVATION DIFFERENCE OF 600MM.

DRIVEWAYS TO BE SET BACK A MINIMUM OF 1.0M, FROM ABOVE GROUND SERVICES OR OTHER OBSTRUCTION.

SURVEYOR'S CERTIFICATE

I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF THIS PROPERTY AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSAL TO EXISTING ADJACENT PROPERTIES AND MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERENCE TO THE PROPOSED GRADES AS SHOWN WILL PRODUCE ADEQUATE SURFACE DRAINAGE AND PROPER FACILITY OF THE MUNICIPAL SERVICES WITHOUT ANY DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OF ADJACENT PROPERTIES.

DATE

CHRIS BERESNIEWICZ
ONTARIO LAND SURVEYOR

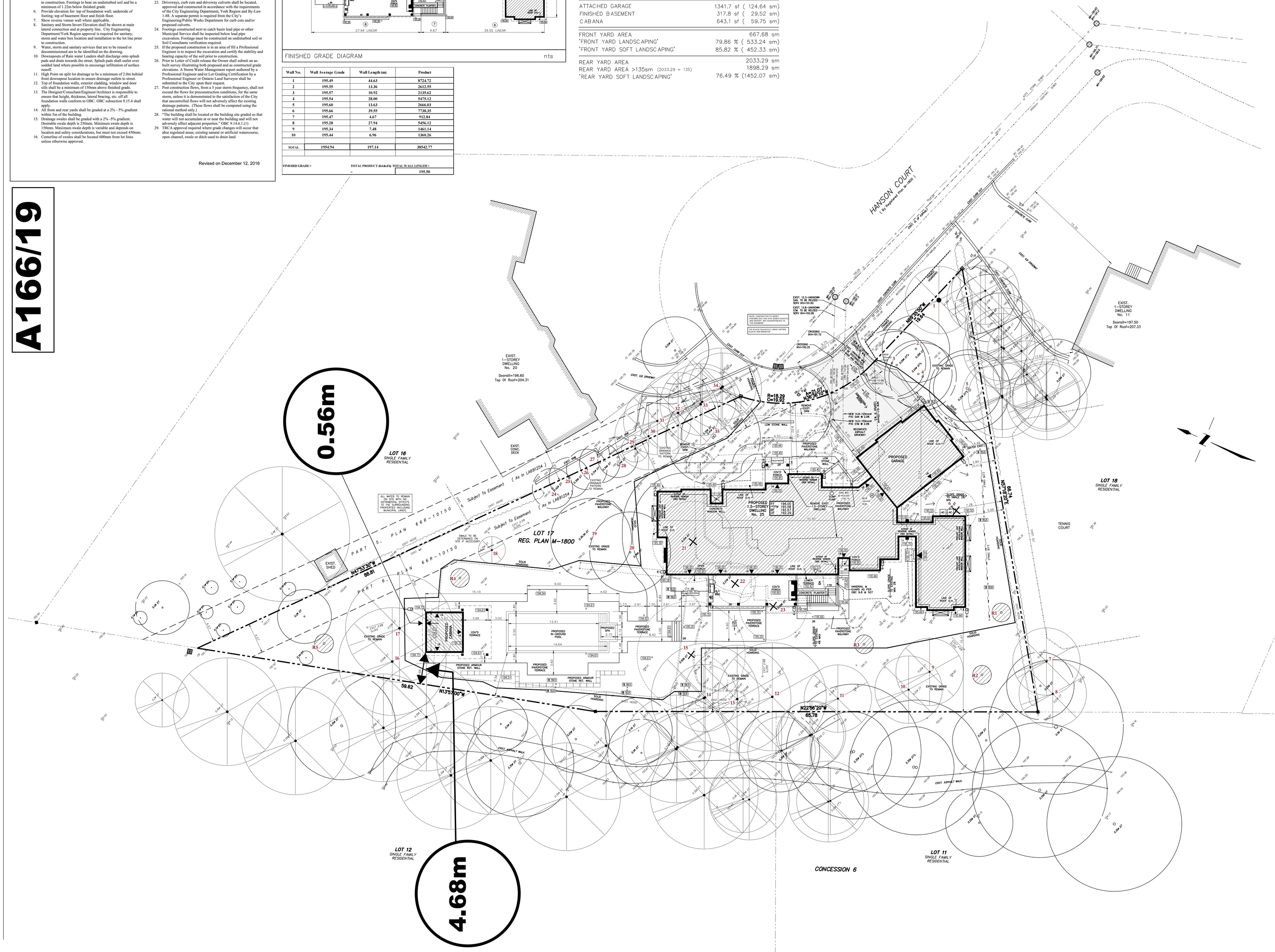
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIVISION C –3.2.5.1. OF THE 2006 ONTARIO BUILDING CODE.

Peter Giordono	SIGNATURE	25061
NAME		BCIN

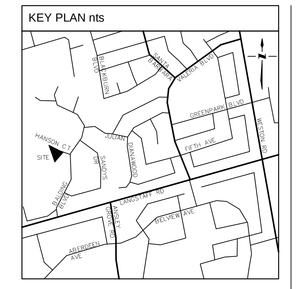
REGISTRATION INFORMATION REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIVISION C –3.2.4.1. OF THE 2006 ONTARIO BUILDING CODE.

DAVID W. SMALL DESIGNS INC.	29999
FIRM NAME	BCIN



1. To permit a minimum rear yard setback of 4.68 metres to the accessory building (cabana).
2. To permit a total lot coverage of 20.06% (for the 16.82% dwelling, 1.77% porch and 1.47% accessory building (cabana)).
3. To permit a maximum building height of 5.89 metres for the accessory building (cabana) to the highest point.
4. To permit a maximum eave and gutter encroachment of 0.56 metres for the accessory building (cabana).

KEY PLAN nts



BASE INFORMATION
BASE INFORMATION TAKEN FROM PLAN OF SURVEY BY YOUNG & YOUNG SURVEYING LTD. (OLS) DATED MARCH 8, 2017

LOCATION
LOT 17
REGISTERED PLAN M-1800
CITY OF VAUGHAN, REGIONAL MUNICIPALITY OF YORK

CITY BENCHMARK
ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE CITY OF VAUGHAN BENCHMARK NO. 5B-3, HAVING A PUBLISHED ELEVATION OF 166.04 METRES.

***TFW (TOP OF FOUNDATION WALL)**
TFW = FLOOR SILL PLATE ON INSIDE FACE OF FOUNDATION. EXTERIOR VENEER LEDGE VARIES WITH GRADE
–SEE REDUCED THICKNESS FOUNDATION WALL DETAIL & REVERSE VENEER DETAIL FOR FOUNDATION WALL LEDGE CONDITION ON OUTSIE FACE OF FOUNDATION WALLS.
–EXTENT OF EACH TYPE TO BE DETERMINED BY CONTRACTOR ON SITE DURING CONSTRUCTION.

NOTE:
CURB REINSTATEMENT AND CURB CUTS ARE TO BE DONE BY CITY FORCES AT OWNER'S EXPENSE

LEGEND

- 3R LOWER LEVEL ENTRY POINT
- 3R MAIN LEVEL ENTRY POINT
- PROPERTY LINE
- 102.05 EXISTING SPOT ELEVATION
- 101.80 PROPOSED SPOT ELEVATION
- DIRECTION OF SWALE
- DIRECTION OF DRAINAGE
- RAINWATER DOWNSPOUTS
- AC AIR CONDITIONER
- AD AREA DRAIN
- FRAMED HOARDING
- SOLID HOARDING
- SEDIMENT CONTROL FENCING (SEE DETAIL)
- 0.300 DIA. CONIFER DENOTES CONIFEROUS TREE (WITH TRUNK DIAMETER) TO REMAIN
- 0.300 DIA. DECID. DENOTES DECIDUOUS TREE (WITH TRUNK DIAMETER) TO REMAIN
- 0.300 DIA. DENOTES TREE (WITH TRUNK DIAMETER) TO BE REMOVED
- 0.300 DIA. DENOTES REPLACEMENT TREE. AS PER ARBORIST REPORT IS NATIVE SPECIES–(MIN. 60 mm CALIPER DECID., MIN. 1.8m HT. CONIF.)

NOTE: FOR REVERSE VENEER SEE DETAIL 1c/D1

NOTE:
CURB REINSTATEMENT AND CURB CUTS ARE TO BE DONE BY CITY FORCES AT OWNER'S EXPENSE

DO NOT SCALE DRAWINGS

NOTE:
1) Contractor to check all dimensions, specifications, etc. on site and shall be responsible for reporting any descrepancy to the engineer and/ or designer.
2) These plans are to remain the property of the designer and must be returned upon request. These plans must not be used in any other location without the written approval of the designer.
3) All works to be in accordance with the ONTARIO BUILDING CODE.

no.	date	revision / comment
10	NOV 22/19	REVISED AS PER LANDSCAPE PLAN
9	SEP 23/19	LANDSCAPE DESIGN COORDINATION
8	NOV 5/18	REVISED SITE STATS
7	JUNE 8/18	AS PER CITY COMMENTS
6	MAY 14/18	AS PER CITY LOT GRADING COMMENTS
5	APR 20/18	AS PER CLIENT REQUEST
4	NOV 16/17	AS PER CITY LOT GRADING COMMENTS
3	OCT 18/17	AS PER ARBORIST COORDINATION
2	OCT 04/17	BUILDING LOCATION & REAR LANDSCAPE
1	SEP 28/17	ISSUED FOR APPROVALS

project:
Custom Residence
The Bortolus Home
25 Hanson Court
LOT 17
REGISTERED PLAN M-1800
CITY OF VAUGHAN,
REGIONAL MUNICIPALITY OF YORK

drawing:
Site Plan

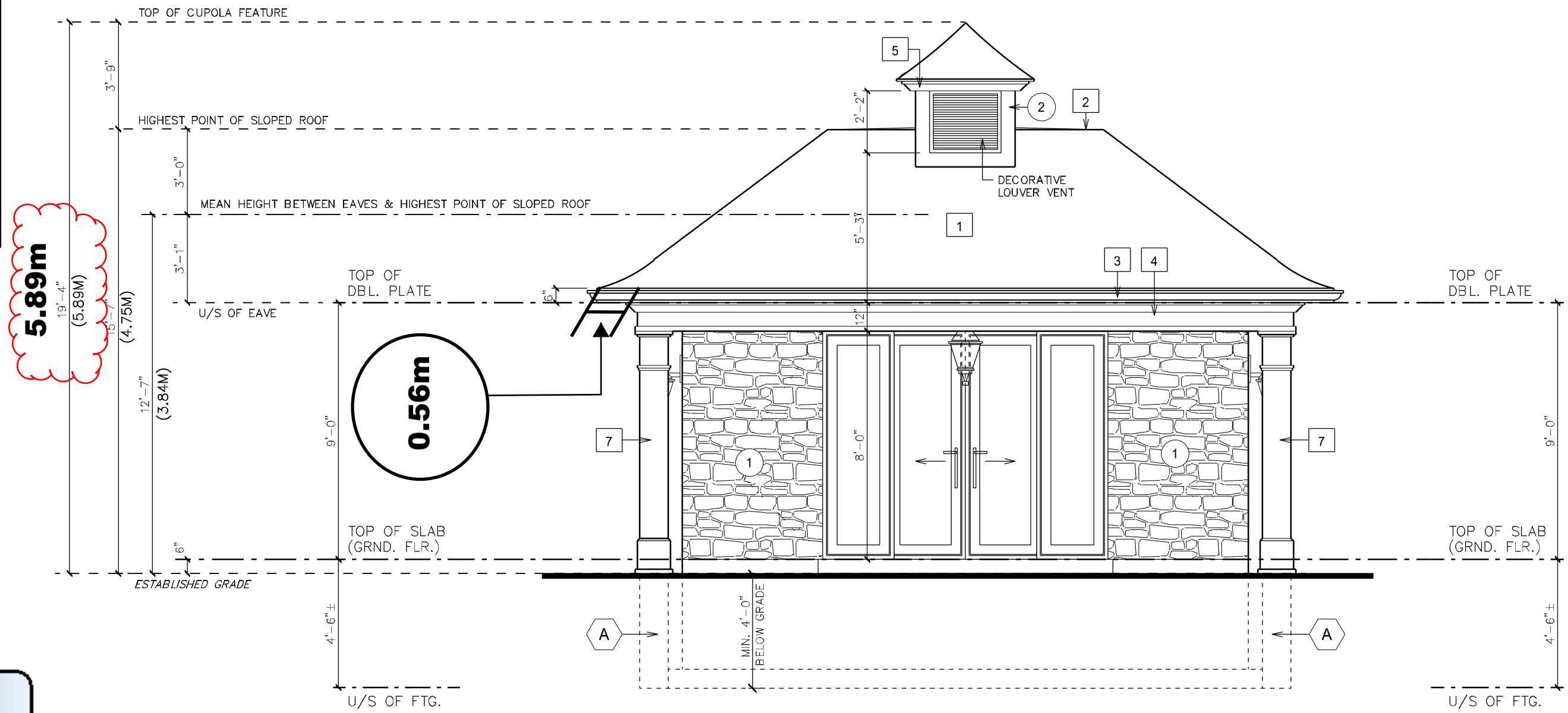
scale: 1:200
date: SEP 2017
dwn by: DO
proj. no.: 17-1488

