



ERA Architects Inc.
#600-625 Church St
Toronto ON, M4Y 2G1

Date: September 11, 2019 **Sent by:** EMAIL
To: Michael Pozzebon
 Longyard Properties Inc.
 30 Floral Parkway, Suite 300
 Concord, ON, L4K 4R1
Subject: **RE: 980 Major Mackenzie Drive West, Munshaw House —
 Addendum to Conservation Plan Phase 1: Relocation**

Dear Michael,

This document is an addendum to the Conservation Plan Phase 1: Relocation (“CP”) prepared by E.R.A. Architects Inc. (“ERA”), dated October 28, 2015, for 980 Major Mackenzie Drive West (“Munshaw House”), revised on July 21, 2016 and issued to the City of Vaughan. This addendum outlines a new proposed conservation strategy for the Munshaw House, and builds on and amends sections of the existing CP, including: Section 2: Condition Assessment; Section 3: Conservation Plan; Section 4: Conservation Cost Estimate; and Appendix 1: Conservation Plan Drawings.

Background

The CP followed a Heritage Impact Assessment (“HIA”) by ERA, dated October 30, 2014 and revised April 12, 2016 in consultation with Heritage Staff, which sought to stabilize, temporarily relocate and mothball the structure for eventual rehabilitation. Since the HIA was submitted and approved by the City of Vaughan in 2016, the Munshaw House was stabilized, relocated from its former location (municipally known as 980 Major Mackenzie Drive West) within the Longyard Subdivision, 19T-03V13-Phase 2 to Lot 104 on Fanning Mills Circle, abutting Major Mackenzie Drive West, and mothballed.

The Munshaw House consists of a one-and-a-half-storey structure with a one-storey rear addition built c. 1825-1850. It was moved from its original site in Richmond Hill at Lot 44 Concession 2 to 980 Major Mackenzie Drive West in 1984, and then to its present location between 2016 and 2017.

This addendum outlines a new proposed conservation strategy for Munshaw House that includes relocation to a permanent foundation on a new property. Exterior and interior conservation works and adaptive reuse will be part of a future scope. In the interim, before it is programmed, Munshaw house will serve as an accessory structure to the Bassingthwaite House, a local heritage resource to be relocated to the same property. When a future use is determined, and a proposal for rehabilitation is developed, planning permissions and Heritage Permits will be required for any further work.

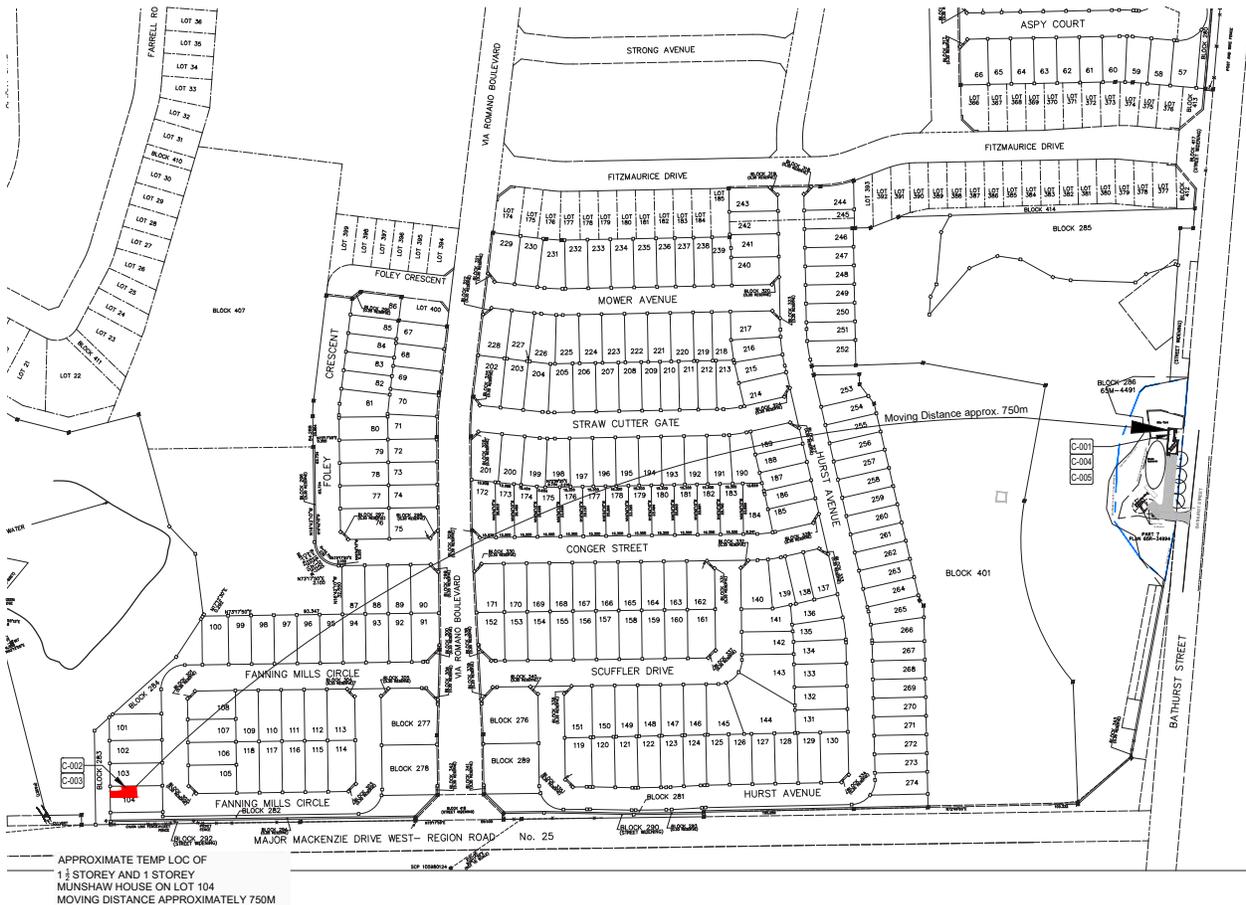
ERA has developed the conservation strategy with respect to the Parks Canada *Standards and Guidelines for the Conservation of Historic Places in Canada*, and the Ministry of Culture’s *Ontario Heritage Tool Kit* procedures, and the *Burra Charter for the Protection and Enhancement of the Built Environment*. The conservation work described in this CP addendum will be executed by specialist sub-contractors with a minimum of 5 years experience in working with heritage structures. The work will be reviewed on site by the architect, heritage consultant and the City of Vaughan’s heritage staff for general conformance with heritage guidelines and conservation notes described in this addendum.



A Letter of Credit to secure the dollar value of conservation work of the heritage elements identified in this Conservation Plan will be provided under separate cover. Upon adequate review and completion of the conservation work by the Heritage Consultant, the Letter of Credit amount will be released back to the client.

Scope of the Report

This report addresses the conservation work needed to relocate and stabilize the Munshaw House in accordance with the City of Vaughan’s requirements. Future exterior conservation is detailed in the “Conservation Notes” section of this document (Notes 1-000 onwards), noting that these are future works. It does not include instruction for rehabilitation of the existing one-and-a-half-storey building and one-storey rear addition of the Munshaw House, including future interior conservation and additions or alterations. A supplemental Heritage Permit will be required for future work.



Site plan drawing (HA001) showing the relocation of Munshaw House from its current position (in red) approximately 750 metres to its proposed location at the municipal address of 10090 Bathurst Street (ERA, 2019).



SECTION 2: CONDITION ASSESSMENT

ERA performed a visual inspection of the property on July 25, 2019. All inspections were carried out from grade. Inspections were limited to visible exterior envelope features such as the masonry, woodwork, windows and doors, flashings and rainwater management systems (eavestroughs and downspouts). The interior was accessible during the inspection. No close up “hands on” inspections were carried out using scaffolding or a lift, and the roof areas on all the buildings were not accessible at the time of the inspection.

Overall, the Munshaw house is in fair to poor condition with areas of defective condition. It is currently sitting on temporary structure – steel beams and wood cribs. The area at the seam of the one-and-a-half-storey building and one-storey addition appears to be in poor condition and is bowing in this location. This section should be repaired and leveled as soon as possible to prevent further deterioration to the structure.

2.1 Exterior Condition

The wood siding appears to be in poor to fair condition with some areas of rot and deterioration and paint flaking and peeling. There also appears to be some defective areas at the base of the one-storey addition where there is missing wood siding.

The exterior wood work appears to be in fair condition with some areas of the roof fascia and soffit boards showing paint flaking and peeling.

The eavestroughs and downspouts appear to be in fair condition with some areas of warping. The eavestroughs and downspouts on the north side of the one-storey addition is missing. The cedar shingle roof appears to be in poor condition with areas of missing shingles, deterioration and warping. The roof flashing appears to be in fair condition.

The brick chimneys appear to be in fair condition with some environmental staining at the peaks.

All the existing doors and windows are boarded up from the exterior, and so these items could not be reviewed.

Definition of Terms

The building components were graded using the following assessment system:

Excellent: Superior aging performance. Functioning as intended; no deterioration observed.

Good: Normal Result. Functioning as intended; normal deterioration observed; no maintenance anticipated within the next five years.

Fair: Functioning as intended. Normal deterioration and minor distress observed; maintenance will be required within the next three to five years to maintain functionality.

Poor: Not functioning as intended; significant deterioration and distress observed; maintenance and some repair required within the next year to restore functionality.

Defective: Not functioning as intended; significant deterioration and major distress observed, possible damage to support structure; may present a risk; must be dealt with immediately.

The following site photos depict the current condition of the Munshaw House.



Eastern facade of the Munshaw House (ERA, 2019).



Western facade of the Munshaw House (ERA, 2019).



Southern facade of the Munshaw House (ERA, 2019).



Northern facade of the Munshaw House (ERA, 2019).



SECTION 3: CONSERVATION PLAN

3.1 Conservation Strategy Objectives

This CP addendum seeks to ensure the responsible treatment of the character-defining elements of the Munshaw House throughout stabilization and relocation, as well as future work related to exterior and interior conservation. Munshaw House's reasons for designation include:

Designation is recommended for the George Munshaw House for its architectural significance in that it is representative of the transitional period from early post and beam construction to balloon frame construction (1825-1850). Its construction is also unique as it has no posts supporting its frame, but has vertical plank sheathing as the frame support.

It is believed that George Munshaw Sr constructed the house situated on his property, Lot 44, Concession 1. The building was relocated to its present site in 1985. George Munshaw Sr.'s father, Balsor Munshaw was one of the first founding settlers of what is today Markham (City of Vaughan By-law 403-87).

