

# BASSINGTHWAITE HOUSE

## Conservation Plan

10244 BATHURST STREET, VAUGHAN

September 11, 2019



ERA

**PREPARED FOR:**

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**PREPARED BY:**

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Cover Image: ERA, 2019

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Looking southwest to Bassingthwaite House (ERA, 2019).

# EXECUTIVE SUMMARY

This Conservation Plan has been prepared to identify and describe the scope of work required to conserve the cultural heritage value of the property at 10244 Bathurst Street, known as the Bassingthwaite House.

The Bassingthwaite House is a two-storey structure built in 1860. The house is located on a larger development site, known as the Longyard Subdivision (the “Development Site”), where it has been integrated into the lotting fabric on Lot 35 along Keatley Drive.

The Bassingthwaite House is listed on the City of Vaughan’s Built Heritage Inventory as a building of architectural and historical value.

## Proposed Relocation

The current proposal is to relocate Bassingthwaite House to 10090 Bathurst Street (the “Proposed Site”) (refer to proposed relocation plan on page v). The proposed relocation would situate Bassingthwaite House adjacent to Munshaw House along Bathurst Street on an existing residential lot enveloped by a naturalized open space.

## Proposed Conservation Scope

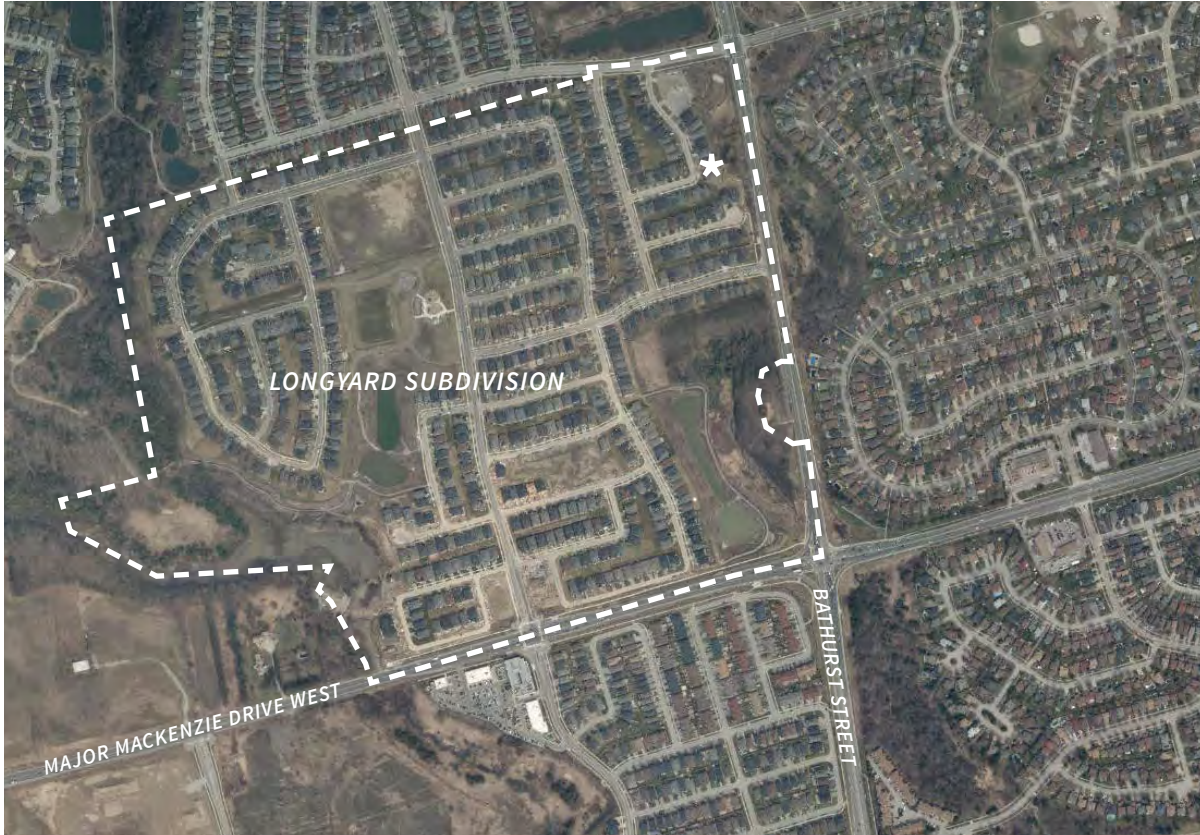
The proposed conservation strategy includes stabilization and relocation. The conservation scope of work includes:

- Stabilizing the structure for relocation;
- Removing later additions to the building post original construction in 1860;
- Salvaging stone from and demolishing the smoke house structure and basement; and
- Relocating the existing original two-storey masonry building atop a foundation on an existing residential lot enveloped by a naturalized open space.

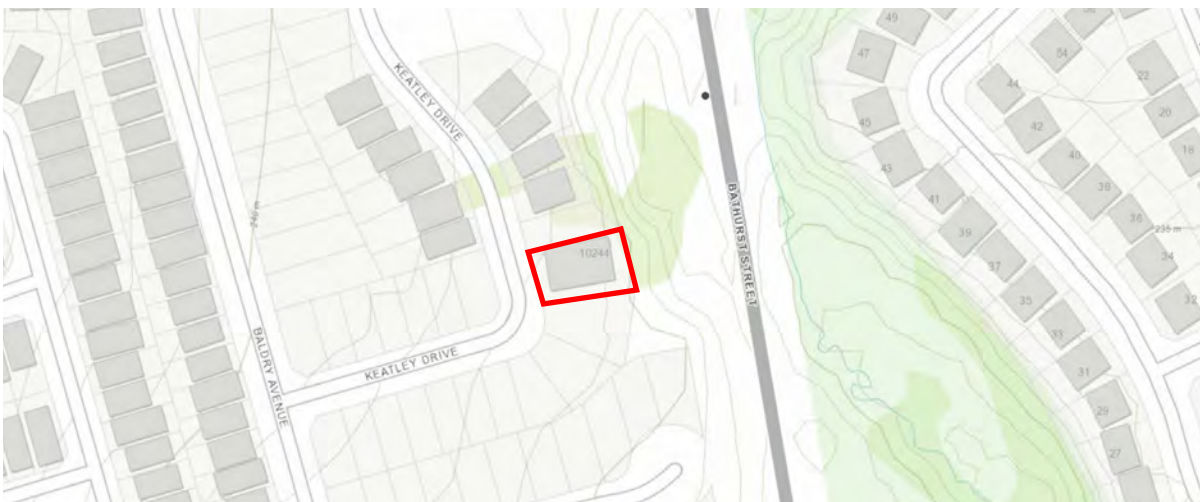
Exterior conservation work to ensure the house is presentable and appears occupiable for future reuse will be undertaken as a part of a future scope.

This Conservation Plan provides detailed drawings for the proposed conservation work along with cost estimates, under separate cover, to establish a letter of credit amount to secure the scope of work.

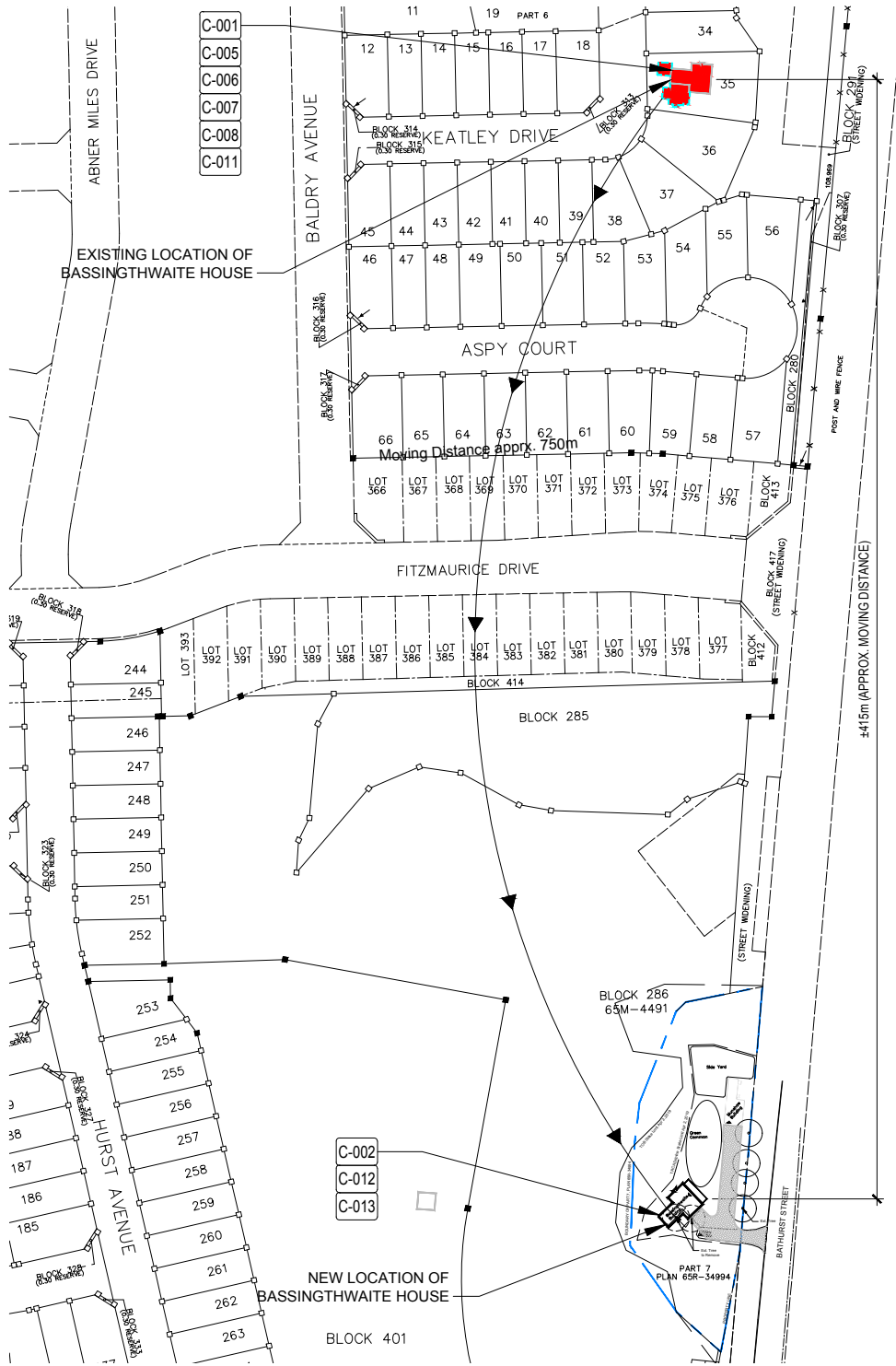
Overall, the proposed conservation strategy will conserve the cultural heritage value of the Site and prepare it for future reuse. In the interim, following relocation and prior to final programming, the Bassingthwaite House will be utilized as a residence. Future conservation works to rehabilitate the building for reuse are to be determined and may incorporate conservation of the interior wood trim.



Aerial photograph showing the Longyard Subdivision outlined in dashed white and the Bassingthwaite House starred in white (York Region, 2018. Annotated by ERA, 2019).



City of Vaughan zoning map showing the location of the Bassingthwaite House outlined in red (City of Vaughan, 2019. Annotated by ERA, 2019).



Proposed relocation plan for the Basingthwaite House, approximately 750m south to the Proposed Site (ERA, 2019).





# 1 INTRODUCTION

## 1.1 Scope of the Report

ERA Architects Inc. (ERA) was retained by Longyard Properties, Inc. as the heritage consultant for the redevelopment of the Site.

The purpose of this Conservation Plan is to clarify and describe the scope of work required to relocate the Bassingthwaite House conserve its cultural heritage value and heritage attributes, and allow for its future reuse in accordance with the City's requirements for Subdivision File 19T-13VO11. A supplemental Heritage Permit will be required for future work.

The proposed conservation strategy was developed with reference to *Parks Canada's Standards and Guidelines for the Conservation of Historic Places* and the Ministry of Culture's Ontario Heritage Tool Kit.

### Site Location & Description

The Development Site is located north west of the intersection of Bathurst Street and Major Mackenzie Drive, on part of Lots 21 and 22, Concession 2, in the City of Vaughan.

The Bassingthwaite House at 10244 Bathurst Street sits on the west side of Bathurst Street, roughly 850 metres north of Major Mackenzie Drive West. The house is presently located at its original location, which has been integrated into the lotting fabric of the Longyard Subdivision on lot 35 along Keatley Drive.

## 1.2 Heritage Recognition

The Bassingthwaite House at 10244 Bathurst Street is listed on the City of Vaughan's Built Heritage Inventory (the "Inventory") as a building with architectural and historical value. The Inventory describes the Bassingthwaite House as being constructed in 1860 in a Georgian architectural style.

## 2 ASSESSMENT OF EXISTING CONDITION

ERA performed a visual inspection of the property on July 25, 2019. All inspections were carried out from grade. Inspections were limited to visible exterior envelope features such as the masonry, woodwork, windows and doors, flashings and rainwater management systems (gutters and downspouts). The interior inspection was carried out from the second floor to the cellar (basement). No close up “hands on” inspections were carried out using scaffolding or a lift, and the roof areas on all the buildings were not accessible at the time of the inspection.

Overall, the Bassingthwaite House is in fair to poor condition with areas in defective condition.

### **DEFINITION OF TERMS**

*The building components were graded using the following assessment system:*

**Excellent:** *Superior aging performance. Functioning as intended; no deterioration observed.*

**Good:** *Normal Result. Functioning as intended; normal deterioration observed; no maintenance anticipated within the next five years.*

**Fair:** *Functioning as intended. Normal deterioration and minor distress observed; maintenance will be required within the next three to five years to maintain functionality.*

**Poor:** *Not functioning as intended; significant deterioration and distress observed; maintenance and some repair required within the next year to restore functionality.*

**Defective:** *Not functioning as intended; significant deterioration and major distress observed, possible damage to support structure; may present a risk; must be dealt with immediately.*

## 2.1 Exterior

### Brick Masonry

The brick elevations have been painted in a beige colour and appear to be in fair to poor condition with areas of paint flaking, mortar loss, brick deterioration, brick delamination, environmental staining and obsolete metal fasteners. There also appear to be mortar cracks above window and door lintels, below window sills and at the base of the structure.

### Openings

All the window and door openings have been boarded up with plywood on the exterior except the basement windows, therefore the windows were reviewed only from the interior. The wood windows in the original Bassingthwaite House appears to be historic and in fair condition. The remainder of the windows at the one- and two-storey later additions are vinyl windows and appear to be in fair to poor condition. The main wood door and wood surround appears to be in fair condition with areas of paint flaking.

### Exterior Wood

The exterior wood elements have been painted in white and appear to be in fair to poor condition. The wood sills at the original Bassingthwaite House appear to be in fair condition with some areas of paint flaking, except for one sill on the ground floor south elevation which appears to be in poor condition showing signs of wood deterioration and paint flaking.

The main and side wood porches appear to be in fair condition with areas of paint flaking and some wood deterioration at the base of the columns.

The wood siding on the one-storey addition appears to be in fair to poor condition with areas of paint flaking, and damaged and deteriorated wood.



East elevation - main entry (photo by ERA Architects, 2019).



East elevation, including smoke house (ERA, 2019).



View of southeast elevation. The 1980s addition is seen on the left (ERA, 2019).

The wood soffits, fascias and eaves appear to be in fair to poor condition with some areas of paint flaking and peeling, wood rot, deterioration and delamination.

The remaining wood window shutters appear to be in fair condition with areas of paint flaking. The north elevation has all the window shutters installed, the south elevation is missing one window shutter, and the east elevation is missing three window shutters with one uninstalled and in defective condition.

### Roof, Flashing and Rain Management System

Generally, the roof, flashing and asphalt shingles are in fair condition except for a defective area in the north west side of the two-storey house where there is a three-foot by four-foot hole in the roof which exposes the interior to the elements. This hole should be repaired as soon as possible so that further deterioration to the roof and interior structure can be avoided.

The rain management system is in fair to poor condition with damaged and warped areas on the main porch and one-storey building eavestroughs, missing downspouts and downspout diverters.

## 2.2 Interior

Generally, the basement interior appears to be in fair condition. The majority of the exterior walls are covered in drywall except the north wall which shows the exposed stone rubble foundation. The stone foundation wall (west wall of original footprint of the Bassingthwaite House) is exposed and appears to be in fair condition. A multi-wythe interior brick wall spanning east to west in the original footprint of the Bassingthwaite House appears to be in fair condition. A section of wood floor joists and wood floor boards are exposed in the north side of the original Bassingthwaite House footprint and appears to be in fair condition.



North elevation (ERA, 2019).



Detail of shutter, sills and soffit on south elevation (ERA, 2019).



Detail of roof (ERA, 2019).

Generally, the ground floor interior appears to be in fair condition with an isolated area of poor condition in the north west side of the two-storey house below the hole in the roof where there appears to be mould and water damage in the ceiling and wall. The original Bassingthwaite House interior appears to retain its original wood flooring, wood door and window trim, baseboards, wainscoting and ceiling trim, which appears to be in fair condition. The walls in the original Bassingthwaite House interior appear to be in fair condition with areas of paint flaking and peeling. The later addition interior walls are covered in drywall and tile (in the kitchen), which appears to be in fair condition.

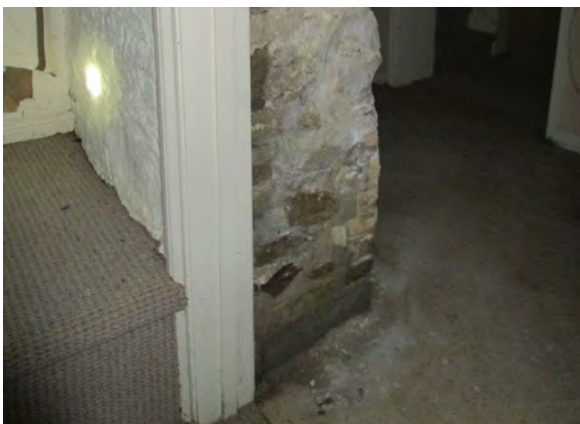


Ground floor interior (ERA, 2019).

Generally, the second floor interior appears to be in fair condition with areas of paint flaking and peeling from the walls and an interior door. There appears to be a defective area in the north west side of the two-storey house where there is a three-foot by four-foot hole in the roof, which exposes the interior to the elements, damaging the ceiling, walls and floor in that area. This hole should be repaired as soon as possible so that further deterioration to the interior elements can be avoided.



Ground floor interior depicting mould and water damage on wall and ceiling (ERA, 2019).



Basement interior (ERA, 2019).

