

ITEM: 6.10	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A027/26
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Report Date: April 24, 2026

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Forestry	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
None				

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<p>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</p>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
Minor Variance Application A160/23	Approved by Committee of Adjustment February 1, 2024
Minor Variance Application A072/21	Approved by Committee of Adjustment June 10, 2021

ADJOURNMENT HISTORY	
<p>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</p>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A027/26

CITY WARD #:	3
APPLICANT:	Vaughan Christian Community Church
AGENT:	Mainline Planning Services Inc.
PROPERTY:	7611 Pine Valley Drive, Bldg A, Units 22, 23 & 24
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan ("VOP 2010"): "Mid-Rise Mixed-Use"
RELATED DEVELOPMENT APPLICATIONS:	19CDM-05V05
PURPOSE OF APPLICATION:	Relief from the zoning by-law is being requested to permit a place of worship to be located in Units 22, 23 and 24.

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal.

The subject lands are zoned GMU – General Mixed-Use Zone and subject to the provisions of Exception 14.553 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	Place of worship: Means a building used for the gathering of a religious or faith-based organization for spiritual purposes. [Section 3.0, Definitions]	To permit a Place of worship to be in a part of a building for units 22-24 only.

HEARING INFORMATION

DATE OF MEETING: Thursday, April 30, 2026
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

INTRODUCTION

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	April 16, 2026
Date Applicant Confirmed Posting of Sign:	April 20, 2026
Applicant Justification for Variances: <small>*As provided in Application Form</small>	By definition, a Place of Worship is not permitted within a multi-unit building.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
N/A	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

Development Engineering has reviewed the Minor Variance application to permit a place of worship within a multi-use building. The Development Engineering Department does not object to the Minor Variance application A027/26.

Development Engineering Recommended Conditions of Approval:	None
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PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC)

No comments received to date	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT

No comments received to date	
Fire Department Recommended Conditions of Approval:	None

IMPORTANT INFORMATION

<p>CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p>
<p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.</p>
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>
<p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will not receive notice.</p>

SCHEDULE A: DRAWINGS & PLANS

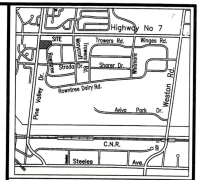
EXISTING TD BANK

VARIANCE 1:
To permit a Place of Worship in a part of a building (Units #22, 23, 24)

PINE VALLEY DRIVE

ROWNTREE DAIRY ROAD

SITE DEVELOPMENT DATA			
ZONING	C7-N		
LOT AREA	18,388.50 sq.m.	178,193.00 sq.ft.	(4.044 AC.) (1.62 Ha)
BUILDING AREA	2,928.45 sq.m.	31,521.97 sq.ft.	
BUILDING B (COMMERCIAL)	1,678.08 sq.m.	18,068.03 sq.ft.	
TOTAL BUILDING AREA (FOOTPRINT)	4,607.03 sq.m.	49,589.60 sq.ft.	
LOT COVERAGE	26.18%		
GROSS GROUND COVERAGE	28.15%		
SETBACKS	REQUIRED	PROVIDED	
FRONT YARD	9.00M	12.94M	
REAR YARD	22.00M	23.41M	
SIDE YARD (EXT.)	N/A	N/A	
SIDE YARD (INT.)	8.00M	6.15M/7.40M	
PARKING	REQUIRED	PROVIDED	
COMMERCIAL (1/100 S.M.)	271 SPACES	281 SPACES	(INCL. 3 H/V SPACES)
BUILDING A AND B	N/A	N/A	
LOADING SPACES	REQUIRED	PROVIDED	
OFFICE	N/A	N/A	
LANDSCAPED AREA	2,855.86 sq.m.	31,782.00 sq.ft.	(60.03 %)
MIN. TREE LOT AREA	8,808.77 sq.m.	94,819.91 sq.ft.	(53.82%)
PAVED AREA			
ONTARIO BUILDING CODE DATA		OBC REFERENCE	
BUILDING 'A' AND BUILDING 'B'			
PROJECT DESCRIPTION	REVISION	DATE	
MAJOR OCCUPANCY(S) GROUP [E]			3.1.2.1.
NUMBER OF STOREYS ABOVE GRADE = [2]	BELOW GRADE = [0]		
HEIGHT OF BUILDING (8.00M) [8.00M]	FACING - BOUL. W/ (1) STREET(S)		3.2.2.10
BUILDING CLASSIFICATION	GROUP [E] UP TO 3 STOREYS SPRINKLERED		3.2.2.80
SPRINKLER SYSTEM PROPOSED			
ENTRANCE CLASSIFICATION	[] IN LIEU OF ROOF RATING [] NOT REQUIRED		
STAIRCASE REQUIRED	[] YES [] NO		
FIRE ALARM REQUIRED	[] YES [] NO		3.2.4.1.
HIGH BUILDING	[] YES [] NO		3.2.6.1.
WATER SERVICE IS ADEQUATE	[] YES [] NO		
CONSTRUCTION	[] COMBUSTIBLE [] NON COMBUSTIBLE [] BOTH		3.2.6.80
MEZZANINE(S) AREA [N/A]	[] YES [] NO		
TOTAL OCCUPANT LOAD	[] PERSONS	TABLE 3.1.16.1	
DESIGN OF BUILDING	[] PERSONS		
HAZARDOUS SUBSTANCES	[] YES [] NO		3.8.1.1.
REQUIRED FIRE RESISTANCE RATING (FRR)			
HORIZONTAL ASSEMBLIES (HOURS)		LISTED DESIGN NO. (CALC) OR DESCRIPTION (S9-2)	
FLOORS: [3/4] HOURS			
MEZZANINE: [0] HOURS			3.2.2.60
FRR OF SUPPORTING MEMBERS		LISTED DESIGN NO. (CALC) OR DESCRIPTION (S9-2)	
FLOORS: [3/4] HOURS			
MEZZANINE: [0] HOURS			



LEGEND

PROPOSED FIN. GRADE	EXISTING FIN. GRADE
EXISTING GRADE	TOP OF CURB
TOP OF CURB	TOP OF CATCH BASIN
TOP OF CATCH BASIN	MAIN DOOR LOCATIONS
MAIN DOOR LOCATIONS	SEWER IN/OUT LOCATIONS
SEWER IN/OUT LOCATIONS	EXISTING DOOR LOCATION
EXISTING DOOR LOCATION	CATCH BASIN
CATCH BASIN	CATCH BASIN MANHOLE
CATCH BASIN MANHOLE	SANITARY MANHOLE
SANITARY MANHOLE	STORM SEWER MANHOLE
STORM SEWER MANHOLE	FIRE HYDRANT
FIRE HYDRANT	WATER VALVE
WATER VALVE	ROOF HOLE
ROOF HOLE	BORE HOLE
BORE HOLE	READY TO INSTALL FILING

THIS REPORT IS ISSUED ON THE EXPRESS UNDERSTANDING THAT THE WORKS SHOWN SHALL BE COMPLETED IN ACCORDANCE WITH THE CITY OF VAUGHAN BUILDING STANDARDS AND THAT THE NOTES AND MARKINGS WHICH ARE FILED WITH THIS REPORT SHALL BE CONSIDERED AS PART OF THE CITY OF VAUGHAN BUILDING STANDARDS.

OFFICE COPY

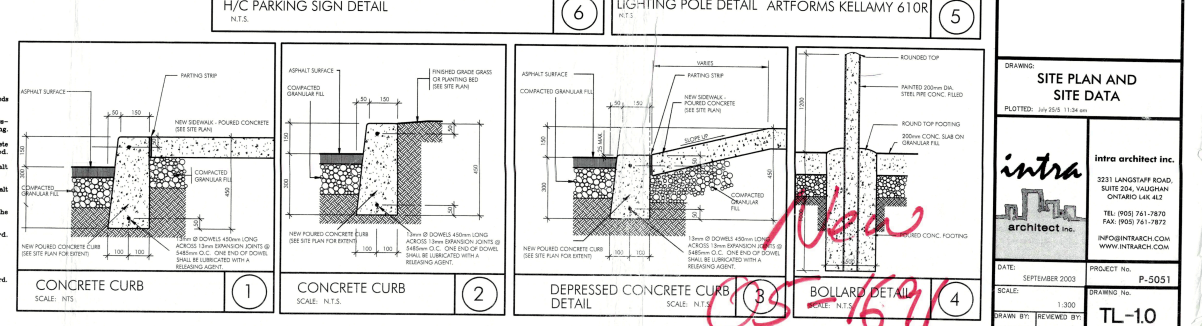
FOR OFFICE USE ONLY
CITY OF VAUGHAN
BUILDING DEPARTMENT
PLANS EXAMINATION UNIT
RECEIVED: 02-20-2015
APPROVED: [Signature]
DATE: 02-20-2015

No.	DESCRIPTION	DATE
1	REVISIONS	

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH CONSTRUCTION. THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEAL AND SIGNED BY THE ARCHITECT. NOT SCALE DRAWING.

