

File: A135/19**Applicant:** Aldo Mirigello**Address:** 176 Davidson Drive, Woodbridge ON**Agent:** Sabrina Sgotto - Weston Consulting

Please note that comments received after the preparation of this Staff Report (up until 12:00 p.m. on the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection	<input checked="" type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	
Cultural Heritage (Urban Design)	<input checked="" type="checkbox"/>	
Development Engineering	<input checked="" type="checkbox"/>	
Parks Department		
By-law & Compliance	<input checked="" type="checkbox"/>	
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department		
TRCA		
Ministry of Transportation		
Region of York		
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)	<input checked="" type="checkbox"/>	

Adjournment History: N/A

Background History: A115/18 and A131/15 (see next page for details)

REQUEST FOR ADJOURNMENT – DECEMBER 12, 2019 OR SOONER

Staff Report Prepared By: Lenore Providence
Hearing Date: Thursday, October 31, 2019



Minor Variance
Application

A135/19

Agenda Item: 14

Ward: 2

Staff Report Prepared By: Lenore Providence, Assistant Secretary Treasurer

Date of Hearing: Thursday, October 31, 2019

Applicant: Aldo Mirigello

Agent: None.

Property: 176 Davidson Drive, Woodbridge ON

Zoning: The subject lands are zoned R1 Residential Zone One, and subject to the provisions of Exception No. 9(1349), under By-law 1-88 as amended.

OP Designation: VOP 2010: "Low Rise Residential", Volume 2, Section 11.11 Woodbridge Centre Secondary Plan

Related Files: None.

Purpose: Relief from the by-law is being requested to permit the cabana located in the rear yard

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A maximum total of 67m2 is permitted for all accessory buildings.	1. To permit a maximum of 135.2 m2 of floor area of the accessory building.
2. A maximum lot coverage of 30% is permitted.	2. To permit a total maximum lot coverage of 45.1% (Dwelling 34.5% and Cabana 10.6%).
3. A maximum building height of 4.5 metres is permitted for the accessory building.	3. To permit a maximum building height of 6.05 metres for the accessory building. <i>* Subsequent to the mailing of public notice on October 16, 2019, the applicant revised the application to reduce the accessory structure building height.</i> <i>Revisions were provided after the completion of Planning comments, therefore the dimensions in the report below reference the original building height request.</i> Original Request: To permit a maximum building height of 7.05 metres for the accessory building.
4. A maximum building height of 3.0 metres is permitted to the nearest part of the roof for the accessory building.	4. To permit a maximum building height of 3.35 metres to the nearest part of the roof for the <i>* Subsequent to the mailing of public notice on October 16, 2019, the applicant revised the application to reduce the accessory structure building height.</i> <i>Revisions were provided after the completion of Planning comments, therefore the dimensions in the report below reference the original building height request.</i> Original Request: To permit a maximum building height of 4.20 metres to the nearest part of the roof for the

Background (previous applications approved by the Committee on the subject land):

Application No.:	Description:	Status of Approval: Approved/Refused/Withdrawn/ OMB/Concurrent
A115/18	Relief from the by-law is requested to permit the proposed construction of a cabana located in the rear yard 1. To permit a minimum rear yard setback of 1.25metres to the accessory building. 2. To permit a minimum rear yard setback of 1.25 metres to the exterior stairs of the accessory building. 3. To permit a maximum of 135.2 m2 of floor area of the accessory building. 4. To permit a total maximum lot coverage of 45.1% (dwelling 34.5%, cabana 10.6%) 5. To permit a maximum building height of 5.55 metres for the accessory building. 6. To permit a maximum building height of 4.20 metres to the nearest part of the roof for the accessory building. 7. To permit a minimum rear yard landscaping of 42.4%.	Partial Approval August 16, 2018 Variances 1, 2 & 7 - Approved Variances 3, 4, 5 & 6 - Refused
A115/18		
A131/15	To permit the construction of a single family dwelling, as follows: To permit a maximum lot coverage 34.97% (includes 1.7% covered unenclosed front portico)	Approved April 30, 2015

For information on the previous approvals listed above please visit www.vaughan.ca. To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

Adjournment History: N/A

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **4:00 p.m.** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:

Public notice was mailed on October 16, 2019

Applicant confirmed posting of signage on October 16, 2019

Property Information	
Existing Structures	Year Constructed
Dwelling	2017
Cabana	2017

Applicant has advised that they cannot comply with By-law for the following reason(s): The cabana is existing and has been before the committee through minor Variance Application A 115/18. I have made every effort to find another way to conform. To comply would mean a complete demolition, and hundreds of thousands of dollars in expenses. I respectfully ask, that the committee re consider, under the circumstances. I respectfully, ask that the committee look at previous approvals for variances, for accessory buildings, Previous historical applications with similar variances approved, ***A196/18, A077/18, A 138/18, A024/14, A106/16** all with Planning support, for other Vaughan residents.