SP

DAVID SMALL DESIGNS .COM

1440 Hurontario Street, Mississauga, ON L5G 3H4 PH 905.271.9100 FX 905.271.9109

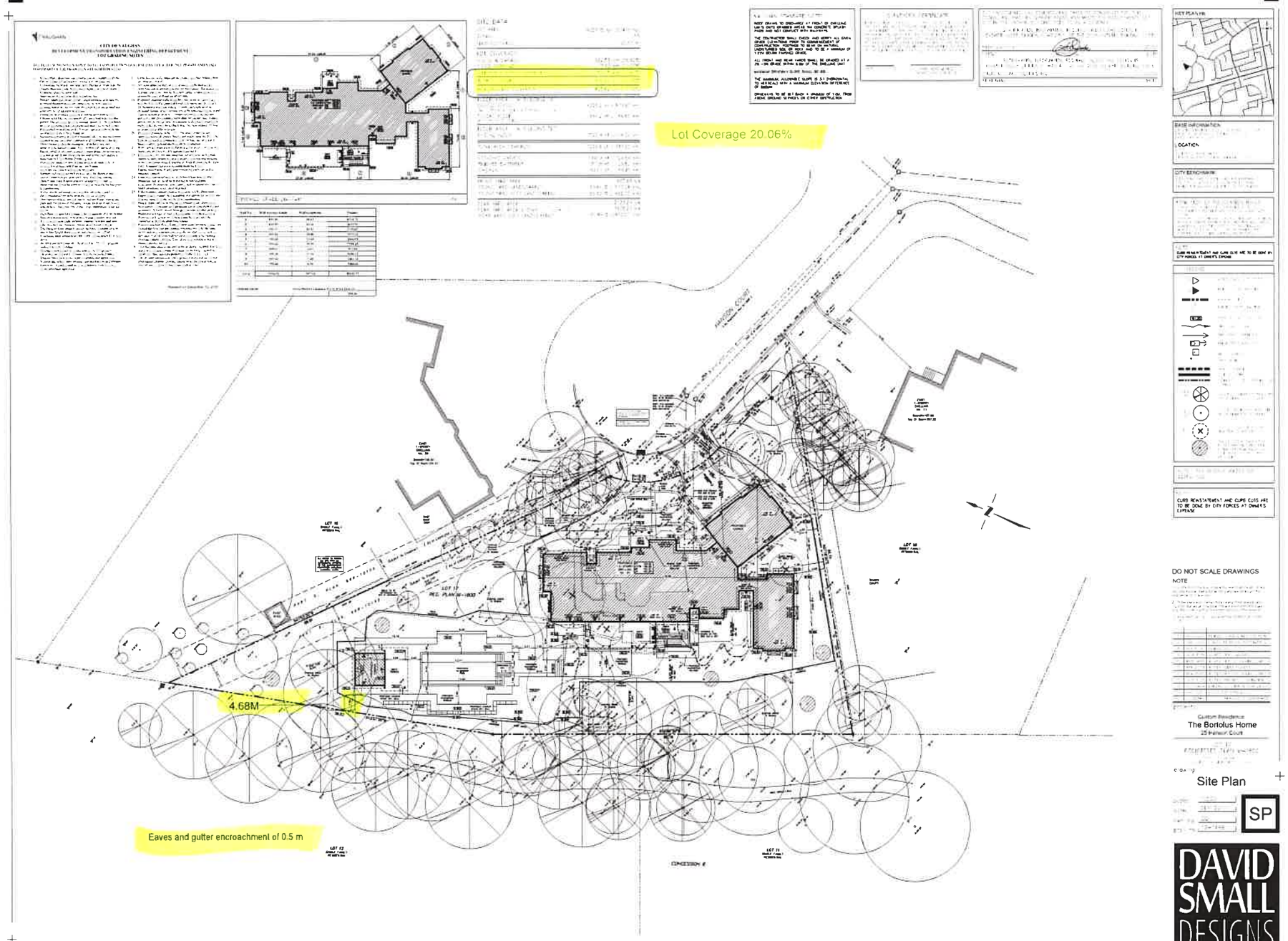
A166/19



Front Elevation

Revised
December 4, 2019

A166/19


Lot Coverage 20.06%
4.68M
Eaves and gutter encroachment of 0.5 m
DO NOT SCALE DRAWINGS
Custom Residence
The Bortolus Home
25 Hanover Court
Site Plan
SP
DAVID SMALL DESIGNS

Schedules

Wood Lintels / Beams

W1 2-2x6	W7 2-2x10	B13 3-2x12 LVL	B19 3-1/4" LVL	
W2 2-2x8	W8 3-2x10	B14 3-2x12 LVL	B20 3-1/4" LVL	
W3 2-2x8 Perlins	W9 4-2x10 Ridge	B15 3-2x12 LVL	B21 3-1/4" LVL	
W4 2-2x10	W10 5-2x10 LVL	B16 3-1/4" LVL	B22 3-1/4" LVL	
W5 2-2x10	W11 2-2x12 LVL	B17 3-1/4" LVL	B23 3-1/4" LVL	
W6 4-2x10 Bel	W12 2-2x12 LVL	B18 3-1/4" LVL	B24 3-1/4" LVL	

Note: where a stud (*) occurs left the shown, it is not actually multiply ply

Note:
(1) Engineered wood beams to be nom. 2-ply of wood and 1-3/4" in width, having depth as noted.
(2) 2000 + Simpson Strong Tie Strong Drive Heavy duty screw fasteners. Refer to manufacturer's installation instructions for screw patterns.

Columns / Posts

P1 2-2x6	P4 4-2x6	P6 3-2x4 P7 4-2x4	P8 5-2x4 P9 4x4	P10 6x6 P11 2-2x4	P12 4-2x6

C1	HSS 3.75x3.75x0.25" - Grade 350W Steel Hollow Structural Section	12'
C2	HSS 4x4x0.25" - Grade 350W Steel Hollow Structural Section	
C3	HSS 3.75x3.75x0.25" - Grade 350W Steel Hollow Structural Section	
C4	HSS 3.75x3.75x0.25" - Grade 350W Steel Hollow Structural Section	
C5	W10x49 Exposed steel post/beam	Typical unless noted
C6	W10x49 Exposed steel post/beam	

Steel Lintels

L1 3.5x3.5x1/4 L4"	L3 3.5x3.5x1/4	L5 4x4x1/4	
L2 3.5x3.5x1/4 L4"	L4 3.5x3.5x1/4	L6 3.5x4x1/4	

Steel Plates

WP1 = 6"x 6" x 1/2" - c/w 3/8" Diameter Anchor Bolts
WP2 = 6"x 6" x 1/2" - c/w 3/4" Diameter Anchor Bolts
WP3 = 12"x 6" x 1/2" - c/w 3/4" Diameter Anchor Bolts

12" c/w Anchor bolt

All Structural Steel to Conform To CSA G40.21-350W

Concrete Footings

BF0 1-Brown Bare Earth Area	F4 42"x42"x 16" Deep c/w 2-15M Bars
F1 24"x24"x 10" Deep	F5 30"x30"x 10" Deep c/w 2-15M Bars
F2 30"x30"x 10" Deep	F6 36"x36"x 10" Deep c/w 2-15M Bars
F3 36"x36"x 10" Deep	F7 48"x48"x 10" Deep c/w 2-15M Bars
	F8 60"x60"x 10" Deep c/w 2-15M Bars

- Strip footings below load bearing walls to have a min. 10" depth and minimum 8" width + 2-15M bars continuous.
- All footings to be on undisturbed soil, to be engineered fill certified by a geo engineer.
- The soil bearing capacity = 3.0 ksf (2,000 Psf) and to be verified by a geo engineer prior to pouring footings.

Refer to Sheet S1 for General Structural Notes

General Notes:

1. Do not scale drawings.
2. These plans are to remain the property of the designer and must be returned upon request. These plans must not be used in any form in conflict with all the written approval of the designer.
3. All work to be in accordance with the Ontario Building Code and all other relevant laws, CSA, etc. of Ontario.
4. Contractor to check all dimensions, specifications, etc. on site and shall be responsible for reporting any discrepancies to the engineer and/or designer.
5. Structural engineer to be notified prior to pouring of concrete to inspect footings and coordinating construction. Engineer will not certify walls or footings unless your engineer is consulted. If in the opinion of the contractor or in any the project engineer not have all engineering.
6. All wood frame window openings that exceed 48" wide or to have 2-2x6" jamb or bolted or bearing (typ. U.N.O.)
7. Attachments or changes made to the floor layout roof truss layout, beam, walls & point loads or required load bearing wall must be identified prior to construction and Develop. Small Designs Inc. and project engineer must be notified for further review and approval.
8. All shop drawings for precast units to be submitted for field review by EIC inspector prior to manufacturing and installation.
9. SDS + Simpson sidewing strong-drive heavy-duty screw fasteners. Refer to manufacturer's specs. For exact details see C1 for screw patterns.
10. Typical wall construction:
- Typical exterior walls to be 2x6 @ 16" O.C. (up to 12' high)
- R14 & 18 high exterior walls to be 2-2x6 spf #2 @ 12" o/c
- Typical interior walls to be 2x4 spf #2 @ 16" o/c (up to 12' high)
- R14 & 18 high interior walls to be 2-2x4 spf #2 @ 12" o/c
- A110 high interior basement walls to be 2x6 spf #2 @ 16" o/c
11. Where load bearing walls are not finished with drywall or an suitable interior finish, then backing or strapping shall be fastened to the stud at mid-height as per OBC 9.23.10.2.(1)(c).
12. Typical roof sheathing (plywood):
2x4 curbs @ 16" o/c on double top & single bottom plate (min. 16" above roof) c/w
14. Typical concrete reinforcement:
Reinforcement shall be as per OBC 9.3.1.5 or all exterior use.
15. All rigid insulation shall be protected from ultraviolet rays and shall be covered with a fire and thermal protection.
16. Specific details not typically shown to be similar to typical details on other areas of the house.
17. All electrical panels & communication equipment shall be installed in accordance with the requirements of the local utility supplier.
18. Protection from damp proofing:
All wood framing members that are not protected by the slab and which are supported on concrete in contact with ground or fill shall be separated from the concrete by min. 6mil polyethylene or type 45 roofing as per OBC 9.23.4.(1), 9.12.
19. Typical wood posts:
All wood post shall be by P.T.D.F.
20. Floor drain to be located in every mechanical room, laundry room, washroom and laundry room.
21. All windows and glass doors exceeding 24" above finished floor are recommended to be tempered glass.

General Basement Notes:

1. Typical poured concrete basement floor:
3" concrete slab c/w 6 mil poly vapor barrier on granular fill
2. Typical 24" interior load bearing wall:
24" wide x 48" (48" x 8") c/w 10 mil poly vapor barrier on 6" compacted crushed stone. 1-12" x 8" (24" x 8") c/w 15M x 8" deep poured concrete ftg. + 2-15M bars bottom continuous.
3. Typical basement wall stepping & insulation:
12" deep x 6" in depth c/w 2-15M bars @ 12" o/c stepped concrete. R12 batt insulation. Note: ftg. to match permanent drawings.
4. Typical poured concrete foundation walls:
10" poured concrete foundation wall on 24" wide x 8" deep concrete footing (typ. U.N.O.)
5. Beams and backfilling on unexcavated areas to be done between pouring and results in the walls to be of 1:1 Mix.
6. Foundation drainage weep holes to be 10mm diameter, 2'-0" O.C. and at corners. R 14.4.1.4.(1)
7. Typical basement floor height:
If ceiling height is 10'-0" or greater than mid or beams to be 9'-0" tall
If ceiling height is 9'-0" - 10'-0" than mid or beams to be 8'-6" tall
If ceiling height is less than 9'-0" than mid or beams to be 8'-0" tall
8. Floor drains to be located in every mechanical room, laundry room, washroom and laundry room.