From the reasons for designation, we conclude that the main character-defining element to be conserved through conservation work is the construction of the house's structure.

3.2 Overview of Conservation Scope

The proposed conservation scope aims to stabilize the Munshaw House, which is currently on temporary footings, and relocate it to a permanent foundation on a new property. In the interim, until the it is programmed for future use, Munshaw House will serve as an accessory building to the residential Bassingthwaite House. The conservation scope of work is as follows:

- Stabilization and relocation of the one-and-a-half -storey building with one-storey rear addition of the Munshaw House (*stabilization of the structure is to be confirmed by Danco House Raising and Moving prior to relocation*).

Exterior conservation work is outside of the current project scope; however, the 'Conservation Notes' (C-100 items only) provided within this report describe the work to be undertaken in future.

Conservation:

all actions or processes that are aimed at safeguarding the character-defining elements of an historic place so as to retain its heritage value and extend its physical life. This may involve Preservation, Rehabilitation, Restoration, or a combination of these actions or processes.

Preservation:

the action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of an historic place, or of an individual component, while protecting its heritage value.

Rehabilitation:

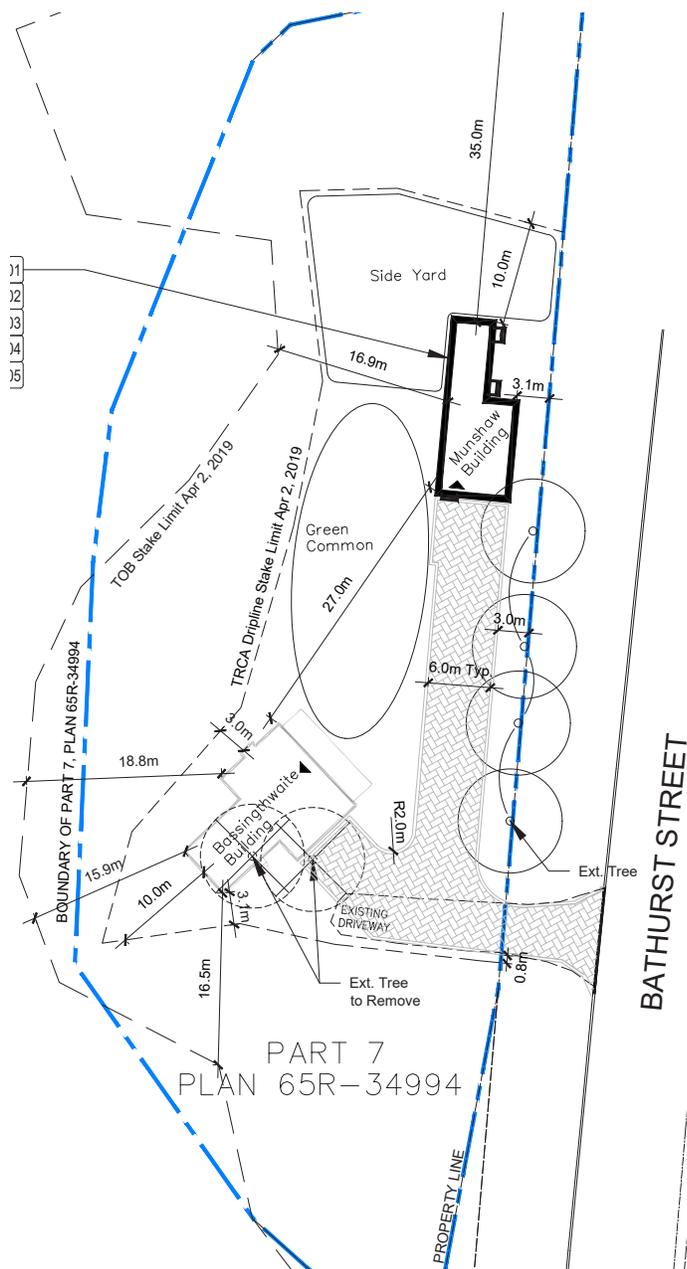
the action or process of making possible a continuing or compatible contemporary use of an historic place, or an individual component, while protecting its heritage value.

Restoration:

the action or process of accurately revealing, recovering or representing the state of an historic place, or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.

Source: Standards and Guidelines for the Conservation of Historic Places in Canada (2nd Ed, Glossary)

The dwelling is proposed to be relocated to 10090 Bathurst Street (the “Proposed Site”), a residential lot enveloped by naturalized open space, adjacent to another local heritage resource, Bassingthwaite House. Both houses are to be situated within the staked top of bank and dripline limits established by the TRCA. The proposed setting will provide a more appropriate context and scale for the heritage resources. The Proposed Site’s context includes naturalized areas and landscaped open green spaces, and a tree line buffer between the adjacent roadway. Its location along Bathurst Street affords a visual prominence that the dwellings are presently lacking in their current locations within the Longyard Subdivision.



(Above) 1978 Aerial photograph showing the original Munshaw Farmstead and House, and its orientation toward Bathurst Street (York Region, 2019).

(Left) Proposed site plan for the relocation of Munshaw House (ERA, 2019).

The following site photographs depict the Proposed Site.



Proposed Site from Bathurst Street-view north west (ERA, 2019).



Existing vegetation on the Proposed Site (ERA, 2019).



Existing driveway entry to the Proposed Site. View east towards residential properties opposite Bathurst Street (ERA, 2019).



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3.3 Relocation

The following methodology for relocating Munshaw House was provided by Danco House Raising and Moving.

- Reload the Munshaw House onto hydraulic dollies;
- Set a bunk at the front of the house to ensure the house is supported by three points and will not be damaged; and
- Move the Munshaw House to the Proposed Site.

3.4 Future Work: Rehabilitation for Occupied Use

In future, conservation work involving the repair and upgrade of the heritage resource, and adaptive reuse will be undertaken to rehabilitate Munshaw House to accommodate new uses. As a part of future rehabilitation, consideration can be given to retaining the existing interior wood floors and staircase and providing a grander entrance to Munshaw House such as a porch or verandah. However, rehabilitation and use-dependent work cannot commence until a new use is confirmed, and proposed work is approved by the City of Vaughan.

The proposed use for the Basingthwaite House and Munshaw House upon relocation is a residence with an accessory structure, respectively. The ultimate use of Munshaw House will be confirmed in consultation with the future owner(s)/user(s) of the Proposed Site. On confirmation, a proposal for rehabilitation will need to be developed and submitted to the City of Vaughan. This proposal will provide greater detail regarding any required alterations or additions to the heritage resources, as well as site landscaping to create a buffer between the house and adjacent roadways. Heritage Permits and other planning permissions will be required for any further work.



The following conservation notes correspond with the conservation drawings attached as Appendix I. Notes C-100 to C-113 detail future exterior conservation work.

CONSERVATION NOTES

C-000 HOUSE RELOCATION

C-001: RETAIN EXISTING 1-1/2-STOREY AND 1-STOREY MUNSHAW HOUSE AND RELOCATE TO NEW LOT.

C-002: STABILIZE EXISTING FRAMING OF BOTH 1-1/2-STOREY AND 1-STOREY HOUSE BEFORE RELOCATION.

C-003: RETAIN EXISTING BRICK CHIMNEYS DURING RELOCATION.

C-004: ENSURE NEW SITE AND GRADING IS COMPLETE BEFORE THE HOUSE IS RELOCATED TO THE NEW LOCATION.

C-005: EXCAVATE AND CONSTRUCT NEW STRIP FOOTINGS AND FOUNDATION WALLS IN NEW LOCATION.

C-100 CONSERVATION WORK (THIS PHASE OF WORK TO BEGIN AFTER HOUSE RELOCATION IS COMPLETE)

C-101: REMOVE EXISTING CEDAR SHINGLE ROOF AND DORMER WALLS AND REPLACE WITH NEW CEDAR SHINGLES TO MATCH EXISTING.

C-102: REMOVE EXISTING ROOF VENTS AND REPLACE WITH NEW ROOF VENTS AS REQUIRED.

C-103: REMOVE ALL EXISTING METAL FLASHING, RAINWATER DOWNPIPES AND GUTTERS AND PROVIDE NEW TO MATCH EXISTING.

C-104: SCRAPE CLEAN, PRIME AND PAINT ALL EXTERIOR WOOD SIDING (TYP.)

C-105: MAKE GOOD SIDING TO MATCH EXISTING.

C-106: SCRAPE CLEAN, PRIME AND PAINT ALL EXTERIOR WOODWORK (TYP.)

C-107: INSTALL NEW WOOD SIDING TO MATCH EXISTING, AS REQUIRED.

C-108: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING WINDOWS AND WINDOW FRAMES (TYP.)

C-109: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING DOOR AND SIDE LIGHTS AND PROVIDE NEW HARDWARE AND STORM DOOR.

C-110: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING DOORS.

C-111: CONSTRUCT NEW FOUNDATION WALL FACING MATERIAL WITH SALVAGED STONE FROM BASSINGTHWAITE SMOKEHOUSE.

C-112: CLEAN EXISTING BRICK CHIMNEYS.

C-113: CONSTRUCT NEW STAIRS.



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SECTION 4: CONSERVATION COST ESTIMATE

A Letter of Credit to secure the dollar value of conservation work of the heritage elements identified in this Conservation Plan will be provided under separate cover.

CONCLUSION

This addendum finds that the heritage resource, Munshaw House, will be appropriately conserved by the conservation work detailed in this document. The proposed conservation scope of work includes stabilization and relocation of the one-and-a-half-storey structure with one-storey rear addition of the Munshaw House to a permanent location on a foundation. Future exterior conservation work will be executed as a part of a later scope, along with necessary interior alterations and/or additions necessary to accommodate future use. In the interim, before the house is programmed, the Munshaw House will be used as an accessory structure to the residential Bassingthwaite House.

ERA and the project team will continue to coordinate with the City of Vaughan and the TRCA throughout the design development process. Should further information be required, please feel free to contact us for clarification.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Philip Evans', with a stylized flourish.

Philip Evans
Partner, ERA Architects Inc.



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SECTION 6: APPENDICES

APPENDIX I - CONSERVATION PLAN DRAWINGS BY ERA ARCHITECTS, 2019

CONSERVATION NOTES:

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C-003: RETAIN EXISTING BRICK CHIMNEYS DURING RELOCATION.

C-004: ENSURE NEW SITE AND GRADING IS COMPLETE BEFORE THE HOUSE IS RELOCATED TO THE NEW LOCATION.