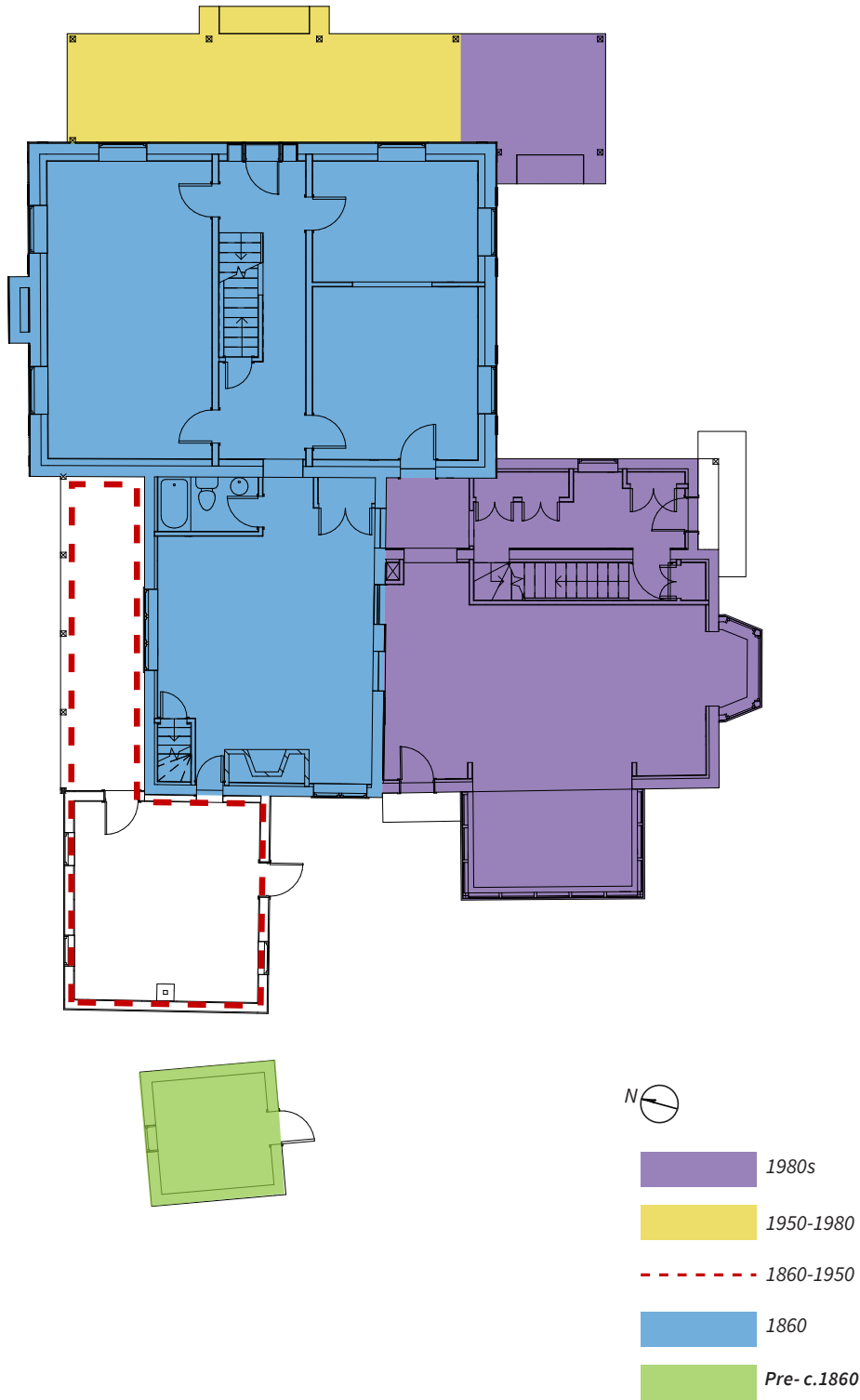


Second floor interior depicting defective roofing area (ERA, 2019).

The one-storey stone smoke house appears to be in defective condition. The south and west stone walls have multiple vertical cracks along the entire wall and the north elevation has mortar loss on the majority of the wall. The roof is in defective condition with rotted roof rafters, roof boards and shingles exposing the interior to the elements.



One-storey smokehouse (ERA, 2019).



Building evolution diagram from Bassingthwaite House (ERA, 2019).

## 3 CONSERVATION STRATEGY

### 3.1 Conservation Approach

The proposed conservation approach for the Bassingthwaite House is stabilization and relocation. Once relocated, the house will be used as a residence in the interim while a future programming is confirmed.

The house is proposed to be relocated adjacent to another heritage resource, the Munshaw House, along Bathurst Street on an existing residential lot enveloped by naturalized open space (refer to the figures provided on the following pages). The Proposed Site is located adjacent to the southeast extents of the Longyard Subdivision. The Bassingthwaite House's historic relationship to Bathurst Street will be maintained, and its contextual setting amongst naturalized and open spaces will be restored.

Exterior conservation work is outside of the current project scope; however, the 'Conservation Notes' (C-100 through C-408) provided within this report describe the work to be undertaken in future.

### 3.2 General Conservation Scope

The proposed conservation scope aims to stabilize the Bassingthwaite House, and make the dwelling look presentable and occupiable. This scope will retain the two-storey original house, while protecting its existing heritage attributes. The conservation scope of work is as follows:

- Stabilization of the structure for relocation; and
- Relocation of the original two-storey Bassingthwaite House.

Exterior conservation works will be undertaken in future to accommodate adaptive reuse of the house, as discussed in Section 3.3 of this report.

**Rehabilitation:** *the action or process of making possible a continuing or compatible contemporary use of an historic place, or an individual component, while protecting its heritage value.*

**Restoration:** *the action or process of accurately revealing, recovering or representing the state of an historic place, or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.*

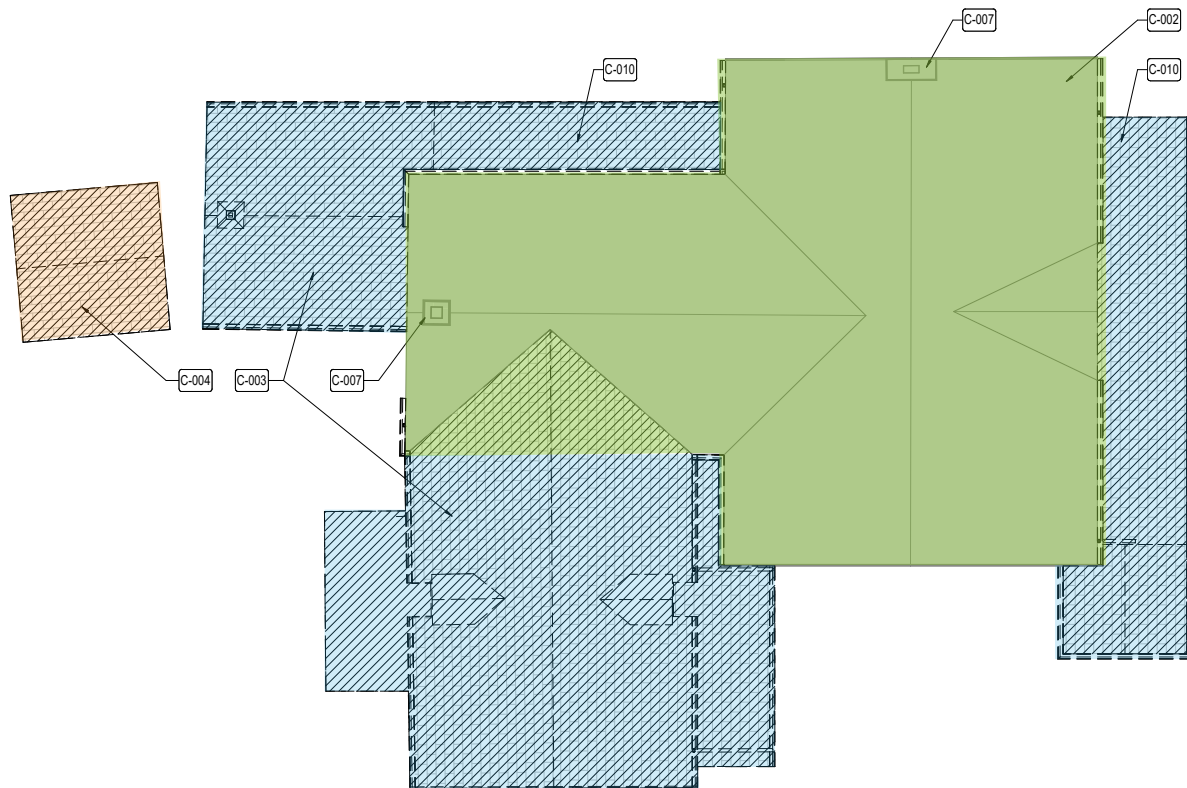
**Preservation:** *the action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of a historic place or of an individual component, while protecting its heritage value.*

*Source: Standards and Guidelines for the Conservation of Historic Places in Canada (2010).*






Prior to relocation, stabilization measures will be taken, which include protecting all windows, doors and chimneys to ensure they are not damaged during relocation. Additionally, removal of later additions to the house (post-1860) and the smoke house are proposed. Stone from the smoke house and the original basement foundation will be salvaged. The smoke house structure will be thoroughly documented before removal.

The proposed relocation would situate the Bassingthwaite House



#### LEGEND

-  Retain
-  Demolish
-  Salvage Stone & Demolish

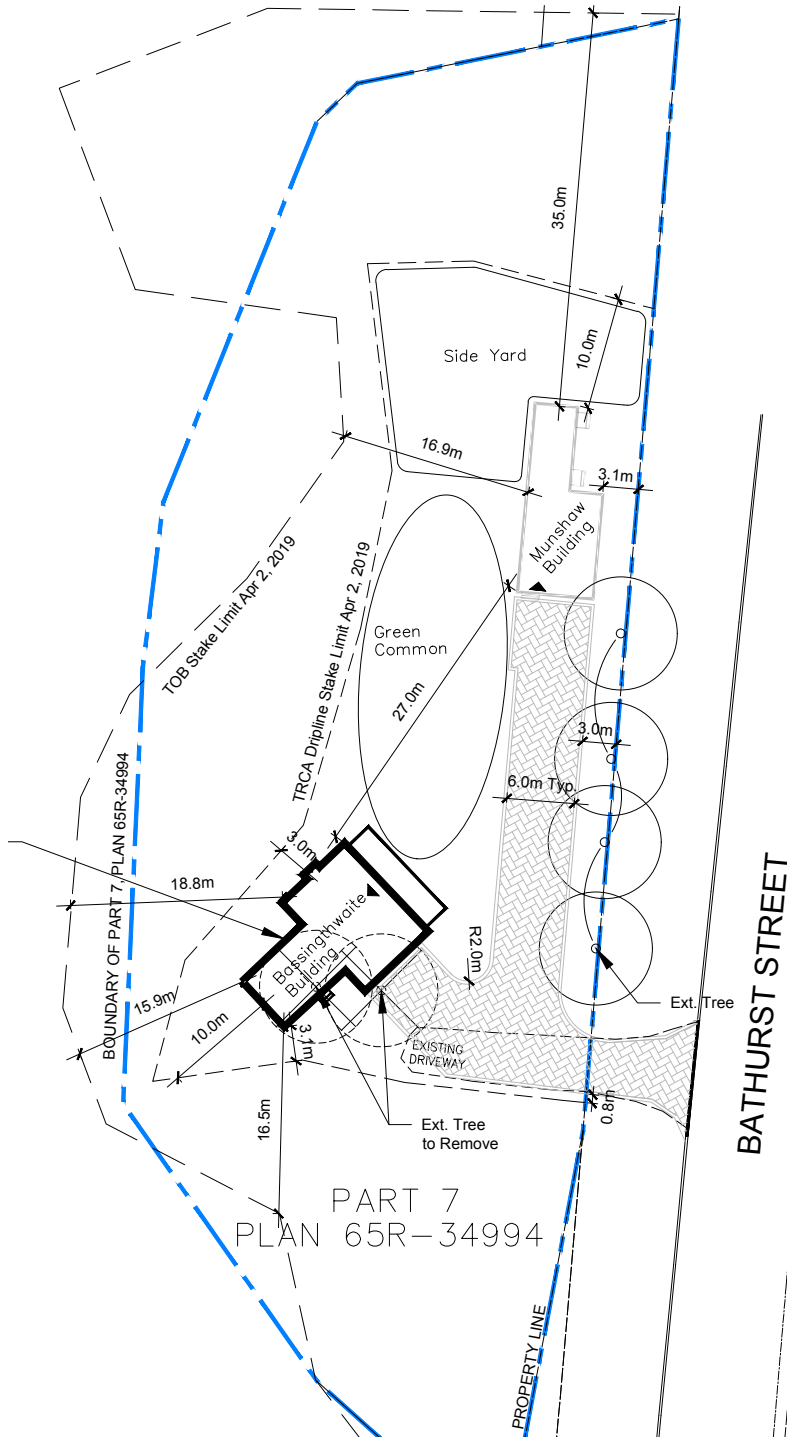
Proposed retention and demolition plan showing building fabric to be retained, removed and salvaged prior to relocation (ERA, 2019).

along Bathurst Street on an existing residential lot enveloped by naturalized open space. Another heritage resource, the Munshaw House is proposed to be located adjacent to the Bassingthwaite House. Both houses are to be situated within the staked top of bank and dripline limits established by the TRCA. Bassingthwaite House will be situated in a manner that creates a side drive approach to the houses that is in keeping with how it would have been encountered in its historic context.

The proposed setting will provide a more appropriate context and scale for the heritage resources. The Proposed Site's context includes naturalized areas and landscaped open green spaces, and a tree line buffer between the adjacent roadway. Its location along Bathurst Street affords a visual prominence that the dwellings are presently lacking in their current locations within the Longyard Subdivision.

The following methodology for relocating Bassingthwaite House was provided by Danco House Raising and Moving:

- Cut 2 inches in to the brickline where the house will be removed from its old foundation;
- Install 2-1/2 foot angle iron around the perimeter of the house;
- Cut 4 holes for the 2 main beams (in old foundation);
- Cut holes every 4 inches in the foundation in order to install crosser beams on top of the main beams;
- Shim up all floor joists and support beams off crosser beams;
- Pressure up the grid of steel to 50% of the weight of the house;
- Pressure up each one of the crosser beams off of the main beams to the load each crosser beam will support (preload crossers);
- Raise house off of old foundation;
- Set rollers up on cribs and roll house off of old foundation;
- Set house on firm ground and remove pressures off the jacks, calculating where each hydraulic dolly will be placed under the 2 main beams; and
- Set house on power dollies to be moved to Proposed Site.



1978 Aerial photograph showing the original Bassingthwaite Farmstead and House, and its orientation toward Bathurst Street (York Region, 2019).

Proposed site plan for the Bassingthwaite House adjacent to Munshaw House (ERA, 2019).

The following site photographs depict the Proposed Site.



Looking northwest toward the Proposed Site from Bathurst Street (ERA, 2019).



Existing vegetation on the Proposed Site (ERA, 2019).






Looking east along the existing driveway entry to the Proposed Site showing residential properties on the east side of Bathurst Street (ERA, 2019).

Upon relocation, the house will be utilized as a residence in the interim, until such a time when the final use is determined. Future exterior conservation works will be executed as a part of a later scope to ensure the Bassingthwaite House appears presentable and occupiable.



**LEGEND**

-  New Brickwork to Match Existing
-  Repair Brickwork
-  Repair Crack in Brickwork

Proposed masonry restoration on the west (top) and south (bottom) elevations (ERA, 2019).

Refer to Section 3.4.1 for full conservation notes and to the appended drawing set (ERA, 2019).

### 3.3 Future Reuse

In future, further exterior and interior conservation work will be undertaken to rehabilitate Bassingthwaite House to accommodate new uses, including repair and upgrade of the heritage resource, and adaptive reuse. As a part of future rehabilitation, consideration can be given to retaining the existing interior wood trim and providing a porch on the south elevation. Rehabilitation and use-dependent work cannot commence until a new use is confirmed, and proposed work is approved by the City of Vaughan.

The proposed use for the Bassingthwaite House and Munshaw House upon relocation is a residence with an accessory structure, respectively. The ultimate use for Bassingthwaite House will be confirmed in consultation with the future owner(s)/user(s) of the Proposed Site. On confirmation, a proposal for rehabilitation will need to be developed and submitted to the City of Vaughan. This proposal will provide greater detail regarding any required alterations or additions to the heritage resources, as well as site landscaping to create a buffer between the house and adjacent roadways. Heritage Permits and other planning permissions will be required for any further work.

## 3.4 Detailed Conservation Scope

### 3.4.1 Conservation Notes

The following conservation notes correspond with the conservation drawings attached as Appendix II. Notes C-100 to C-408 detail future exterior conservation work.

#### **C-000 SALVAGE, DEMOLITION AND HOUSE RELOCATION**

C-001: DISCONNECT ALL SERVICES PRIOR TO RELOCATION.

C-002: RETAIN ORIGINAL c. 1860 Bassingthwaite House FOOTPRINT AND RELOCATE TO NEW LOCATION FRONTING BATHURST ST.

C-003: DEMOLISH EXISTING c. 1984 Bassingthwaite House 2 STOREY AND 1 STOREY ADDITION.

C-004: SALVAGE STONE FROM EXISTING 1-STOREY SMOKEHOUSE STRUCTURE AND DEMOLISH REMAINING BUILDING.

C-005: STABILIZE EXISTING FRAMING OF BASSINGTHWAITE BEFORE RELOCATION.

C-006: PROTECT ALL EXISTING WINDOWS AND DOORS. ENSURE THEY ARE NOT DAMAGED DURING RELOCATION.

C-007: RETAIN EXISTING BRICK CHIMNEYS DURING RELOCATION.

C-008: RE-GRADE SITE TO ALLOW FOR STEEL MOVING STRUCTURE TO BE INSERTED UNDER EXISTING FLOOR JOISTS.

C-009: SALVAGE BRICKS FROM ORIGINAL c. 1860 Bassingthwaite House FOUNDATION FOR REUSE AND DEMOLISH REMAINING BASEMENT.

C-010: DEMOLISH EXISTING PORCHES.

C-011: DEMOLISH AND INFILL EXISTING BASEMENT.

C-012: ENSURE NEW SITE GRADING IS COMPLETE BEFORE THE HOUSE IS RELOCATED.

C-013: EXCAVATE AND CONSTRUCT NEW STRIP FOOTINGS AND FOUNDATION WALLS IN NEW LOCATION. USE SALVAGED STONE FROM SMOKEHOUSE TO CLAD NEW FOUNDATION WALL.

#### **C-100 REMOVALS AND SALVAGE WORK (THIS PHASE OF WORK TO BEGIN AFTER HOUSE RELOCATION IS COMPLETE)**

C-101: REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.