General Roof Notes:

1. Typical flat roof specifications:
Rubber membrane roofing to meet sec. 3.2.1.7.(1) requirements, type 2 Ply Torch roofing & water proofing membrane, sand applied, cold process.
2. Provide continuous ice and water shield membrane over the entire roof on all roofs less than 4:12.
3. Typical roof vent calculation:
Roof area: (3.324.2 sf @ 1/300 = 7.75 (7.75/2 = 3.875 or min. 4

(A) Typical Brick Stone Veneer Wall
Brick or Stone Veneer
1" Air space
Tyvek or barrier on exterior over
1/2" plywood sheathing
2x6 wall stud @ 16" o.c.
R-28 Batt insulation
1/2" drywall on interior surface

(D) Typical Flat Roof
2-ply Modified Bitumen membrane roofing on 3/4" plywood roof sheathing on roof trusses, slope

(E) Typical Roof Insulation
5/8" gypsum board on the underside of the roof trusses, between the roof trusses

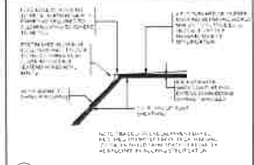
(L) 40 year asphalt shingles on 1/2" plywood roof sheathing on roof trusses

(M) Prefinished aluminum soffit c/w continuous vent

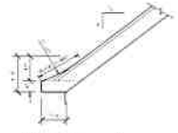
(P) 22" wide x 6" deep to 24" wide x deep c/w 2-15M x 15" rebar

(R) Typical Pool: See Gallery Grade
6" Reinforced Concrete Slab - Curing 28 Days Min. 5 MPa As Per Sales C2

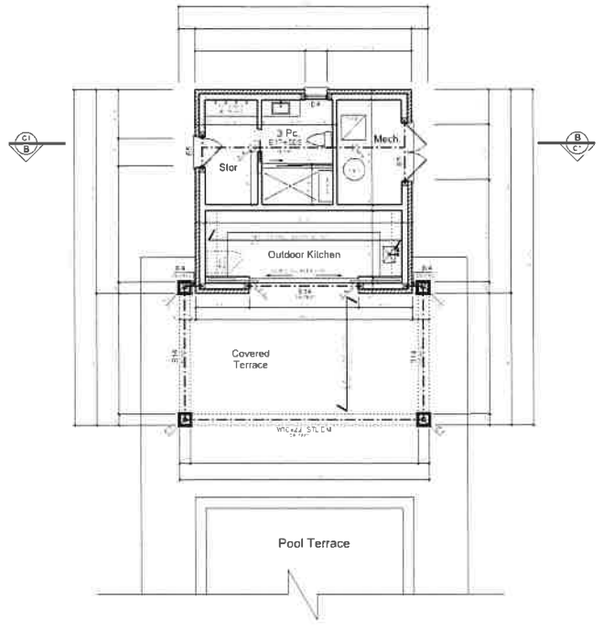
(1) 8" Poured Concrete Foundation Wall (Typical)



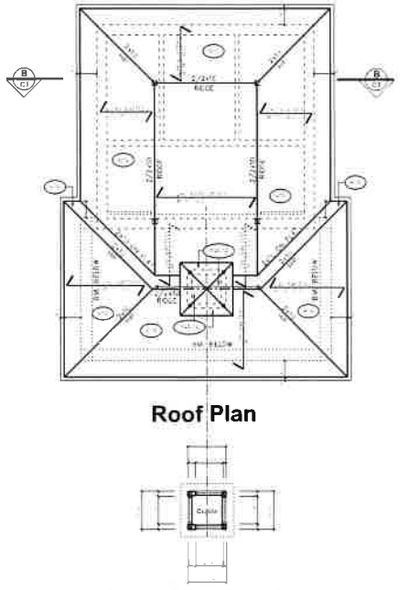
(2) Flat Roof Edge Flash Detail



(3) Typical Roof Flare Detail

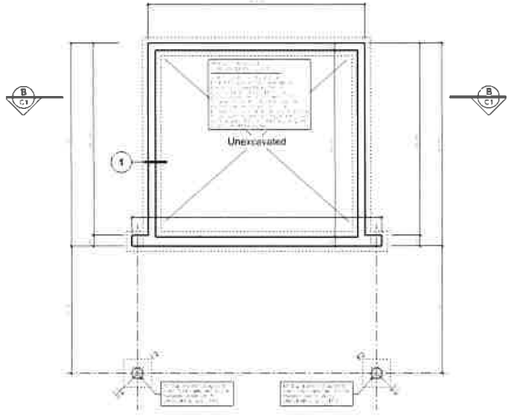


Ground Floor Plan

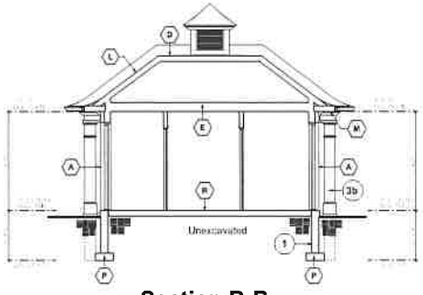


Roof Plan

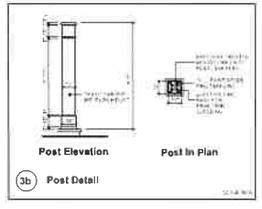
Part Plan- Cupola



Foundation Plan



Section B-B



(3b) Post Detail

Roof Notes

Ss= 1.1 kPa
Sr= 0.4 kPa

Note: all upper roof overhangs are to be 1'-6" (from stone face) U.N.O.

= Interior Load-Bearing Walls

Opening Legend

Sliding Door
Pocket Door
Archway
Swing Door
Glass Wall & Door
Surface Sliding Door

Drawing Legend

Joist direction
Post above
Floor drain
20"X28" Attic access hatch
Interconnected smoke alarm w/ visual indicator
Typical "P2" post U.N.O.

No.	date	revision / comment
1	Sep 11/19	Issued for Permit Revising Planning App.

Project:

The Bortolus Home
25 Hanson Court

Lot 17
Registered Plan M-1800
City of Vaughan
Regional Municipality of York

Drawing:

Cabana Floor Plans & Section B-B

Scale: 3/16"=1'-0"
Date: Sep. 2019
Dwn by: CD
Proj. no.: 17-1488

C1

DAVID SMALL DESIGNS .COM

1440 Huronteria Street, Mississauga, ON L5G 3H4 PH.905.271.9100 FX.905.271.9102

Elevation Notes

2 [illegible]

Note: Refer to roof plan for all roof slopes and overhang info

4 12" dia. Poured concrete Sono tube min. 48" below finished grade or to undisturbed soil. (Typ.)

Drawing Legend

1.0 Materials

1 Natural Stone to Match House

2 Painted Entry Door

2.0 Roofing

1 Laser Shingles

2 2 Ply Torched On Rubber Membrane Roof Repair To 2" To Outside Edge On 1/2" Plywood Roof Sheathing On Roof Trusses/Joists

3.0 Trim, Cornice, Moulding, & Gutter Notes

1 Prefinished Aluminum Gutter on 5" Prefinished Aluminum Fascia

Typical Cornice Trim

4 [illegible]

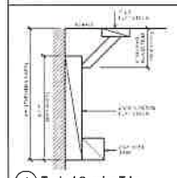
Typical Cornice Trim

5 [illegible]

5 [illegible]

4.0 Railing, Post

7 [illegible]

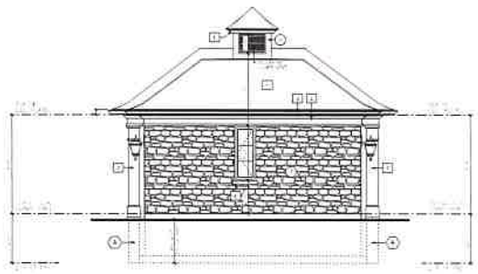


4 Typical Cornice Trim

SCALE: 1/5

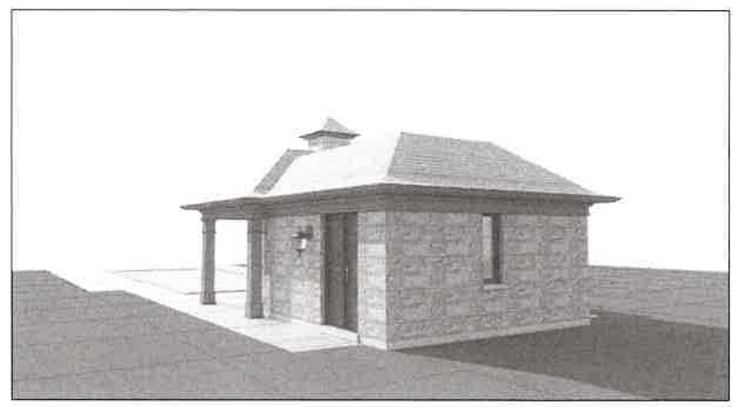
Front Elevation

Right-Side Elevation



Rear Elevation

Left-Side Elevation



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
Qualification information required unless the design is exempt under Division C - 3.2.5.1. of the 2012 Ontario Building code

Peter Sarraino — Signature — 20141 — BCIN

Registration information required unless the design is exempt under Division C - 3.2.4.1. of the 2012 Ontario Building Code

David M. Small Designs Inc. — 20846 — Firm BCIN

No.	Date	Revision / Comment
2	[illegible]	Client Requested Revisions
1	[illegible]	Issued to Owner for Building Permit Application

Project:

The Bortolus Home
25 Hanson Court

Lot 17
Registered Plan M-1800
City of Vaughan
Regional Municipality of York

Drawing:

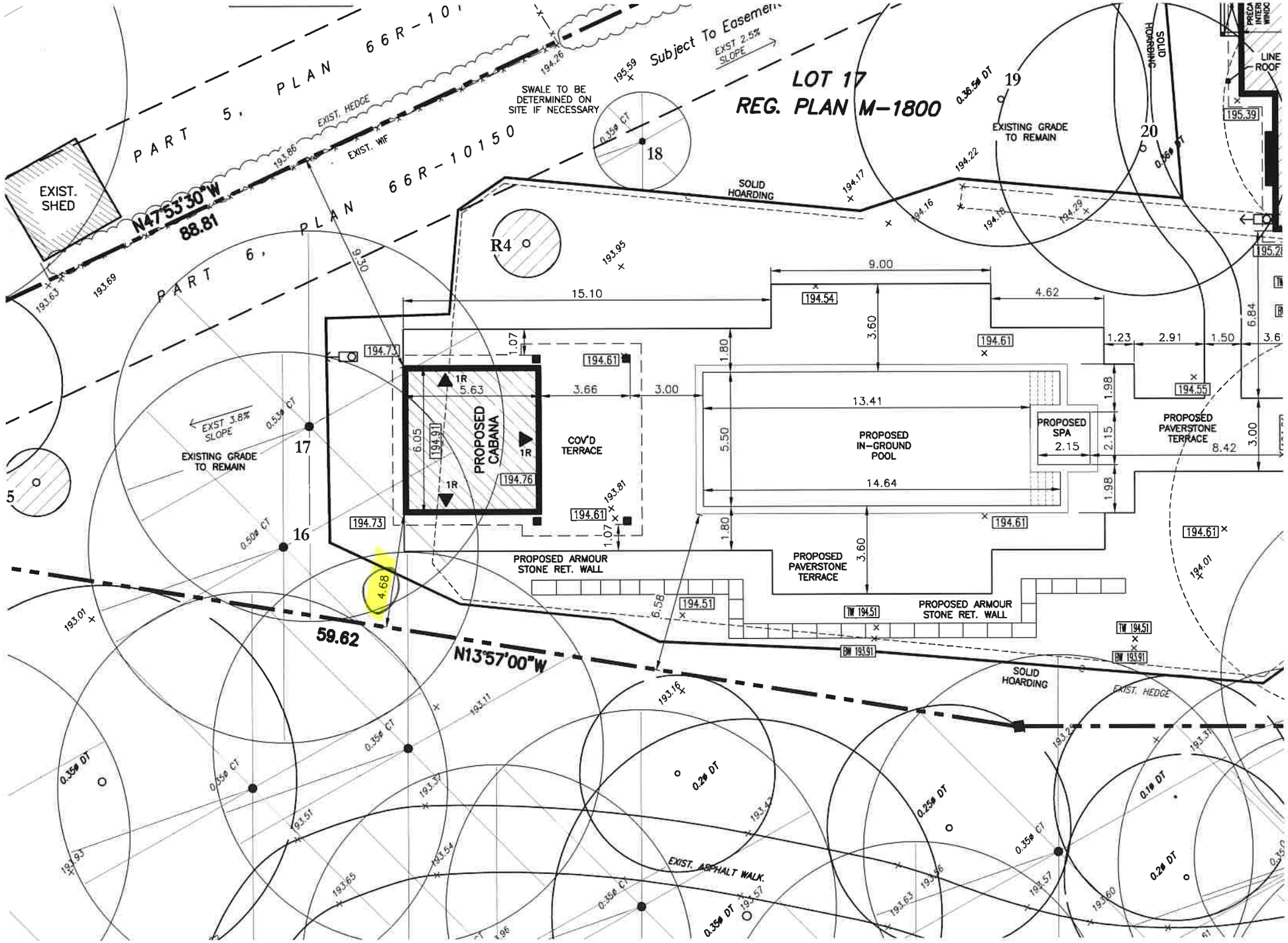
Cabana Elevations

Scale: 3/16"=1'-0"
Date: Sep 2019
Dwn by: CD
Proj no.: 17-1486

C2

DAVID SMALL DESIGNS .COM

1440 Huronto Street, Mississauga, ON L5G 3H4 PH 905.271.9100 FX 905.271.9109


LOT 17
REG. PLAN M-1800
PART 5, PLAN 66R-10150
PART 6, PLAN 66R-10150
Subject To Easement
EXIST. 2.5% SLOPE
EXIST. HEDGE
EXIST. WIF
SWALE TO BE DETERMINED ON SITE IF NECESSARY
EXIST. SHED
N47°53'30"W
88.81
SOLID HOARDING
EXISTING GRADE TO REMAIN
EXIST. 3.8% SLOPE
PROPOSED CABANA
COV'D TERRACE
PROPOSED IN-GROUND POOL
PROPOSED SPA
PROPOSED PAVERSTONE TERRACE
PROPOSED ARMOUR STONE RET. WALL
59.62
N13°57'00"W
EXIST. ASPHALT WALK.
LINE OF ROOF