C-005: EXCAVATE AND CONSTRUCT NEW STRIP FOOTINGS AND FOUNDATION WALLS IN NEW LOCATION.

C-100 CONSERVATION WORK (THIS PHASE OF WORK TO BEGIN AFTER HOUSE RELOCATION IS COMPLETE)

C-101: REMOVE EXISTING CEDAR SHINGLE ROOF AND DORMER WALLS AND REPLACE WITH NEW CEDAR SHINGLES TO MATCH EXISTING.

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C-103: REMOVE ALL EXISTING METAL FLASHING, RAINWATER DOWNPIPES AND GUTTERS AND PROVIDE NEW TO MATCH EXISTING.

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C-111: CONSTRUCT NEW FOUNDATION WALL FACING MATERIAL WITH SALVAGED STONE.

C-112: CLEAN EXISTING BRICK CHIMNEYS.

C-113: CONSTRUCT NEW STAIRS

NOTE:

ANY BUILDING PERMITS REQUIRED TO COMPLETE THIS WORK WILL BE PROVIDED BY THE CLIENT AND DANCO'S ENGINEERS.

DRAWINGS LIST

HERITAGE ARCHITECT

COVER PAGE & CONSERVATION NOTES	HA000
SITE PLAN RELOCATION	HA001
SITE PLAN AT NEW LOCATION	HA002
EXISTING BASEMENT AND GROUND FLOOR PLANS	HA003
EXISTING SECOND AND ROOF FLOOR PLANS	HA004
EXISTING EAST AND WEST ELEVATIONS	HA005
EXISTING SOUTH AND NORTH ELEVATIONS	HA006
PROPOSED BASEMENT AND GROUND FLOOR PLANS	HA007
PROPOSED SECOND AND ROOF FLOOR PLANS	HA008
PROPOSED EAST AND WEST ELEVATIONS	HA009
PROPOSED SOUTH AND NORTH ELEVATIONS	HA010

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NO.	DATE	REVISION / ISSUANCE
1	2019-08-21	CONSERVATION PLAN - DRAFT
2	2019-09-11	CONSERVATION PLAN

NOT FOR CONSTRUCTION

LEGEND



Project	GEORGE MUNSHAW HOUSE CP
Address	980 MAJOR MACKENZIE DR., VAUGHAN, ON
For	DG GROUP
Project no.	13-106
Scale at 11x17	1 : 100
Drawn by	JQ
Reviewed by	JQ
Drawing title	

COVER PAGE & CONSERVATION NOTES

Sheet no.

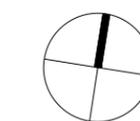
HA000

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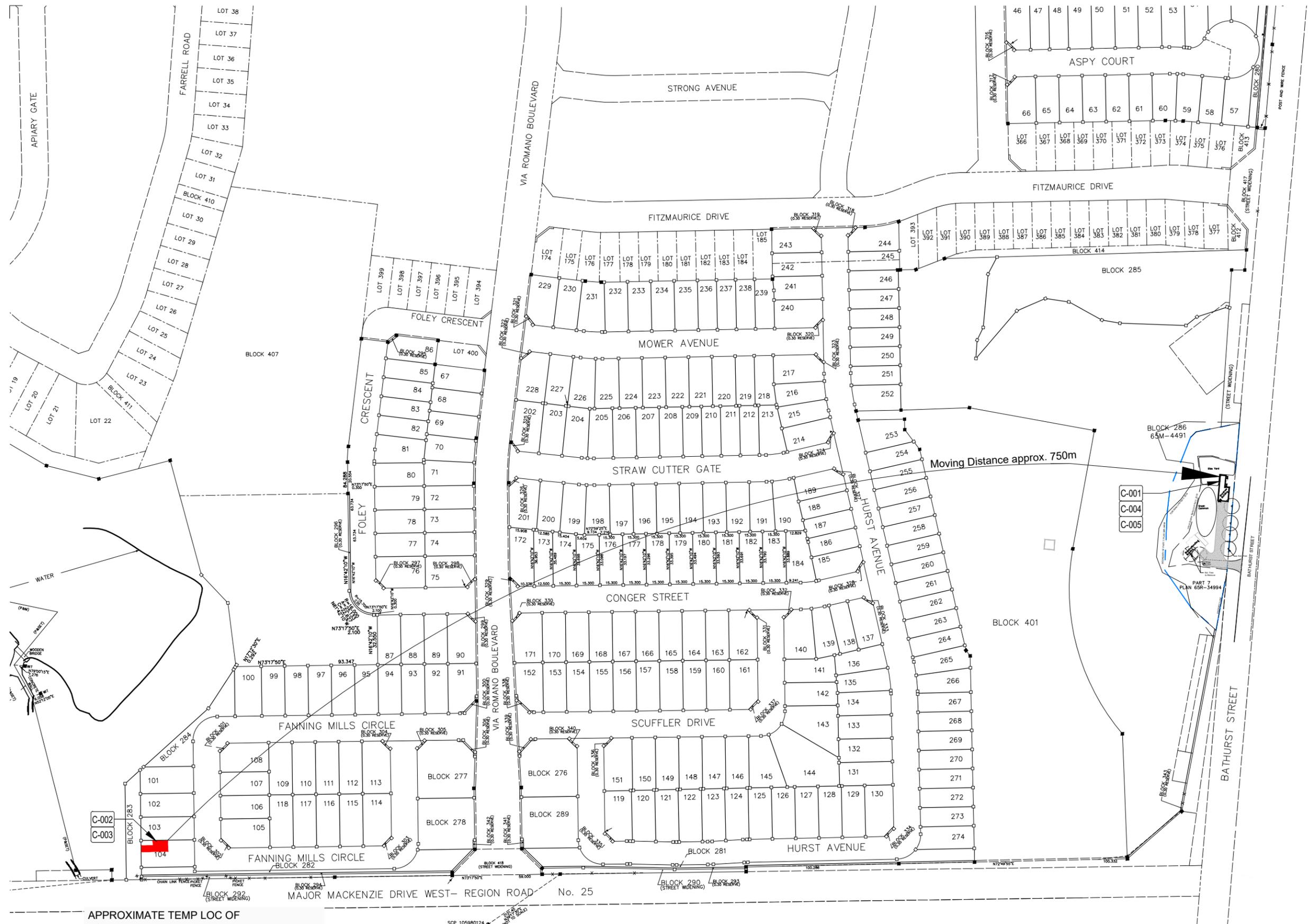
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For	DG GROUP	
Project no.	13-106	
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Drawn by	SC	
Reviewed by	JQ	
Drawing title	SITE PLAN RELOCATION	

Sheet no.

HA001



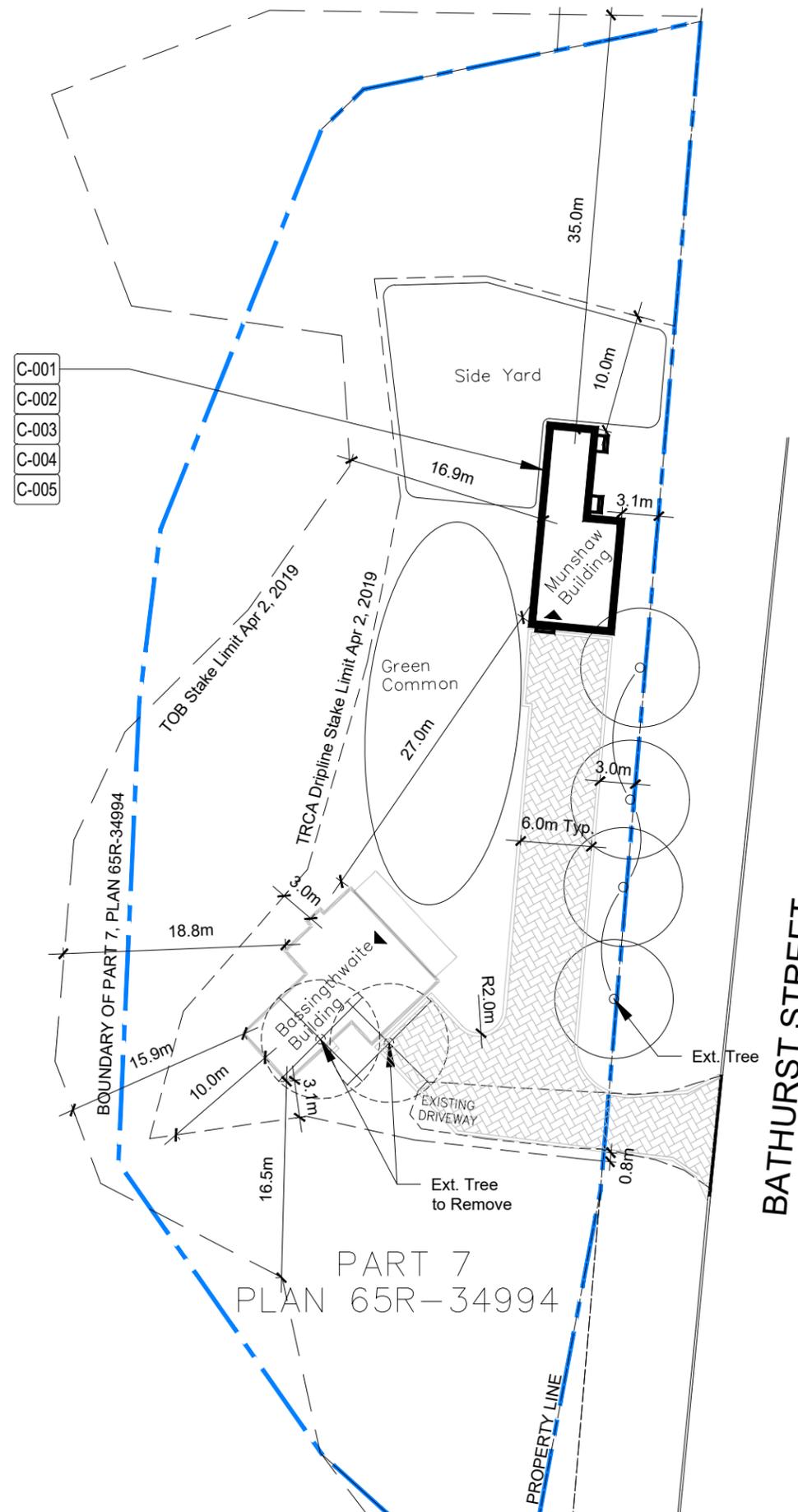
APPROXIMATE TEMP LOC OF
 1 1/2 STOREY AND 1 STOREY
 MUNSHAW HOUSE ON LOT 104
 MOVING DISTANCE APPROXIMATELY 750M