- STANDARD NOTES FOR SITE PLAN**
- Standard drawings of the Town of Vaughan constitute part of the site plan drawings.
 - All construction work to be carried out in accordance with the requirements of the Occupational Health and Safety Act and Regulations for construction projects.
 - The Owner and/or his representative shall rectify all disturbed areas to original condition or better and to the satisfaction of the City.
 - The location of all under/above ground utilities and structures is approximate only, and where shown on the drawings the accuracy of the location of such utilities is not guaranteed. The owner and/or his representative shall determine the location of all such utilities and structures by consulting the appropriate authorities or utility companies concerned. The owner shall prove the location of all such utilities and structures and shall assume all liability for damage or restriction to same.
 - All existing manhole covers in the existing areas to be meter light sealed covers.
 - All catchbasins shall be installed in accordance with City Standard Drawing, All catchbasin frames and covers shall be McCoy HBE11 or approved equal.
 - All industrial/commercial/condominium watermain connections shall be constructed in accordance with City Standard Drawing.
 - Watermain shall have a minimum vertical separation of 0.5 m and horizontal separation of 1.5 m between any sewer or manhole.
 - Hydrants to be installed as per City Standard.
 - Drainage entrance shall be constructed with heavy duty asphalt from the back of the structural edge to edge of pavement to the property line (area highlighted on drawings) in accordance with the following specifications:
 - 100 mm compacted depth of 100 mm crusher run limestone - granular base
 - 75 mm compacted depth of 100 mm crusher run limestone - granular base
 - 50 mm compacted depth of 50 mm crusher run limestone - granular sub-base
 - 50 mm compacted depth of 50 mm crusher run limestone - granular sub-base

- GENERAL NOTES**
- Max. slope of landscaped areas to be 1:3.
 - Provide low wall where grade difference exceeds 0.6m.
 - Provide 100mm high guardrail where grade difference exceeds 0.6m.
 - Degree curvatures curve at sidewalk to meet sidewalk depression to the satisfaction of the Director of Engineering.
 - Appropriate construction details shall be provided for retaining walls higher than 1.0 m. Details shall be designed and certified by a professional engineer's approval. Details/panels to be requested when height exceeds 0.6 m.
 - Landscaping shall not encroach on boulevard nor shall boulevard grades be altered. Slopes in landscaped areas and on berms shall not exceed 1 horizontal to 1 vertical.
 - Paving grades (min. 0.5%, max. 0.5%).
 - Drainage swales with grades (min. 0.5%, max. 0.5%).
 - Outside lighting shall be directed downward and inward and designed to maintain zero cutoff light level distribution at the property line.
 - Sanitary, storm and water service connections which are not in place on the municipal street allowance to the property line shall be arranged for installation by the City on payment of installation costs by the owner. To initiate the installation of the service connection(s), the owner shall file an application with the Construction Services Division (321 Finch) to be installed and maintained to prevent soil flowing onto adjacent lands.
 - Construction access shall be constructed with a minimum depth of 400 mm crushed stone base from the municipal curb or edge of pavement to the property line, to the satisfaction of the City.
 - The surface of all loading spaces and related driveways, parking spaces, and manoeuvring areas within the site shall be paved with a hard surface. The recommended minimum depth requirements are as follows:
 - 40 mm compacted depth 100 mm crusher run limestone - granular base
 - 100 mm compacted depth 100 mm crusher run limestone - granular base
 - 150 mm compacted depth 50 mm crusher run limestone - granular sub-base
 - 50 mm compacted depth 50 mm crusher run limestone - granular sub-base
 - Outside lighting to be directed downward as well as inward.



SITE PLAN AND SITE DATA
PLOTTED: 14-12-15 11:44 AM

intra intra architect inc.
3233 LANGFORD ROAD, SUITE 204, VAUGHAN, ONTARIO L4K 4J2
TEL: (905) 761-7870 FAX: (905) 761-7879
INFO@INTRARCH.COM WWW.INTRARCH.COM

DATE: SEPTEMBER 2003 PROJECT NO: P-5051
SCALE: 1:500 DRAWING NO: TL-10
DRAWN BY: REVIEWED BY: J.C. (J.C.)
DATE: 16/9/15

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: March 9th 2026

Attention: **Faegheh Gholami**

RE: Request for Comments

File No.: **A027-26**

Related Files:

Applicant Mainline Planning Services Inc.

Location 7611 Pine Valley Drive Bldg A – Unit 22 - 24



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra’s cost for any relocation work.

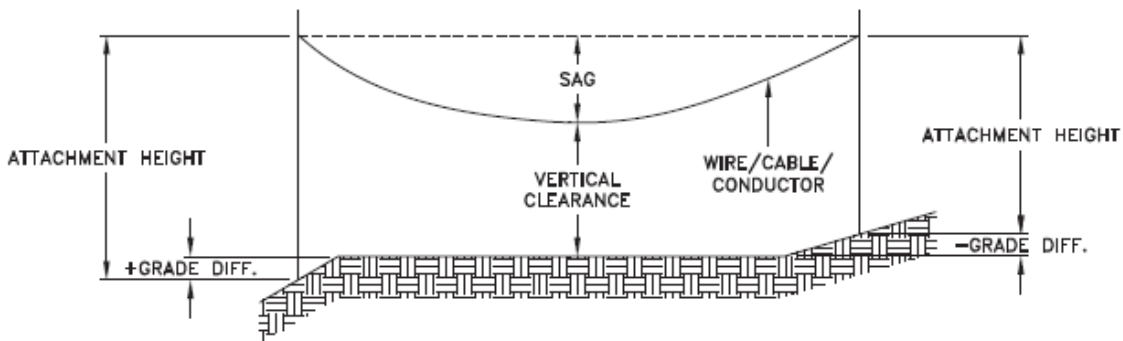
References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

ALECTRA UTILITIES CONTACT INFORMATION		
	EAST (WEST OF KEELE)	EAST (EAST OF KEELE)
Municipality:	Alliston, Aurora, Barrie, Beeton, Bradford West Gwillimbury, Penetanguishene, Thornton, Tottenham, Vaughan (West of Keele)	Markham, Richmond Hill, Vaughan (East of Keele)
Contact Name:	Azadeh Johardar	Randy Mustachi
Title:	Supervisor	Supervisor
Office Address:	161 Cityview Boulevard, Vaughan, ON, L4H 0A9	161 Cityview Boulevard, Vaughan, ON, L4H 0A9
Phone:	416.230.3239	416.902.5162
Email:	Azadeh.Johardar@Alectrautilities.com	Randy.Mustachi@AlectraUtilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO VEHICLES	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO PEDESTRIANS AND BICYCLES ONLY	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT RAILWAY CROSSINGS	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

REFERENCES

SAGS AND TENSIONS SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

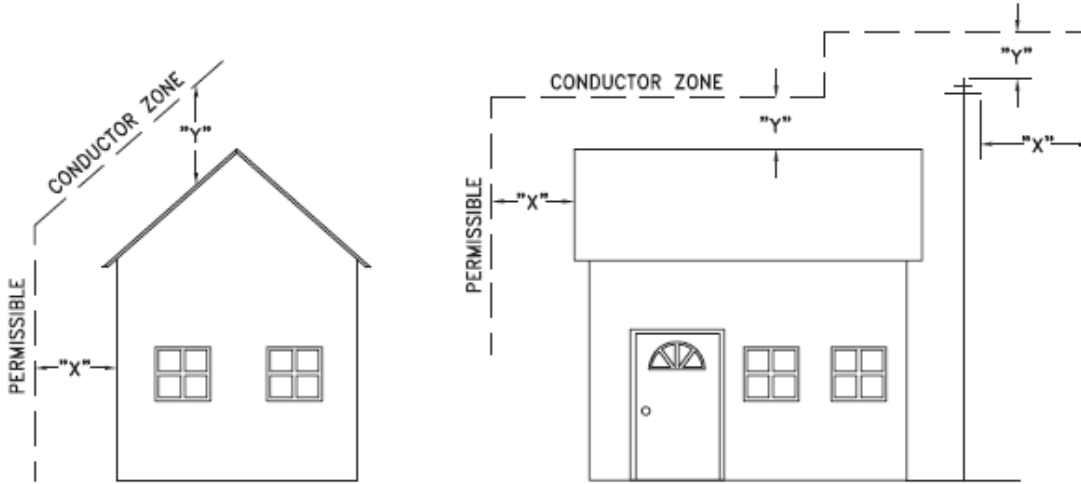
ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval

This construction Standard meets the safety requirements of Section 4 of Regulation 22/04

Joe Crozier, P.Eng. 2012-JAN-09
 Name Date

P.Eng. Approval By: Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P.Eng. Approval By: D. Dadwani

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
P:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 23-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 9:27:02 AM, Adobe PDF

To: Committee of Adjustment
From: Faegheh Gholami, Building Standards Department
Date: March 02, 2026
Applicant: Mainline Planning Services Inc.
Location: 7611 Pine Valley Drive Bldg A – Unit 22 - 24
 PLAN 65M2167 Part of Lot 4
 YCC 1051
File No.(s): A027/26

Zoning Classification:

The subject lands are zoned GMU – General Mixed-Use Zone and subject to the provisions of Exception 14.553 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	Place of worship: Means a building used for the gathering of a religious or faith-based organization for spiritual purposes. [Section 3.0, Definitions]	To permit a Place of worship to be in a part of a building for units 22-24 only.

Staff Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development and Parks Planning
Date: April 22, 2026
Name of Owner: Hao Zheng & Xin Yue Kang
Location: 7611 Pine Valley Drive, Building A, Units 22 – 24
File No.(s): A027/26

Proposed Variance(s):

1. To permit a **Place of worship** to be in a **part of a building** for units 22-24 only.

By-Law 001-2021 Requirement(s):

1. Place of worship: Means a **building** used for the gathering of a religious or faith-based organization for spiritual purposes. [Section 3.0, Definitions]

Official Plan:

Vaughan Official Plan ('VOP 2010'): "Mid-Rise Mixed-Use"

Comments:

The Owner is requesting permission to allow for a Place of Worship within Units 22-24 of the existing multi-unit building with the above-noted variance.