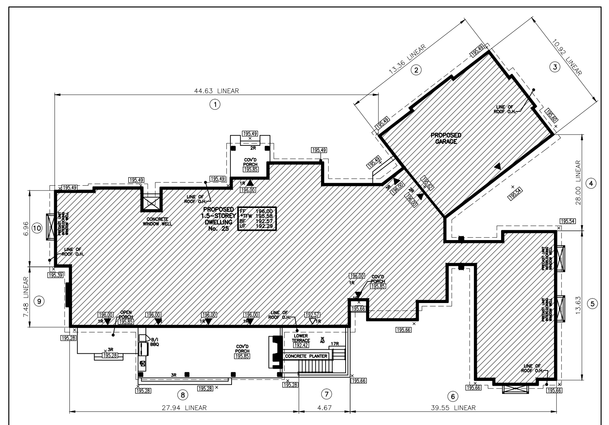
VAUGHAN

CITY OF VAUGHAN
DEVELOPMENT/TRANSPORTATION ENGINEERING DEPARTMENT
LOT GRADING NOTES

THE FOLLOWING NOTES APPLY TO THE CONSTRUCTION GOVERNED BY THE REFERENCE PERMIT AND SHALL FORM PART OF THE DRAWINGS ATTACHED HERETO:

1. All site plans, drawings and construction shall comply with the City of Vaughan Lot Grading Criteria, City of Vaughan Engineering Standards, and applicable Provincial Standards, the Ontario Building Code, Subdivision Agreement and By-Law 1-88 unless otherwise approved.
2. Approval of this site plan does not release the Builder/Applicant/Owner of their responsibilities to ensure the proposed drainage works are compatible with the overall drainage within the subdivision. Proposed lot drainage shall not adversely affect adjacent properties.
3. Alterations to existing grades shall not be permitted within 600mm of lot lines unless specifically approved as part of this permit. The approved grading/drainage pattern for this lot/block shall be maintained and alterations not approved as part of this Permit shall be restored by the Builder/Applicant/Owner to the satisfaction of the City of Vaughan.
4. Sedimentation/siltation control measures shall be installed prior to construction and offset a minimum of 600mm from lot lines. These measures shall be maintained in order to prevent adversities to adjacent lands. Refer to attached sample drawing.
5. Builder shall verify existing and proposed grade elevations prior to construction. Footings to bear on undisturbed soil and be a minimum of 1.22m below finished grade.
6. Provide elevation for: top of foundation wall; underside of footing; top of basement floor and finish floor.
7. Show reverse veneer wall where applicable.
8. Sanitary and Storm Invert Elevation shall be shown at main lateral connection and at property line. City Engineering Department/York Region approval is required for sanitary, storm and water box location and installation to the lot line prior to construction.
9. Water, storm and sanitary services that are to be reused or decommissioned are to be identified on the drawing.
10. Downspouts of Rain water Leaders shall discharge onto splash pads and drain towards the street. Splash pads shall outlet over sodded land where possible to encourage infiltration of surface runoff.
11. High Point on split lot drainage to be a minimum of 2.0m behind front downspout location to ensure drainage outlets to street.
12. Top of foundation walls, exterior cladding, window and door sills shall be a minimum of 150mm above finished grade.
13. The Designer/Consultant/Engineer/Architect is responsible to ensure that height, thickness, lateral bracing, etc. off all foundation walls conform to OBC. OBC subsection 9.15.4 shall apply.
14. All front and rear yards shall be graded at a 2% - 5% gradient within 5m of the building.
15. Drainage swales shall be graded with a 2% -5% gradient. Desirable swale depth is 250mm. Minimum swale depth is 150mm. Maximum swale depth is variable and depends on location and safety considerations, but must not exceed 450mm.
16. Centerline of swales shall be located 600mm from lot lines unless otherwise approved.
17. Centerline of swales must not be located less than 600mm from any foundation wall.
18. Artificial embankments and or retaining walls shall not be permitted unless approved as part of this Permit. The maximum embankment slope shall be 3:1 (horizontal to vertical) with a maximum grade differential of 600mm.
19. Proposed retaining walls are to be constructed in accordance with the City of Vaughan Lot Grading Criteria and By-Law 1-88. Retaining walls exceeding 1.0 metre in height shall be designed, inspected and certified by a Professional Engineer and shall be served by guards or otherwise treated to reduce any public hazard. All retaining walls shall be constructed of stone, precast blocks or concrete. A retaining wall which exceeds 1.0 metre in height must be set back from the nearest property line or distance equal to its height.
20. Driveway grades shall be 1.5% - 8% and compatible with approved sidewalk grades. Boulevard grades shall be 2% - 5%.
21. Driveways shall be a minimum of 1.0m from any tree, catch basin or above ground utility or other obstruction.
22. Water service stops are to be located in the grass portion of the front yard, as per City of Vaughan Standard I-1.
23. Driveways, curb cuts and driveway culverts shall be located, approved and constructed in accordance with the requirements of the City Engineering Department, York Region and By-Law 1-88. A separate permit is required from the City's Engineering/Public Works Department for curb cuts and/or proposed culverts.
24. Footings constructed next to catch basin lead pipe or other Municipal Service shall be inspected below lead pipe excavation. Footings must be constructed on undisturbed soil or Soil Consultants verification required.
25. If the proposed construction is in an area of fill a Professional Engineer is to inspect the excavation and certify the stability and bearing capacity of the soil prior to construction.
26. Prior to Letter of Credit release the Owner shall submit an as-built survey illustrating both proposed and as constructed grade elevations. A Storm Water Management report authored by a Professional Engineer and/or Lot Grading Certification by a Professional Engineer or Ontario Land Surveyor shall be submitted to the City upon their request.
27. Post construction flows, from a 5 year storm frequency, shall not exceed the flows for preconstruction conditions, for the same storm, unless it is demonstrated to the satisfaction of the City that uncontrolled flows will not adversely affect the existing drainage patterns. (These flows shall be computed using the rational method only.)
28. "The building shall be located or the building site graded so that water will not accumulate at or near the building and will not adversely affect adjacent properties." OBC 9.14.6.1.(1)
29. TRCA approval required where grade changes will occur that abut regulated areas; existing natural or artificial watercourse, open channel, swale or ditch used to drain land.

Revised on December 12, 2016



FINISHED GRADE DIAGRAM nts

Wall No.	Wall Average Grade	Wall Length (m)	Product
1	195.49	44.63	8724.72
2	195.55	13.36	2612.55
3	195.57	10.92	2135.62
4	195.54	28.00	5475.12
5	195.60	13.63	2666.03
6	195.66	39.55	7738.35
7	195.47	4.67	912.84
8	195.28	27.94	5456.12
9	195.34	7.48	1461.14
10	195.44	6.96	1360.26
TOTAL	1954.94	197.14	38542.77

FINISHED GRADE = TOTAL PRODUCT divided by TOTAL WALL LENGTH =
195.50

SITE DATA

LOT AREA	4058.15 sm (0.406 ha)
ZONING	RR
FINISHED GRADE	195.50 m
LOT COVERAGE	
HOUSE & GARAGE	682.53 sm (16.82%)
COVD PORCHES	71.97 sm (1.77%)
CABANA + COVD TERRACE	59.75 sm (1.47%)
TOTAL COVERAGE	814.25 sm (20.06%)
MAX. ALLOWED COVERAGE	405.82 sm (10.00%)
FLOOR AREA – BUILDING "A"	
GROUND FLOOR (INC. 133.3sf OF STAIRS & 1341.7sf OF GARAGE)	6226.2 sf (578.41 sm)
SECOND FLOOR (INC. 85.3sf OF STAIRS)	587.2 sf (54.55 sm)
FLOOR AREA – BUILDING "B"	
GROUND FLOOR	1120.4 sf (104.09 sm)
TOTAL AREA COMBINED	7933.8 sf (737.05 sm)
ATTACHED GARAGE	1341.7 sf (124.64 sm)
FINISHED BASEMENT	317.8 sf (29.52 sm)
CABANA	643.1 sf (59.75 sm)
FRONT YARD AREA	667.68 sm
'FRONT YARD LANDSCAPING'	79.86 % (533.24 sm)
'FRONT YARD SOFT LANDSCAPING'	85.82 % (452.33 sm)
REAR YARD AREA	2033.29 sm
REAR YARD AREA >135sm (2033.29 – 135)	1898.29 sm
'REAR YARD SOFT LANDSCAPING'	76.49 % (1452.07 sm)

VAUGHAN STANDARD NOTES

ROOF DRAINS TO DISCHARGE AT FRONT OF DWELLING UNITS ONTO GRASSED AREAS VIA CONCRETE SPLASH PADS AND NOT CONFLICT WITH WALKWAYS.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL GIVEN GRADE ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. FOOTINGS TO BEAR ON NATURAL UNDISTURBED SOIL OR ROCK AND TO BE A MINIMUM OF 1.22M BELOW FINISHED GRADE.

ALL FRONT AND REAR YARDS SHALL BE GRADED AT A 2% –5% GRADE WITHIN 6.0M OF THE DWELLING UNIT.

MAXIMUM DRIVEWAY SLOPE SHALL BE 8%

THE MAXIMUM, ALLOWABLE SLOPE IS 3:1 (HORIZONTAL TO VERTICAL) WITH A MAXIMUM ELEVATION DIFFERENCE OF 600MM.

DRIVEWAYS TO BE SET BACK A MINIMUM OF 1.0M, FROM ABOVE GROUND SERVICES OR OTHER OBSTRUCTION.

SURVEYOR'S CERTIFICATE

I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF THIS PROPERTY AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSAL TO EXISTING ADJACENT PROPERTIES AND MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERENCE TO THE PROPOSED GRADES AS SHOWN WILL PRODUCE ADEQUATE SURFACE DRAINAGE AND PROPER FACILITY OF THE MUNICIPAL SERVICES WITHOUT ANY DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OF ADJACENT PROPERTIES.