C-102: REMOVE ALL METAL FLASHING, RAINWATER DOWNPIPES AND GUTTERS.

C-103: SALVAGE EXISTING WOOD SHUTTERS TO BE REFURBISHED.

C-104: REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.

#### **C-200 MASONRY**

C-201: REMOVE PAINT ON ALL EXTERIOR MASONRY USING CHEMICAL, NON-ABRASIVE MEANS.

C-202: REPAIR EXTERIOR MASONRY WALLS WHERE EXPOSED BY REMOVAL OF 2 STOREY AND 1 STOREY ADDITIONS, PORCHES AND AS REQUIRED.

C-203: REPAIR CRACKS IN BRICKWORK.

C-204: RESET MASONRY.

C-205: REPOINT MORTAR. ASSESS RETAINED FAÇADE AFTER PAINT IS REMOVED FROM THE BRICKS TO CALCULATE AREAS TO BE REPOINTED

C-206: CONSTRUCT NEW DOOR OPENING IN EXISTING OPENING.

C-207: CONSTRUCT NEW WINDOW OPENING WITH SILL IN EXISTING OPENING.

#### **C-300 WINDOWS AND DOORS**

C-301: PROVIDE NEW WOOD WINDOWS (TYP)

C-302: PROVIDE NEW WOOD DOORS (TYP)

C-303: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING DOOR AND SIDE LIGHTS AND PROVIDE NEW HARDWARE.

C-304: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING WINDOWS AND WINDOW FRAMES AS REQUIRED (TYP.)

#### **C-400 WOOD, ROOF AND METAL WORK**

C-401: PROVIDE NEW ASPHALT SHINGLES (COLOUR TO BE DETERMINED), ROOF INSULATION, ROOF VENTS AND NEW FLASHINGS.

C-402: REPAIR EXTERIOR WOOD.

C-403: PREPARE, PRIME AND PAINT ALL EXTERIOR WOOD (TYP).

C-404: REPAIR, PRIME AND PAINT EXISTING WOOD SHUTTERS.

C-405: FABRICATE NEW WOOD SHUTTERS TO MATCH EXISTING.

C-406: PROVIDE NEW METAL GUTTERS, DOWNSPOUTS AND SPLASH PADS.

C-407: CONSTRUCT NEW MAIN PORCH.

C-408: CONSTRUCT NEW STAIR.



### 3.5 Heritage Contractor Requirements

The work described in this Conservation Plan will be executed by a specialist subcontractor with a minimum of 5 years experience working with heritage structures. The work will be reviewed on site by ERA Architects for general conformance with heritage guidelines and best practices.

### 3.6 Heritage Easement Agreement

The owner agrees to enter into a Heritage Easement Agreement (HEA) with the City of Vaughan to be registered on property title. For the purposes of the HEA, the Bassingthwaite House will be documented by a professional photographer to the satisfaction of the City.

### 3.7 Interpretation, Lighting and Signage Plan

If required, an interpretation, lighting and signage plan will be prepared for submission to the City of Vaughan.

## 4 COST ESTIMATE

A Letter of Credit to secure the dollar value of conservation work of the heritage elements identified in this Conservation Plan will be provided under separate cover.

## 5 SCHEDULE OF CONSERVATION WORK

### 5.1 Maintenance Plan

As part of the program of work contained within this Conservation Plan, many improvements are proposed. With respect to ongoing maintenance, regular inspections are recommended within the following time frames:

#### *Yearly*

- Inspect the envelope of the building for damage due to weather events, disturbance by animals, vandalism and damage due to human occupancy that may compromise its condition if left unrepaired.

#### *Every 5 Years*

- Complete an updated condition assessment of the building and exterior envelope to evaluate the performance of the masonry, sealants, windows and doors, flashings, roofing and adjacent grade condition.

In addition to repairs made following these inspections the following life-cycle inspections and replacements are recommended:

#### *Every 10-15 Years*

- Renewal of caulking, inspection of window hardware and weather-stripping.

#### *Every 25-30 Years*

- Replacement of roofing membrane and flashings.

#### *Ongoing*

- Selective repointing of deteriorated mortar joints.

## 6 CONCLUSION

The proposed conservation plan for the Bassingthwaite House appropriately conserves the heritage value of the property by maintaining the heritage resources' historic relationship to Bathurst Street, and restoring its contextual setting among naturalized and open spaces.

Future exterior conservation works proposed for the Bassingthwaite House will ensure that the property appears presentable and occupiable, and retains its cultural heritage value for future reuse. Future reuse is market-dependent and to be determined. In the interim, before the Bassingthwaite house is programmed, is to be utilized as a residence. Future alterations and or additions to accommodate reuse will be designed to be sympathetic to the original structure and may seek to conserve interior elements such as wood trim.

## 7 APPENDICES

### APPENDIX I: PROJECT PERSONNEL

#### Philip Evans

Philip Evans is a principal of ERA Architects and the founder of small. In the course of his fourteen-year career, he has led a range of conservation, adaptive reuse, design, and feasibility planning projects. Philip is a professional member of CAHP.

#### Janice Quieta

Janice Quieta is an associate with the heritage architecture team at ERA Architects. She received her Master of Architecture degree from Dalhousie University after completing a Bachelor of Architectural Science degree at Ryerson University. Her graduate thesis examined the feasibility of retrofitting post-war residential towers Toronto's St. Jamestown using a socially and ecologically sustainable program. She has studied and worked in Toronto, Halifax, Dusseldorf and Koln, and participated in a number of national and international design competitions in Canada and Germany.

#### Amy Calder

Amy Calder is a project manager and heritage planner with ERA Architects. She holds a Master of Arts (Planning) from the University of Waterloo, a Bachelor of Arts (Studio Arts & Art History) from the University of Guelph, and a Certificate in Digital Graphic Design from Humber College. Amy is a strong advocate for collaboration, partnerships, and meaningful engagement in the planning process. As a speaker and facilitator, she works to expand dialogue around how heritage and culture can contribute towards building resilient and inclusive communities across Canada.

#### Zoe Chapin

Zoe Chapin is a planner with ERA Architects. She received a Bachelor of Arts with majors in Political Science & Geography Urban Systems and a Masters of Urban Planning from McGill University.

## APPENDIX II: CONSERVATION DRAWINGS (ERA, 2019)



## BASSINGTHWAITE HOUSE CP

10244 BATHURST ST., VAUGHAN, ON

13-106

Issued For  
**CONSERVATION PLAN**

2019-09-11

# ERA

### HERITAGE ARCHITECT

ERA Architects Inc.  
625 Church St, Suite 600, Toronto, Ontario, M4Y 2G1

### HERITAGE DRAWING LIST

HA000	CONSERVATION NOTES
HA001	SITE PLAN RELOCATION
HA002	SITE PLAN AT NEW LOCATION
HA100	BASEMENT PLAN - EXISTING
HA101	GROUND FLOOR PLAN - EXISTING
HA102	SECOND FLOOR PLAN - EXISTING
HA103	ROOF PLAN - EXISTING
HA104	SOUTH & NORTH ELEVATION - EXISTING
HA105	WEST & EAST ELEVATION - EXISTING
HA200	BASEMENT PLAN - DEMOLITION
HA201	GROUND FLOOR PLAN - DEMOLITION
HA202	SECOND FLOOR PLAN - DEMOLITION
HA203	ROOF PLAN - DEMOLITION
HA204	SOUTH & NORTH ELEVATION - DEMOLITION
HA205	WEST & EAST ELEVATION - DEMOLITION
HA300	BASEMENT PLAN - PROPOSED
HA301	GROUND FLOOR PLAN - PROPOSED
HA302	SECOND FLOOR PLAN - PROPOSED
HA303	ROOF PLAN - PROPOSED
HA304	SOUTH & NORTH ELEVATION - PROPOSED
HA305	WEST & EAST ELEVATION - PROPOSED

# CONSERVATION NOTES

## C-000 SALVAGE, DEMOLITION AND HOUSE RELOCATION

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C-006: PROTECT ALL EXISTING WINDOWS AND DOORS. ENSURE THEY ARE NOT DAMAGED DURING RELOCATION.

C-007: RETAIN EXISTING BRICK CHIMNEYS DURING RELOCATION.

C-008: RE-GRADE SITE TO ALLOW FOR STEEL MOVING STRUCTURE TO BE INSERTED UNDER EXISTING FLOOR JOISTS.

C-009: SALVAGE BRICKS FROM ORIGINAL c. 1860 BASSINGTHWAITE HOUSE FOUNDATION FOR REUSE AND DEMOLISH REMAINING BASEMENT.

C-010: DEMOLISH EXISTING PORCHES.

C-011: DEMOLISH AND INFILL EXISTING BASEMENT.

C-012: ENSURE NEW SITE GRADING IS COMPLETE BEFORE THE HOUSE IS RELOCATED.

C-013: EXCAVATE AND CONSTRUCT NEW STRIP FOOTINGS AND FOUNDATION WALLS IN NEW LOCATION. USE SALVAGED STONE FROM SMOKEHOUSE TO CLAD NEW FOUNDATION WALL.

## C-100 REMOVALS AND SALVAGE WORK (THIS PHASE OF WORK TO BEGIN AFTER HOUSE RELOCATION IS COMPLETE)

C-101: REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.

C-102: REMOVE ALL METAL FLASHING, RAINWATER DOWNPIPES AND GUTTERS.

C-103: SALVAGE EXISTING WOOD SHUTTERS TO BE REFURBISHED.

C-104: REMOVE EXISTING PLYWOOD COVERING ON EXISTING RETAINED WINDOWS AND DOORS AND MAKE GOOD OPENINGS.

## C-200 MASONRY

C-201: REMOVE PAINT ON ALL EXTERIOR MASONRY USING CHEMICAL, NON-ABRASIVE MEANS.

C-202: REPAIR EXTERIOR MASONRY WALLS WHERE EXPOSED BY REMOVAL OF 2 STOREY AND 1 STOREY ADDITIONS, PORCHES AND AS REQUIRED.

C-203: REPAIR CRACKS IN BRICKWORK.

C-204: RESET MASONRY.

C-205: REPOINT MORTAR. ASSESS RETAINED FAÇADE AFTER PAINT IS REMOVED FROM THE BRICKS TO CALCULATE AREAS TO BE REPOINTED.

C-206: CONSTRUCT NEW DOOR OPENING IN EXISTING OPENING.

C-207: CONSTRUCT NEW WINDOW OPENING WITH SILL IN EXISTING OPENING.

## C-300 WINDOWS AND DOORS

C-301: PROVIDE NEW WOOD WINDOWS (TYP).

C-302: PROVIDE NEW WOOD DOORS (TYP).

C-303: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING DOOR AND SIDE LIGHTS AND PROVIDE NEW HARDWARE.

C-304: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING WINDOWS AND WINDOW FRAMES AS REQUIRED (TYP.).

## C-400 WOOD, ROOF AND METAL WORK

C-401: PROVIDE NEW ASPHALT SHINGLES (COLOUR TO BE DETERMINED), ROOF INSULATION, ROOF VENTS AND NEW FLASHINGS.

C-402: REPAIR EXTERIOR WOOD.

C-403: PREPARE, PRIME AND PAINT ALL EXTERIOR WOOD (TYP).

C-404: REPAIR, PRIME AND PAINT EXISTING WOOD SHUTTERS.

C-405: FABRICATE NEW WOOD SHUTTERS TO MATCH EXISTING.

C-406: PROVIDE NEW METAL GUTTERS, DOWNSPOUTS AND SPLASH PADS.

C-407: CONSTRUCT NEW MAIN PORCH.

C-408: CONSTRUCT NEW STAIR.

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NO.	DATE	REVISION / ISSUANCE
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1	2019-08-21	CONSERVATION PLAN - DRAFT
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2	2019-09-11	CONSERVATION PLAN
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## NOT FOR CONSTRUCTION

### LEGEND



Project

**BASSINGTHWAITE HOUSE CP**

Address 10244 BATHURST ST., VAUGHAN, ON

For DG GROUP

Project no. 13-106

Scale at 11x17

Drawn by EJ

Reviewed by JQ

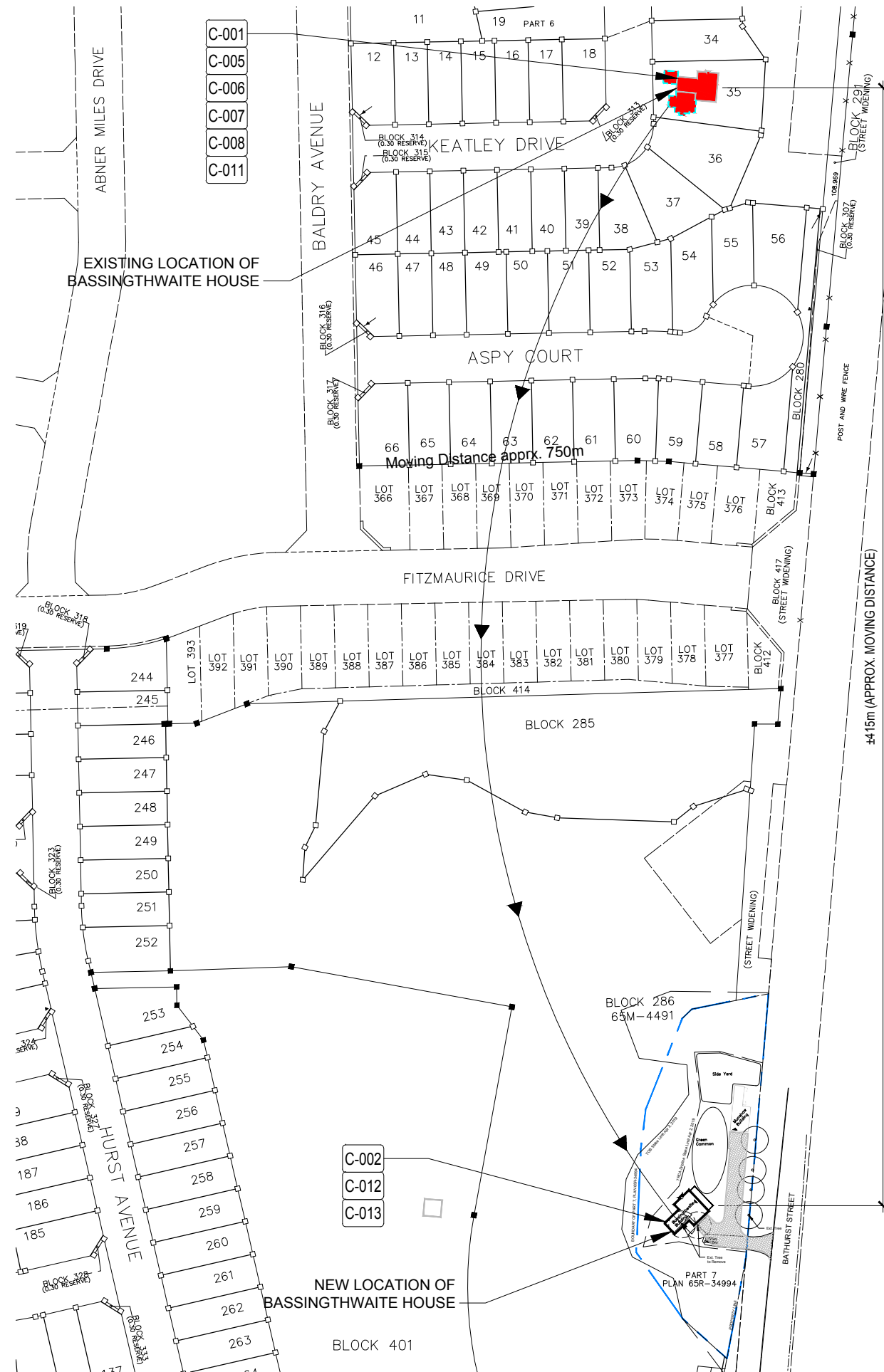
Drawing title

**CONSERVATION NOTES**

Sheet no.

**HA000**





- C-001
- C-005
- C-006
- C-007
- C-008
- C-011

- C-002
- C-012
- C-013

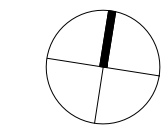
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2	2019-09-11	CONSERVATION PLAN

## NOT FOR CONSTRUCTION

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**E.R.A. Architects Inc.**



Project	<b>BASSINGTHWAITE HOUSE CP</b>	
Address	10244 BATHURST ST., VAUGHAN, ON	
For	DG GROUP	
Project no.	13-106	
Scale at 11x17	1 : 2000	
Drawn by	SC	
Reviewed by	JQ	
Drawing title	<b>SITE PLAN RELOCATION</b>	

Sheet no.