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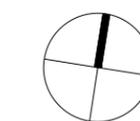
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LEGEND



- C-001
- C-002
- C-003
- C-004
- C-005

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For	DG GROUP	
Project no.	13-106	
Scale at 11x17	1 : 500	
Drawn by	SC	
Reviewed by	JQ	
Drawing title	SITE PLAN AT NEW LOCATION	

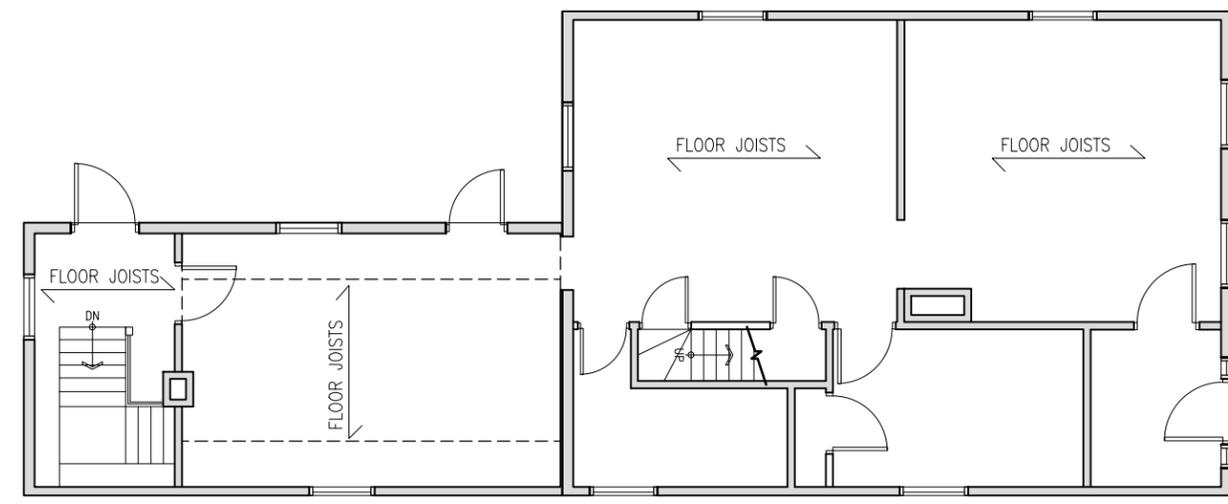
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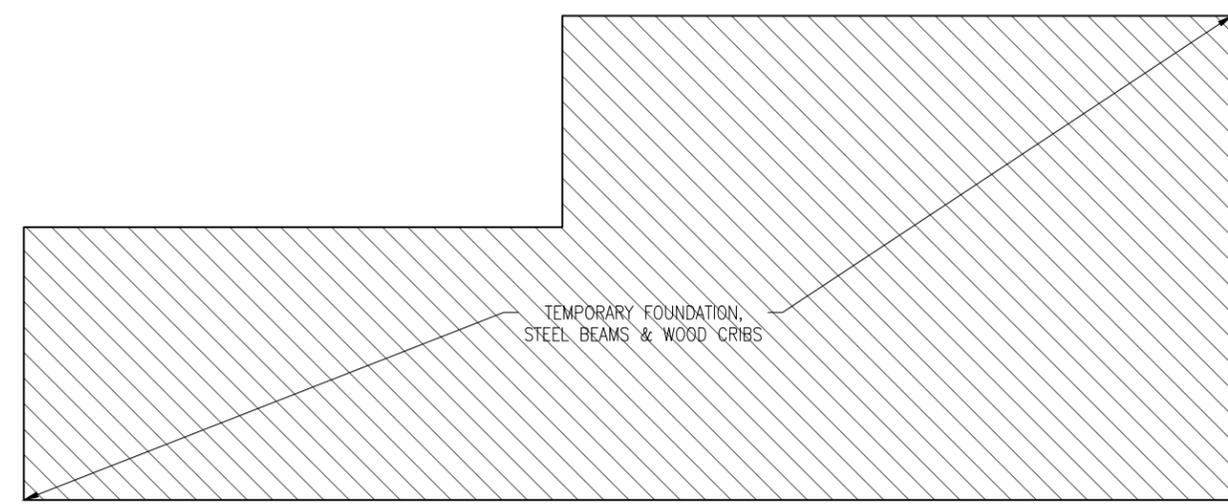
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LEGEND	
	EXISTING HERITAGE FABRIC
	TEMPORARY FOUNDATION, STEEL BEAMS & WOOD CRIBS

NO.	DATE	REVISION / ISSUANCE
1	2019-08-21	CONSERVATION PLAN - DRAFT
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GROUND FLOOR PLAN 2
SCALE 1 : 100 HA003

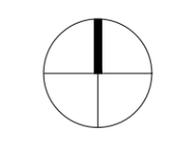


BASEMENT FLOOR PLAN 1
SCALE 1 : 100 HA003

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Drawn by	JQ
Reviewed by	JQ
Drawing title	

EXISTING BASEMENT AND GROUND FLOOR PLANS

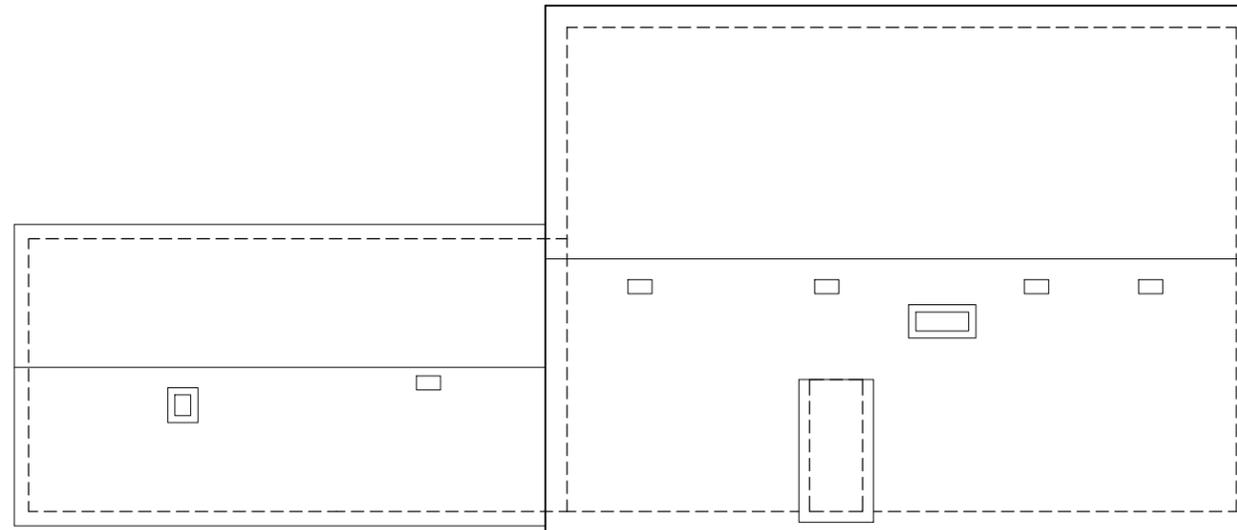
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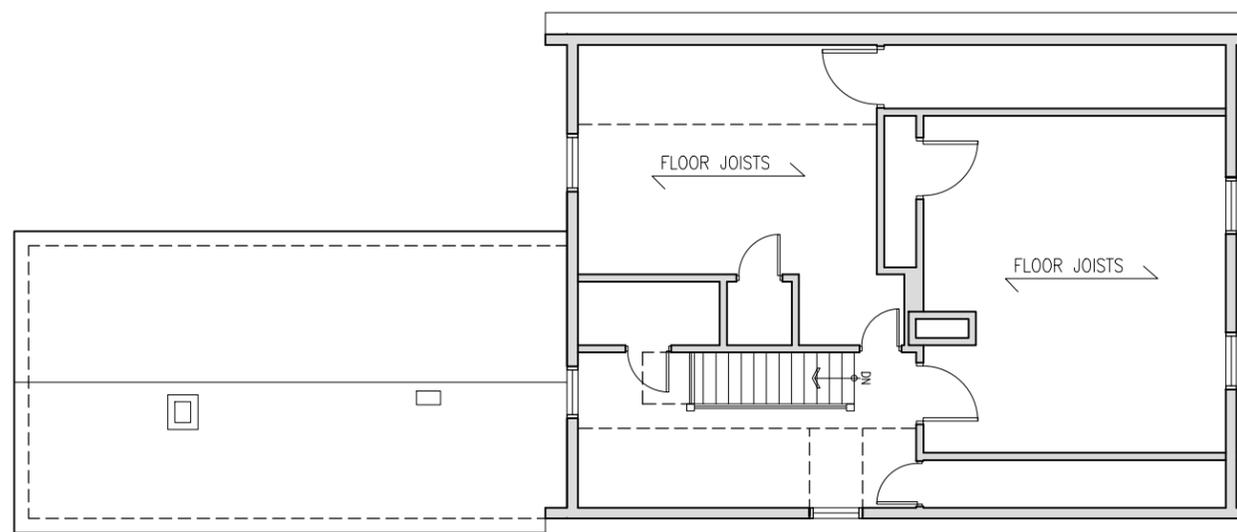
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LEGEND	
	EXISTING HERITAGE FABRIC
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ROOF PLAN 2
SCALE 1 : 100 HA004

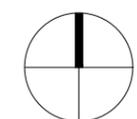


SECOND FLOOR PLAN 1
SCALE 1 : 100 HA004

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LEGEND

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Drawn by	JQ
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Drawing title	EXISTING SECOND AND ROOF FLOOR PLANS