The Development Planning Department has no objection to Variance 1 to permit the proposed Place of Worship in a part of a building. A Place of Worship is permitted per the GMU zone within a standalone building. The Zoning By-law defines a Place of Worship as "a building used for the gathering of a religious or faith-based organization for spiritual purposes". Due to the use of the word "building" the use is only permitted to occupy a whole building, not to occupy a part of a building. The intent of this definition is to ensure that adequate space and parking are available on site for a use that typically serves a larger number of people. Such a use is typically and traditionally found in a standalone building, however the use has since evolved and can operate at smaller scales. The proposed Place of Worship is a smaller size and would be intended to serve a smaller number of people. As such, locating a Place of Worship within units 22-24 of the multi-unit building is sufficient to contain the proposed use. The existing multi-unit building on site contains a mix of uses permitted by the GMU Zone and a Place of Worship is a permitted use and is compatible with the other uses permitted in the GMU Zone. The Subject Lands are located within a Protected Major Transit Station Area (PMTSA – Pine Valley BRT Station) and are not required to meet required parking minimums, as such the use complies with parking provisions of the Zoning By-law. The proposed use does not create adverse impacts to the function of the Subject Lands, does not create land use conflicts in the area, and is compatible with the surrounding area.

Accordingly, the Development and Parks Planning Department supports the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development and Parks Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

Comments Prepared by:

Cordell Smith-Palmer, Planner 1
Janany Nagulan, Senior Planner

From: [Cameron McDonald](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A027/26 (7611 Pine Valley Drive) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Thursday, March 5, 2026 1:05:28 PM
Attachments: [image002.png](#)
[image003.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from the TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(416\) 661-6600](tel:(416)661-6600)

E: cameron.mcdonald@trca.ca

A: [5 Shoreham Drive, Toronto, ON, M3N 1S4](#) | trca.ca



From: [Development Services](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A027/26 (7611 Pine Valley Drive) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Friday, March 6, 2026 2:04:18 PM
Attachments: [image001.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good afternoon,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Regards,

Gabrielle

Gabrielle Hurst MCIP, RPP

Associate Development Specialist, Development Services, Economic and Development Services Branch
Corporate Services Department

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 8V3
O: 905-830-4444 ext. 71538 | developmentservices@york.ca |

Our Mission: **Working together to serve our thriving communities – today and tomorrow**

For more information check us out at www.york.ca/developmentservices

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None

SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
Minor Variance Application A160/23	Approved by Committee of Adjustment February 1, 2024
Minor Variance Application A072/21	Approved by Committee of Adjustment June 10, 2021

NOTICE OF DECISION
MINOR VARIANCE APPLICATION A160/23
 Section 45 of the Planning Act, R.S.O, 1990, c.P.13

DATE OF HEARING:	Thursday, February 1, 2024
APPLICANT:	International Missionary Society (Morris Lowe)
AGENT:	International Missionary Society (Han Beom Song)
PROPERTY:	7611 Pine Valley Drive, Bldg A, Vaughan
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Mid-Rise Mixed-Use"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a Place of Worship within a multi-unit building The Place of Worship will be located in Unit 9.

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

The subject lands are zoned GMU – General Mixed-Use Zone and subject to the provisions of Exception 14.553 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A Place of Worship is not permitted within a multi-unit building [Section 3.0, definition of Place of Worship].	To permit a Place of Worship within a multi-unit building (Unit 9).

Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:

THAT Application No. **A160/23** for 7611 Pine Valley Drive, Bldg A, Vaughan, be **APPROVED**, in accordance with the drawings and plans submitted with the application.

REASONS:

This application is approved, as it is the opinion of the Committee that, with the above noted conditions of approval, this application meets all four tests under Section 45(1) of the Planning Act:

1. The general intent and purpose of the by-law will be maintained.
2. The general intent and purpose of the official plan will be maintained.
3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
4. The requested variance(s) is/are minor in nature.

PUBLIC WRITTEN & ORAL SUBMISSIONS

Public correspondence considered by the Committee of Adjustment in the making of this decision.

WRITTEN SUBMISSIONS:

Name	Address	Date Received (mm/dd/yyyy)	Summary
Anthony Falcone	7611 Pine Valley Drive	1/25/2024	Letter of Objection
Daniela Hofmann	7611 Pine Valley Drive	1/31/2024	Letter of Objection

ORAL SUBMISSIONS:

Name	Address	Submission (Hearing) Date (mm/dd/yyyy)	Summary
None			

In accordance with Procedural By-law 069-2019, public written submissions on an Application shall only be received by the Secretary Treasurer until **noon** on the last business day prior to the day of the scheduled Meeting.

WRITTEN SUBMISSIONS RECEIVED PAST DEADLINE:

Name	Address	Date Received (mm/dd/yyyy)	Summary
None			

IMPORTANT INFORMATION

Making any changes to your proposal/development after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings attached to this decision.

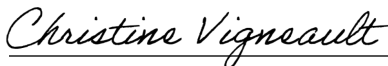
A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

<i>J. Kalpin</i>	<i>A. Perrella</i>	<i>M. Milunsky</i>
J. Kalpin Member	A. Perrella Chair	M. Milunsky Member
<i>S. Kerwin</i>		<i>B. Bell</i>
S. Kerwin Vice Chair		B. Bell Member

DATE OF HEARING:	February 1, 2024
DATE OF NOTICE:	February 8, 2024
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	February 21, 2024 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan’s Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.  _____ Christine Vigneault Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

Appealing to The Ontario Land Tribunal
 The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or a **specified person** or public body that has an interest in the matter may within 20 days of the making of the decision appeal to the Tribunal against the decision of the committee by filing with the secretary-treasurer of the committee a notice of appeal setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the secretary-treasurer of the fee charged by the Tribunal as payable on an appeal from a committee of adjustment to the Tribunal.

When **no appeal is lodged** within twenty days after the giving of notice the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

Please email and courier all appeals and prescribed fees to:

Office of the City Clerk - Committee of Adjustment
 2141 Major Mackenzie Drive
 Vaughan Ontario, L6A 1T1
cofa@vaughan.ca

If you have questions regarding the appeal process, please email cofa@vaughan.ca

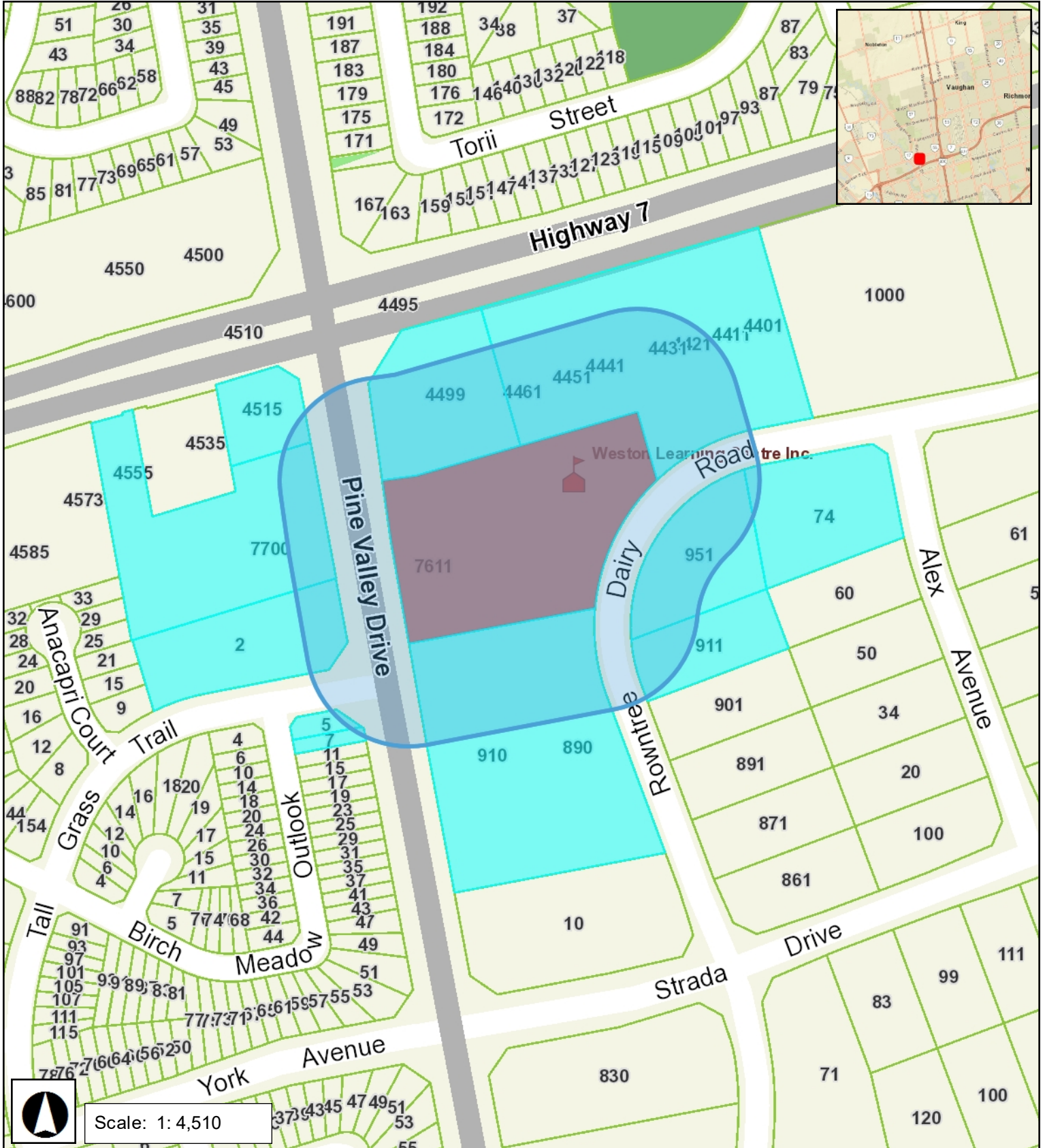
Appeal Fees & Forms

ONTARIO LAND TRIBUNAL (OLT): The OLT appeal fee is \$400 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The OLT Appeal Fee must be paid by certified cheque or money order payable to the “Minister of Finance”. OLT appeals must be filed with the Secretary Treasurer, City of Vaughan.