**HA001**

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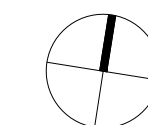
NO.	DATE	REVISION / ISSUANCE
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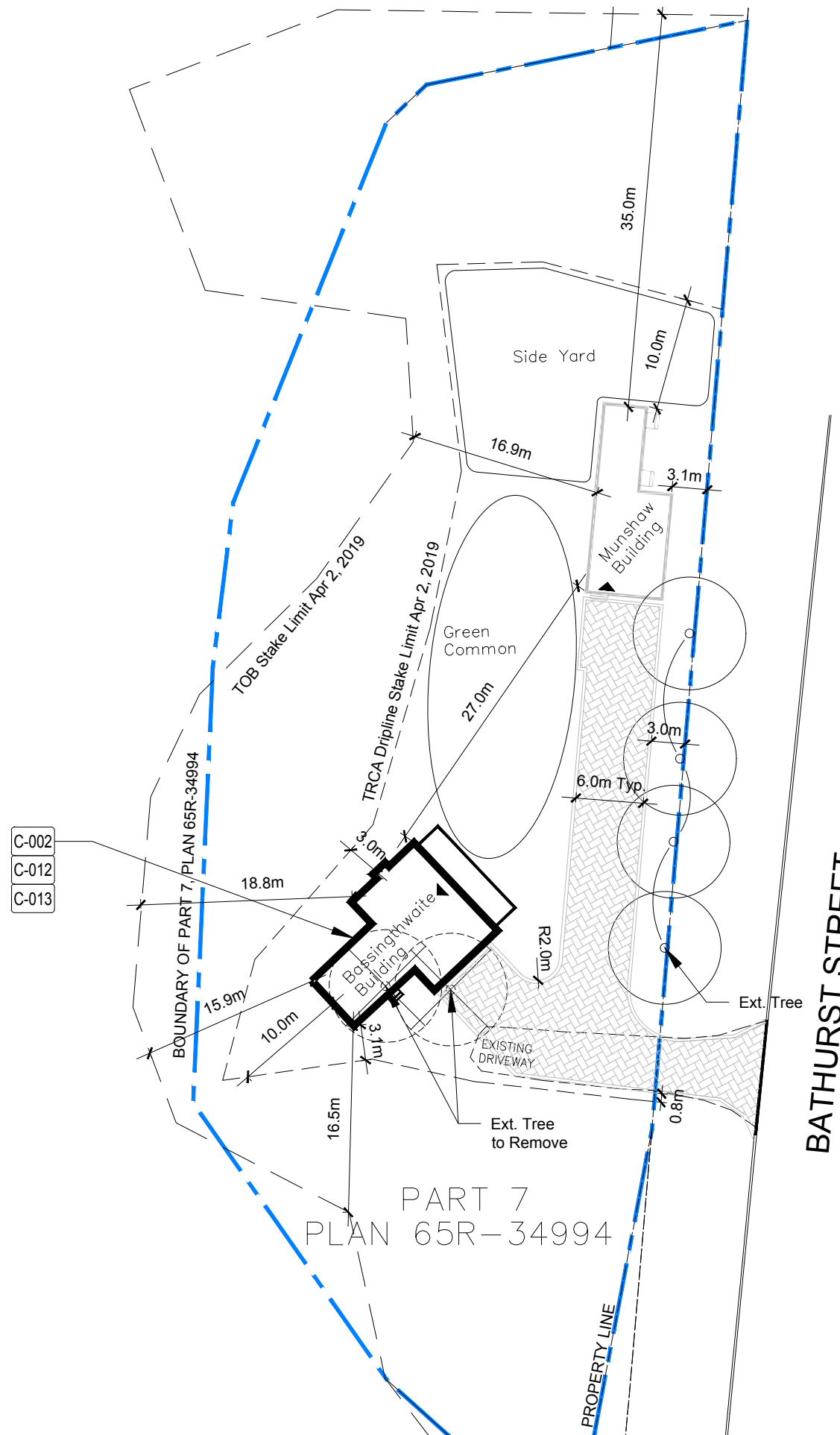
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Project	BASSINGTHWAITE HOUSE CP	
Address	10244 BATHURST ST., VAUGHAN, ON	
For	DG GROUP	
Project no.	13-106	
Scale at 11x17	1 : 500	
Drawn by	SC	
Reviewed by	JQ	
Drawing title	SITE PLAN AT NEW LOCATION	

Sheet no.

**HA002**

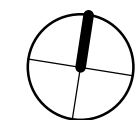
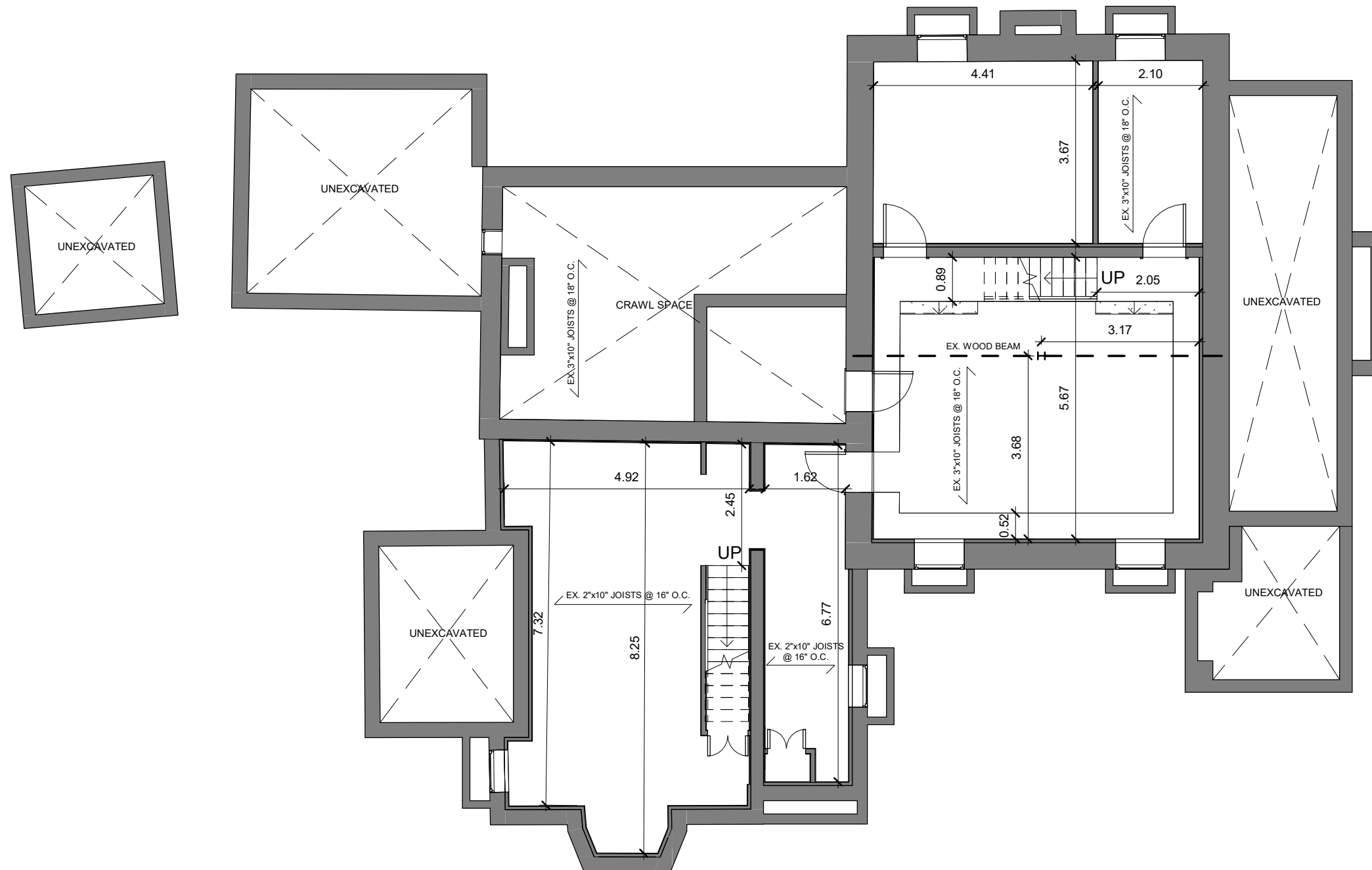


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Project

**BASSINGTHWAITE HOUSE CP**

Address 10244 BATHURST ST., VAUGHAN, ON

For DG GROUP

Project no. 13-106

Scale at 11x17 1 : 100

Drawn by EJ

Reviewed by JQ

Drawing title

**BASEMENT PLAN - EXISTING**

Sheet no.

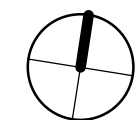
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Project

**BASSINGTHWAITE HOUSE CP**

Address 10244 BATHURST ST., VAUGHAN, ON

For DG GROUP

Project no. 13-106

Scale at 11x17 1 : 100

Drawn by EJ

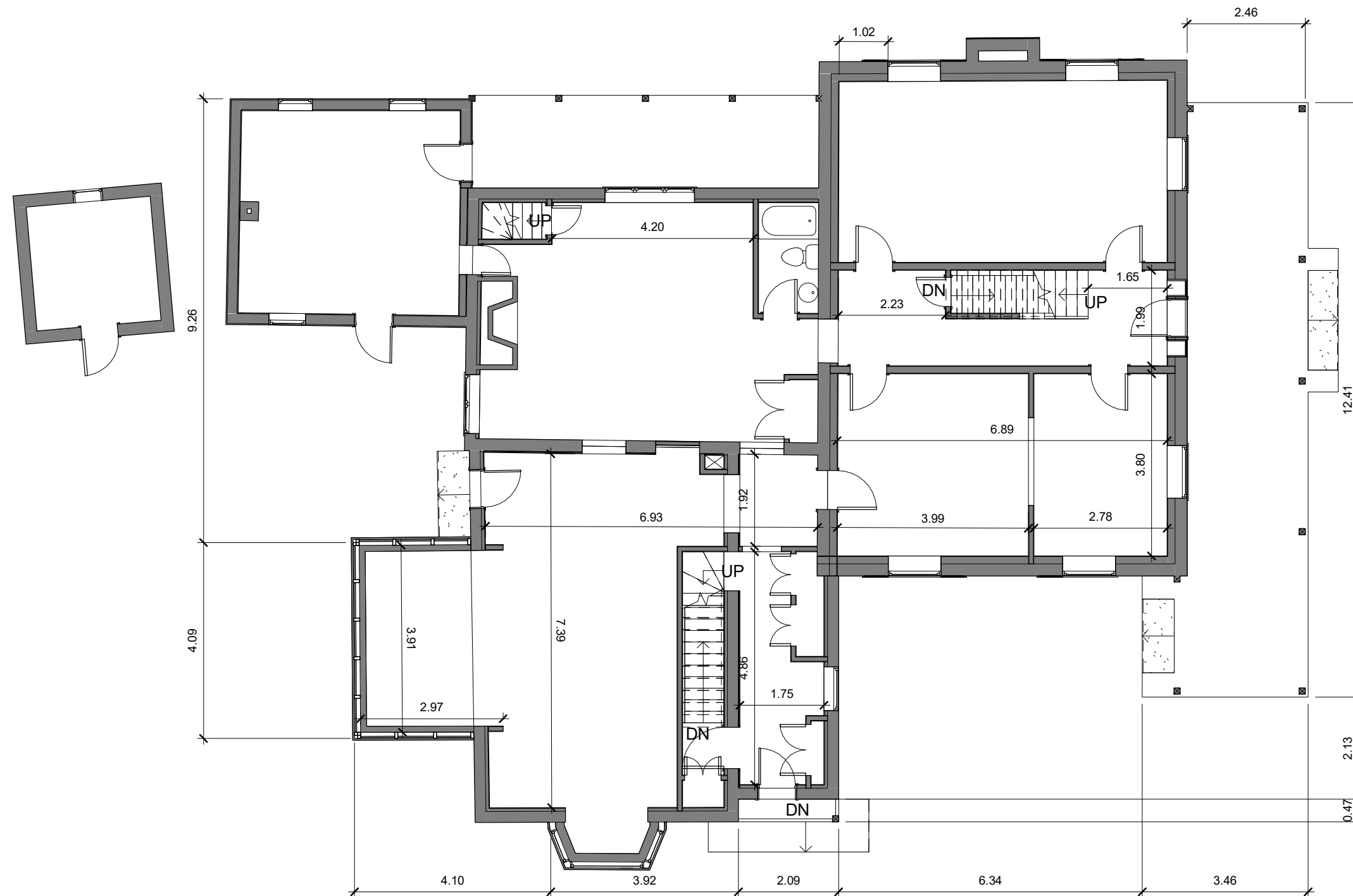
Reviewed by JQ

Drawing title

**GROUND FLOOR PLAN - EXISTING**

Sheet no.

**HA101**

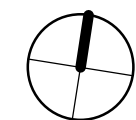
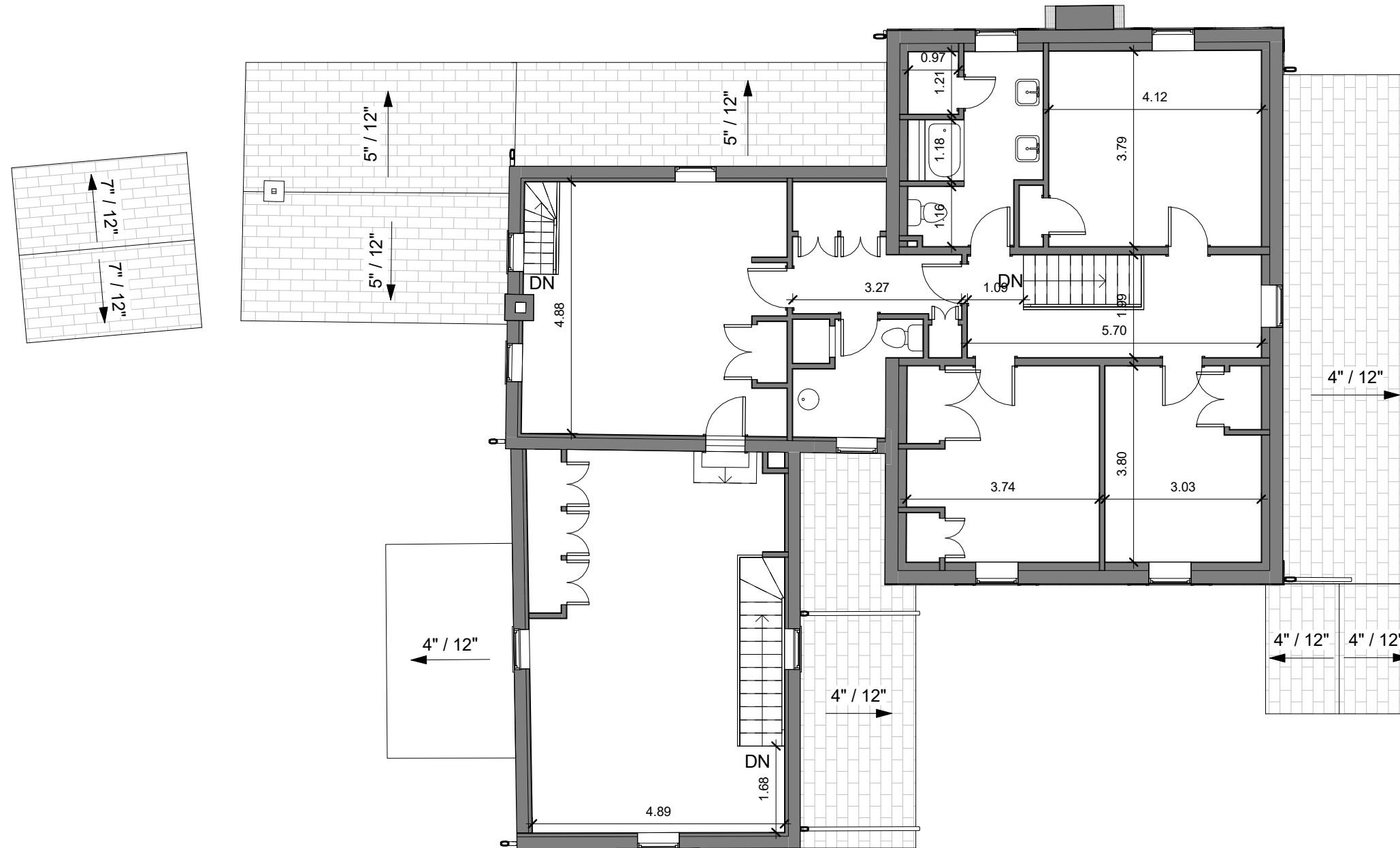


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Project

**BASSINGTHWAITE HOUSE CP**

Address 10244 BATHURST ST., VAUGHAN, ON

For DG GROUP

Project no. 13-106

Scale at 11x17 1 : 100

Drawn by EJ

Reviewed by JQ

Drawing title

**SECOND FLOOR PLAN - EXISTING**

Sheet no.

**HA102**

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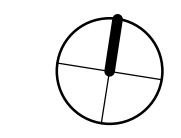
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Project

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Address 10244 BATHURST ST., VAUGHAN, ON

For DG GROUP

Project no. 13-106

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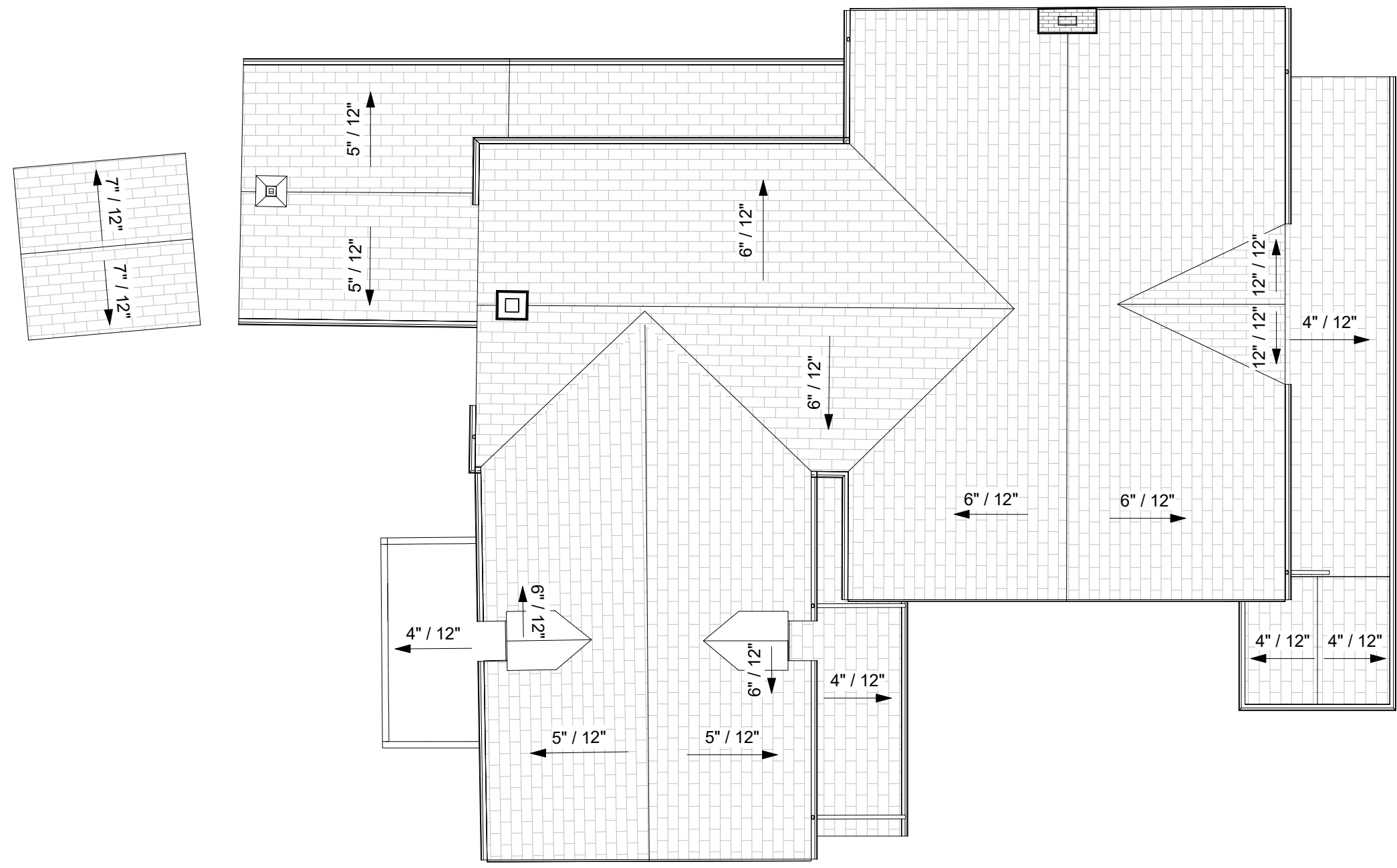
Reviewed by JQ

Drawing title

**ROOF PLAN - EXISTING**

Sheet no.