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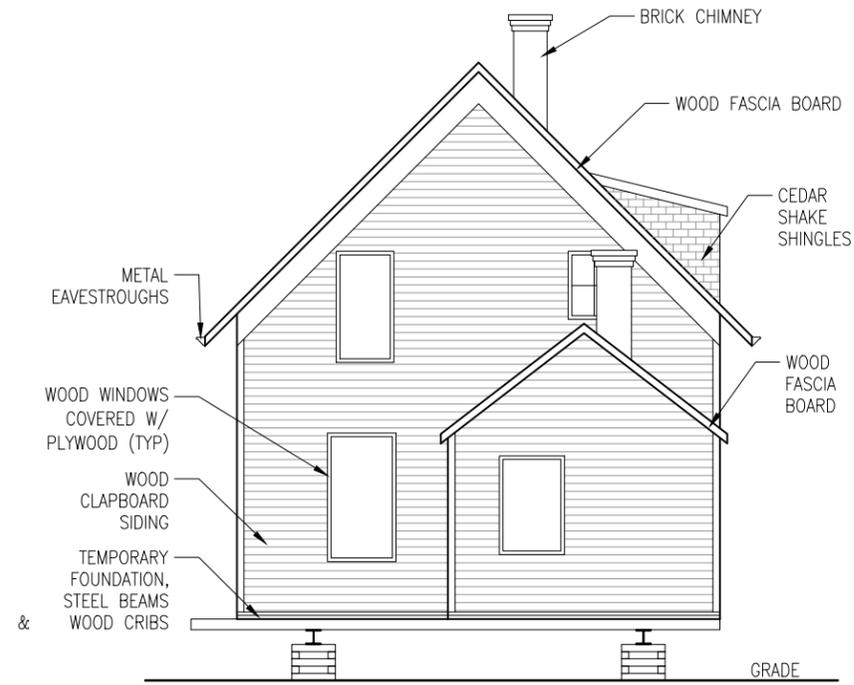
HA004

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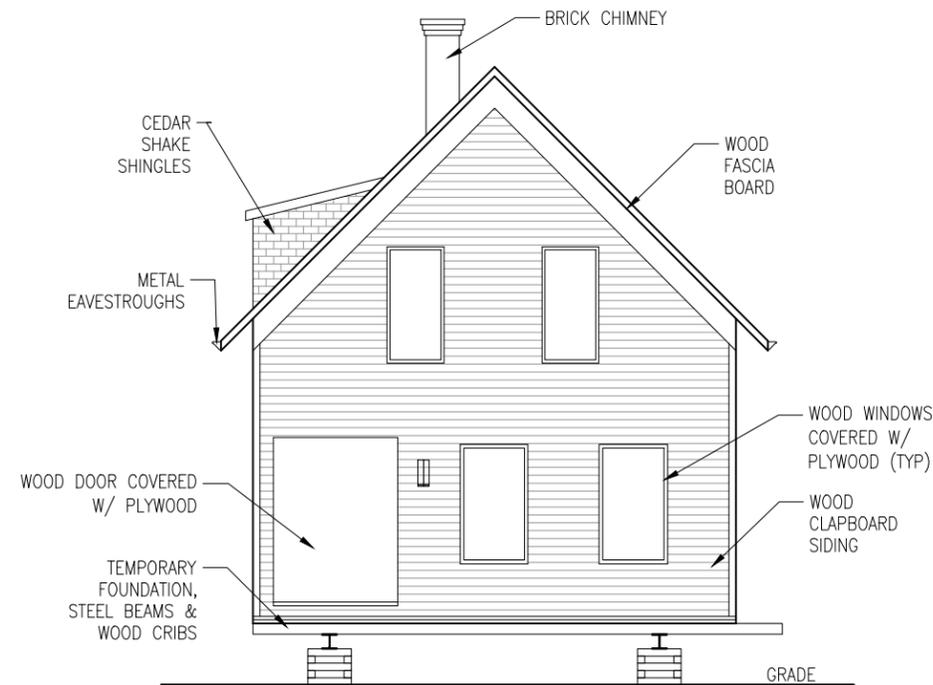
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WEST ELEVATION 2
SCALE 1 : 100 HA005



EAST ELEVATION 1
SCALE 1 : 100 HA005

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Scale at 11x17	1 : 100	
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EXISTING EAST AND WEST ELEVATIONS

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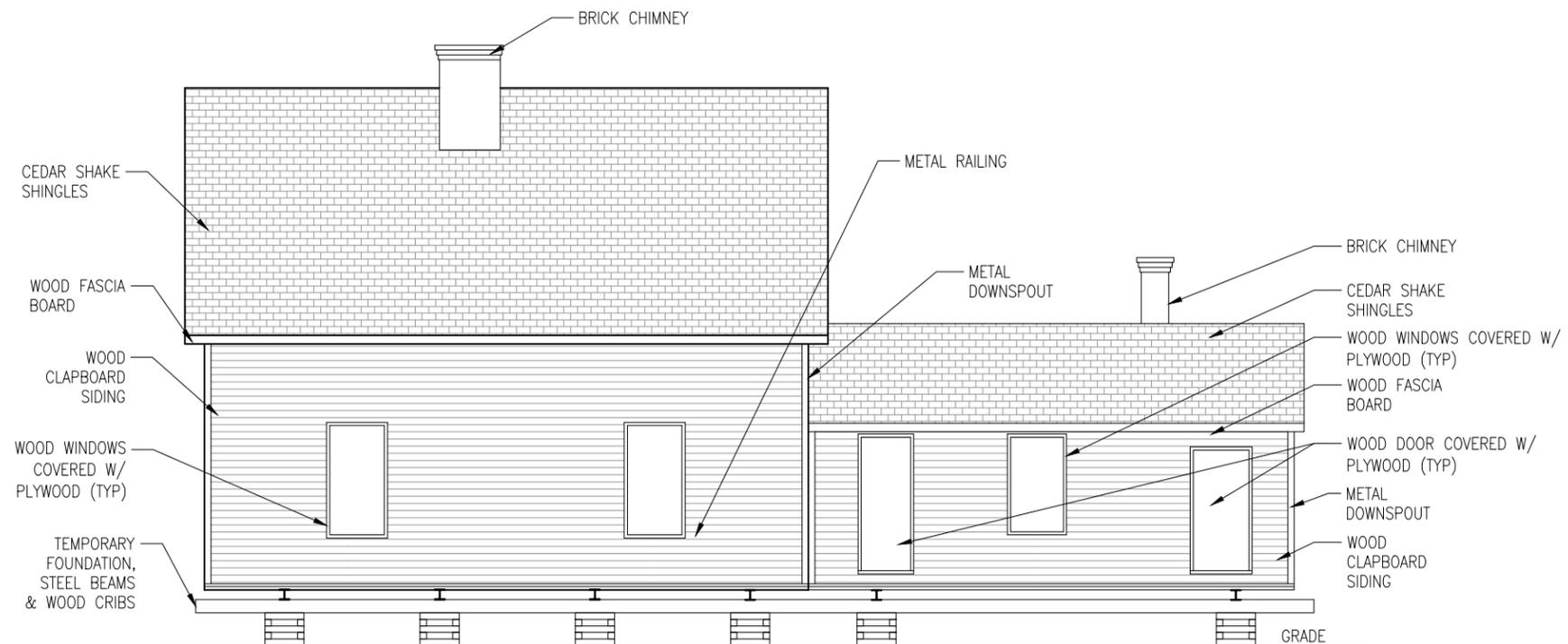
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2	2019-09-11	CONSERVATION PLAN

NOT FOR CONSTRUCTION

LEGEND

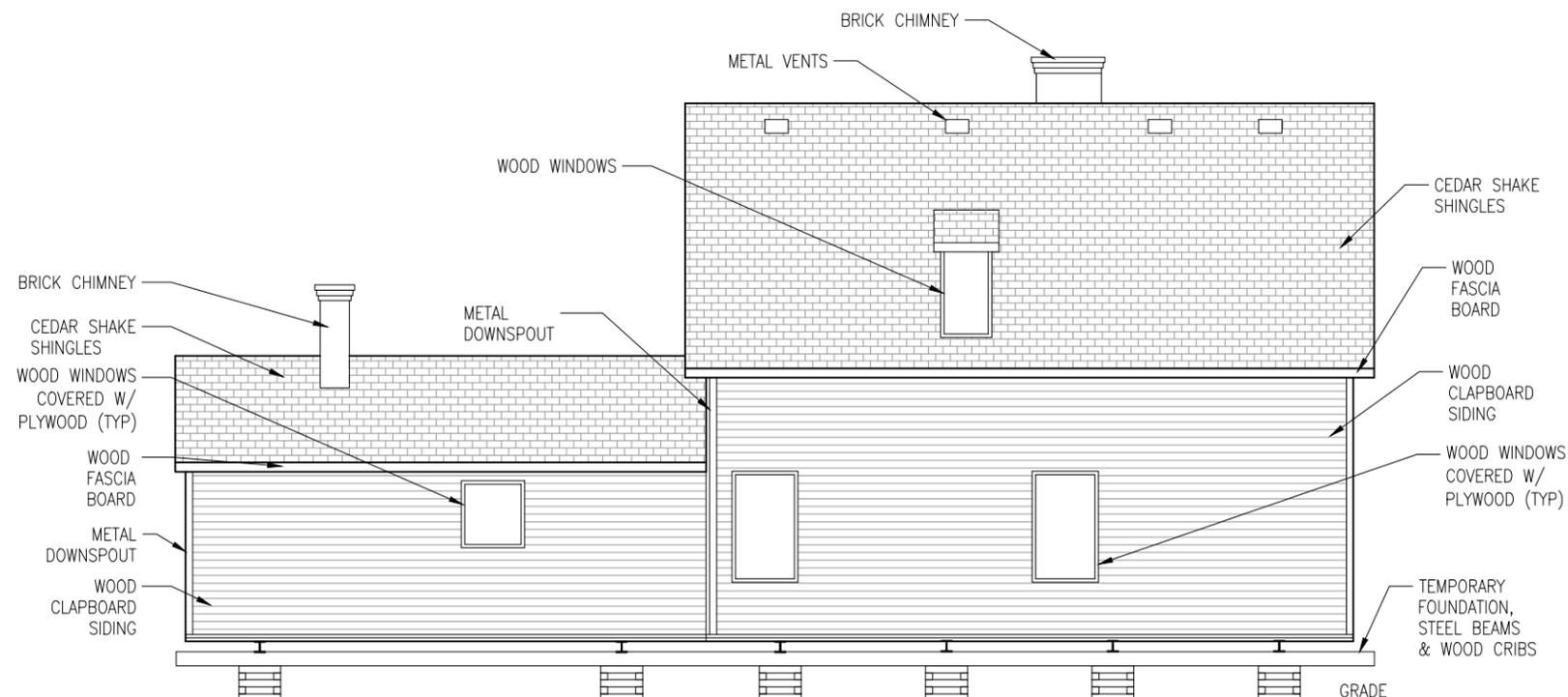


NORTH ELEVATION

2

SCALE 1 : 100

HA006



SOUTH ELEVATION

1

SCALE 1 : 100

HA006



Project

GEORGE MUNSHAW HOUSE CP

Address 980 MAJOR MACKENZIE DR., VAUGHAN, ON

For DG GROUP

Project no. 13-106

Scale at 11x17 1 : 100

Drawn by JQ

Reviewed by JQ

Drawing title

EXISTING SOUTH AND NORTH ELEVATIONS

Sheet no.