** Variances referenced above have been included in Schedule E.*

Adjournment Request: N/A

Building Standards (Zoning Review):

Stop Work Order(s) and Order(s) to Comply: Order No. 17-000250, Order to Comply for , Issue Date: Oct 31, 2017

Building Permit No. 17-003391 for Shed/Gazebo - (Not Yet Issued)

Building Inspections (Septic):

No comments or concerns

Development Planning:

VOP 2010: "Low Rise Residential", Volume 2, Section 11.11 Woodbridge Centre Secondary Plan

The Owner is requesting permission to maintain an existing cabana in the rear yard, requiring the above noted variances. On August 16, 2018, the Committee of Adjustment refused variances for the maintenance of the existing cabana (A115/18), including a revised reduction to the maximum building height of 5.55 m. The current application has made no changes that addressed the Development Planning Department's concerns with the previous application and has increased the maximum building height back to 7.05 m.

On April 30, 2015, the Committee of Adjustment approved Minor Variance Application A131/15 to permit an increase in the maximum lot coverage from 30% to 34.97% for the construction of the dwelling on the subject lands. The current application to permit the existing cabana requests an additional 10.13% in lot coverage, increased maximum building height to the top of the roof from the permitted 4.5 m to 7.05 m, an increased maximum building height to the nearest part of the roof from 3.0 m to 4.20 m, and an increased area devoted to accessory structures from 67 m² to 135.2 m².

The Development Planning Department remains concerned with the requested increase in lot coverage, maximum building height, and increase in area devoted to accessory structures associated with the existing cabana, as they represent an over development of the subject property and significant increase from the Zoning By-law permissions, which are intended to permit development that is appropriate in scale for the subject property.

The size of the structure combined with an increase in maximum building height has a significant impact to adjacent neighbouring properties. It is not considered desirable for the appropriate development of the lands to permit an accessory structure of this size given the lot fabric of the area. The requested total lot coverage of 45.1% whereas 30% is permitted, the area devoted to accessory structures being 135.2 m² whereas 67 m² is permitted, and the maximum height of 7.05 m whereas 4.5 m is permitted are not considered minor in nature, do not maintain the general intent and purpose of the Zoning By-law, and are not desirable for the appropriate development of the land.

The Development Planning Department recommends that the application be refused.

Cultural Heritage (Urban Design):

No comments or concerns

Development Engineering:

The Development Engineering (DE) Department does not object to variance application A135/19.

Parks Development:

No comments or concerns

By-Law and Compliance, Licensing and Permit Services:

No comments or concerns

Financial Planning and Development Finance:

No comment no concerns

Fire Department:

No Response.

Schedule A – Plans & Sketches**Schedule B – Public Correspondence**

Letter of Support – F. Carozza, 175 Davidson Drive
Letter of Support – M. Monardo, 187 Davidson Drive
Letter of Support – S. Monardo, 2 Davidson Drive
Letter of Support – T. Di Giuseppe, 188 Davidson Drive
Letter of Support – A. Macri, 162 Davidson Drive
Letter of Support – A. Greco, 20 Lloyd Street
Letter of Support – G. Trombetta, 170 Davidson Drive
Letter of Support – R. Lecce, 184 Davidson Drive
Agent – Request to Adjourn (December 12, 2019 or sooner)

Schedule C - Agency Comments

Alectra (Formerly PowerStream) – No concerns or objections

Schedule D - Previous Approvals (Notice of Decision)

Minor Variance A115/18

Minor Variance A131/15

Schedule E – Similar Approvals Provided by Applicant (Notice of Decision)

Minor Variance A196/18

Minor Variance A138/18

Minor Variance A077/18

Minor Variance A106/16

Minor Variance A024/14

Staff Recommendations:

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96.

Please Note:

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department;

Notice to Public

WRITTEN SUBMISSIONS: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Public written submissions on an Application shall only be received by the Secretary Treasurer until **4:00 p.m.** on the last business day **prior** to the day of the scheduled Meeting.