**HA103**





NORTH ELEVATION - EXISTING 2  
1 : 100 HA104



SOUTH ELEVATION - EXISTING 1  
1 : 100 HA104

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LEGEND

	EXISTING
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**BASSINGTHWAITE HOUSE CP**

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For DG GROUP

Project no. 13-106

Scale at 11x17 1 : 100

Drawn by EJ

Reviewed by JQ

Drawing title

SOUTH & NORTH ELEVATION - EXISTING

Sheet no.

**HA104**

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EAST ELEVATION - EXISTING 2  
1 : 100 HA105



WEST ELEVATION - EXISTING 1  
1 : 100 HA105

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Drawn by EJ

Reviewed by JQ

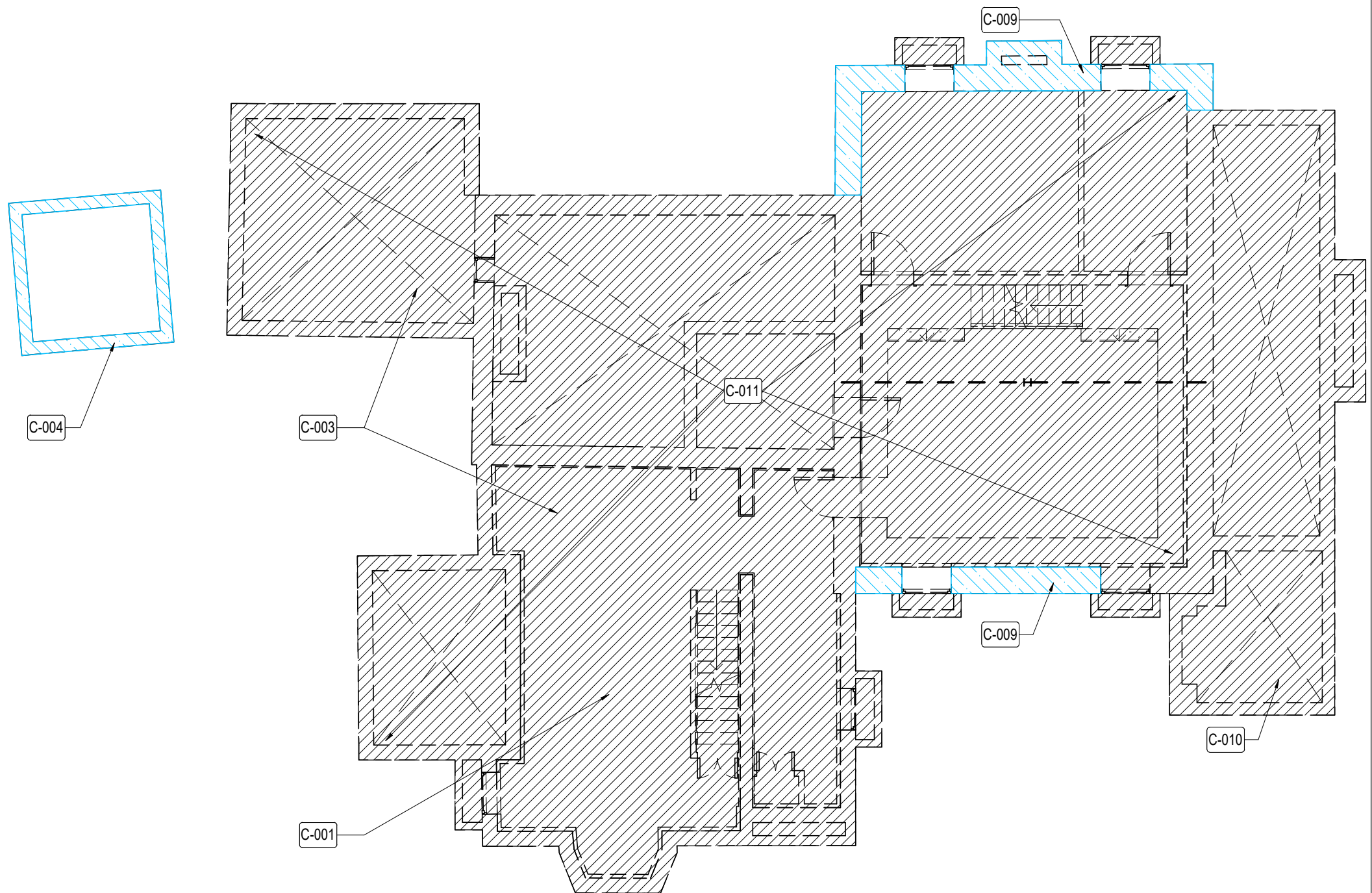
Drawing title

WEST & EAST ELEVATION - EXISTING

Sheet no.

**HA105**





**CONSERVATION NOTES**


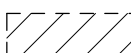

- C-000 SALVAGE, DEMOLITION AND HOUSE RELOCATION**
- C-001: DISCONNECT ALL SERVICES PRIOR TO RELOCATION.
- C-002: RETAIN ORIGINAL c. 1860 BASSINGTHWAITE HOUSE FOOTPRINT AND RELOCATE TO NEW LOCATION FRONTING BATHURST ST.
- C-003: DEMOLISH EXISTING c. 1984 BASSINGTHWAITE HOUSE 2 STOREY AND 1 STOREY ADDITION.
- C-004: SALVAGE STONE FROM EXISTING 1-STOREY SMOKEHOUSE STRUCTURE AND DEMOLISH REMAINING BUILDING.
- C-005: STABILIZE EXISTING FRAMING OF BASSINGTHWAITE BEFORE RELOCATION.
- C-006: PROTECT ALL EXISTING WINDOWS AND DOORS. ENSURE THEY ARE NOT DAMAGED DURING RELOCATION.
- C-007: RETAIN EXISTING BRICK CHIMNEYS DURING RELOCATION.
- C-008: RE-GRADE SITE TO ALLOW FOR STEEL MOVING STRUCTURE TO BE INSERTED UNDER EXISTING FLOOR JOISTS.
- C-009: SALVAGE BRICKS FROM ORIGINAL c. 1860 BASSINGTHWAITE HOUSE FOUNDATION FOR REUSE AND DEMOLISH REMAINING BASEMENT.
- C-010: DEMOLISH EXISTING PORCHES
- C-011: DEMOLISH AND INFILL EXISTING BASEMENT.
- C-012: ENSURE NEW SITE GRADING IS COMPLETE BEFORE THE HOUSE IS RELOCATED.
- C-013: EXCAVATE AND CONSTRUCT NEW STRIP FOOTINGS AND FOUNDATION WALLS IN NEW LOCATION.
- C-100 REMOVALS AND SALVAGE WORK (THIS PHASE OF WORK TO BEGIN AFTER HOUSE RELOCATION IS COMPLETE)**
- C-101: REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.
- C-102: REMOVE ALL METAL FLASHING, RAINWATER DOWNPIPES AND GUTTERS.
- C-103: SALVAGE EXISTING WOOD SHUTTERS TO BE REFURBISHED.
- C-104: REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.
- C-200 MASONRY**
- C-201: REMOVE PAINT ON ALL EXTERIOR MASONRY USING CHEMICAL, NON-ABRASIVE MEANS.
- C-202: REPAIR EXTERIOR MASONRY WALLS WHERE EXPOSED BY REMOVAL OF 2 STOREY AND 1 STOREY ADDITIONS, PORCHES AND AS REQUIRED.
- C-203: REPAIR CRACKS IN BRICKWORK.
- C-204: RESET MASONRY.
- C-205: REPOINT MORTAR. ASSESS RETAINED FAÇADE AFTER PAINT IS REMOVED FROM THE BRICKS TO CALCULATE AREAS TO BE REPOINTED
- C-206: CONSTRUCT NEW DOOR OPENING IN EXISTING OPENING.
- C-207: CONSTRUCT NEW WINDOW OPENING WITH SILL IN EXISTING OPENING.
- C-300 WINDOWS AND DOORS**
- C-301: PROVIDE NEW WOOD WINDOWS (TYP)
- C-302: PROVIDE NEW WOOD DOORS (TYP)
- C-303: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING DOOR AND SIDE LIGHTS AND PROVIDE NEW HARDWARE.
- C-304: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING WINDOWS AND WINDOW FRAMES AS REQUIRED (TYP.)
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- C-401: PROVIDE NEW ASPHALT SHINGLES (COLOUR TO BE DETERMINED), ROOF INSULATION, ROOF VENTS AND NEW FLASHINGS.
- C-402: REPAIR EXTERIOR WOOD.
- C-403: PREPARE, PRIME AND PAINT ALL EXTERIOR WOOD (TYP).
- C-404: REPAIR, PRIME AND PAINT EXISTING WOOD SHUTTERS.
- C-405: FABRICATE NEW WOOD SHUTTERS TO MATCH EXISTING.
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- C-407: CONSTRUCT NEW MAIN PORCH.
- C-408: CONSTRUCT NEW STAIR.

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2	2019-09-11	CONSERVATION PLAN

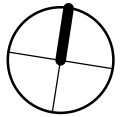
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**LEGEND**

	EXISTING TO BE RETAINED IN SITU
	DEMOLISH
	SALVAGE



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Project

**BASSINGTHWAITE HOUSE CP**

Address 10244 BATHURST ST., VAUGHAN, ON

For DG GROUP

Project no. 13-106

Scale at 11x17 1 : 100

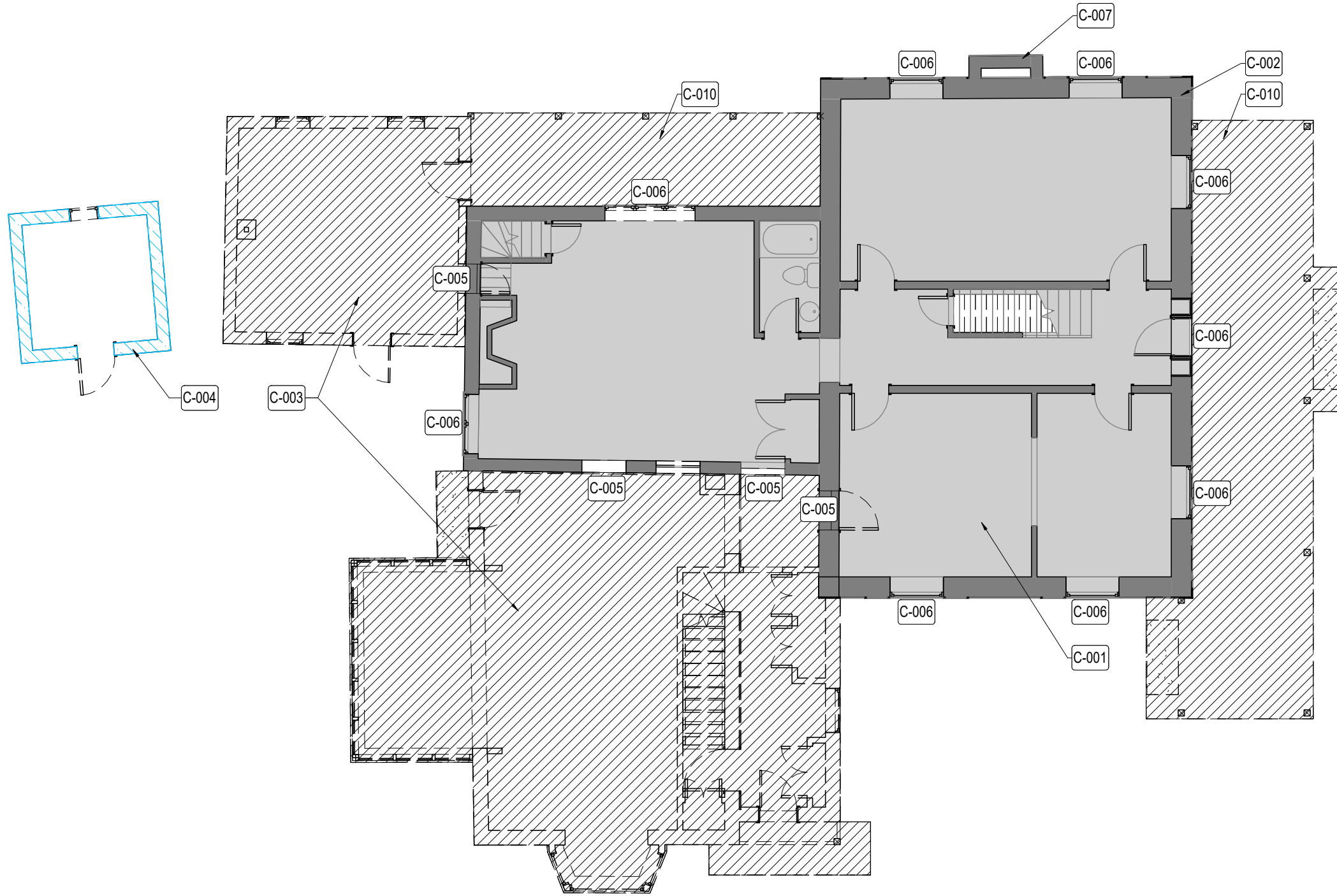
Drawn by EJ

Reviewed by JQ

Drawing title

**BASEMENT PLAN - DEMOLITION**

Sheet no.



**CONSERVATION NOTES**


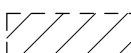

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- C-006: PROTECT ALL EXISTING WINDOWS AND DOORS. ENSURE THEY ARE NOT DAMAGED DURING RELOCATION.
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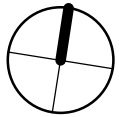
NO.	DATE	REVISION / ISSUANCE
1	2019-08-21	CONSERVATION PLAN - DRAFT
2	2019-09-11	CONSERVATION PLAN

**NOT FOR CONSTRUCTION**

**LEGEND**

-  EXISTING TO BE RETAINED IN SITU
-  DEMOLISH
-  SALVAGE

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 625 Church St. Suite 600  
 Toronto, Ontario, M4Y 2G1  
**E.R.A. Architects Inc.**