City of Vaughan OLT Processing Fee: [See Fee Schedule](#)

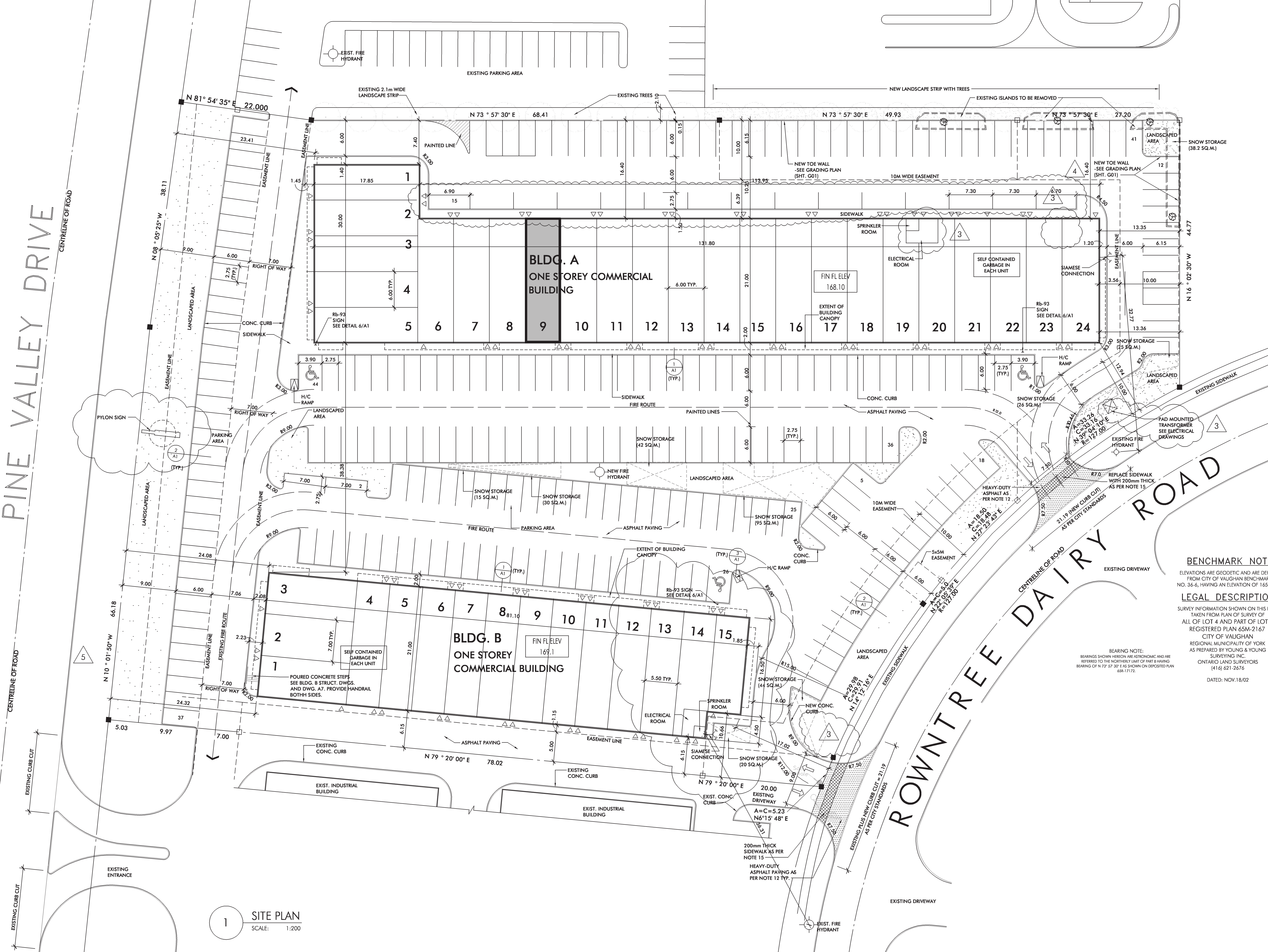
*Please note that all fees are subject to change.

7611 Pine Valley Drive Bldg A, Vaughan



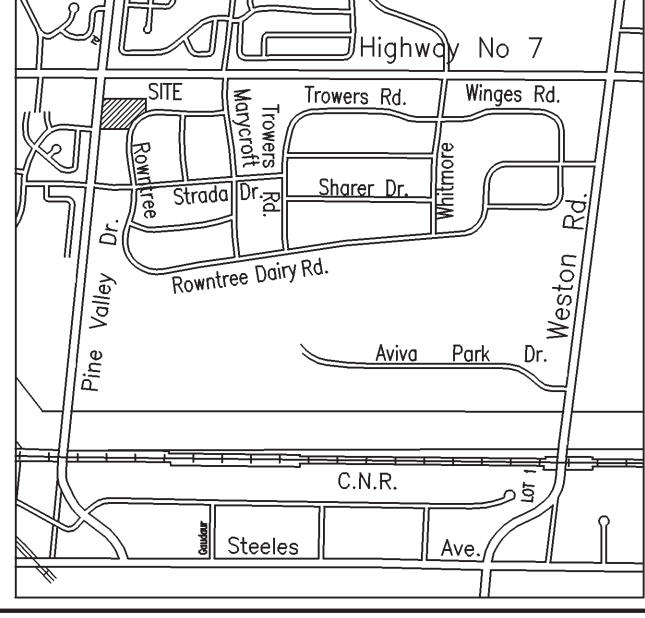
RECEIVED
By attwalap at 9:58 am, Dec 19, 2023

EXISTING TD BANK



SITE DEVELOPMENT DATA

ZONING	C7-H	
LOT AREA	16,366.50 sq.m.	176,173.00 sq.ft. (4,044 AC.) (1.63 Ha.)
BUILDING AREA	2,928.45 sq.m.	31,521.57 sq.ft.
BUILDING A (COMMERCIAL)	1,678.58 sq.m.	18,068.03 sq.ft.
BUILDING B (COMMERCIAL)		
TOTAL BUILDING AREA (FOOTPRINT)	4,607.03 sq.m.	49,589.60 sq.ft.
LOT COVERAGE	GROSS GROUND COVERAGE 28.15%	
SETBACKS	REQUIRED	PROVIDED
FRONT YARD	9.00M	12.94M
REAR YARD	22.00M	23.41M
SIDE YARD (EXT.)	N/A	
SIDE YARD (INT.)	6.00M	6.15M/7.40M
PARKING	REQUIRED	PROVIDED
COMMERCIAL (6.0/100 S.M.)	271 SPACES	261 SPACES
BUILDING A AND B		(INCLU. 3 H/C SPACES)
LOADING SPACES	REQUIRED	PROVIDED
OFFICE	N/A	N/A
LANDSCAPED AREA	MIN. 10% OF LOT AREA 2,950.69 sq.m. 31,762.00 sq.ft. (53.82%)	
PAVED AREA	8,808.77 sq.m.	94,819.91 sq.ft. (53.82%)



ONTARIO BUILDING CODE DATA

BUILDING 'A' AND BUILDING 'B'

PROJECT DESCRIPTION	NEW [] ADDITION [] ALTERATION [] CHANGE OF USE []	
MAJOR OCCUPANCY(S) GROUP [E]	3.1.2.1.	
NUMBER OF STOREYS ABOVE GRADE = [1] BELOW GRADE = [0]	-	
HEIGHT OF BUILDING BLDG.'A': [8.80] m BLDG.'B': [8.80] m	FACING - BLDG.'A': [1] STREET(S) BLDG.'B': [1] STREET(S)	3.2.2.10
BUILDING CLASSIFICATION	GROUP [E], UP TO 2 STOREYS SPRINKLERED	3.2.2.[6]
SPRINKLER SYSTEM PROPOSED	[]	
STANDPIPE REQUIRED	YES [] NO [X]	3.2.9.1.
FIRE ALARM REQUIRED	YES [] NO [X]	3.2.4.1.
HIGH BUILDING	YES [] NO [X]	3.2.6.1.
WATER SERVICE IS ADEQUATE	YES [] NO [X]	3.2.2.62
CONSTRUCTION	COMBUSTIBLE [] NON COMBUSTIBLE [X] BOTH []	3.2.2.62
MEZZANINE(S) AREA [N/A] sq.m.	-	
TOTAL OCCUPANCY LOAD [] PERSONS	TABLE 3.1.16.1	
DESIGN ON: sq.m./PERSON	DESIGN OF BUILDING	
BARRIER-FREE DESIGN	YES [] NO [X]	3.8.1.1.
HAZARDOUS SUBSTANCES	YES [] NO [X]	-
REQUIRED FIRE RESISTANCE RATING (FRR)	HORIZONTAL ASSEMBLIES (FRR) (HOURS)	LISTED DESIGN NO. (ULC) OR DESCRIPTION (SG-2)
FLOORS: [0] HOURS	[]	[]
ROOF: [0] HOURS	[]	[]
MEZZANINE: -	[]	[]
FRR OF SUPPORTING MEMBERS	LISTED DESIGN NO. (ULC) OR DESCRIPTION (SG-2)	3.2.2.62
FLOORS: [0] HOURS	[]	[]
ROOF: [0] HOURS	[]	[]
MEZZANINE: - HOURS	[]	[]