DATE

CHRIS BERESNIEWICZ
ONTARIO LAND SURVEYOR

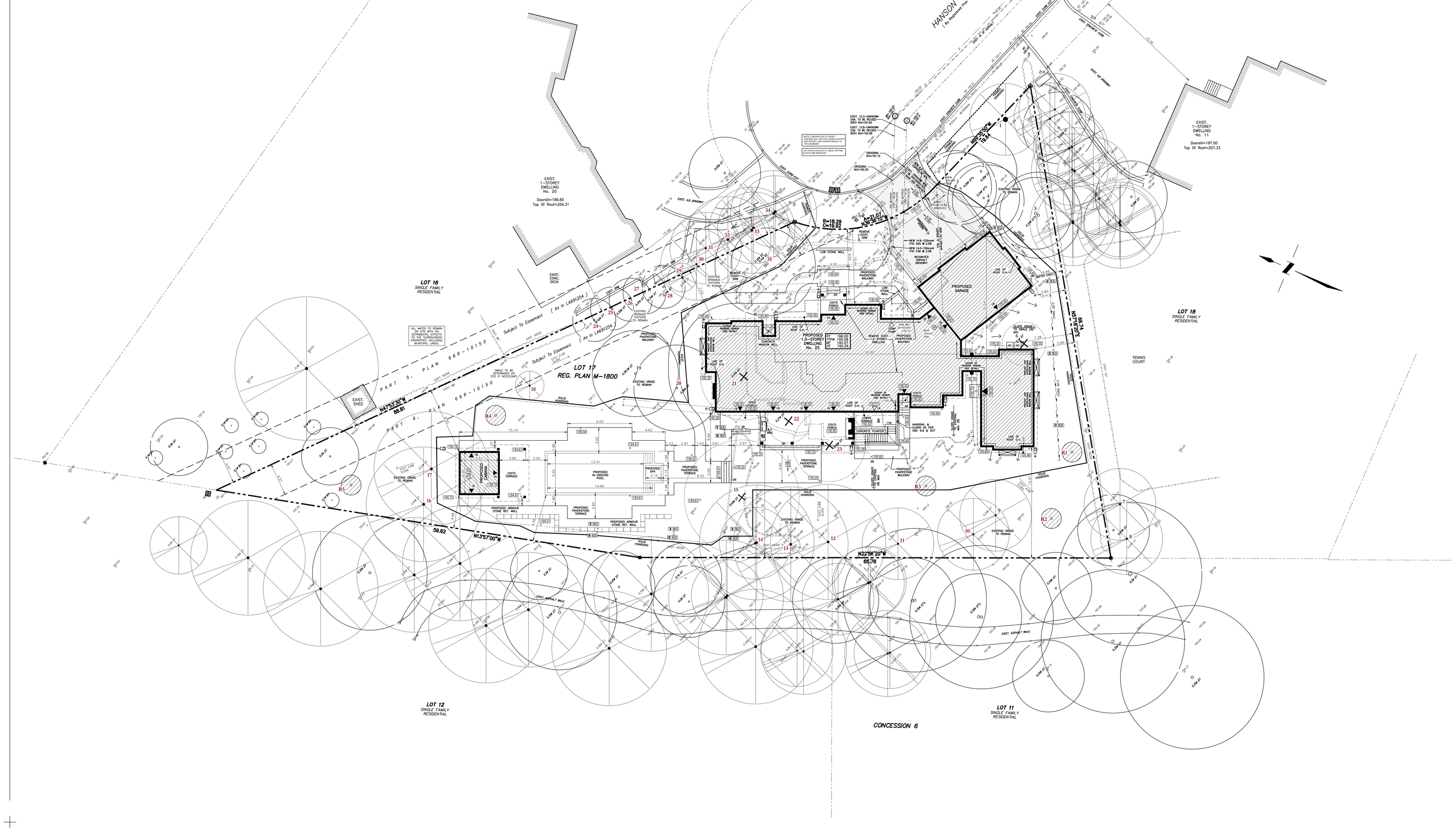
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIVISION C –3.2.5.1. OF THE 2006 ONTARIO BUILDING CODE.

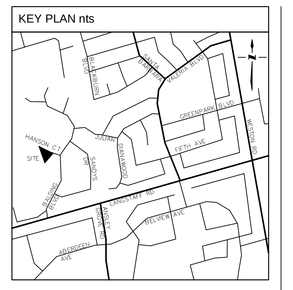
Peter Giordono	SIGNATURE	25061
NAME		BCIN

REGISTRATION INFORMATION REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIVISION C –3.2.4.1. OF THE 2006 ONTARIO BUILDING CODE.

DAVID W. SMALL DESIGNS INC.	29999
FIRM NAME	BCIN



KEY PLAN nts



BASE INFORMATION
BASE INFORMATION TAKEN FROM PLAN OF SURVEY BY YOUNG & YOUNG SURVEYING LTD. (OLS) DATED MARCH 8, 2017

LOCATION
LOT 17
REGISTERED PLAN M-1800
CITY OF VAUGHAN, REGIONAL MUNICIPALITY OF YORK

CITY BENCHMARK
ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE CITY OF VAUGHAN BENCHMARK NO. 3B-3, HAVING A PUBLISHED ELEVATION OF 166.04 METRES.

***TFW (TOP OF FOUNDATION WALL)**
TFW = FLOOR SILL PLATE ON INSIDE FACE OF FOUNDATION. EXTERIOR VENEER LEDGE VARIES WITH GRADE
–SEE REDUCED THICKNESS FOUNDATION WALL DETAIL & REVERSE VENEER DETAIL FOR FOUNDATION WALL LEDGE CONDITION ON OUTSIE FACE OF FOUNDATION WALLS.
–EXTENT OF EACH TYPE TO BE DETERMINED BY CONTRACTOR ON SITE DURING CONSTRUCTION.

NOTE:
CURB REINSTATEMENT AND CURB CUTS ARE TO BE DONE BY CITY FORCES AT OWNER'S EXPENSE

LEGEND

- 3R — LOWER LEVEL ENTRY POINT
- 3R — MAIN LEVEL ENTRY POINT
- PROPERTY LINE
- 102.05 — EXISTING SPOT ELEVATION
- 101.80 — PROPOSED SPOT ELEVATION
- DIRECTION OF SWALE
- DIRECTION OF DRAINAGE
- RAINWATER DOWNSPOUTS
- AC — AIR CONDITIONER
- AD — AREA DRAIN
- FRAMED HOARDING
- SOLID HOARDING
- SEDIMENT CONTROL FENCING (SEE DETAIL)
- D.BIRCH 10.16cm — DENOTES CONIFEROUS TREE (WITH TRUNK DIAMETER) TO REMAIN
- D.MAPLE 10.16cm — DENOTES DECIDUOUS TREE (WITH TRUNK DIAMETER) TO REMAIN
- D.MAPLE 10.16cm — DENOTES TREE (WITH TRUNK DIAMETER) TO BE REMOVED
- D.MAPLE 10.16cm — DENOTES REPLACEMENT TREE. AS PER ARBORIST REPORT IS NATIVE SPECIES–(MIN. 60 mm CALIPER DECID., MIN. 1.8m HT. CONIF.)

NOTE: FOR REVERSE VENEER SEE DETAIL 1c/D1

NOTE:
CURB REINSTATEMENT AND CURB CUTS ARE TO BE DONE BY CITY FORCES AT OWNER'S EXPENSE

DO NOT SCALE DRAWINGS

NOTE:
1) Contractor to check all dimensions, specifications, etc. on site and shall be responsible for reporting any descrepancy to the engineer and/ or designer.
2) These plans are to remain the property of the designer and must be returned upon request. These plans must not be used in any other location without the written approval of the designer.
3) All works to be in accordance with the ONTARIO BUILDING CODE.

no.	date	revision / comment
10	NOV 22/19	REVISED AS PER LANDSCAPE PLAN
9	SEP 23/19	LANDSCAPE DESIGN COORDINATION
8	NOV 5/18	REVISED SITE STATS
7	JUNE 8/18	AS PER CITY COMMENTS
6	MAY 14/18	AS PER CITY LOT GRADING COMMENTS
5	APR 20/18	AS PER CLIENT REQUEST
4	NOV 16/17	AS PER CITY LOT GRADING COMMENTS
3	OCT 18/17	AS PER ARBORIST COORDINATION
2	OCT 04/17	BUILDING LOCATION & REAR LANDSCAPE
1	SEP 28/17	ISSUED FOR APPROVALS

project:

Custom Residence
The Bortolus Home
25 Hanson Court

LOT 17
REGISTERED PLAN M–1800
CITY OF VAUGHAN,
REGIONAL MUNICIPALITY OF YORK

drawing:

Site Plan

scale: 1:200
date: SEP 2017
dwn by: DO
proj. no.: 17–1488

SP

DAVID SMALL DESIGNS .COM

1440 Hurontario Street, Mississauga, ON L5G 3H4 PH 905.271.9100 FX 905.271.9109

Schedules

Wood Lintels / Beams

B1 2-2x8	B7 2-2x12	B13 1-9.5" LVL	B19 1-14" LVL
B2 3-2x8	B8 3-2x12	B14 2-9.5" LVL	B20 2-14" LVL
B3 4-2x8 Bolted	B9 4-2x12 Bolted	B15 3-9.5" LVL	B21 3-14" LVL
B4 2-2x10	B10 1-7.25" LVL	B16 1-11.88" LVL	B22 1-16" LVL
B5 3-2x10	B11 2-7.25" LVL	B17 2-11.88" LVL	B23 2-16" LVL
B6 4-2x10 Bolted	B12 3-7.25" LVL	B18 3-11.88" LVL	B24 3-16" LVL

Note: where solid (1) piece lumber shown - do not substitute multiple ply.

Note:
1). Engineered wood beams to be min. 2.0e or equal and 1-3/4" in width. Nailing pattern see S1.
2). 'SDS' = Simpson Strong-Tie Strong-Drive heavy-duty connector screws. Refer to manuf. specs. for exact details (see typ. detail screw patterns)

Columns / Posts

P2 2-2x6	P4 4-2x6	P6 3-2x4	P8 5-2x4	P10 6x6	P12 4-2x8
P3 3-2x6	P5 5-2x6	P7 4-2x4	P9 4x4	P11 3-2x8	

C1 HSS 3.5"x3.5"x0.25" - Brg. Plate 6"x 5/8"x 10" + (2) 5/8" Dia. A.B
C2 HSS 4"x4"x0.312" - Brg. Plate 10"x 3/4"x 10" + (2) 3/4" Dia. A.B
C3 HSS 5"x3"x 0.375" - Brg. Plate 11"x 3/4"x 11" + (2) 3/4" Dia. A.B
C4 HSS 5"x5"x 0.375" - Brg. Plate 11"x 1"x 11" + (2) 3/4" Dia. A.B
S1 W10x49 Exposed steel post/beam
S2 W12x40 Exposed steel post/beam

12" | 3" Typical anchor bolt

Steel Lintels

L1 3.5" x 3.5" x 1/4"	L3 5" x 3.5" x 5/16"	L5 6" x 4" x 3/8"
L2 5" x 3.5" x 1/4"	L4 5" x 3.5" x 3/8"	L6 7" x 4" x 1/2"

Steel Plates

WP1 = 6"x 5/8"x 10" + (2) 5/8" Diameter Anchor Bolts
WP2 = 6"x 7/8"x 14" + (2) 3/4" Diameter Anchor Bolts
WP3 = 11" x 1" x 11" + (2) 3/4" Diameter Anchor Bolts

12" | 2" Anchor bolt

All Structural Steel to Conform To G40.21-350W

Concrete Footings

BEW = Bottom Bars Each Way	
	F4 42" x 42" x 16" Deep c/w 5-15M BEW
	F5 48" x 48" x 16" Deep c/w 5-15M BEW
F1 24" x 24" x 12" Deep	F6 54" x 54" x 18" Deep c/w 7-15M BEW
F2 30" x 30" x 14" Deep	F7 60" x 60" x 18" Deep c/w 7-15M BEW
F3 36" x 36" x 16" Deep	F8 66" x 66" x 20" Deep c/w 9-15M BEW

> Strip footings below load bearing walls to have a min. 6" projection minimum 8" in depth + 2-15m bottom continuous
> All footings to bear on undisturbed soil, rock or engineered fill certified by soils engineer
> Min. soil bearing capacity = SLS 120 Kpa (2500 Psf) and to be verified by soils engineer prior to pouring footings

Refer to Sheet S1 for General Structural Notes

General Notes:

1. Do not scale drawings

2. These plans are to remain the property of the designer and must be returned upon request. These plans must not be used in any other location without the written approval of the designer.

3. All works to be in accordance with the ontario building code and all code references refer to OBC 2012 division 'B'

4. Contractor to check all dimensions, specifications, etc. on site and shall be responsible for reporting any discrepancy to the engineer and/ or designer.

5. Structural engineer to be notified prior to pouring of concrete to inspect re-bar set-up during construction - engineer will not certify walls or footing/slabs unless prior inspection is conducted - it is the responsibility of the contractor to notify the project engineer and make all arrangements.

6. All wood framed window openings that exceed 48" wide are to have 2/2"x6" plates @ bottom of opening (typical.) U.N.O.

7. Adjustments or changes made to the floor layout roof truss layout, beams, lentils & point loads or required load bearing walls must be identified prior to construction and David w. Small Designs Inc. and project engineer must be notified for further review and approval.

8. All shop drawings for precast units to be submitted for field review by site inspector prior to manufacturing and installation

9. 'SDS' = Simpson stuttering strong-drive heavy-duty connector screws. Refer to manful. Specs. For exact details (see S1 for screw patterns)

10. Typical wall stud construction

• Typical exterior walls to be 2x6 spf #2 @ 16" o/c. (up to 13' high)
• All 14' & 16' high exterior walls to be 2/2x6 spf #2 @ 12" o/c.
• Typical interior walls to be 2x6 spf #2 @ 16" o/c. (up to 13' high)
• All 14' & 16' high interior walls to be 2/2x6 spf #2 @ 12" o/c.
• All 10' high interior basement walls to be 2x6 spf #2 @ 16" o/c.