Project

**BASSINGTHWAITE HOUSE CP**

Address 10244 BATHURST ST., VAUGHAN, ON

For DG GROUP

Project no. 13-106

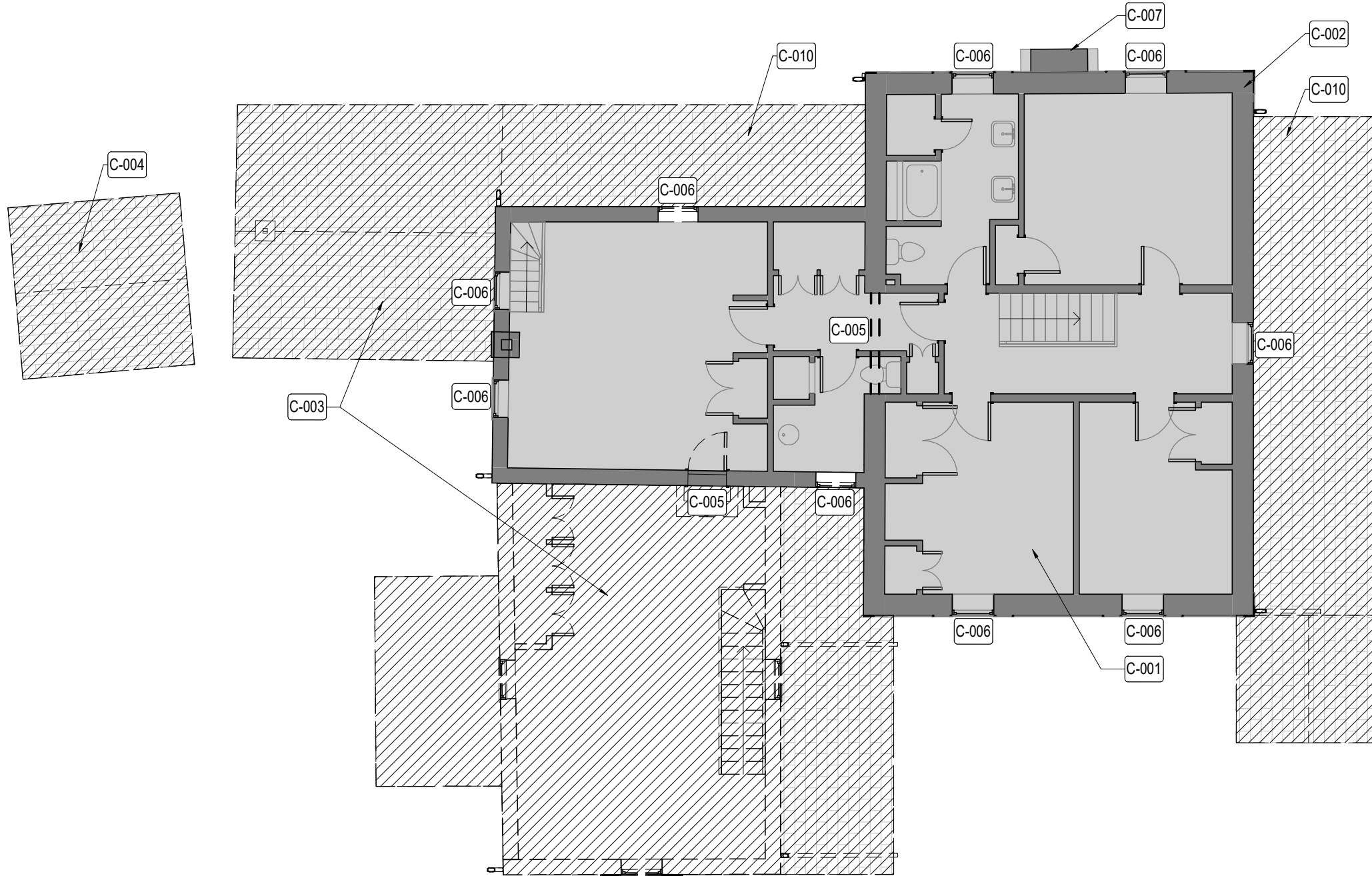
Scale at 11x17 1 : 100

Drawn by EJ

Reviewed by JQ

Drawing title

**GROUND FLOOR PLAN - DEMOLITION**



**CONSERVATION NOTES**


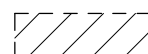

- C-000 SALVAGE, DEMOLITION AND HOUSE RELOCATION**
- C-001: DISCONNECT ALL SERVICES PRIOR TO RELOCATION.
- C-002: RETAIN ORIGINAL c. 1860 BASSINGTHWAITE HOUSE FOOTPRINT AND RELOCATE TO NEW LOCATION FRONTING BATHURST ST.
- C-003: DEMOLISH EXISTING c. 1984 BASSINGTHWAITE HOUSE 2 STOREY AND 1 STOREY ADDITION.
- C-004: SALVAGE STONE FROM EXISTING 1-STOREY SMOKEHOUSE STRUCTURE AND DEMOLISH REMAINING BUILDING.
- C-005: STABILIZE EXISTING FRAMING OF BASSINGTHWAITE BEFORE RELOCATION.
- C-006: PROTECT ALL EXISTING WINDOWS AND DOORS. ENSURE THEY ARE NOT DAMAGED DURING RELOCATION.
- C-007: RETAIN EXISTING BRICK CHIMNEYS DURING RELOCATION.
- C-008: RE-GRADE SITE TO ALLOW FOR STEEL MOVING STRUCTURE TO BE INSERTED UNDER EXISTING FLOOR JOISTS.
- C-009: SALVAGE BRICKS FROM ORIGINAL c. 1860 BASSINGTHWAITE HOUSE FOUNDATION FOR REUSE AND DEMOLISH REMAINING BASEMENT.
- C-010: DEMOLISH EXISTING PORCHES.
- C-011: DEMOLISH AND INFILL EXISTING BASEMENT.
- C-012: ENSURE NEW SITE GRADING IS COMPLETE BEFORE THE HOUSE IS RELOCATED.
- C-013: EXCAVATE AND CONSTRUCT NEW STRIP FOOTINGS AND FOUNDATION WALLS IN NEW LOCATION.
- C-100 REMOVALS AND SALVAGE WORK (THIS PHASE OF WORK TO BEGIN AFTER HOUSE RELOCATION IS COMPLETE)**
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- C-102: REMOVE ALL METAL FLASHING, RAINWATER DOWNPIPES AND GUTTERS.
- C-103: SALVAGE EXISTING WOOD SHUTTERS TO BE REFURBISHED.
- C-104: REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.
- C-200 MASONRY**
- C-201: REMOVE PAINT ON ALL EXTERIOR MASONRY USING CHEMICAL, NON-ABRASIVE MEANS.
- C-202: REPAIR EXTERIOR MASONRY WALLS WHERE EXPOSED BY REMOVAL OF 2 STOREY AND 1 STOREY ADDITIONS, PORCHES AND AS REQUIRED.
- C-203: REPAIR CRACKS IN BRICKWORK.
- C-204: RESET MASONRY.
- C-205: REPOINT MORTAR. ASSESS RETAINED FAÇADE AFTER PAINT IS REMOVED FROM THE BRICKS TO CALCULATE AREAS TO BE REPOINTED.
- C-206: CONSTRUCT NEW DOOR OPENING IN EXISTING OPENING.
- C-207: CONSTRUCT NEW WINDOW OPENING WITH SILL IN EXISTING OPENING.
- C-300 WINDOWS AND DOORS**
- C-301: PROVIDE NEW WOOD WINDOWS (TYP)
- C-302: PROVIDE NEW WOOD DOORS (TYP)
- C-303: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING DOOR AND SIDE LIGHTS AND PROVIDE NEW HARDWARE.
- C-304: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING WINDOWS AND WINDOW FRAMES AS REQUIRED (TYP.)
- C-400 WOOD, ROOF AND METAL WORK**
- C-401: PROVIDE NEW ASPHALT SHINGLES (COLOUR TO BE DETERMINED), ROOF INSULATION, ROOF VENTS AND NEW FLASHINGS.
- C-402: REPAIR EXTERIOR WOOD.
- C-403: PREPARE, PRIME AND PAINT ALL EXTERIOR WOOD (TYP).
- C-404: REPAIR, PRIME AND PAINT EXISTING WOOD SHUTTERS.
- C-405: FABRICATE NEW WOOD SHUTTERS TO MATCH EXISTING.
- C-406: PROVIDE NEW METAL GUTTERS, DOWNSPOUTS AND SPLASH PADS.
- C-407: CONSTRUCT NEW MAIN PORCH.
- C-408: CONSTRUCT NEW STAIR.

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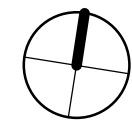
NO.	DATE	REVISION / ISSUANCE
1	2019-08-21	CONSERVATION PLAN - DRAFT
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-  SALVAGE

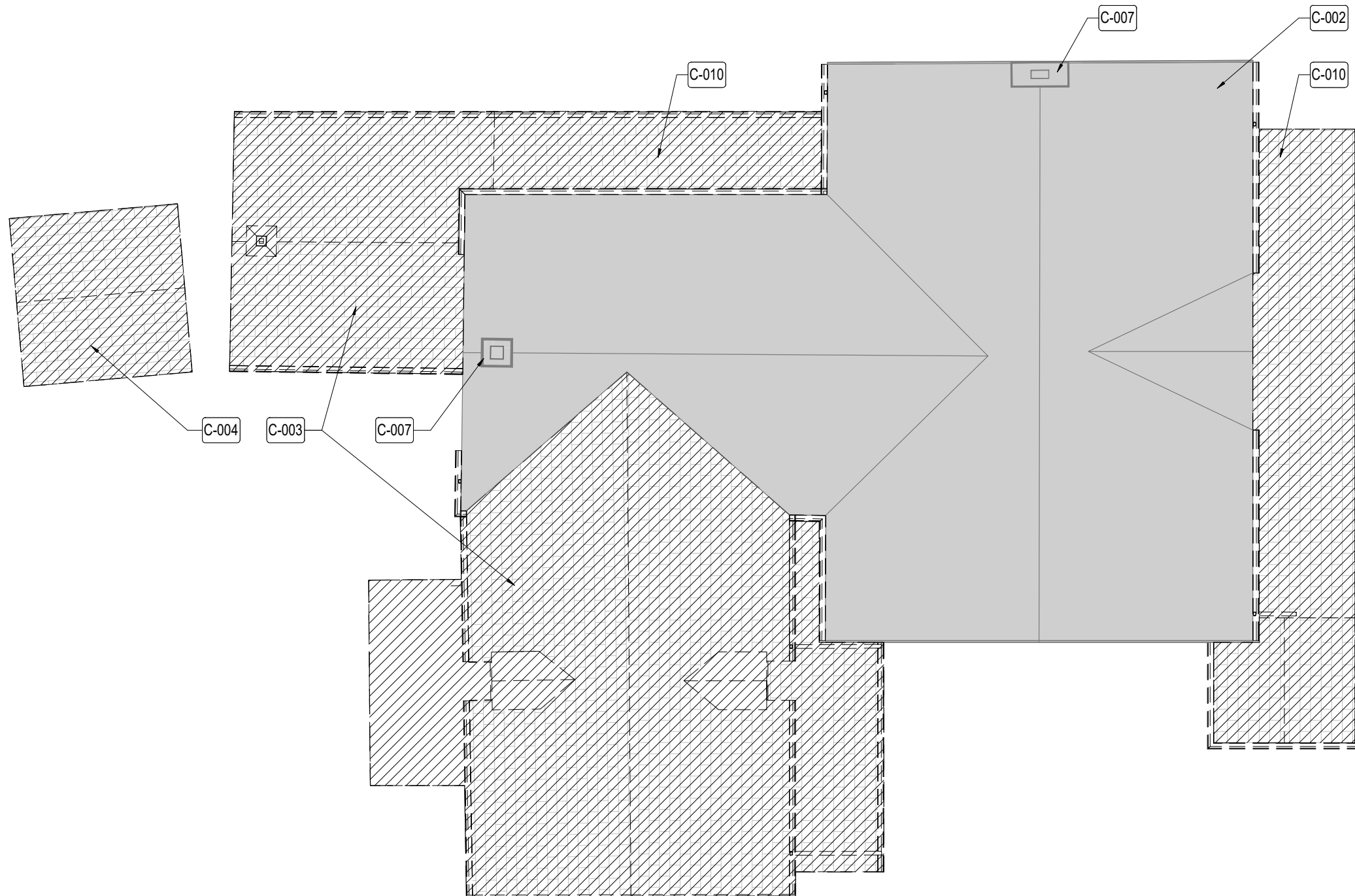
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**E.R.A. Architects Inc.**



Project	BASSINGTHWAITE HOUSE CP
Address	10244 BATHURST ST., VAUGHAN, ON
For	DG GROUP
Project no.	13-106
Scale at 11x17	1 : 100
Drawn by	EJ
Reviewed by	JQ
Drawing title	SECOND FLOOR PLAN - DEMOLITION

Sheet no.

**HA202**



**CONSERVATION NOTES**

C-000 SALVAGE, DEMOLITION AND HOUSE RELOCATION

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  - C-103: SALVAGE EXISTING WOOD SHUTTERS TO BE REFURBISHED.
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- C-200 MASONRY
- C-201: REMOVE PAINT ON ALL EXTERIOR MASONRY USING CHEMICAL, NON-ABRASIVE MEANS.
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  - C-205: REPOINT MORTAR. ASSESS RETAINED FAÇADE AFTER PAINT IS REMOVED FROM THE BRICKS TO CALCULATE AREAS TO BE REPOINTED
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C-400 WOOD, ROOF AND METAL WORK


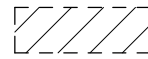

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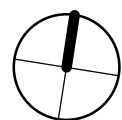
NO.	DATE	REVISION / ISSUANCE
1	2019-08-21	CONSERVATION PLAN - DRAFT
2	2019-09-11	CONSERVATION PLAN

**NOT FOR CONSTRUCTION**

**LEGEND**

-  EXISTING TO BE RETAINED IN SITU
-  DEMOLISH
-  SALVAGE

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**E.R.A. Architects Inc.**



Project	BASSINGTHWAITE HOUSE CP
Address	10244 BATHURST ST., VAUGHAN, ON
For	DG GROUP
Project no.	13-106
Scale at 11x17	1 : 100
Drawn by	EJ
Reviewed by	JQ
Drawing title	ROOF PLAN - DEMOLITION

Sheet no.


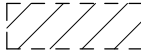

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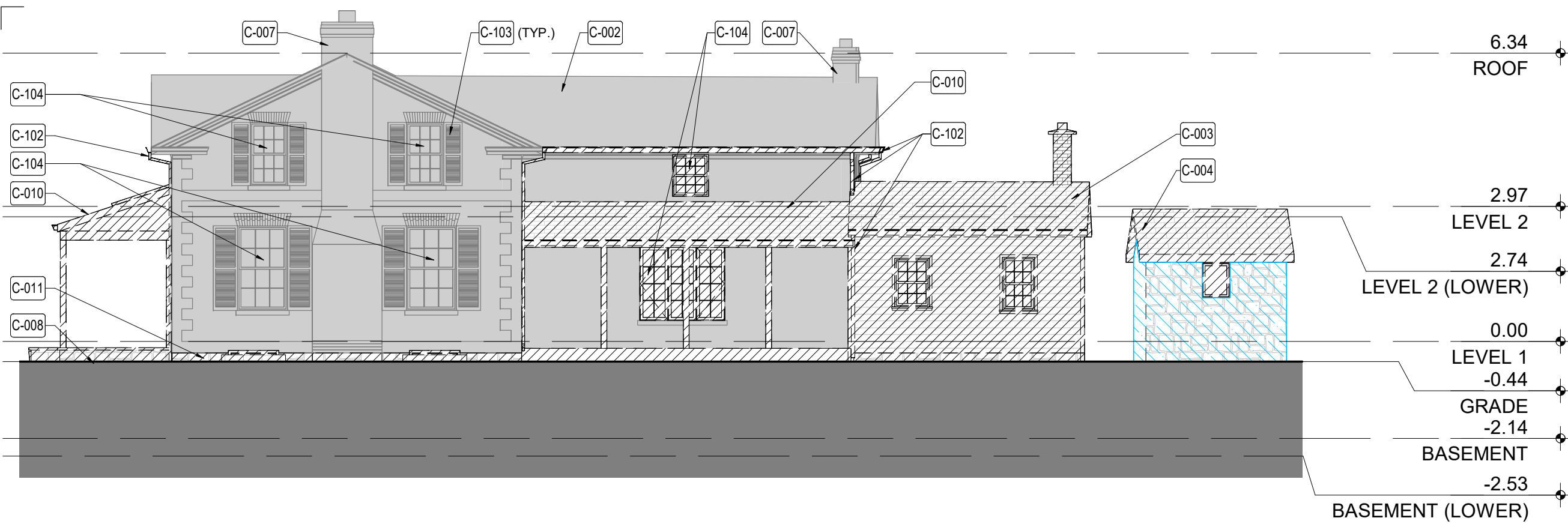
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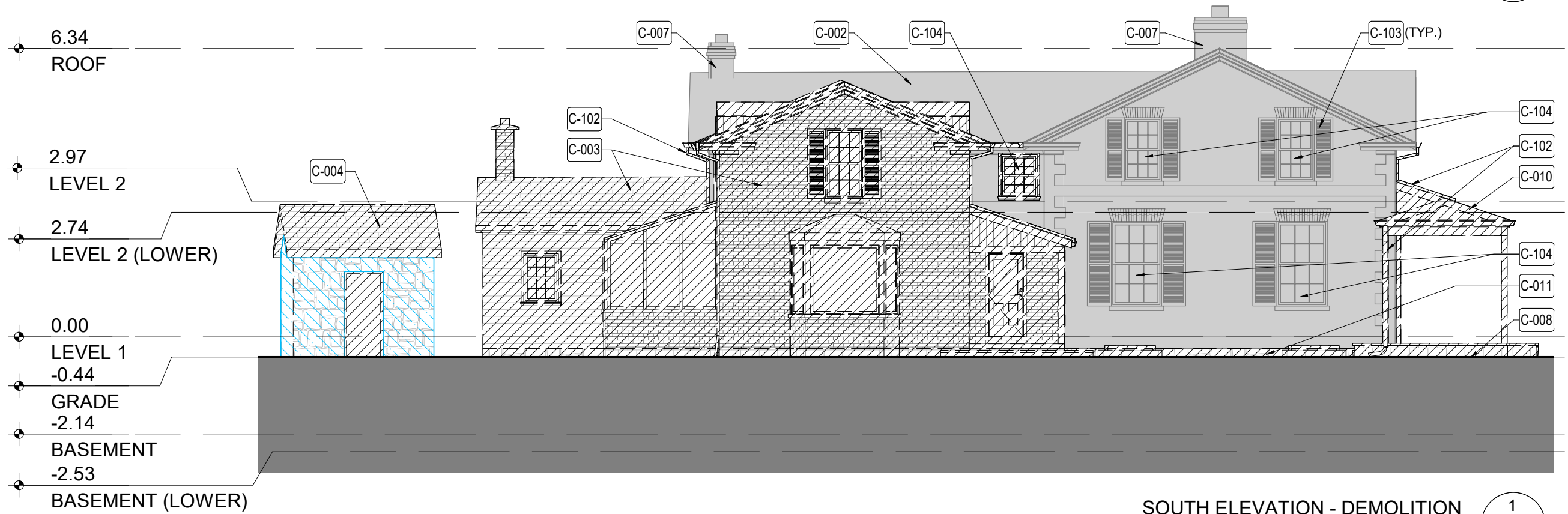
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**LEGEND**

-  EXISTING TO BE RETAINED IN SITU
-  DEMOLISH
-  SALVAGE



NORTH ELEVATION - DEMOLITION 2  
1 : 100 HA204



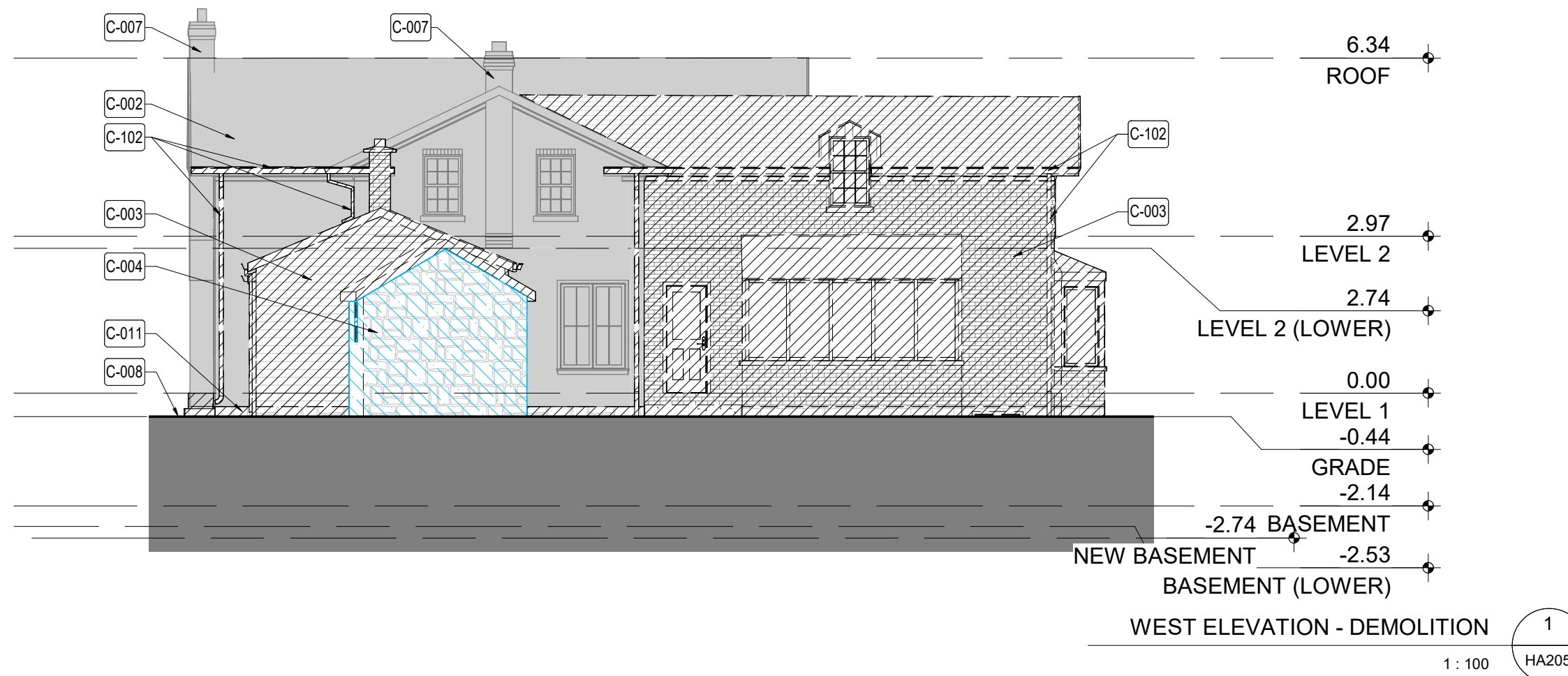
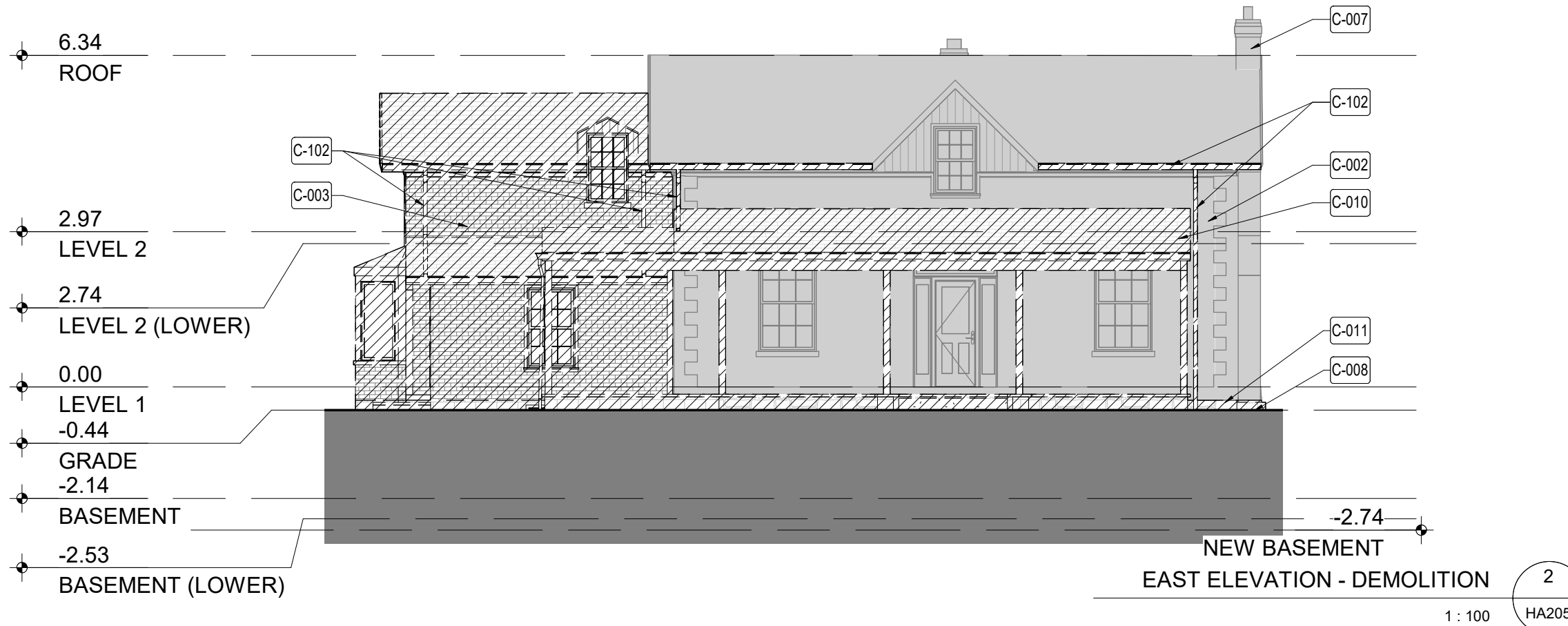
SOUTH ELEVATION - DEMOLITION 1  
1 : 100 HA204