SITE LOCATION PLAN

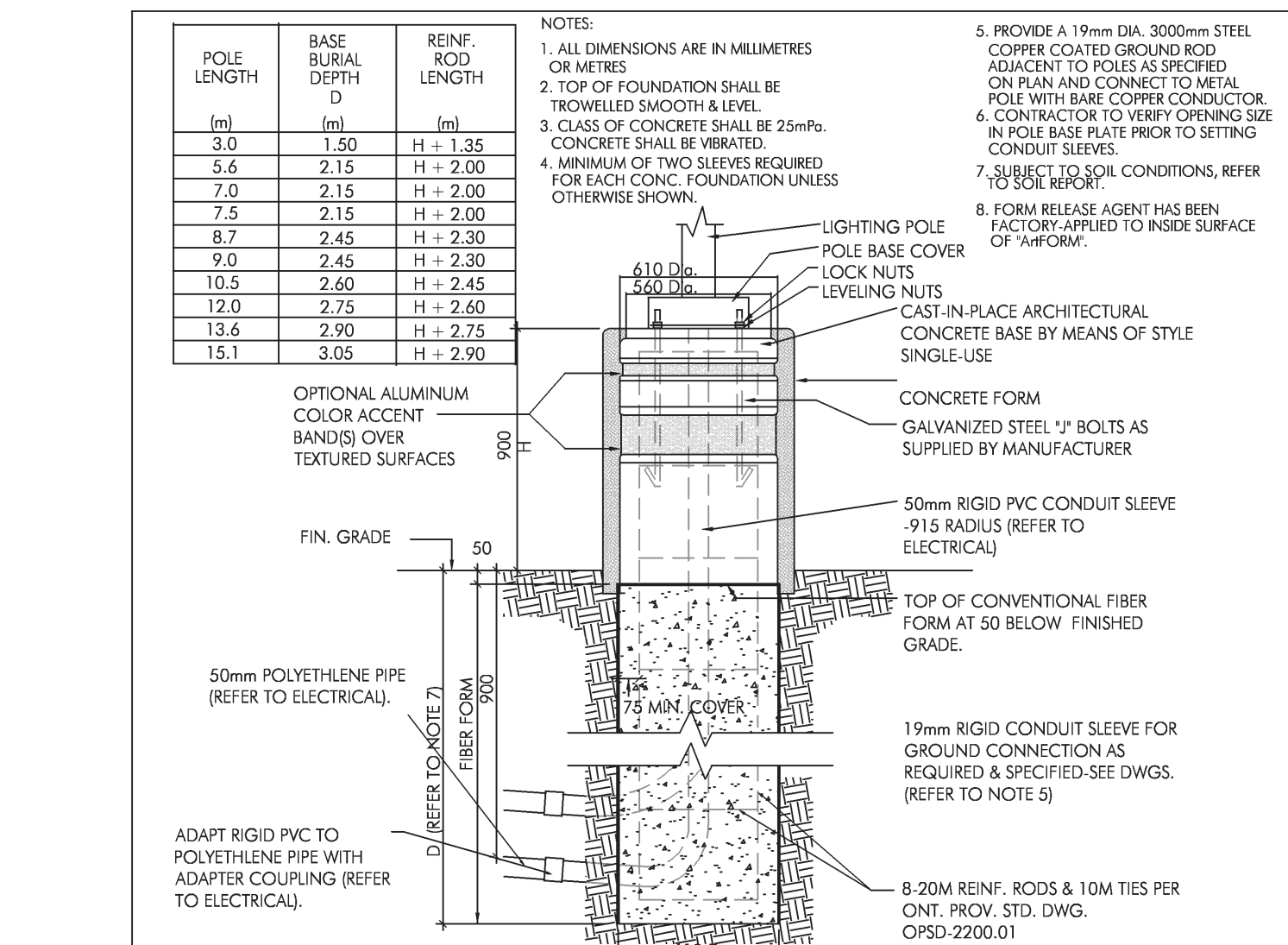
LEGEND

[179.00]	PROPOSED FIN. GRADE
[179.00] CR ±179.00	EXISTING GRADE
T.C. [79.00]	TOP OF CURB
C.B. [79.00]	TOP OF CATCH BASIN
[]	MAN DOOR LOCATIONS
[]	DRIVE-IN DR LOCATIONS
[]	LOADING DOCK DR LOCATION
[]	CATCH BASIN
[]	CATCH BASIN MANHOLE
[]	SANITARY MANHOLE
[]	STORM SEWER MANHOLE
[]	FIRE HYDRANT
[]	GAS
[]	ROOF DRAIN
[]	BORE HOLE
[]	HEAVY DUTY ASPHALT PAVING

A160823

BENCHMARK NOTE
ELEVATIONS ARE GEODETIC AND ARE DERIVED FROM CITY OF VAUGHAN BENCHMARK NO. 36.6, HAVING AN ELEVATION OF 165.944M.

LEGAL DESCRIPTION
SURVEY INFORMATION SHOWN ON THIS PLAN TAKEN FROM PLAN OF SURVEY OF ALL OF LOT 4 AND PART OF LOT 3 REGISTERED PLAN 45M-2167 CITY OF VAUGHAN REGIONAL MUNICIPALITY OF YORK AS PREPARED BY YOUNG & YOUNG SURVEYING INC. ONTARIO LAND SURVEYORS (416) 621-2626. DATED: NOV.18.02



STANDARD NOTES FOR SITE PLAN

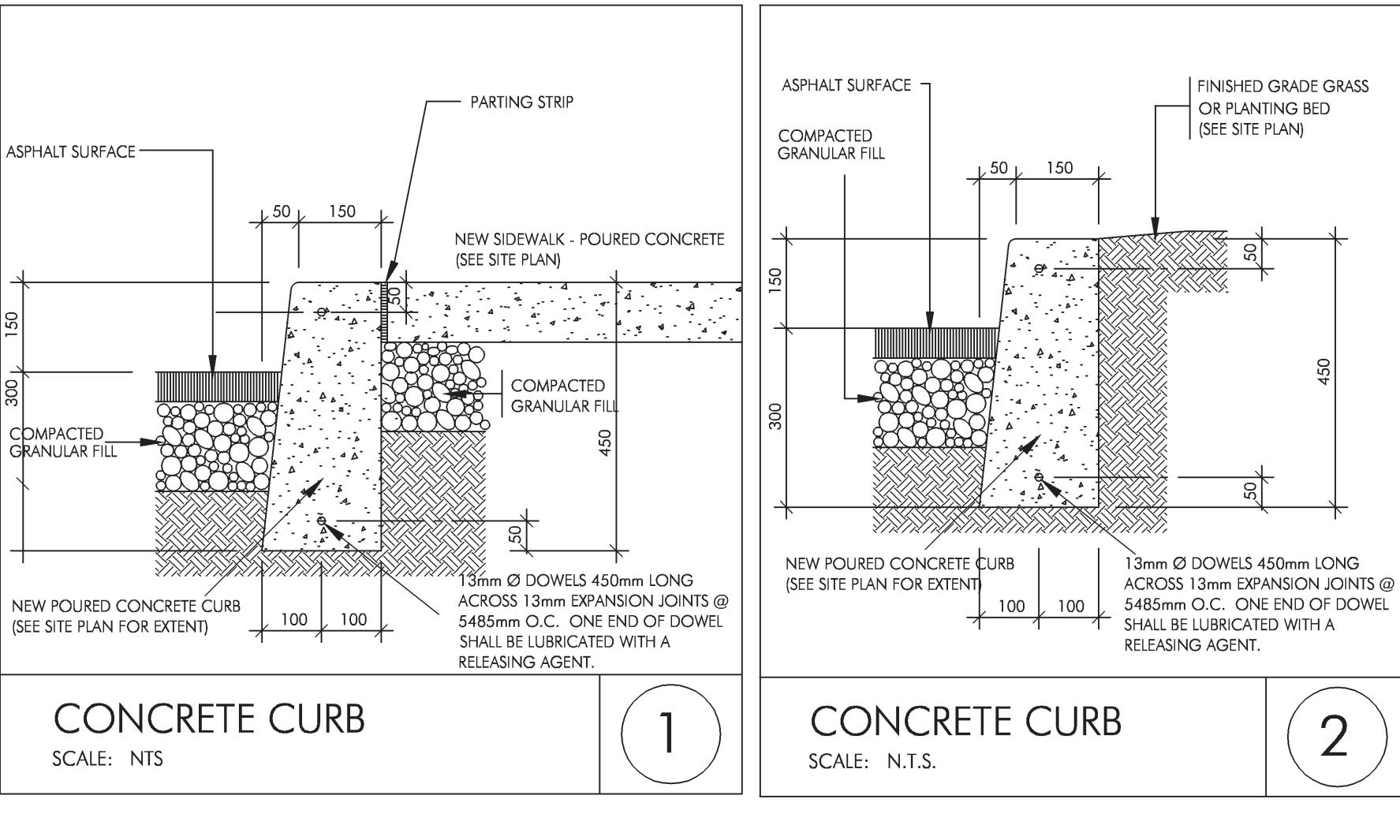
- Standard drawings of the Town of Vaughan constitute part of the site plan drawing(s).
- All construction work to be carried out in accordance with the requirements of the Occupational Health and Safety Act and Regulations for construction projects.
- The Owner and/or his representative shall rectify all disturbed areas to original condition or better and to the satisfaction of the City.
- The location of all under/above ground utilities and structures is approximate only, and where shown on the drawing(s) the accuracy of the location of such utilities is not guaranteed. The Owner and/or his representative shall determine the location of all such utilities and structures by consulting the appropriate authorities or utility companies concerned. The Owner shall prove the location of all such utilities and structures and shall assume all liability for damage or restoration to same.
- Any conflicts with existing services shall be rectified at the Owner's expense.
- Sanitary and storm control manholes shall be in accordance with City Standard Drawings. Frame and cover shall be McCoy HMI31, or approved equal. The manholes shall be braced to the adjacent pipe.
- All sanitary manhole covers in the ponding areas to be water tight sealed covers.
- All catchbasins shall be installed in accordance with City Standard Drawing. All catchbasin frames and covers shall be McCoy HMI31 or approved equal.
- All industrial/commercial/condominium watermain connections shall be constructed in accordance with City Standard Drawings.
- Watermain shall have a minimum vertical separation of 0.5 m and horizontal separation of 2.5 m between any sewer or manhole.
- Hydrants to be installed as per City Standard.
- Driveway entrance shall be constructed with heavy duty asphalt from the back of the municipal curb or edge of pavement to the property line (area highlighted on drawing(s)) in accordance with the following specifications:
 - 50 mm compacted depth of H1A asphalt - top course
 - 75 mm compacted depth of H1A asphalt - binder course
 - 150 mm compacted depth of 20 mm crusher run limestone - granular base
 - 300 mm compacted depth of 20 mm crusher run limestone - granular sub-base