11. Where load bearing walls are not finished with drywall or a suitable interior finish, then blocking or strapping shall be fastened to the stud at mid-height as per OBC. 9.23.10.2.(2)(5)

13. Typical non load bearing partition

2x4 studs @16" o/c c/w double top & single bottom plate provide 1/2" drywall b/s

14. Typical bathroom reinforcement

Stud reinforcement required as per OBC. 9.5.2.3 in all bathrooms

15. All rigid or spray foam exposed interior insulation to be covered w/ taped and 'mudded' drywall

16. Specific location of hydro meter to be established by local utility on exterior of the house

17. All electrical panels & components to comply with OBC. 9.34. & specific requirements of the local utility supplier

18. Protection from dampness

All wood framing members that are not pressure treated & which are supported on concrete. In contact with ground or fill shall be separated from the concrete. by min. 5mil polyethylene or type s roll roofing as per OBC 9.23.2.3.(1) & (2)

19. Typical wood posts

All wood post shown to be 'P3' U.N.O.

20. Floor drains to be located in every mechanical room, lower terrace, window well and laundry room.

21. All windows and glass doors less than 24" above finished floor are recommended to be tempered glass.

General Basement Notes:

1. Typical poured concrete basement floor

3" concrete slab c/w 6 mil poly vapor barrier on granular fill

2. Typical 2x6 interior load bearing wall

2x6 stud wall (@ 16" o.c.) on 10 mil poly moisture barrier on 6" concrete curb (anchored w/ 1/2" a.b. @ 4'-0" o.c.) on 18" x 8" deep poured concrete ftg. + 2-15m bars bottom continuous

3. Typical basement wall strapping with insulation

1/2" drywall on 6 mil poly v.b. on full ht. 2x4 studs @ 16" o/c strapping c/w min. R12 batt insul'n + r10ci or min. R20ci (typ. for entire perimeter of new bsmt.)

4. Typical poured concrete foundation walls

10" poured concrete foundation wall on 22" wide x 8" deep concrete footing (typ. U.n.o.)

5. Ensure soil backfilling on unexcavated spaces is done balanced placing soil equally on both sides to avoid collapse

6. Foundation drainage layer to comply with ont. Reg. 332/12 and subsection 9.14.2. And 9.14.4.

7. Typical interior door heights

If ceiling height is 10'-0" or greater than interior doors to be 8'-0" tall
If ceiling height is 9'-0" - 10'-0" than interior doors to be 7'-6" tall
If ceiling height is less than 9'-0" than interior doors to be 6'-8" tall

8. Floor drains to be located in every mechanical room, lower terrace, window well and laundry room.

General Roof Notes:

1. Typical flat roof specifications

Rubber membrane roofing to meet obc. 9.26.2.1.(g) requirements cgsb 37-gp-52m roofing & waterproofing membrane, sheet applied, elastomeric

2. Provide continuous ice and water shield membrane over sheathing on all roofs less than 4/12

3. Typical roof vent calculation

Roof area - 2,324.2 sf. @ 1/300 = 7.75 (7.75 / 2 = 3.875 or min. 4

(A) Typical Brick/Stone Veneer Wall:
Brick or Stone Veneer
1" Air space
'Tyvek' air barrier continuous over
1/2" plywood sheathing
2x6 wall studs @ 16" o/c
6 mil. Poly air/vapour barrier
1/2" drywall on inside surface

(D) Typical Flat Roof
2-ply torched on rubber membrane roof sloped to 2% to outside edge on 1/2" plywood roof sheathing on roof trusses/joists

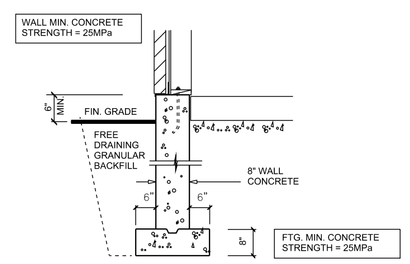
(E) Typical Roof Insulation
5/8" drywall on 6 mil poly vapour barrier on u/s of ceiling joists

(L) 40 year asphalt shingles on 1/2" plywood roof sheathing on roof trusses

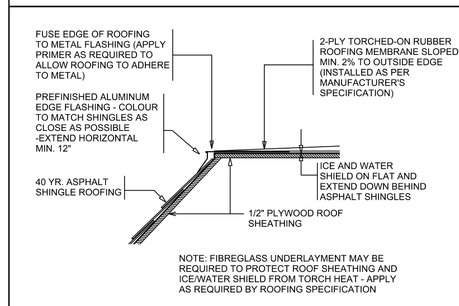
(M) Prefinished aluminum soffit w/ continuous vent

(P) 22" wide x 8" deep concrete footing c/w 2 - runs 15m rebar

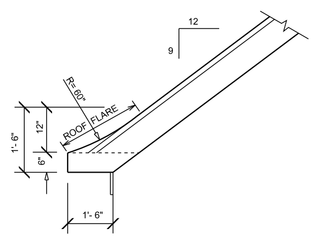
(R) Typical Porch Slab (Slab on Grade)
6" Reinforced Concrete Slab - 32mpa @ 28 Days Min. 5-8% Air Entr.Class C2



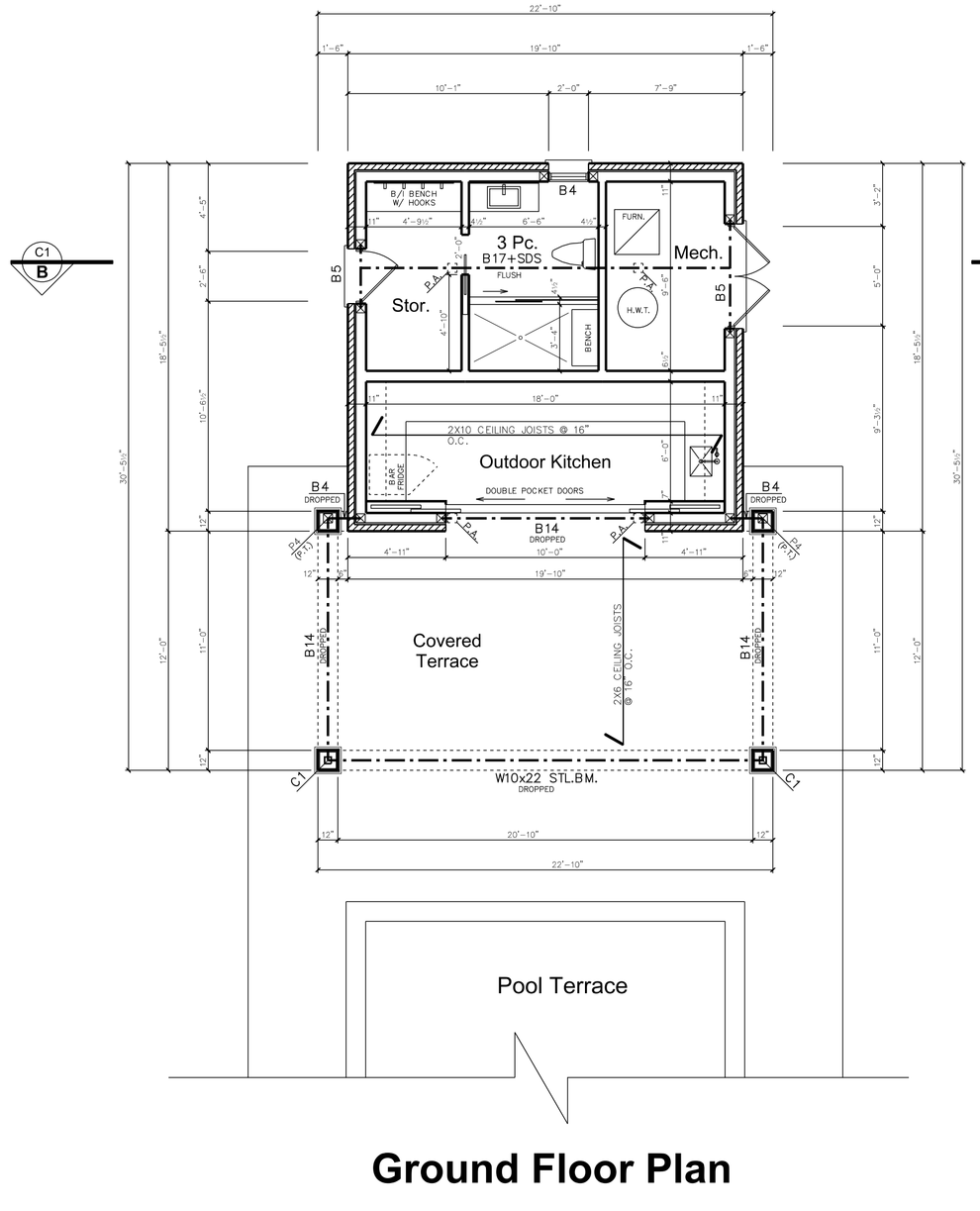
(1) 8" Poured Concrete Foundation Wall (Typical)
SCALE: NTS



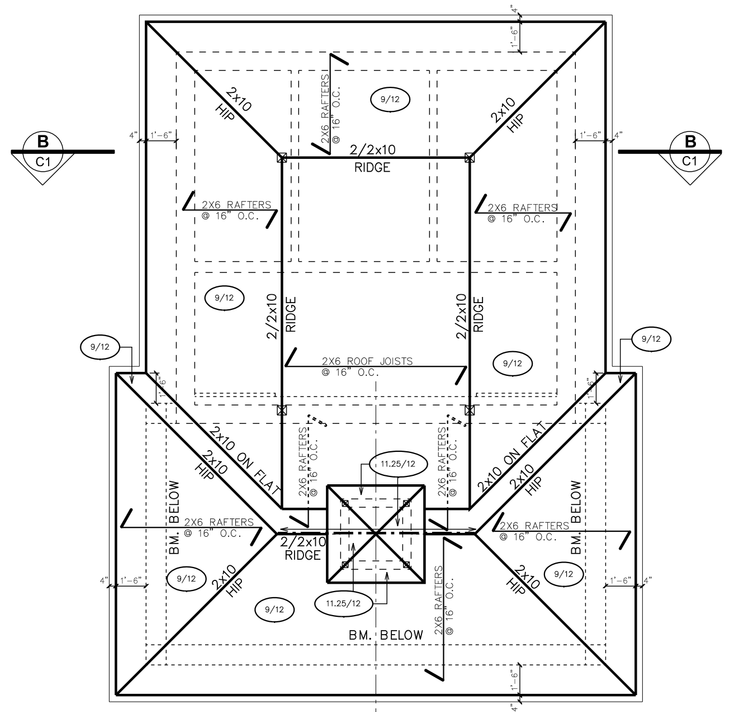
(2) Flat Roof Edge Flash Detail
SCALE: NTS



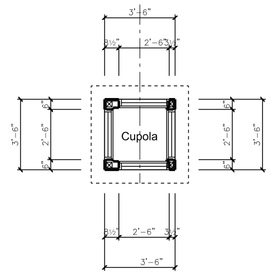
(3) Typical Roof Flare Detail
SCALE: NTS