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Toronto, Ontario, M4Y 2G1  
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Project	BASSINGTHWAITE HOUSE CP	
Address	10244 BATHURST ST., VAUGHAN, ON	
For	DG GROUP	
Project no.	13-106	
Scale at 11x17	1 : 100	
Drawn by	EJ	
Reviewed by	JQ	
Drawing title	SOUTH & NORTH ELEVATION - DEMOLITION	

Sheet no.

**HA204**


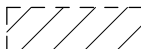



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**LEGEND**

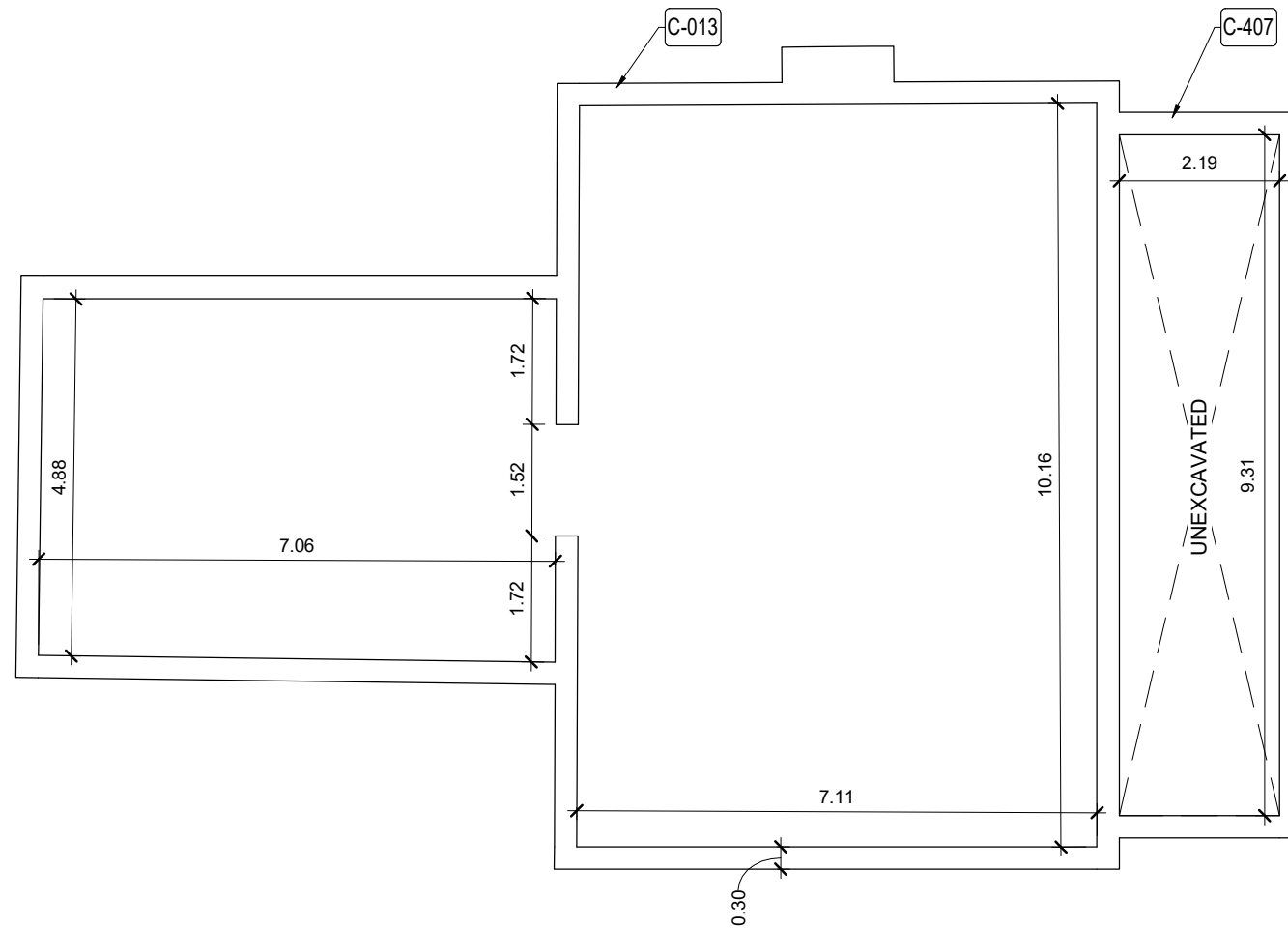
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Project	BASSINGTHWAITE HOUSE CP
Address	10244 BATHURST ST., VAUGHAN, ON
For	DG GROUP
Project no.	13-106
Scale at 11x17	1 : 100
Drawn by	EJ
Reviewed by	JQ
Drawing title	WEST & EAST ELEVATION - DEMOLITION

Sheet no.

**HA205**



**CONSERVATION NOTES**

C-000 SALVAGE, DEMOLITION AND HOUSE RELOCATION

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**CONSERVATION REPAIR LEGEND**

BRICKWORK

-  NEW BRICKWORK TO MATCH EXISTING
-  REPAIR BRICKWORK
-  REPAIR CRACK IN BRICKWORK

WOOD

-  REPAIR EXTERIOR WOOD


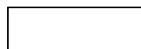
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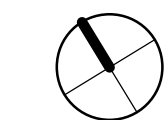
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**LEGEND**

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-  NEW CONSTRUCTION



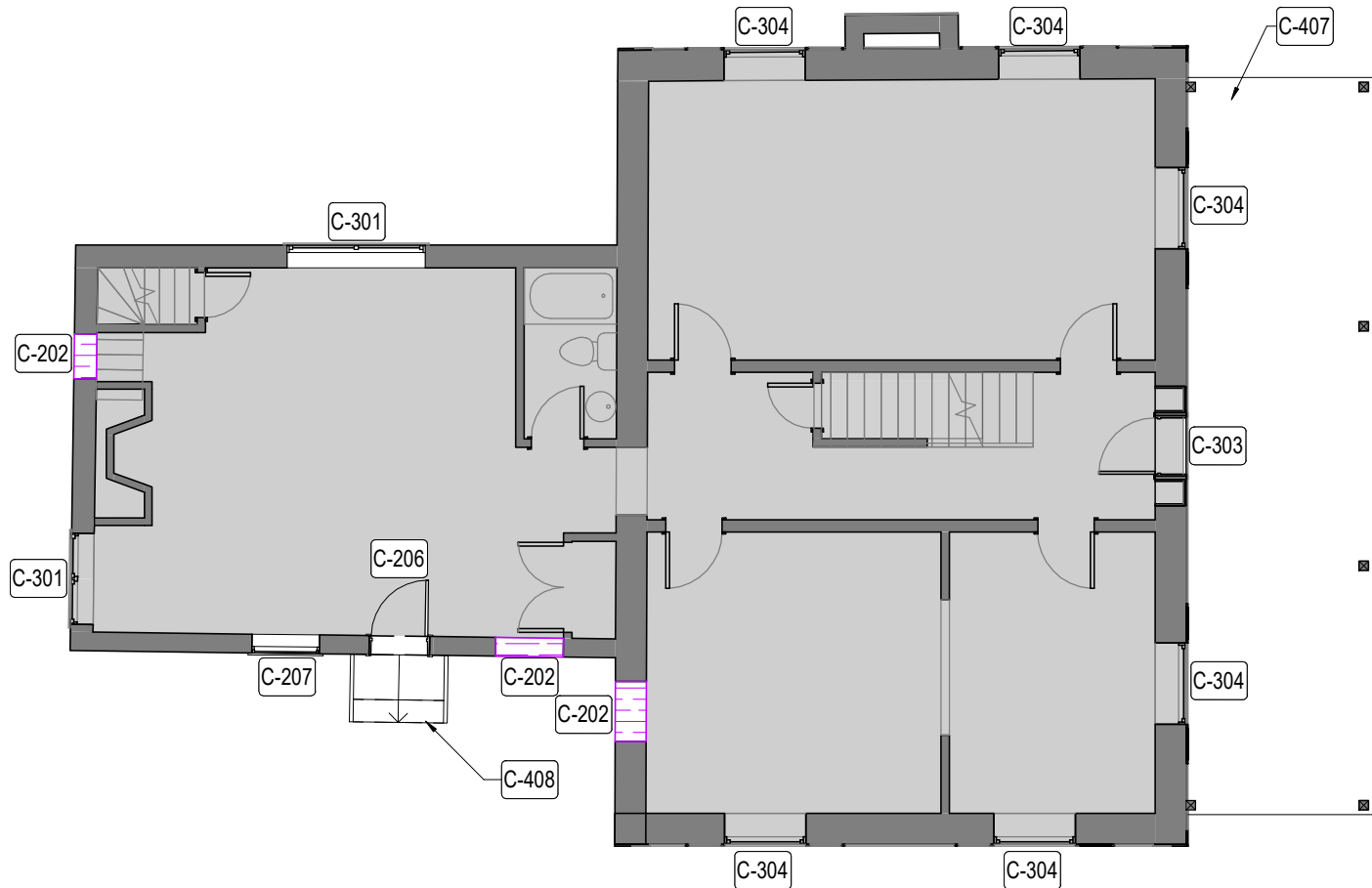
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Project	BASSINGTHWAITE HOUSE CP
Address	10244 BATHURST ST., VAUGHAN, ON
For	DG GROUP
Project no.	13-106
Scale at 11x17	1:100
Drawn by	EJ
Reviewed by	JQ
Drawing title	BASEMENT PLAN - PROPOSED

Sheet no.

**HA300**



**CONSERVATION NOTES**

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- C-205: REPOINT MORTAR. ASSESS RETAINED FAÇADE AFTER PAINT IS REMOVED FROM THE BRICKS TO CALCULATE AREAS TO BE REPOINTED
- C-206: CONSTRUCT NEW DOOR OPENING IN EXISTING OPENING.
- C-207: CONSTRUCT NEW WINDOW OPENING WITH SILL IN EXISTING OPENING.

- C-300 WINDOWS AND DOORS**
- C-301: PROVIDE NEW WOOD WINDOWS (TYP)
- C-302: PROVIDE NEW WOOD DOORS (TYP)
- C-303: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING DOOR AND SIDE LIGHTS AND PROVIDE NEW HARDWARE.
- C-304: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING WINDOWS AND WINDOW FRAMES AS REQUIRED (TYP.)

- C-400 WOOD, ROOF AND METAL WORK**
- C-401: PROVIDE NEW ASPHALT SHINGLES (COLOUR TO BE DETERMINED), ROOF INSULATION, ROOF VENTS AND NEW FLASHINGS.
- C-402: REPAIR EXTERIOR WOOD.
- C-403: PREPARE, PRIME AND PAINT ALL EXTERIOR WOOD (TYP).
- C-404: REPAIR, PRIME AND PAINT EXISTING WOOD SHUTTERS.
- C-405: FABRICATE NEW WOOD SHUTTERS TO MATCH EXISTING.
- C-406: PROVIDE NEW METAL GUTTERS, DOWNSPOUTS AND SPLASH PADS.
- C-407: CONSTRUCT NEW MAIN PORCH.
- C-408: CONSTRUCT NEW STAIR.

**CONSERVATION REPAIR LEGEND**



- BRICKWORK**
-  NEW BRICKWORK TO MATCH EXISTING
  -  REPAIR BRICKWORK
  -  REPAIR CRACK IN BRICKWORK
- WOOD**
-  REPAIR EXTERIOR WOOD

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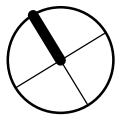
NO.	DATE	REVISION / ISSUANCE
1	2019-08-21	CONSERVATION PLAN - DRAFT
2	2019-09-11	CONSERVATION PLAN

**NOT FOR CONSTRUCTION**

**LEGEND**

-  EXISTING TO BE RETAINED
-  NEW CONSTRUCTION

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 625 Church St. Suite 600  
 Toronto, Ontario, M4Y 2G1  
**E.R.A. Architects Inc.**



Project

**BASSINGTHWAITE HOUSE CP**

Address 10244 BATHURST ST., VAUGHAN, ON

For DG GROUP

Project no. 13-106

Scale at 11x17 1:100

Drawn by EJ

Reviewed by JQ

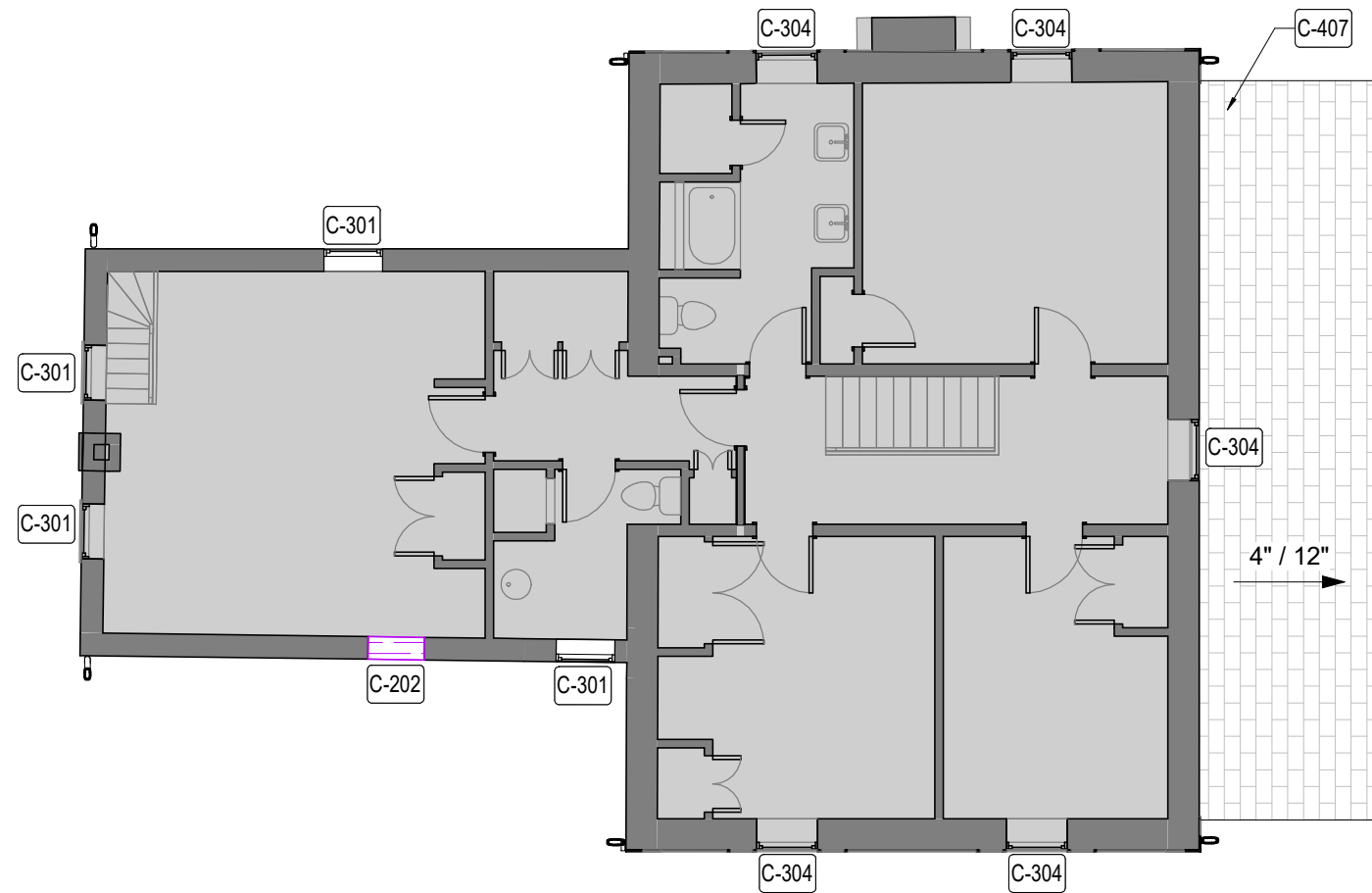
Drawing title

**GROUND FLOOR PLAN - PROPOSED**

Sheet no.