- All concrete curbs from existing road curb to street line shall be barrier curb City Standard P-4. All concrete curb heights shall be 150 mm unless otherwise noted. Driveway curb to be discontinuous at sidewalk and tapered back 600 mm minimum.
- All required curb cutting at driveway entrance(s) and curb depressions at sidewalk crossings shall be installed to the satisfaction of the City.
- Sidewalk to be 200 mm thick through driveway entrance per City Standard.
- Front collars are to be provided on curb stops and valve boxes when located within the limits of the driveway.
- Driveways shall be setback a minimum clearance of 1.0 m from all above ground services or other obstructions.
- Appropriate construction details shall be provided for retaining walls higher than 1.0 m. Details shall be designed and certified by a professional engineer upon approval. Handrail/guard is required when height exceeds 0.60 m.
- Landscaping shall not encroach on boulevard nor shall boulevard grades be altered.
- Slopes in landscaped areas and on berms shall not exceed 3 horizontal to 1 vertical.
- Pavement grades (min. 0.5%, max. 5%).
- Drainage swales with grades (min. 2%, max. 5%).
- Outside lighting shall be directed downward and inward and designed to maintain zero cutoff light level distribution at the property line.
- Sanitary, storm and water service connections which are not in place on the municipal road allowance to the property line shall be arranged for installation by the City on payment of installation costs by the owner. To initiate the installation of the service connection(s), the owner shall file an application with the Construction Services Division.
- Silt fence(s) to be installed and maintained to prevent silt flowing onto adjacent lands.
- Construction access shall be constructed with a minimum depth of 450 mm crushed stone base from the municipal curb or edge of pavement to the property line, to the satisfaction of the City.
- The surface of all loading spaces and related driveways, parking spaces, and maneuvering areas within the site shall be paved with a hard surface. The recommended minimum depth requirements are as follows:
 - 40 mm compacted depth H1A asphalt - top course
 - 50 mm compacted depth H1A asphalt - binder course
 - 150 mm compacted depth 20 mm crusher run limestone - granular base
 - 300 mm compacted depth 20 mm crusher run limestone - granular sub-base

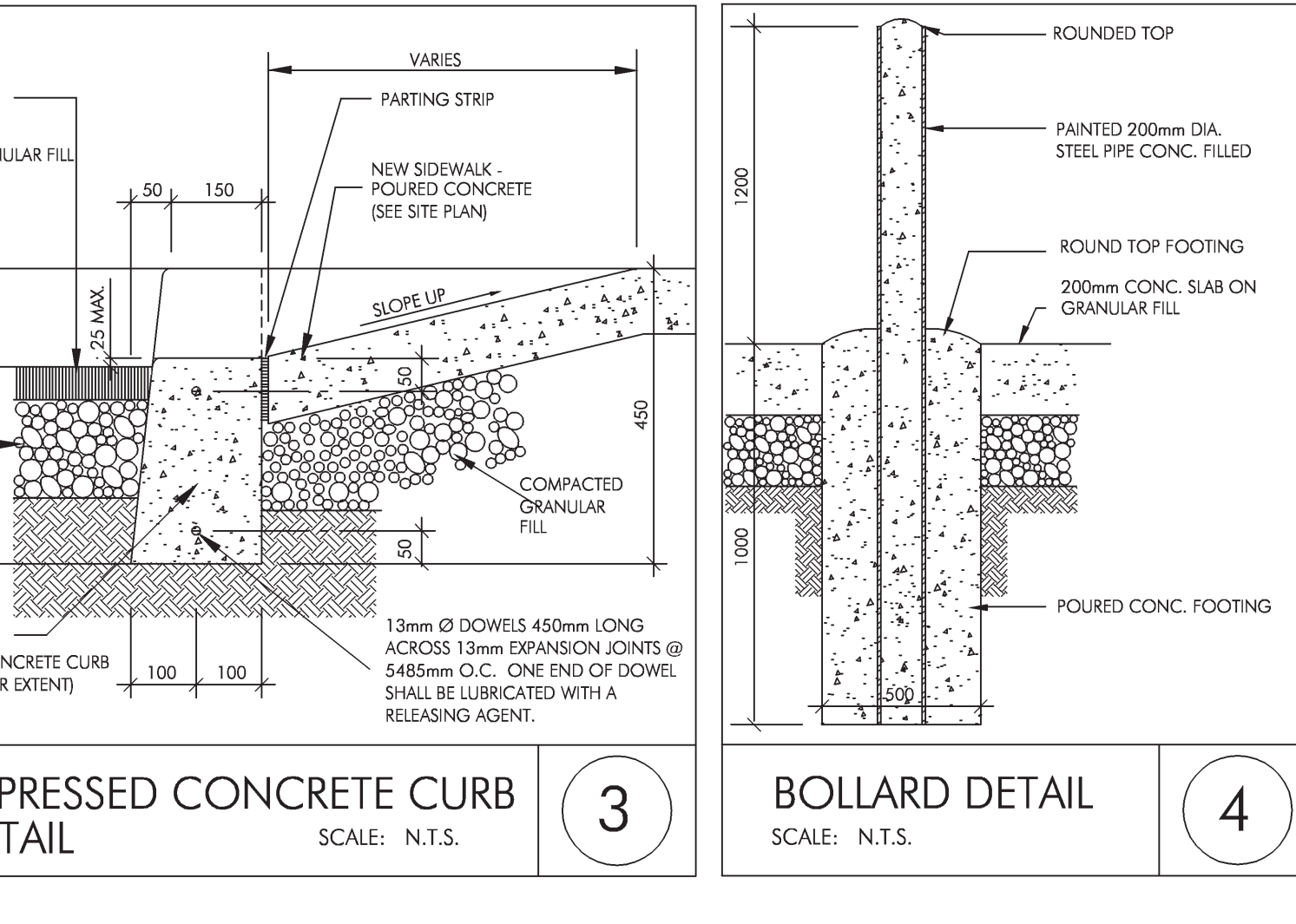
GENERAL NOTES

- Max. slope of landscaped areas to be 1:3.
- Provide toe wall where grade difference exceeds 0.6m.
- Provide 1100mm high guardrail where grade difference exceeds 0.6m.
- Depress concrete curbs at sidewalks to meet sidewalk depression to the satisfaction of the Director of Engineering.
- All sidewalk finishes at building entrances to be poured concrete bordered with conc. curbs unless otherwise noted.
- All conc. curbs shall be 150mm above finished asphalt unless otherwise noted.
- Shaded areas at entrance ramps denotes heavy duty asphalt paving.
- Any conflict with existing services shall be rectified at the applicants expense.
- Landscaping berms shall not encroach on boulevard.
- Pavement Grades: Min. 0.5%, Max. 5.0%.
- Drainage swales: Min. 2.0%, Max 5.0%.
- Outside lighting to be directed downward as well as inward.