HA006

CONSERVATION NOTES:

C-000 HOUSE RELOCATION

C-001: RETAIN EXISTING 1 1/2 STOREY AND 1 STOREY MUNSHAW HOUSE AND RELOCATE TO NEW LOT.

C-002: STABILIZE EXISTING FRAMING OF BOTH 1 1/2-STOREY AND 1-STOREY HOUSE BEFORE RELOCATION.

C-003: RETAIN EXISTING BRICK CHIMNEYS DURING RELOCATION.

C-004: ENSURE NEW SITE AND GRADING IS COMPLETE BEFORE THE HOUSE IS RELOCATED TO THE NEW LOCATION.

C-005: EXCAVATE AND CONSTRUCT NEW STRIP FOOTINGS AND FOUNDATION WALLS IN NEW LOCATION.

C-100 CONSERVATION WORK (THIS PHASE OF WORK TO BEGIN AFTER HOUSE RELOCATION IS COMPLETE)

C-101: REMOVE EXISTING CEDAR SHINGLE ROOF AND DORMER WALLS AND REPLACE WITH NEW CEDAR SHINGLES TO MATCH EXISTING.

C-102: REMOVE EXISTING ROOF VENTS AND REPLACE WITH NEW ROOF VENTS AS REQUIRED.

C-103: REMOVE ALL EXISTING METAL FLASHING, RAINWATER DOWNPIPES AND GUTTERS AND PROVIDE NEW TO MATCH EXISTING.

C-104: SCRAPE CLEAN, PRIME AND PAINT ALL EXTERIOR WOOD SIDING (TYP.)

C-105: MAKE GOOD SIDING TO MATCH EXISTING.

C-106: SCRAPE CLEAN, PRIME AND PAINT ALL EXTERIOR WOODWORK (TYP.)

C-107: INSTALL NEW WOOD SIDING TO MATCH EXISTING, AS REQUIRED.

C-108: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING WINDOWS AND WINDOW FRAMES (TYP.)

C-109: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING DOOR AND SIDE LIGHTS AND PROVIDE NEW HARDWARE AND STORM DOOR.

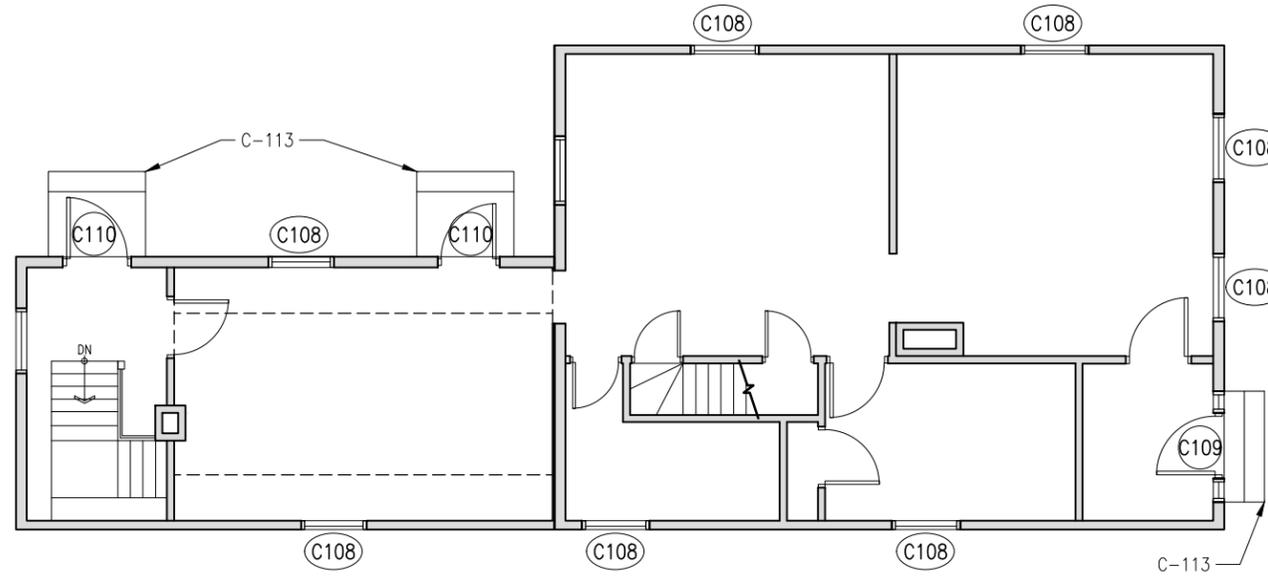
C-110: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING DOORS.

C-111: CONSTRUCT NEW FOUNDATION WALL FACING MATERIAL WITH SALVAGED STONE.

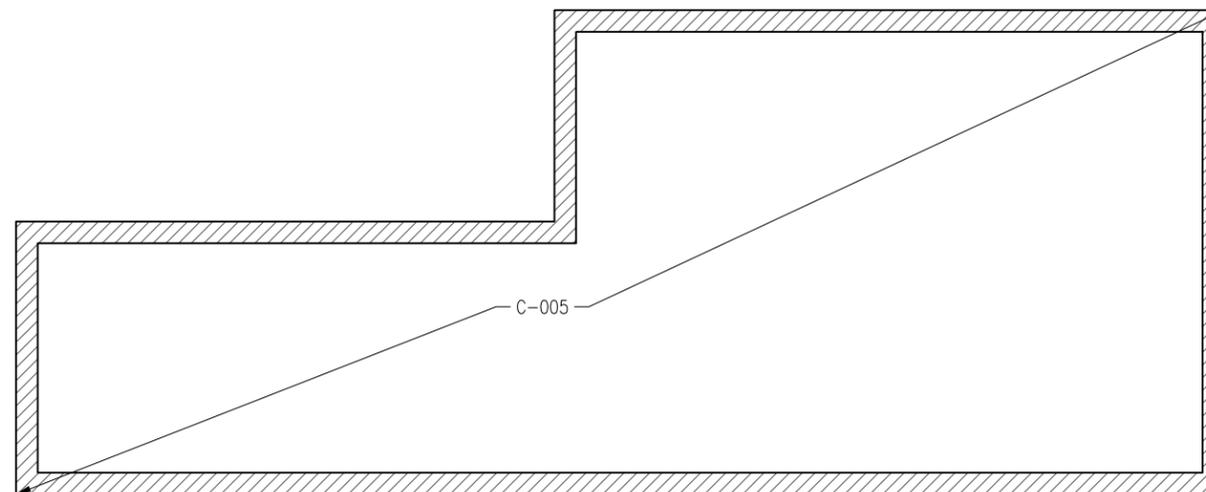
C-112: CLEAN EXISTING BRICK CHIMNEYS.

C-113: CONSTRUCT NEW STAIRS

LEGEND	
	RETAIN EXISTING HERITAGE FABRIC
	C-005: EXCAVATE AND CONSTRUCT NEW STRIP FOOTINGS AND FOUNDATION WALLS IN NEW LOCATION.



GROUND FLOOR PLAN 2
SCALE 1 : 100 HA007



BASEMENT FLOOR PLAN 1
SCALE 1 : 100 HA007

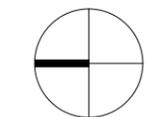
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2	2019-09-11	CONSERVATION PLAN

NOT FOR CONSTRUCTION

LEGEND

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For	DG GROUP
Project no.	13-106
Scale at 11x17	1 : 100
Drawn by	JQ
Reviewed by	JQ
Drawing title	

PROPOSED BASEMENT AND GROUND FLOOR PLANS

Sheet no.

HA007

CONSERVATION NOTES:

C-000 HOUSE RELOCATION

C-001: RETAIN EXISTING 1 1/2 STOREY AND 1 STOREY MUNSHAW HOUSE AND RELOCATE TO NEW LOT.

C-002: STABILIZE EXISTING FRAMING OF BOTH 1 1/2-STOREY AND 1-STOREY HOUSE BEFORE RELOCATION.

C-003: RETAIN EXISTING BRICK CHIMNEYS DURING RELOCATION.

C-004: ENSURE NEW SITE AND GRADING IS COMPLETE BEFORE THE HOUSE IS RELOCATED TO THE NEW LOCATION.

C-005: EXCAVATE AND CONSTRUCT NEW STRIP FOOTINGS AND FOUNDATION WALLS IN NEW LOCATION.

C-100 CONSERVATION WORK (THIS PHASE OF WORK TO BEGIN AFTER HOUSE RELOCATION IS COMPLETE)

C-101: REMOVE EXISTING CEDAR SHINGLE ROOF AND DORMER WALLS AND REPLACE WITH NEW CEDAR SHINGLES TO MATCH EXISTING.

C-102: REMOVE EXISTING ROOF VENTS AND REPLACE WITH NEW ROOF VENTS AS REQUIRED.

C-103: REMOVE ALL EXISTING METAL FLASHING, RAINWATER DOWNPIPES AND GUTTERS AND PROVIDE NEW TO MATCH EXISTING.

C-104: SCRAPE CLEAN, PRIME AND PAINT ALL EXTERIOR WOOD SIDING (TYP.)

C-105: MAKE GOOD SIDING TO MATCH EXISTING.

C-106: SCRAPE CLEAN, PRIME AND PAINT ALL EXTERIOR WOODWORK (TYP.)

C-107: INSTALL NEW WOOD SIDING TO MATCH EXISTING, AS REQUIRED.

C-108: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING WINDOWS AND WINDOW FRAMES (TYP.)

C-109: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING DOOR AND SIDE LIGHTS AND PROVIDE NEW HARDWARE AND STORM DOOR.