**HA301**





**CONSERVATION NOTES**

C-000 SALVAGE, DEMOLITION AND HOUSE RELOCATION

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- C-006: PROTECT ALL EXISTING WINDOWS AND DOORS. ENSURE THEY ARE NOT DAMAGED DURING RELOCATION.
- C-007: RETAIN EXISTING BRICK CHIMNEYS DURING RELOCATION.
- C-008: RE-GRADE SITE TO ALLOW FOR STEEL MOVING STRUCTURE TO BE INSERTED UNDER EXISTING FLOOR JOISTS.
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- C-010: DEMOLISH EXISTING PORCHES
- C-011: DEMOLISH AND INFILL EXISTING BASEMENT.
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- C-013: EXCAVATE AND CONSTRUCT NEW STRIP FOOTINGS AND FOUNDATION WALLS IN NEW LOCATION.

C-100 REMOVALS AND SALVAGE WORK (THIS PHASE OF WORK TO BEGIN AFTER HOUSE RELOCATION IS COMPLETE)

- C-101: REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.
  - C-102: REMOVE ALL METAL FLASHING, RAINWATER DOWNPIPES AND GUTTERS.
  - C-103: SALVAGE EXISTING WOOD SHUTTERS TO BE REFURBISHED.
  - C-104: REMOVE ASPHALT SHINGLE ROOF AND REPLACE WITH NEW PLYWOOD DECK, IF NECESSARY.
- C-200 MASONRY
- C-201: REMOVE PAINT ON ALL EXTERIOR MASONRY USING CHEMICAL, NON-ABRASIVE MEANS.
  - C-202: REPAIR EXTERIOR MASONRY WALLS WHERE EXPOSED BY REMOVAL OF 2 STOREY AND 1 STOREY ADDITIONS, PORCHES AND AS REQUIRED.
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  - C-204: RESET MASONRY.
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**CONSERVATION REPAIR LEGEND**

BRICKWORK

-  NEW BRICKWORK TO MATCH EXISTING
-  REPAIR BRICKWORK
-  REPAIR CRACK IN BRICKWORK

WOOD


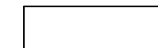
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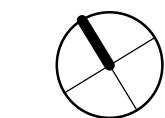
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Project

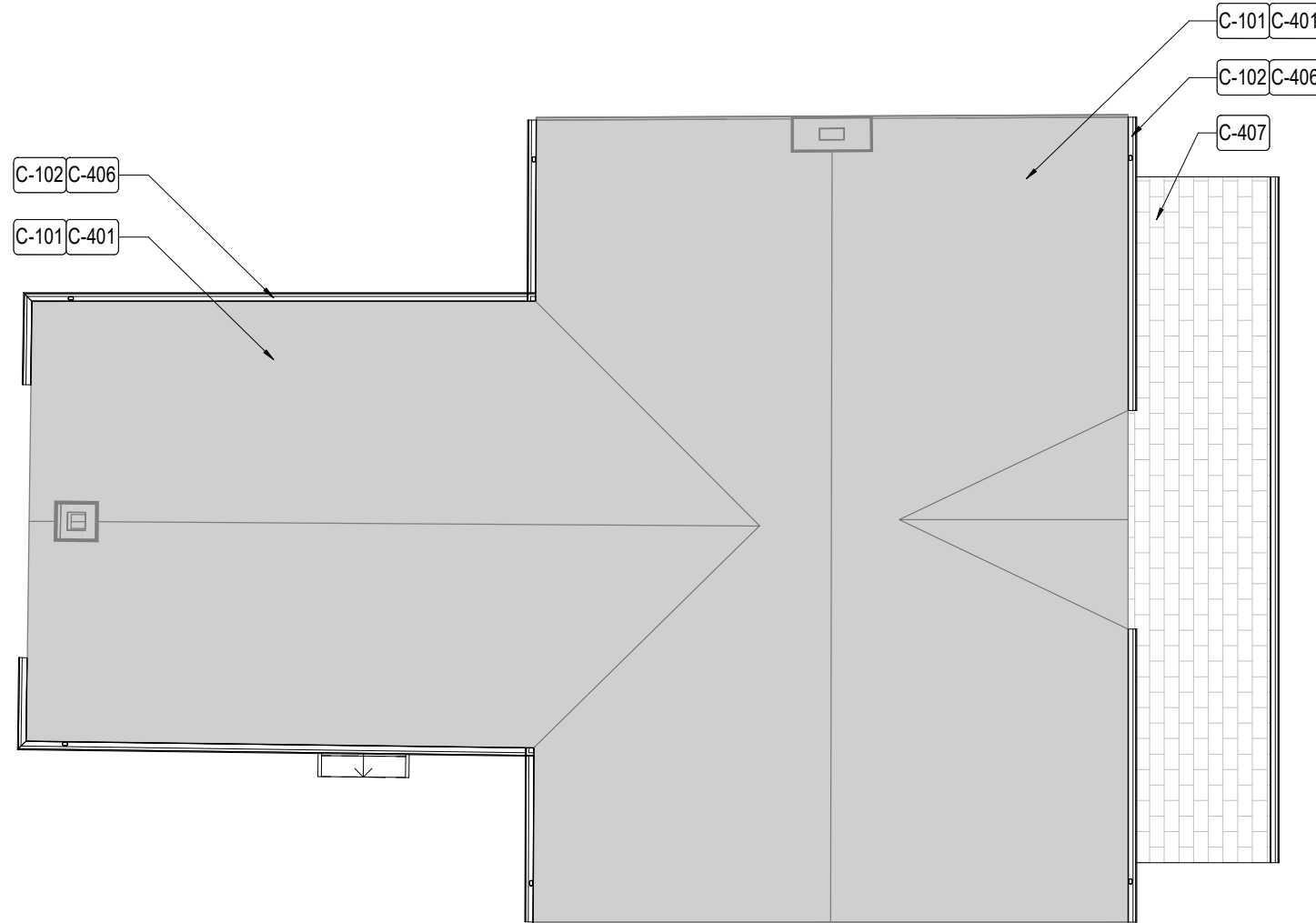
**BASSINGTHWAITE HOUSE CP**

Address	10244 BATHURST ST., VAUGHAN, ON
For	DG GROUP
Project no.	13-106
Scale at 11x17	1:100
Drawn by	EJ
Reviewed by	JQ
Drawing title	

**SECOND FLOOR PLAN - PROPOSED**

Sheet no.

**HA302**



**CONSERVATION NOTES**

- C-000 SALVAGE, DEMOLITION AND HOUSE RELOCATION**
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  - C-006: PROTECT ALL EXISTING WINDOWS AND DOORS. ENSURE THEY ARE NOT DAMAGED DURING RELOCATION.
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  - C-103: SALVAGE EXISTING WOOD SHUTTERS TO BE REFURBISHED.
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  - C-204: RESET MASONRY.
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**CONSERVATION REPAIR LEGEND**

- BRICKWORK**
- NEW BRICKWORK TO MATCH EXISTING
  - REPAIR BRICKWORK
  - REPAIR CRACK IN BRICKWORK
- WOOD**
- REPAIR EXTERIOR WOOD

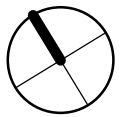
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Project

**BASSINGTHWAITE HOUSE CP**

Address 10244 BATHURST ST., VAUGHAN, ON

For DG GROUP

Project no. 13-106

Scale at 11x17 1:100

Drawn by EJ

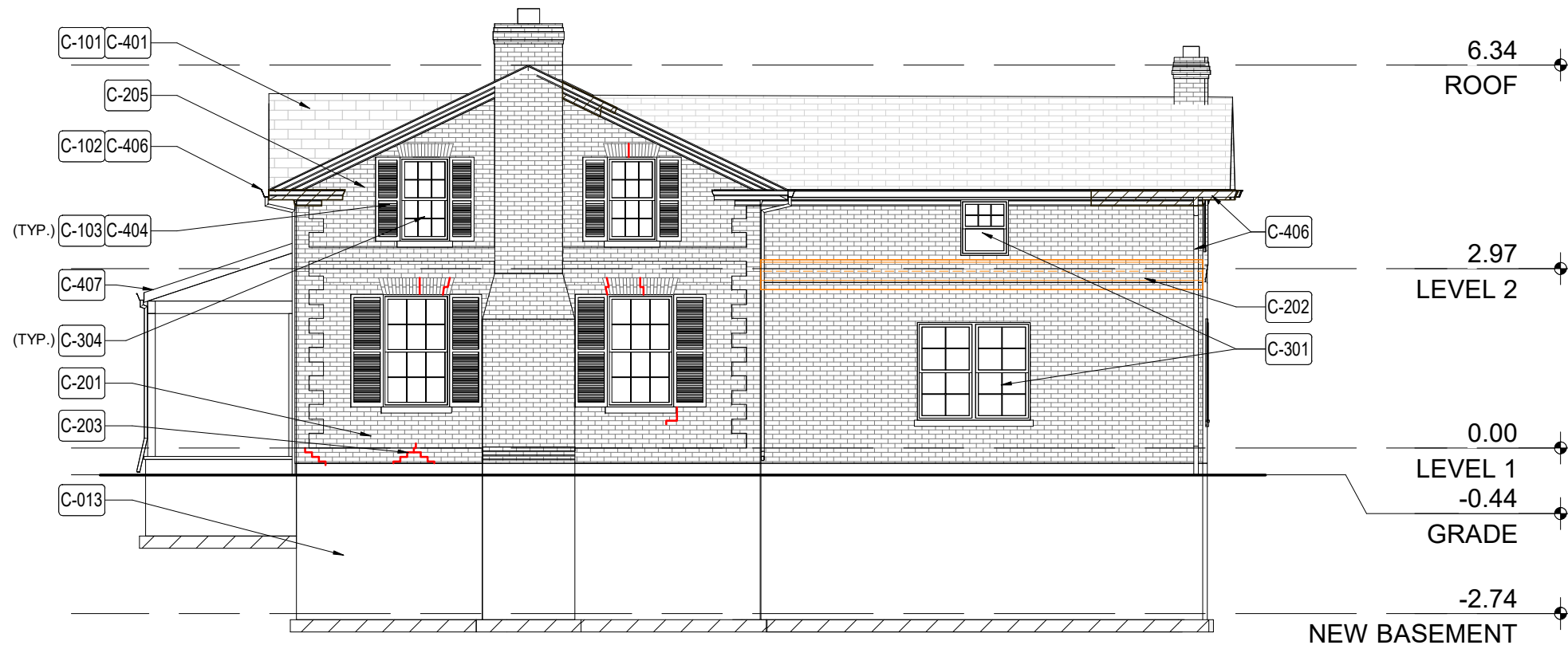
Reviewed by JQ

Drawing title

**ROOF PLAN - PROPOSED**

Sheet no.

**HA303**



NORTH ELEVATION - PROPOSED

2

1 : 100

HA304



SOUTH ELEVATION - PROPOSED

1

1 : 100

HA304

**CONSERVATION NOTES**

C-000 SALVAGE, DEMOLITION AND HOUSE RELOCATION

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**CONSERVATION REPAIR LEGEND**

**BRICKWORK**

- NEW BRICKWORK TO MATCH EXISTING
- REPAIR BRICKWORK
- REPAIR CRACK IN BRICKWORK

**WOOD**

- REPAIR EXTERIOR WOOD

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Project

**BASSINGTHWAITE HOUSE CP**

Address 10244 BATHURST ST., VAUGHAN, ON

For DG GROUP

Project no. 13-106

Scale at 11x17 1:100

Drawn by EJ

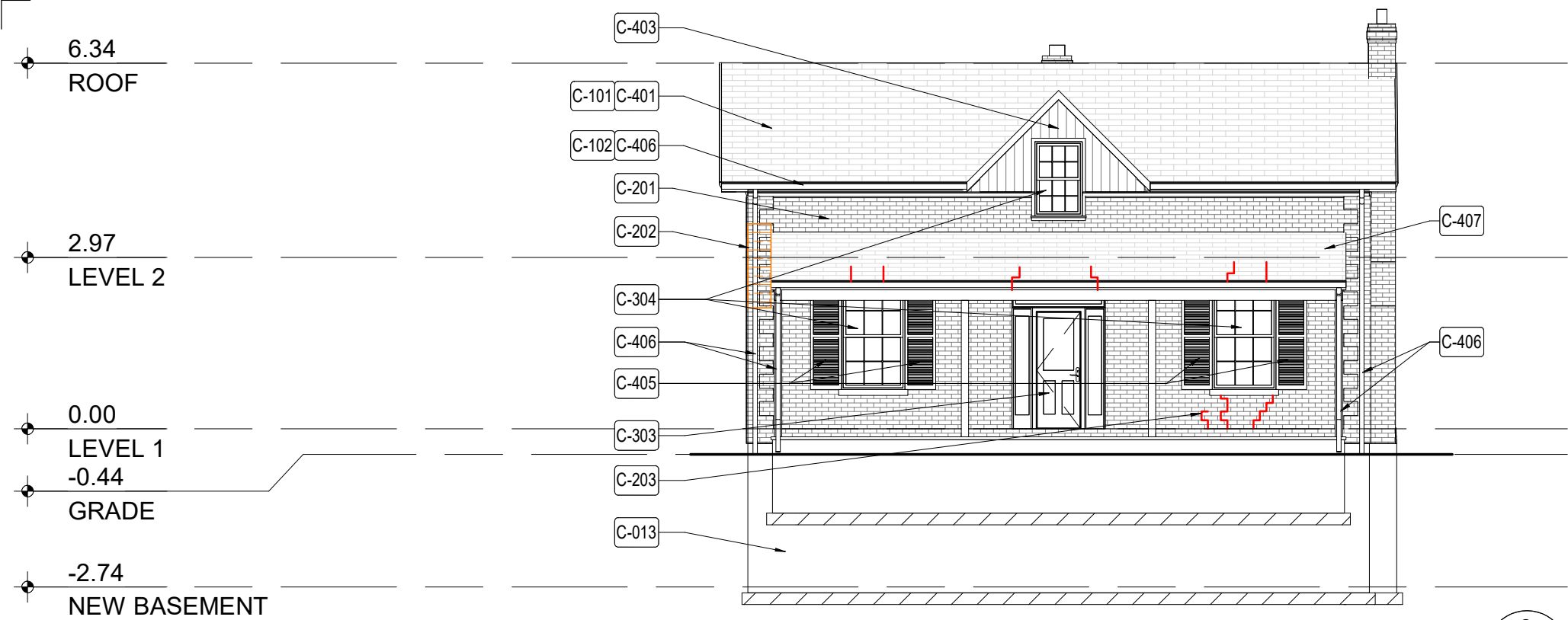
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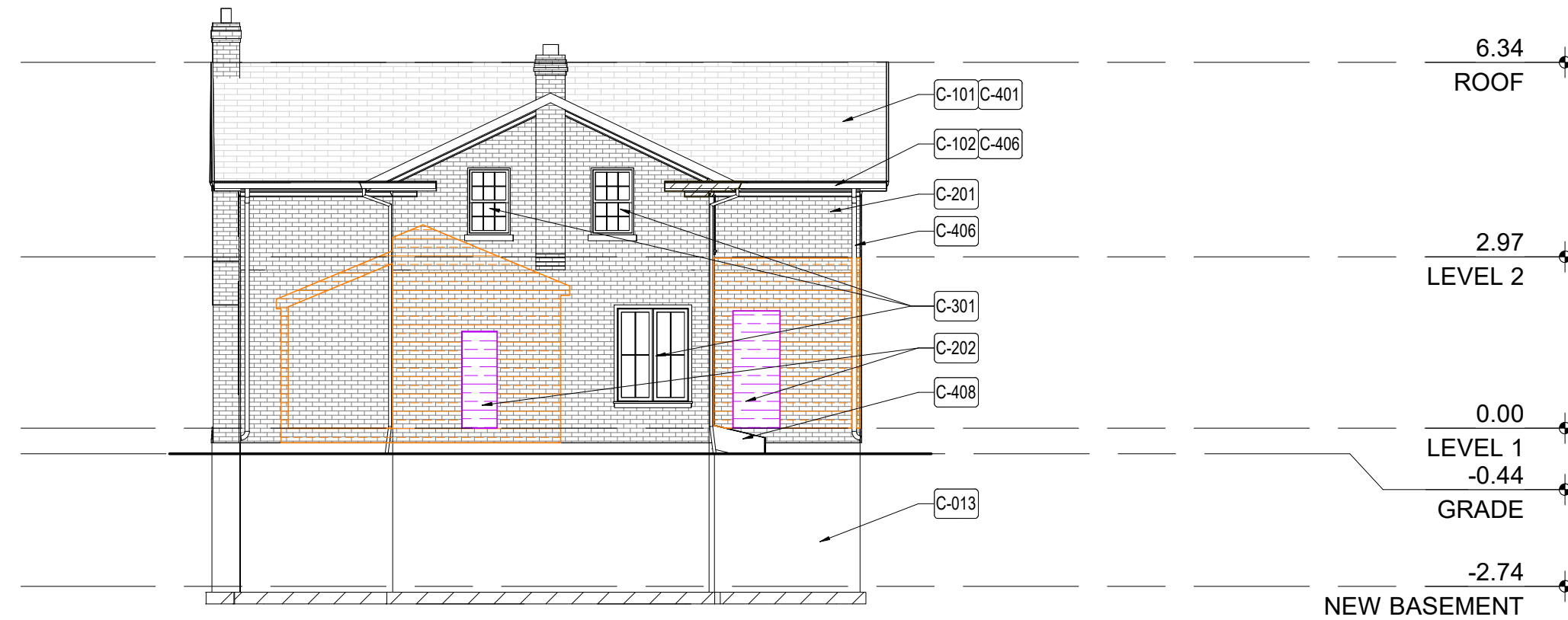
**SOUTH & NORTH ELEVATION - PROPOSED**

Sheet no.

**HA304**



**EAST ELEVATION - PROPOSED** 2  
1 : 100 HA305



**WEST ELEVATION - PROPOSED** 1  
1 : 100 HA305

**CONSERVATION NOTES**

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- BRICKWORK**
- NEW BRICKWORK TO MATCH EXISTING
  - REPAIR BRICKWORK
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- WOOD**
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Reviewed by	JQ
Drawing title	

**WEST & EAST ELEVATION - PROPOSED**

Sheet no.

**HA305**