H/C PARKING SIGN DETAIL



LIGHTING POLE DETAIL ARTFORMS KELLAMY 610R



PROPOSED COMMERCIAL DEVELOPMENT FOR ROWN PINE INVESTMENTS INC. PINE VALLEY DRIVE AND ROWNTREE DAIRY RD. CITY OF VAUGHAN, ONTARIO LOT 4 AND PART OF LOT 3

SITE PLAN AND SITE DATA

DATE: SEPTEMBER 2003 PROJECT No. 2304/R

SCALE: 1:300 DRAWING No. A1

intra architect inc. 3321 LANGSTAFF ROAD, SUITE 204, VAUGHAN ONTARIO L4K 4L2 TEL: (905) 761-7870 FAX: (905) 761-7872 INFO@INTRARCH.COM WWW.INTRARCH.COM

NOTICE OF DECISION
Minor Variance Application A072/21
 Section 45 of the Planning Act, R.S.O., 1990, c.P.13

Date of Hearing: Thursday, June 10, 2021
Applicant: 2207922 Ontario Inc.
Agent 2MK Architects Inc.
Property: **7611 Pine Valley Drive, Unit 28, Woodbridge**
Zoning: The subject lands are zoned C7 - Service Commercial Zone and are subject to the provisions of Exception 9(864) under By-law 1-88 as amended.
OP Designation: Vaughan Official Plan 2010 ('VOP 2010'): "Mid-Rise Mixed-Use"
Related Files: None
Purpose: Relief from By-law 1-88, as amended is being requested to permit the construction of a proposed second floor within Unit #28.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
The by-law requires that a minimum of 285 parking spaces shall be required on the lot. [3.8 a) and 9(864) ei)]	A minimum of 261 parking spaces are proposed to be provided on the lot.

Sketch: A sketch illustrating the request has been attached to the decision.

Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:

THAT Application No. A072/21 on behalf of 2207922 Ontario Inc. be **APPROVED**, in accordance with the sketch submitted with the application (as required by Ontario Regulation 200/96)

For the following reasons:

1. The general intent and purpose of the by-law will be maintained.
2. The general intent and purpose of the official plan will be maintained.
3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
4. The requested variance(s) is/are minor in nature.

Please Note:

It is the responsibility of the owner/applicant and/or authorized agent to address any condition(s) of approval noted in this decision to the satisfaction of the commenting department or agency. Once conditions have been satisfied, the Secretary Treasurer will be in a position to issue a clearance letter which is required prior to the issuance of a Building Permit.

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment

approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Written & oral submissions considered in the making of this decision were received from the following:

Public Written Submissions * Public Correspondence received and considered by the Committee in making this decision	Public Oral Submissions *Please refer to the approved Minutes of the Thursday , June 10, 2021 meeting for submission details.
None	None

Late Written Public Submissions: N/A

Public written submissions on an Application shall only be received by the Secretary Treasurer until **noon** on the last business day prior to the day of the scheduled Meeting.

MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

<i>Hao Zheng</i>	<i>Assunta Perrella</i>	<i>Robert Buckler</i>
H. Zheng Member	A. Perrella Chair	R. Buckler Member
<i>Steve Kerwin</i>		<i>Adolfo Antinucci</i>
S. Kerwin Vice Chair		A. Antinucci Member

DATE OF HEARING:	June 10, 2021
DATE OF NOTICE:	June 18, 2021
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	June 30, 2021 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan’s Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application. <div align="center"><i>Christine Vigneault</i></div> <hr/> Christine Vigneault, AMP, ACST Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

*Electronic signatures have been used to process this decision as approved by the Committee of Adjustment at the May 28, 2020 hearing.

Appealing to The Local Planning Appeal Tribunal
The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or any other person or public body who has an interest in the matter may within 20 days of the making of the decision appeal to the Local Planning Appeal Tribunal (LPAT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal (A1 Appeal Form) setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Local Planning Appeal Tribunal Act*.

A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days of the date of the making of the decision, the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time. Please mail or courier appeals and prescribed fees to:

Office of the City Clerk - Committee of Adjustment
2141 Major Mackenzie Drive
Vaughan Ontario, L6A 1T1

If you have questions regarding the appeal process, please email cofa@vaughan.ca

Appeal Fees & Forms

Local Planning Appeal Tribunal: The LPAT appeal fee is \$400 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The LPAT Appeal Fee must be paid by certified cheque or money order payable to the “Minister of Finance”. Appeal forms (A1 Appeal Form – Minor Variance) can be obtained at www.eto.gov.on.ca or by contacting our office at 905-832-8585 Ext. 8332 or cofa@vaughan.ca

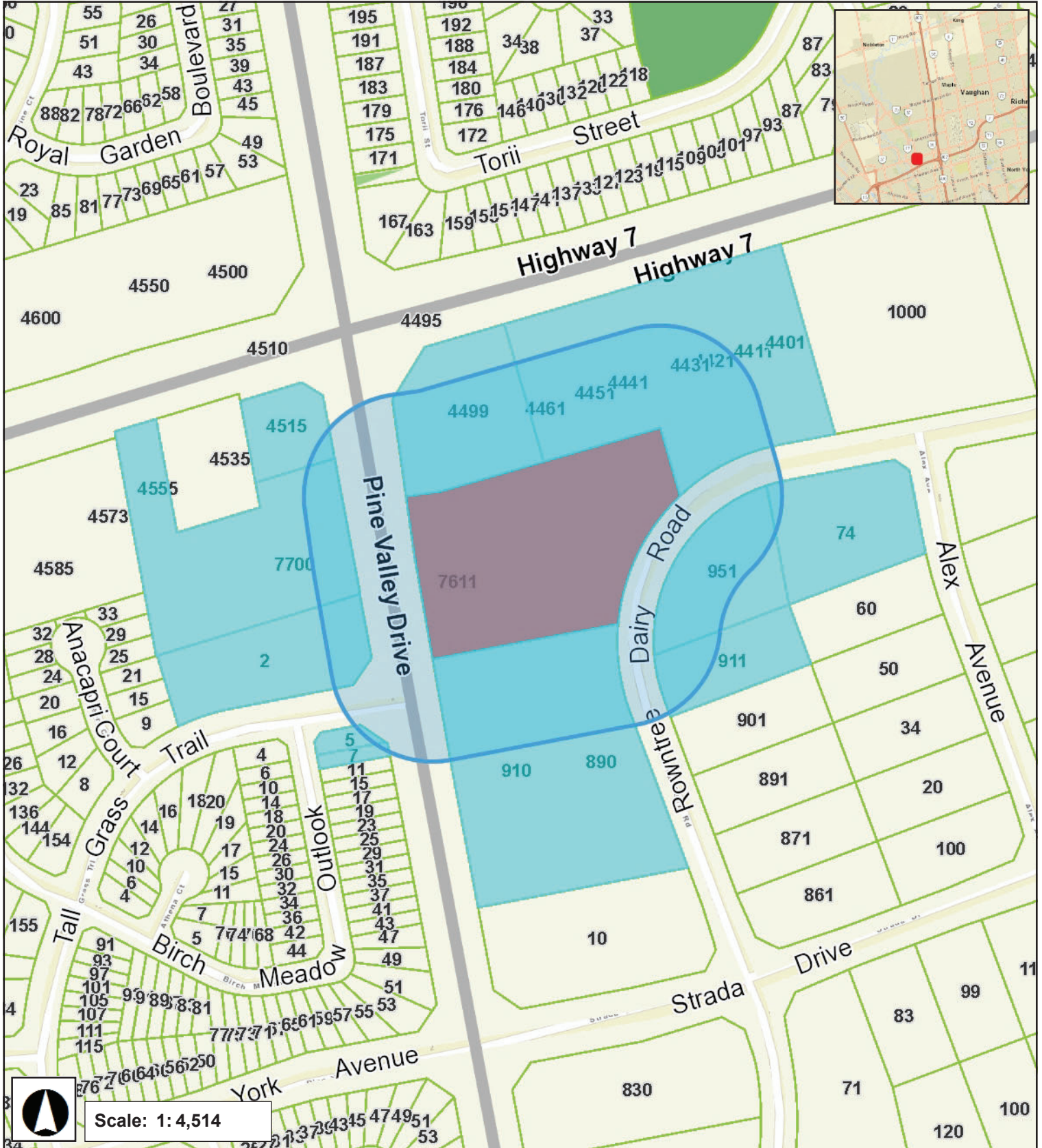
City of Vaughan LPAT Processing Fee: \$866.00 per application

*Please note that all fees are subject to change.