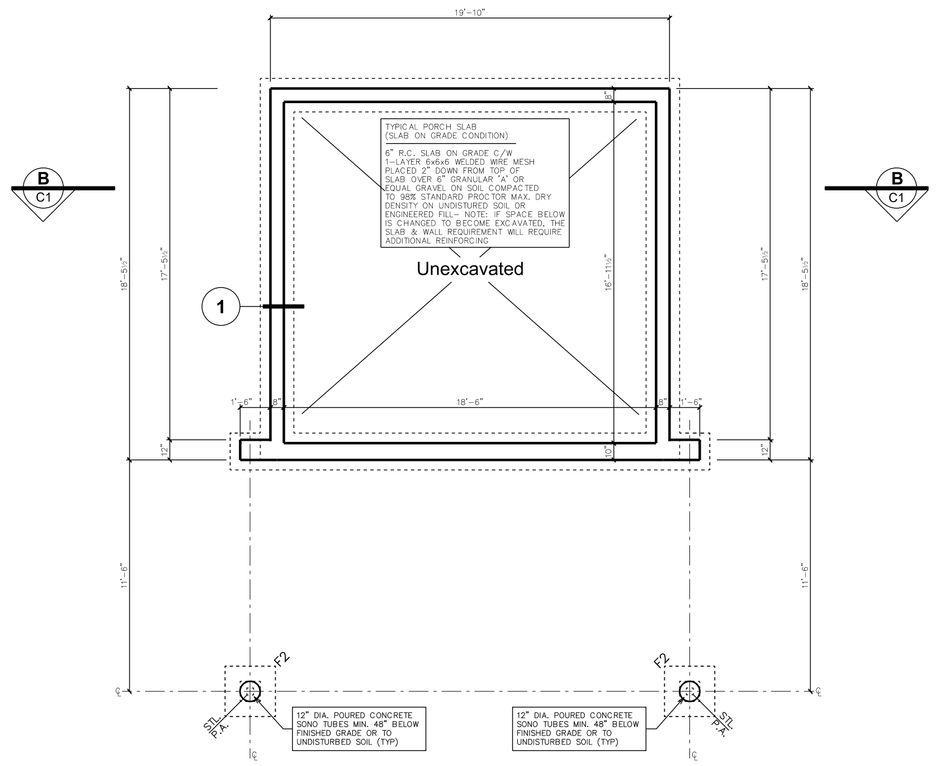
Ground Floor Plan



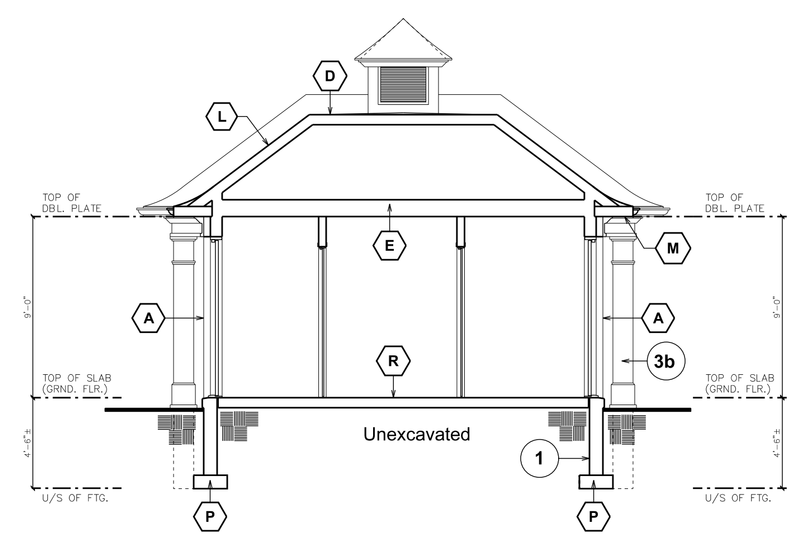
Roof Plan



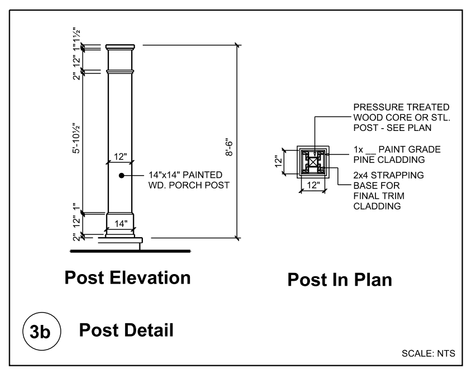
Part Plan- Cupola



Foundation Plan



Section B-B



(3b) Post Detail
SCALE: NTS

For Structural Design Only

REGISTERED PROFESSIONAL ENGINEER
L. W-K. TSE
SEP 12/19
PROVINCE OF ONTARIO

TSE TAO No. 20-1248

Structural Engineering Design By:
Tse Consultants Inc. 416 543-3088

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the ontario building code to be a designer.
Qualification information required unless the design is exempt under Division C - 3.2.5.1. of the 2012 ontario building code.

Peter Giordano	**25061**
Name	**Signature** BCIN

Registration information required unless the design is exempt under Division C - 3.2.4.1. of the 2012 Ontario Building Code.

David W. Small Designs Inc.	**29999**
Firm Name	**BCIN**

Roof Notes

Ss= 1.1 kPa
Sr= 0.4 kPa

Note: all upper roof overhangs are to be 1'-6" (from stone face) U.N.O.

= Interior Load-Bearing Walls

Opening Legend

Sliding Door
Pocket Door
Archway
Swing Door
Glass Wall & Door
Surface Sliding Door

Drawing Legend

Joist direction
Post above
Floor drain
20"X28" Attic access hatch
Interconnected smoke alarm w/ visual indicator
Typical 'P3' post UNO

no.	date	revision / comment
1	Sep 17/19	Issued To Owner For Building Permit Applic'n

Project:

The Bortolus Home
25 Hanson Court

Lot 17
Registered Plan M-1800
City of Vaughan,
Regional Municipality of York

Drawing:

Cabana Floor Plans & Section B-B

Scale: 3/16"=1'-0"
Date: Sep 2019
Dwn by: CD
Proj. no.: 17-1488

C1

DAVID SMALL DESIGNS .COM

1440 Hurontario Street, Mississauga, ON L5G 3H4 PH905.271.9100 FX 905.271.9109

Elevation Notes

(2) All stucco to be 'DuROCK' EIFS P.U.C.C.S. exterior insulation and finish system CCMC 12969R approved -install as per OBC, 9.28. and manufacturer's specifications -note use "Vapour block' by DuROCK for air/vapour barrier below stucco in place of Tyvek or equivalent product specified for all walls not clad in stucco

Note: Refer to roof plan for all roof slopes and overhang info

(A) 12" dia. Poured concrete Sono tubes min. 48" below finished grade or to undisturbed soil (Typ.)

Drawing Legend

1.0 Materials

(1) Natural Stone to Match House

(2) Pigmented Epoxy Stucco

2.0 Roofing

[1] Cedar Shingles

[2] 2-Ply Torched On Rubber Membrane Roof Sloped To 2% To Outside Edge On 1/2" Plywood Roof Sheathing On Roof Trusses/Joists

3.0 Trim, Cornice, Moulding, & Gutter Notes

[3] Prefinished Aluminum Gutter on 6"
Prefinished Aluminum Fascia

Typical Cornice Trim

[4] 4" Sloped Wood Trim on Crezon Flat Stock w/ 2" High x +\- 1-1/4" Deep Bottom Trim (Total 12" High)

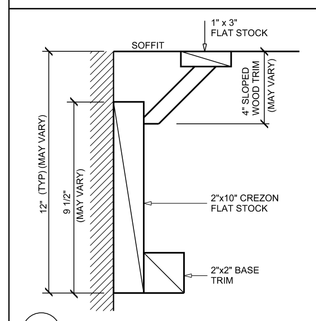
Typical Cornice Trim

[5] 4" Sloped Stucco Covered Trim on Crezon Flat Stock

[6] 4" Cut Stone Sill C/W 2" Projection

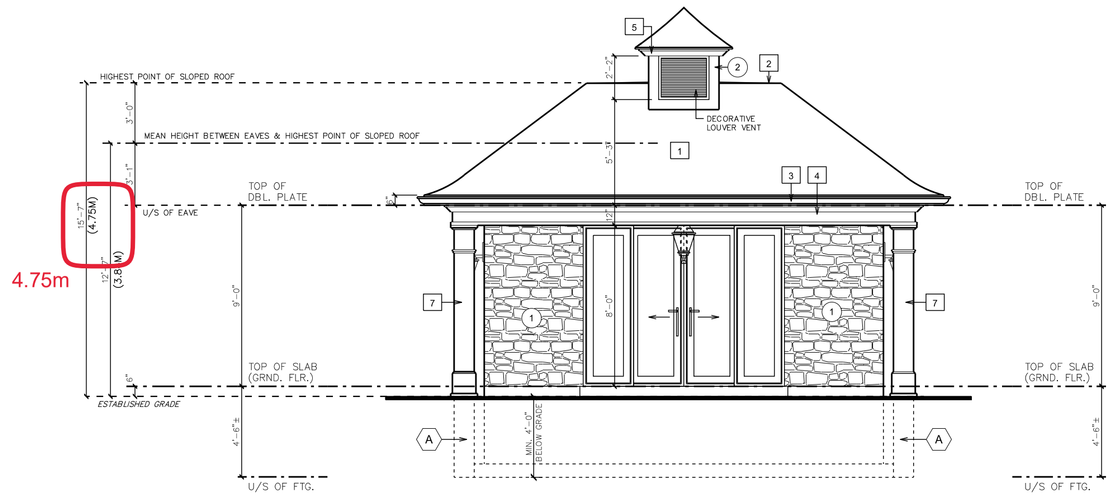
4.0 Railing, Post

[7] 12"x12" Crezon Clad Site-Painted Wood Post W/ 1x_ Wood Trim As Shown

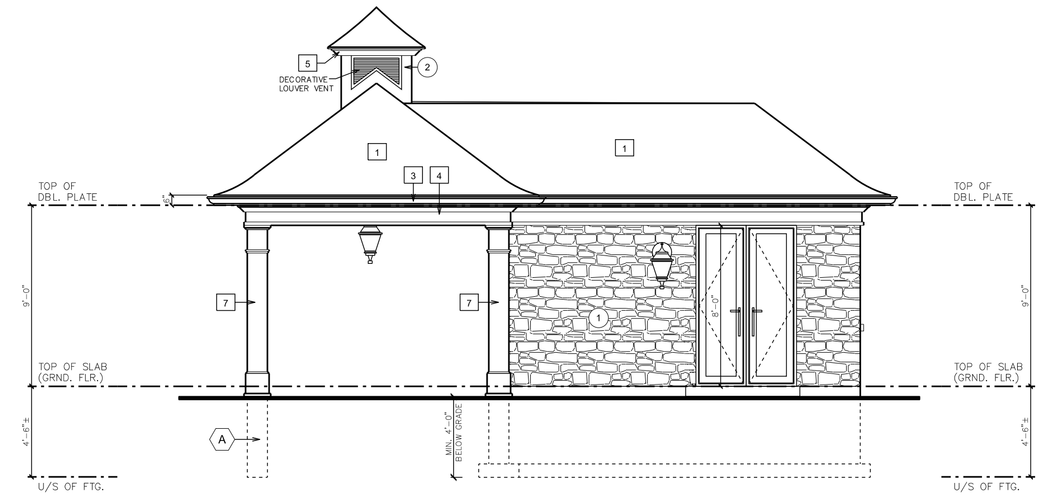


(4) Typical Cornice Trim

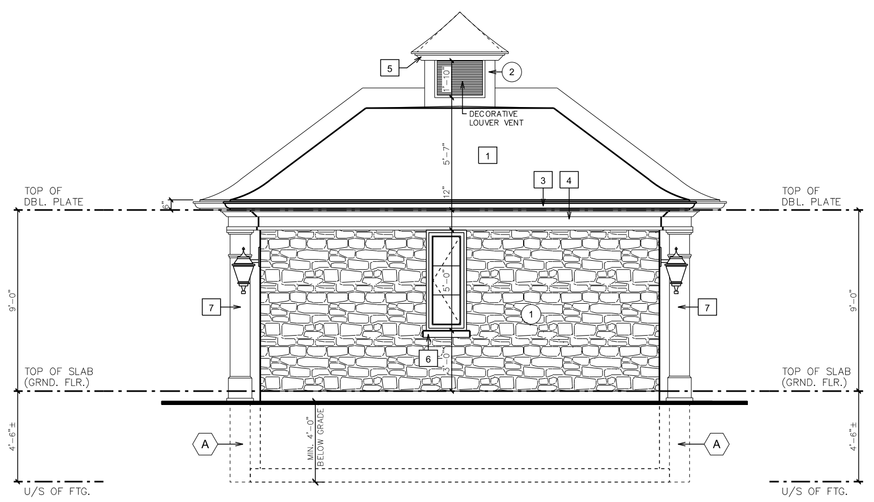
SCALE: NTS



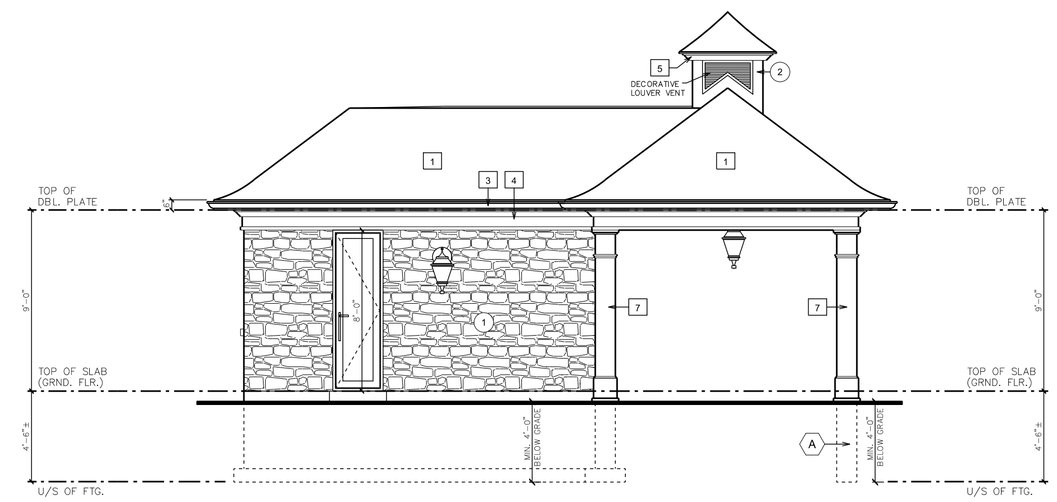
Front Elevation



Right-Side Elevation



Rear Elevation



Left-Side Elevation

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the ontario building code to be a designer.
Qualification information required unless the design is exempt under Division C - 3.2.5.1. of the 2012 ontario building code.