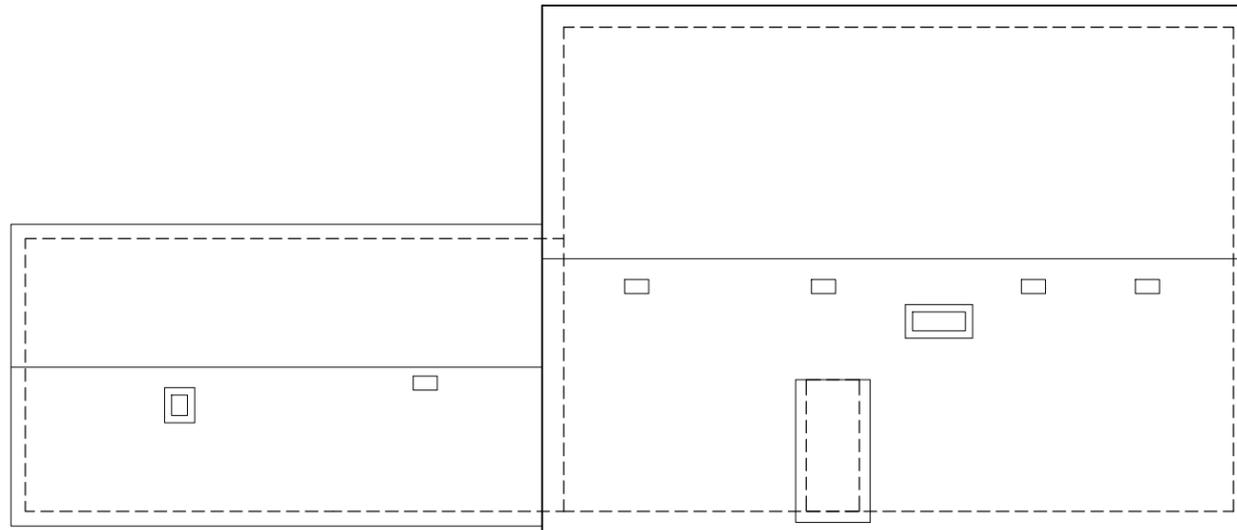
C-110: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING DOORS.

C-111: CONSTRUCT NEW FOUNDATION WALL FACING MATERIAL WITH SALVAGED STONE.

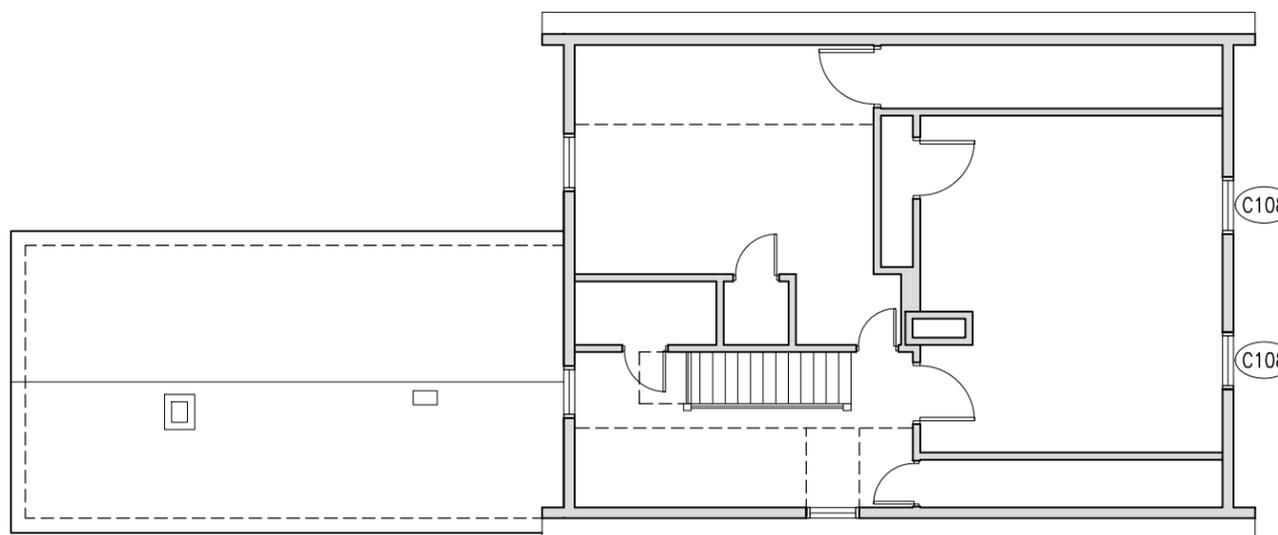
C-112: CLEAN EXISTING BRICK CHIMNEYS.

C-113: CONSTRUCT NEW STAIRS

LEGEND	
	RETAIN EXISTING HERITAGE FABRIC
	C-005: EXCAVATE AND CONSTRUCT NEW STRIP FOOTINGS AND FOUNDATION WALLS IN NEW LOCATION.



ROOF FLOOR PLAN 2
SCALE 1 : 100 HA008



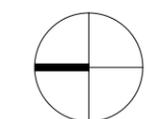
SECOND FLOOR PLAN 1
SCALE 1 : 100 HA008

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LEGEND



Project	GEORGE MUNSHAW HOUSE CP
Address	980 MAJOR MACKENZIE DR., VAUGHAN, ON
For	DG GROUP
Project no.	13-106
Scale at 11x17	1 : 100
Drawn by	JQ
Reviewed by	JQ
Drawing title	PROPOSED SECOND AND ROOF FLOOR PLANS

Sheet no.

HA008

CONSERVATION NOTES:

C-000 HOUSE RELOCATION

C-001: RETAIN EXISTING 1 1/2 STOREY AND 1 STOREY MUNSHAW HOUSE AND RELOCATE TO NEW LOT.

C-002: STABILIZE EXISTING FRAMING OF BOTH 1 1/2-STOREY AND 1-STOREY HOUSE BEFORE RELOCATION.

C-003: RETAIN EXISTING BRICK CHIMNEYS DURING RELOCATION.

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C-100 CONSERVATION WORK (THIS PHASE OF WORK TO BEGIN AFTER HOUSE RELOCATION IS COMPLETE)

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C-105: MAKE GOOD SIDING TO MATCH EXISTING.

C-106: SCRAPE CLEAN, PRIME AND PAINT ALL EXTERIOR WOODWORK (TYP.)

C-107: INSTALL NEW WOOD SIDING TO MATCH EXISTING, AS REQUIRED.

C-108: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING WINDOWS AND WINDOW FRAMES (TYP.)

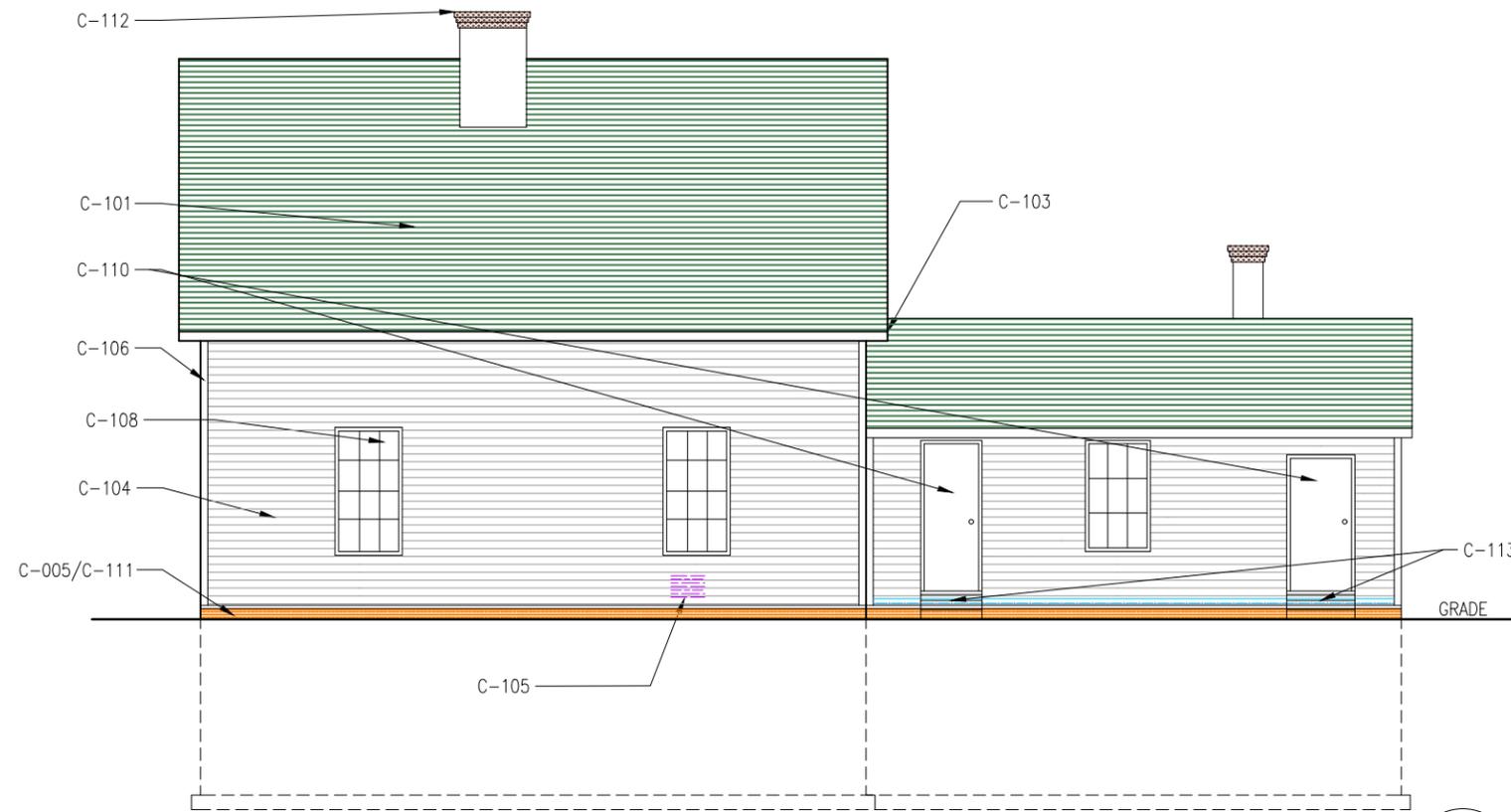
C-109: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING DOOR AND SIDE LIGHTS AND PROVIDE NEW HARDWARE AND STORM DOOR.

C-110: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING DOORS.

C-111: CONSTRUCT NEW FOUNDATION WALL FACING MATERIAL WITH SALVAGED STONE.

C-112: CLEAN EXISTING BRICK CHIMNEYS.