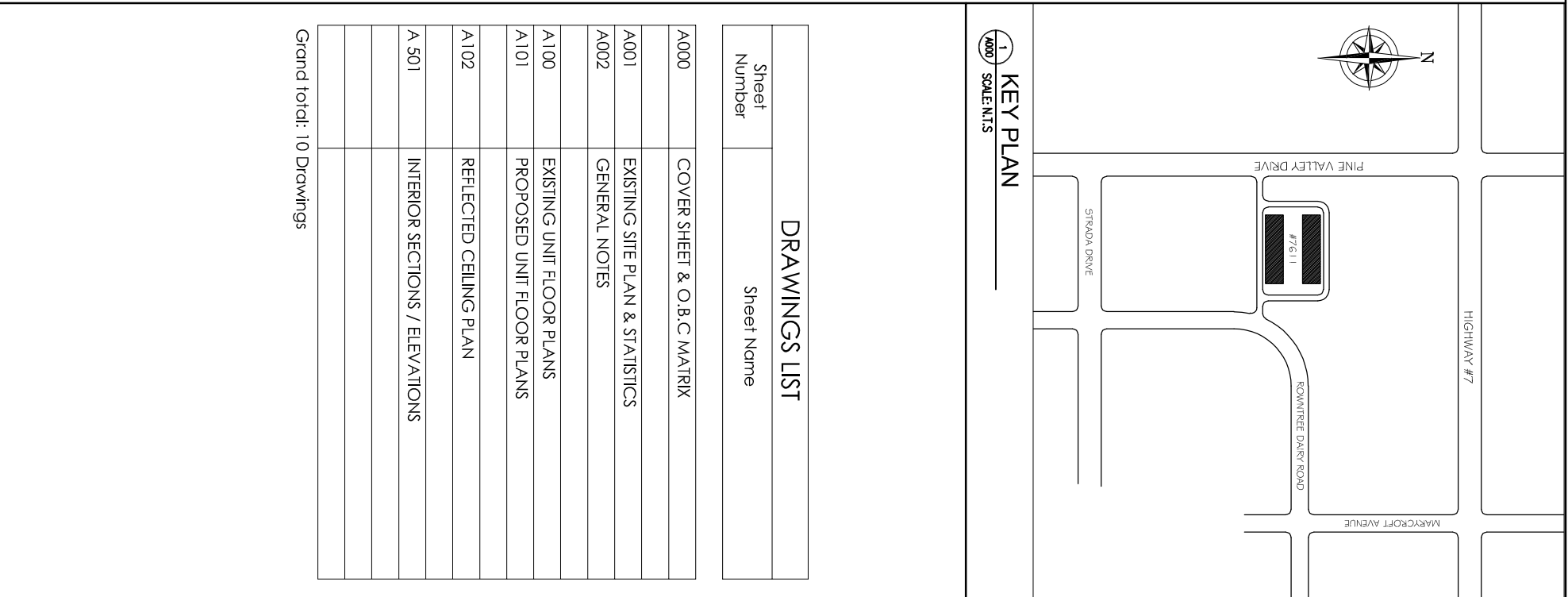
LOCATION MAP - A072/21

7611 PINE VALLEY DRIVE, UNIT 28, WOODBRIDGE



Ontario Building Code Data Matrix Part 3				Building Code Reference 1
3.00	Building Code Version: <u>O. Reg. 339/12</u>	Last Amendment: <u>O. Reg. 191/14</u>		
3.01	Project Type: <input type="checkbox"/> New <input type="checkbox"/> Addition and renovation <input checked="" type="checkbox"/> Renovation <input type="checkbox"/> Change of use <input type="checkbox"/> Addition	Description: <u>Interior Alteration to an Existing Commercial Building</u>		[A]1.1.2
3.02	Major Occupancy Classification: Occupancy: <u>Use</u> D: <u>Office</u>			3.12.1(1)
3.03	Superimposed Major Occupancies: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	Description: _____		3.2.2.7
3.04	Building Area (m ²): Area of Interior Alteration: <u>192.8 m²</u> Total area of interior alteration: <u>192.8 m²</u>	Description: _____ Existing: <u>192.8 m²</u> New: <u>0</u> Total: <u>192.8 m²</u>		[A]1.4.1.2
3.05	Gross Area (m ²): Area of Interior Alteration: <u>192.8 m²</u> Total: <u>192.8 m²</u>	Description: _____ Existing: <u>192.8 m²</u> New: <u>0</u> Total: <u>192.8 m²</u>		[A]1.4.1.2
3.06	Mezzanine Area (m ²): Existing mezzanine: <u>42.8 m²</u> Total: <u>75.8 m²</u>	Description: _____ Existing: <u>42.8 m²</u> New: <u>33</u> Total: <u>75.8 m²</u>		3.2.1.1
3.07	Building Height: Storeroys above grade: <u>1</u> Storeroys below grade: <u>0</u>	Existing: <u>(m) Above grade</u> Total: <u>75.8 m²</u>		[A]1.4.1.2 & 3.2.1.1
3.08	High Building: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes			3.2.6
3.09	Number of Stairs/ Firefighter access: <u>1</u> stairs(s)			3.2.2.10 & 3.2.5
3.10	Building Classification: (Class and Construction Reference to Occupancy): <u>3.2.2.62</u> Group/Div: <u>E</u>			3.2.2.20 - 83
3.11	Sprinkler System: Proposed: <input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required <input checked="" type="checkbox"/> entire building <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input type="checkbox"/> in lieu of foot rating			3.2.1.5 & 3.2.1.7
3.12	Standpipe System: <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Required			3.2.9
3.13	Fire Alarm System: Proposed: <input type="checkbox"/> Required <input checked="" type="checkbox"/> Not required <input type="checkbox"/> Single stage <input type="checkbox"/> Two stage <input type="checkbox"/> None			3.2.4
3.14	Water Service / Supply is Adequate: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes			
3.15	Construction Type: Restriction: <input checked="" type="checkbox"/> Combustible permitted <input checked="" type="checkbox"/> Non-combustible required Actual: <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Combination Heavy Timber Construction: <input type="checkbox"/> No <input type="checkbox"/> Yes			3.2.2.20 - 83 & 3.2.1.4
3.18	Occupant Load: Floor Level/Area: _____ Main Floor: _____ Occupancy: _____ Based On: _____ Office employees: _____ Design: _____ Occupant Load (Based on): _____ Based On: _____ Design: _____ Occupant Load: _____ Based On: _____ Design: _____ Occupant Load: _____			3.1.1.7
3.19	Barrier-free Design: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Explanation: <u>Barrier Free washroom existing in the unit.</u>			3.8
3.20	Hazardous Substances: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Explanation: _____			3.3.1.2 & 3.3.1.9
3.21	Required Fire Resistance Ratings: Horizontal Assembly: _____ Vertical Assembly: _____ Supporting Assembly: _____ Noncombustible in lieu of Rating: _____			3.2.2.20 - 83 & 3.2.1.4
3.23	Punching Fixture Requirements: Ratio: _____ Male Female = 50/50 Except as noted otherwise Floor Level/Area: _____ Occupant Load: _____ Main Floor: _____ Occupant Load: _____			3.7.4

STATISTICS	
ADDRESS: 7611 Pine Valley Dr. Vaughan, ON, L4L 9A9. Unit #28	
ZONING: C7 Commercial	TOTAL PROPOSED GROSS FLOOR AREA = 192.8 m ² Gr. Floor area = 117 m ² Mezzanine / SECOND FLOOR = 75.8 m ²
PREVIOUS UNIT USE: EATING ESTABLISHMENT/ CONVENIENCE	PROPOSED UNIT USE: PROFESSIONAL OFFICE / BUSINESS
MEZZANINE AREA CALCULATIONS	
EXISTING MEZZANINE FLOOR AREA = 42.8 m ²	
PROPOSED ADDITION TO EXISTING MEZZANINE FLOOR AREA = 33 m ²	
TOTAL PROPOSED MEZZANINE / SECOND FLOOR AREA = 75.8 m ²	
OPEN SPACE AREA = 35.5 m ²	
NOTE: WE PROPOSE THIS ADDITION AS SECOND FLOOR	
CAR PARKING: REQUIRED CAR PARKING FOR OFFICE USE = 3.5 FOR EVERY 100 m ² GFA = 7 CAR PARKING SPACES REQUIRED TOTAL EXISTING CAR PARKING ALLOCATED FOR UNIT #28 = 6 (NO CHANGE) TOTAL EXISTING CAR PARKING PROVIDED ON SITE = 26 (NO CHANGE)	
BUILDING HEIGHT: EXISTING (NO CHANGE)	
SET BACKS: ALL SET-BACKS EXISTING. NO CHANGE FOR EXISTING SET-BACKS	
O.B.C COMPLIANCE	PROPOSED UNIT USE: PROFESSIONAL OFFICE / BUSINESS
PREVIOUS UNIT USE: EATING ESTABLISHMENT/ CONVENIENCE	PROPOSED UNIT USE: PROFESSIONAL OFFICE / BUSINESS
EXISTING BUILDING MAJOR OCCUPANCY: E - MERCANTILE OCCUPANCIES	O.B.C CLASSIFICATION OF THE WHOLE BUILDING: 3.2.2.62
EXISTING BUILDING FULLY SPRINKLERED	NUMBER OF EXITS FOR EXISTING UNIT: 2
MAX. OCCUPANT LOAD: 10 PERSON	
NUMBER OF BARRIER FREE WASHROOMS: 1 - EXISTING (NO CHANGE)	
NUMBER OF REGULAR WASHROOMS: 2	



DRAWINGS LIST	
Sheet Number	Sheet Name
A000	COVER SHEET & O.B.C MATRIX
A001	EXISTING SITE PLAN & STATISTICS
A002	GENERAL NOTES
A100	EXISTING UNIT FLOOR PLANS
A101	PROPOSED UNIT FLOOR PLANS
A102	REFLECTED CEILING PLAN
A 501	INTERIOR SECTIONS / ELEVATIONS

Grand total: 10 Drawings

Revisions		
No.	Issued	Date
1	Issued for Building Permit Application	Sep. 08, 2020
2	Re-issued for Building Permit Application	Oct. 30, 2020
3	Re-issued for Building Permit Revision	Jan. 20, 2021
4	Re-issued for Minor Variance Application	April 13, 2021
5		
6		
7		
8		
9		
10		

Client	R-Con Engineering Inc.
7611 Pine Valley Dr. Vaughan, ON, Unit #28	
Consultant	ZMK Architects Inc.
	501 A-3461 DIXIE RD. MISSISSAUGA ON, L4Y3X4 phone 4162729435/4473000175
Project	Interior Alterations To an Existing Space
7611 Pine Valley Dr. Vaughan, ON, Unit #28	
Drawing Title	Cover Sheet
Drawn by: MK	Checked by: MK
Scale: 1 : 150	Date: Sep. 08, 2020
Project No. 202049	
drawing No.	A000

This drawing is protected by copyright. Contractors must check all dimensions on site. Only figured dimensions are to be used. Discrepancies must be reported immediately to the architect before proceeding. All dimensions are shown in mm.