Peter Giordano		25061
Name	Signature	BCIN

Registration information required unless the design is exempt under Division C - 3.2.4.1. of the 2012 Ontario Building Code.

David W. Small Designs Inc.	29999
Firm Name	BCIN

no.	date	revision / comment
2	Sep 26/19	Client Requested Revisions
1	Sep 17/19	Issued To Owner For Building Permit Applic'n

Project:

The Bortolus Home
25 Hanson Court

Lot 17
Registered Plan M-1800
City of Vaughan,
Regional Municipality of York

Drawing:

Cabana Elevations

Scale: 3/16"=1'-0"
Date: Sep 2019
Dwn by: CD
Proj. no.: 17-1488

C2

DAVID SMALL DESIGNS .COM

1440 Hurontario Street, Mississauga, ON L5G 3H4 PH905.271.9100 FX 905.271.9109

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum. Written submissions from the public will only be accepted / processed until 12:00 p.m. on the date of the scheduled hearing.

Letter of Support – G. De Gasperis, 20 Hanson Court, Woodbridge
Letter of Support – S. De Gasperis, 11 Hanson Court, Woodbridge
Letter of Support – A. & S. Franzolini, 10 Hanson Court, Woodbridge
Letter of Support – R. Franzolini, Nova Plumbing & Heating Ltd, 144 Romina Drive, Concord
Letter of Support – F. and R. Carogioiello, 137 Balding Boulevard, Woodbridge
Letter of Support – S. Carogioiello, Royal Pine Homes, 200-3550 Langstaff Road
Letter of Support – M. De Simone, 180 Balding Boulevard, Woodbridge

Glenn Bortolus

From: Roy Franzolini [redacted]
Sent: Friday, January 10, 2020 10:15 AM
To: Glenn Bortolus; [redacted]
Subject: Re: Cabana COA

Good morning Glenn,
Thank you for consulting with your neighbours on this issue.
After examining the plan that you provided, we have no issues with it.
We wish you success and many years of happiness in your new residence.
Adelchi and Silvana Franzolini
10 Hanson Court, Woodbridge

Roy Franzolini
Nova Plumbing & Heating Ltd.
144 Romina Drive, Concord, Ontario L4K 4Z7 Tel. [redacted]

On Wed, 8 Jan 2020 15:26:02 +0000, Glenn Bortolus [redacted] wrote:

Good morning Gentlemen hope everyone enjoyed the Holidays. I am going to the Committee of Adjustments Feb 6 for my pool cabana and would appreciate a letter or email of support. Thanks.

Your message is ready to be sent with the following file or link attachments:

Cabana COA

Note: To protect against computer viruses, e-mail programs may prevent sending or receiving certain types of file attachments. Check your e-mail security settings to determine how attachments are handled.

Glenn Bortolus

From: Steve Carogioiello <[redacted]
Sent: Wednesday, January 8, 2020 4:02 PM
To: Marco DeSimone; Glenn Bortolus; Roy Franzolini
Subject: RE: Cabana COA

We, Frank and Rosa Carogioiello reside at 137 Balding Blvd, Woodbridge. We have reviewed your proposal and agree that your proposal warrants the look and feel of your house and has no impact or baring on my house. We have no objection.

Cheers.

Steve Carogioiello
Vice President

Royal Pine Homes
200-3550 Langstaff Road
Vaughan, Ontario
L4L 9G3

[redacted]

-----Original Message-----
From: Marco DeSimone [redacted]
Sent: January-08-20 2:37 PM
To: Glenn Bortolus <[redacted], Steve Carogioiello <[redacted] Roy Franzolini [redacted]
Subject: RE: Cabana COA

I have reviewed your proposal and am very comfortable with what you are proposing. It seems well suited for the area and should have zero negative impact on the properties surrounding you.

Marco De Simone
180 Balding Blvd.,
Woodbridge, Ontario
[redacted]

-----Original Message-----
From: Glenn Bortolus [redacted]
Sent: January 8, 2020 10:26 AM

To: Steve Carogioiello [redacted]; Marco DeSimone <[redacted]; Roy Franzolini [redacted]
Subject: Cabana COA

Good morning Gentlemen hope everyone enjoyed the Holidays. I am going to the Committee of Adjustments Feb 6 for my pool cabana and would appreciate a letter or email of support. Thanks.

Your message is ready to be sent with the following file or link attachments:

Cabana COA

Note: To protect against computer viruses, e-mail programs may prevent sending or receiving certain types of file attachments. Check your e-mail security settings to determine how attachments are handled.

Silvio De Gasperis

11 Hanson Court, Woodbridge, Ontario L4L 4X8

January 14, 2020

City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Attention: Committee of Adjustments

To whom it may concern:

I am writing with respect to Application A166/19 for 25 Hanson Court. I am the owner of the property at 11 Hanson Court. I have reviewed the application and have no objections to the requests. I support the plan.

Yours truly,

Silvio De Gasperis

CC: Mr. Glen Bortolus

Giovanni De Gasperis
20 Hanson Court
Woodbridge, Ontario
L4L 4X8

January 7, 2020

City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Attention: Committee of Adjustments

To whom it may concern:

I am writing with respect to Application A166/19 for 25 Hanson Court. I currently reside at 20 Hanson Court and I have reviewed the application and have no objections.

Yours truly,

Giovanni De Gasperis

CC: Mr. Glen Bortolus

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum. Correspondence will only be accepted until 12:00 p.m. on the date of the scheduled hearing.

Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections

COMMENTS:

☐	We have reviewed the proposed Variance Application and have no comments or objections to its approval.
X	We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
☐	We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI
Phone: 1-877-963-6900 ext. 31297
Fax: 905-532-4401
E-mail: stephen.cranley@alectrautilities.com

Mr. Tony D'Onofrio
Supervisor, Subdivisions & New Services
Phone: 1-877-963-6900 ext. 24419
Fax: 905-532-4401
Email: tony.donofrio@alectrautilities.com

Providence, Lenore

Subject: FW: A166/19 - REQUEST FOR COMMENTS (Vaughan - Committee of Adjustment)

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: January-14-20 8:50 AM

To: Providence, Lenore <Lenore.Providence@vaughan.ca>; Providence, Lenore <Lenore.Providence@vaughan.ca>; MacPherson, Adriana <Adriana.MacPherson@vaughan.ca>
Subject: RE: A166/19 - REQUEST FOR COMMENTS (Vaughan - Committee of Adjustment)

Good Morning Lenore,

The Regional Municipality of York has completed its review of the above minor variance and has **no comment.**

Regards

Gabrielle

Gabrielle Hurst | MCIP, RPP, Planning and Economic Development, Corporate Services

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1-877-464-9675 ext. 71538

Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Schedule D: Previous Approvals (Notice of Decision)

Minor Variance Application A332/17

Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
T 905 832 8585
E CofA@vaughan.ca

NOTICE OF DECISION

Minor Variance Application A332/17

Section 45 of the Planning Act, R.S.O, 1990, c.P.13

Date of Hearing: Thursday , December 07, 2017

Applicant: Glenn & Anna Bortolus

Agent David Small Designs

Property: **25 Hanson Ct Woodbridge**

Zoning: The subject lands are zoned RR Rural Residential, and subject to the provisions of Exception No. 9(178) under By-law 1-88 as amended.

OP Designation: VOP 2010: "Low Rise Residential".

Related Files: None

Purpose: Relief from the by-law is requested to permit the proposed construction of a single family dwelling.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum front yard setback of 15.0 metres is required.	1. To permit a minimum front yard setback of 9.02 metres to the dwelling.
2. A minimum interior side yard setback of 4.5 metres is required.	2. To permit a minimum interior side yard (south) setback of 4.46 metres to the dwelling.
3. A minimum rear yard setback of 15.0 metres is required.	3. To permit a minimum rear yard setback of 5.92 metres to the accessory building (cabana)..
4. A maximum lot coverage of 10% is permitted.	4. To permit a maximum lot coverage of 19.22%. (16.82% dwelling, 1.77% covered porch, 0.63% cabana)
5. A maximum curb cut and the portion of the driveway between the street line and the street curb shall not exceed 6.0 metres.	5. To permit a maximum curb cut and the portion of the driveway between the street line and the street curb of 9.75 metres.
6. A maximum driveway width of 9.0 metres is permitted.	6. To permit a maximum driveway width of 12.75 metres.
7. A maximum eave and gutter encroachment of 0.50 metres is permitted.	7. To permit a maximum eave and gutter encroachment of 0.71 metres at the front and 0.65 metres for the interior side yard

Sketch: A sketch illustrating the request has been attached to the decision.

Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:

THAT Application No. A332/17 on behalf of Glenn & Anna Bortolus be **APPROVED,** in accordance with the sketch submitted with the application (as required by Ontario Regulation 200/96) and subject to the following conditions:

	Department/Agency	Condition
1	Development Engineering Steve Lysecki 905-832-8585 x 8731 steve.lysecki@vaughan.ca	The Owner is required to submit the final grading drawing to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading approval prior to any work being undertaken on the property.

For the following reasons:

1. The general intent and purpose of the by-law will be maintained.

2. The general intent and purpose of the official plan will be maintained.

3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.

4. The requested variance(s) is/are minor in nature.

Written & oral submissions considered in the making of this decision were received from the following:

Written Submissions * Public Correspondence received and considered by the Committee in making this decision	Oral Submissions *Please refer to the approved Minutes of the Thursday , December 07, 2017 meeting for submission details.
Letters of Support received December 1, 2017 from Silvio DeGasperis (270 Chrislea Road); Steve Carogioiello (200-3550 Langstaff Road); & Roy Franzolini (144 Romina Drive)	

SIGNED BY ALL MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

H. Zheng Member	M. Mauti Chair	R. Buckler Member
J. Cesario Member		ABSENT A. Perrella Member

DATE OF HEARING:	**Thursday , December 07, 2017**
DATE OF NOTICE:	**December 15, 2017**
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	**December 27, 2017** **4:30 p.m.** **Please note that our office is closed for the holidays December 25 to January 1 (inclusive)*
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan's Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application. Christine Vigneault, ACST Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

Appealing to The Ontario Municipal Board

The *Planning Act*, R.S.O. 1990, as amended, Section 45(12)

The applicant, the Minister or any other person or public body who has an interest in the matter may within 20 days of the making of the decision appeal to the Municipal Board against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Municipal Board under the *Ontario Municipal Board Act* as payable on an appeal from a Committee of Adjustment to the Board.

Note: A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days of the date of the making of the decision, the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

Appeal Fees & Forms

Ontario Municipal Board: The OMB appeal fee is $300 plus $25 for each additional consent/variance appeal filed by the same appellant against connected applications. The OMB Appeal Fee must be paid by certified cheque or money order payable to the "Minister of Finance". Notice of appeal forms (Appellant Form A1 – Minor Variance) can be obtained at www.omb.gov.on.ca or by visiting our office.

City of Vaughan OMB Processing Fee: $722.00 per application

*Please note that all fees are subject to change.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from each respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All applicable conditions must be cleared prior to the issuance of a Building Permit.

Location Map - A332/17

25 Hanson Court, Woodbridge

0 0.05 0.1 0.2 Kilometers

City of Vaughan

A332/17

Revised Sketch November 10/17

SITE DATA	
LOT AREA	4058.15 sm (0.406 ha)
ZONING	RR
FINISHED GRADE	195.50 m
LOT COVERAGE	
HOUSE & GARAGE	682.56 sm (16.82%)
COV'D PORCHES	71.97 sm (1.77%)
CABANA	25.50 sm (0.63%)
TOTAL COVERAGE	780.03 sm (19.22%)
MAX. ALLOWED COVERAGE	405.82 sm (10.00%)
FLOOR AREA	
GROUND FLOOR (INC. 117.3sf OF STAIRS)	5844.0 sf (542.91 sm)
SECOND FLOOR (INC. 85.3sf OF STAIRS)	510.0 sf (47.38 sm)
TOTAL AREA	6354.0 sf (590.29 sm)
ATTACHED GARAGE	1487.3 sf (138.17 sm)
FINISHED BASEMENT	497.1 sf (46.18 sm)
CABANA	163.7 sf (15.21 sm)
FRONT YARD AREA	654.65 sm
'FRONT YARD LANDSCAPING'	79.92 % (523.19 sm)
'FRONT YARD SOFT LANDSCAPING'	86.46 % (452.33 sm)
REAR YARD AREA	2001.01 sm
REAR YARD AREA >135sm (2001.01 - 135)	1866.01 sm
'REAR YARD SOFT LANDSCAPING'	72.25 % (1348.22 sm)

Lot Coverage = 19.22%
(Dwelling 16.82%, covered porch 1.77%, 0.63% cabana)