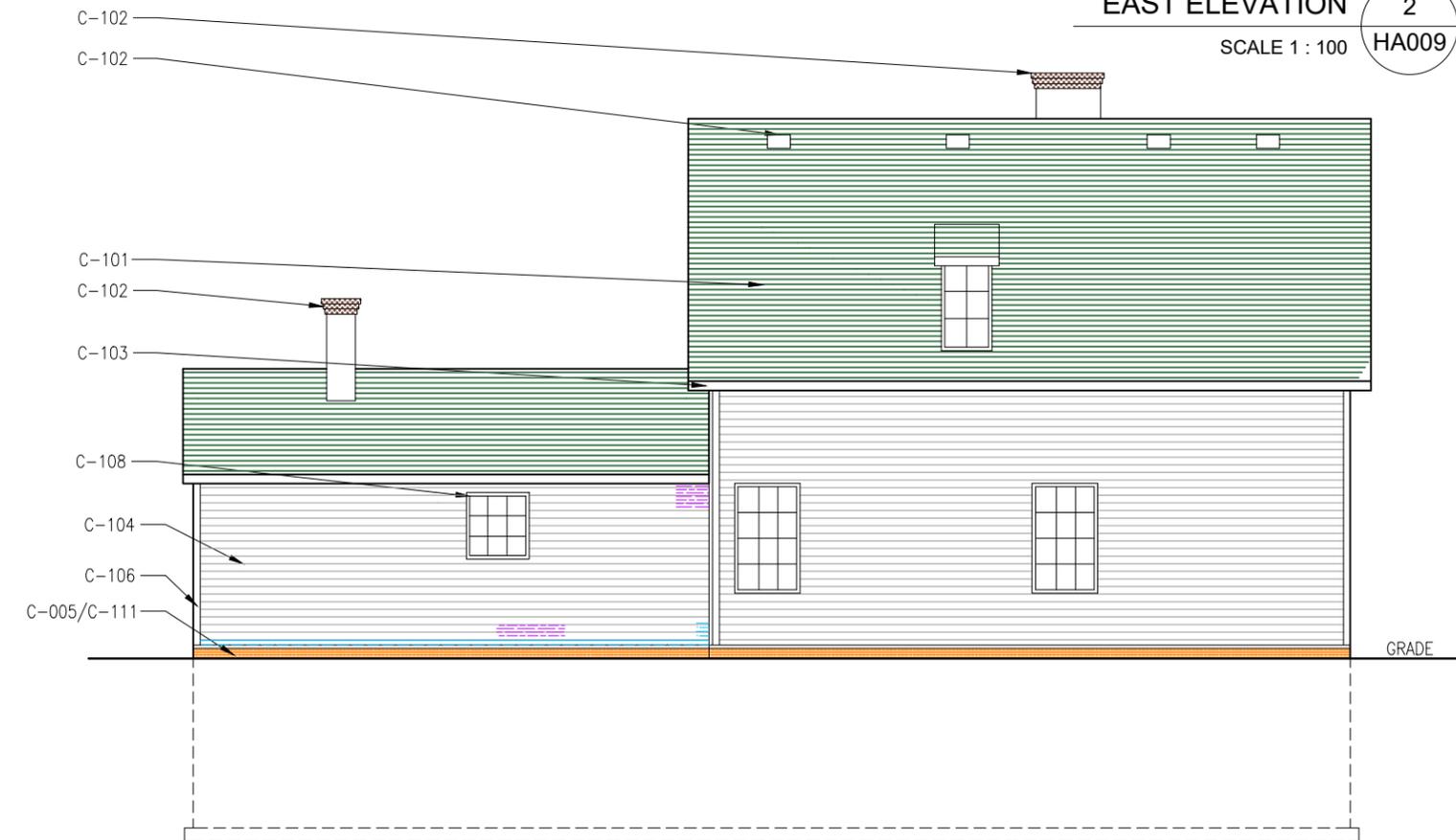
C-113: CONSTRUCT NEW STAIRS



EAST ELEVATION 2

SCALE 1 : 100

HA009



WEST ELEVATION 1

SCALE 1 : 100

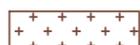
HA009

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LEGEND

-  C-101: REMOVE EXISTING CEDAR SHINGLE ROOF AND DORMER WALLS AND REPLACE WITH NEW CEDAR SHINGLES TO MATCH EXISTING.
-  C-105: MAKE GOOD SIDING TO MATCH EXISTING.
-  C-107: INSTALL NEW WOOD SIDING TO MATCH EXISTING, AS REQUIRED.
-  C-111: CONSTRUCT NEW FOUNDATION WALL FACING MATERIAL WITH SALVAGED STONE.
-  C-112: CLEAN EXISTING BRICK CHIMNEYS.

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Project	GEORGE MUNSHAW HOUSE CP
Address	980 MAJOR MACKENZIE DR., VAUGHAN, ON
For	DG GROUP
Project no.	13-106
Scale at 11x17	1 : 100
Drawn by	JQ
Reviewed by	JQ
Drawing title	PROPOSED WEST AND EAST ELEVATIONS

Sheet no.

HA009

CONSERVATION NOTES:

C-000 HOUSE RELOCATION

C-001: RETAIN EXISTING 1 1/2 STOREY AND 1 STOREY MUNSHAW HOUSE AND RELOCATE TO NEW LOT.

C-002: STABILIZE EXISTING FRAMING OF BOTH 1 1/2-STOREY AND 1-STOREY HOUSE BEFORE RELOCATION.

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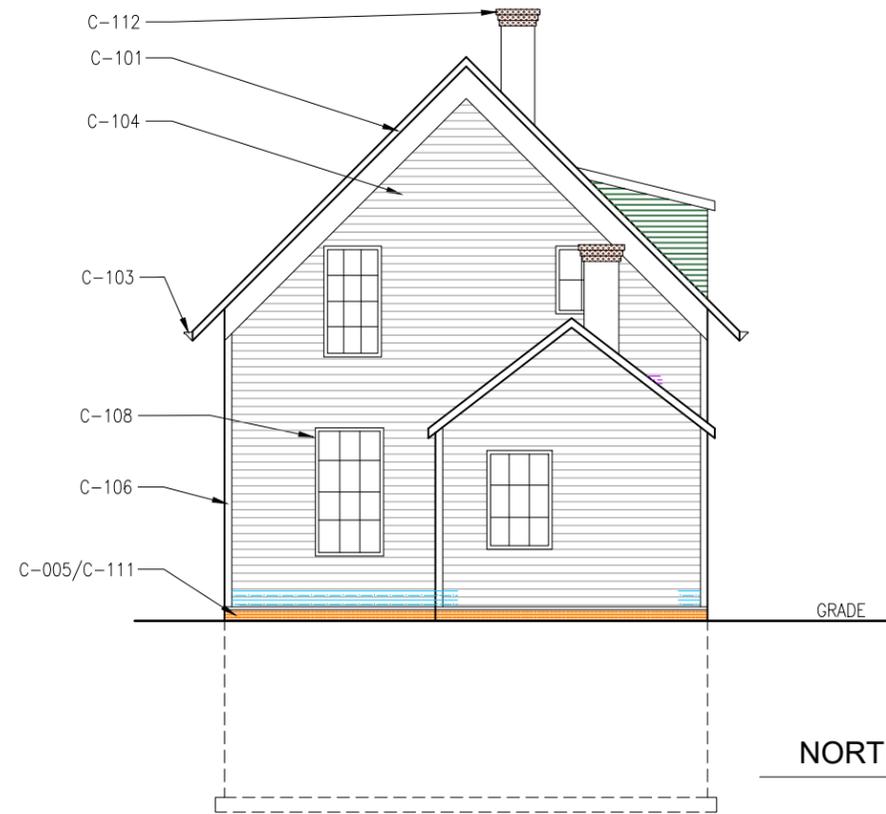
C-109: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING DOOR AND SIDE LIGHTS AND PROVIDE NEW HARDWARE AND STORM DOOR.

C-110: RETAIN, REPAIR, CLEAN, PRIME AND PAINT EXISTING DOORS.

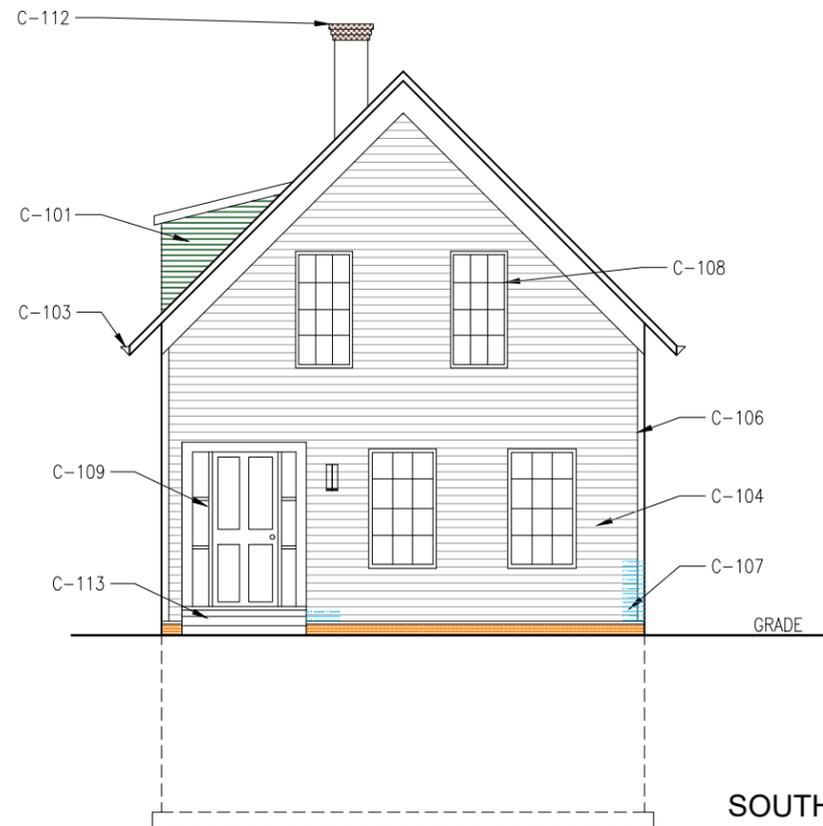
C-111: CONSTRUCT NEW FOUNDATION WALL FACING MATERIAL WITH SALVAGED STONE.

C-112: CLEAN EXISTING BRICK CHIMNEYS.

C-113: CONSTRUCT NEW STAIRS



NORTH ELEVATION 2
SCALE 1 : 100 HA010



SOUTH ELEVATION 1
SCALE 1 : 100 HA010

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Scale at 11x17	1 : 100
Drawn by	JQ
Reviewed by	JQ
Drawing title	PROPOSED SOUTH AND NORTH ELEVATIONS

Sheet no.

HA010