Written submissions can be mailed and/or emailed to:

City of Vaughan
Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
CofA@vaughan.ca

ORAL SUBMISSIONS: If you wish to attend the meeting you will be given an opportunity to make an oral submission. Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings are audio recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

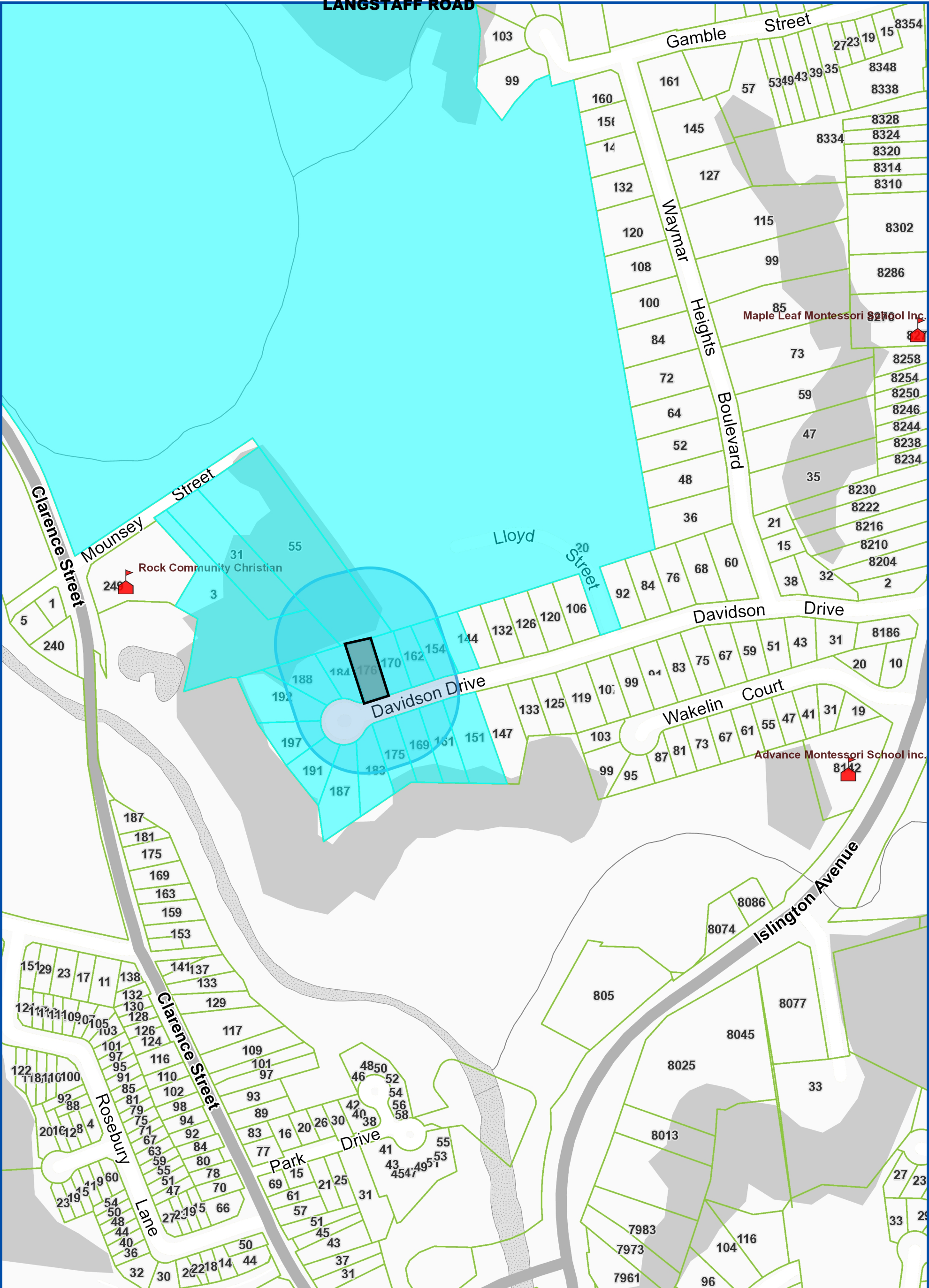
For further information please contact the City of Vaughan, Committee of Adjustment

T 905 832 8585 Extension 8394
E CofA@vaughan.ca

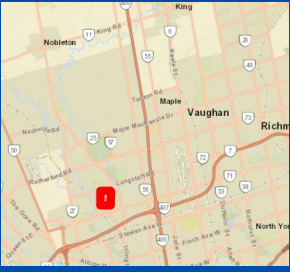
Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum. Correspondence will only be accepted until 12:00 p.m. on the date of the scheduled hearing.

Location Map
Sketches



Map Information:



Title:

176 Davidson Drive, Woodbridge

NOTIFICATION MAP - A135/19

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.

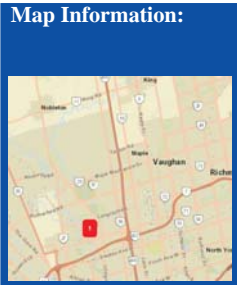
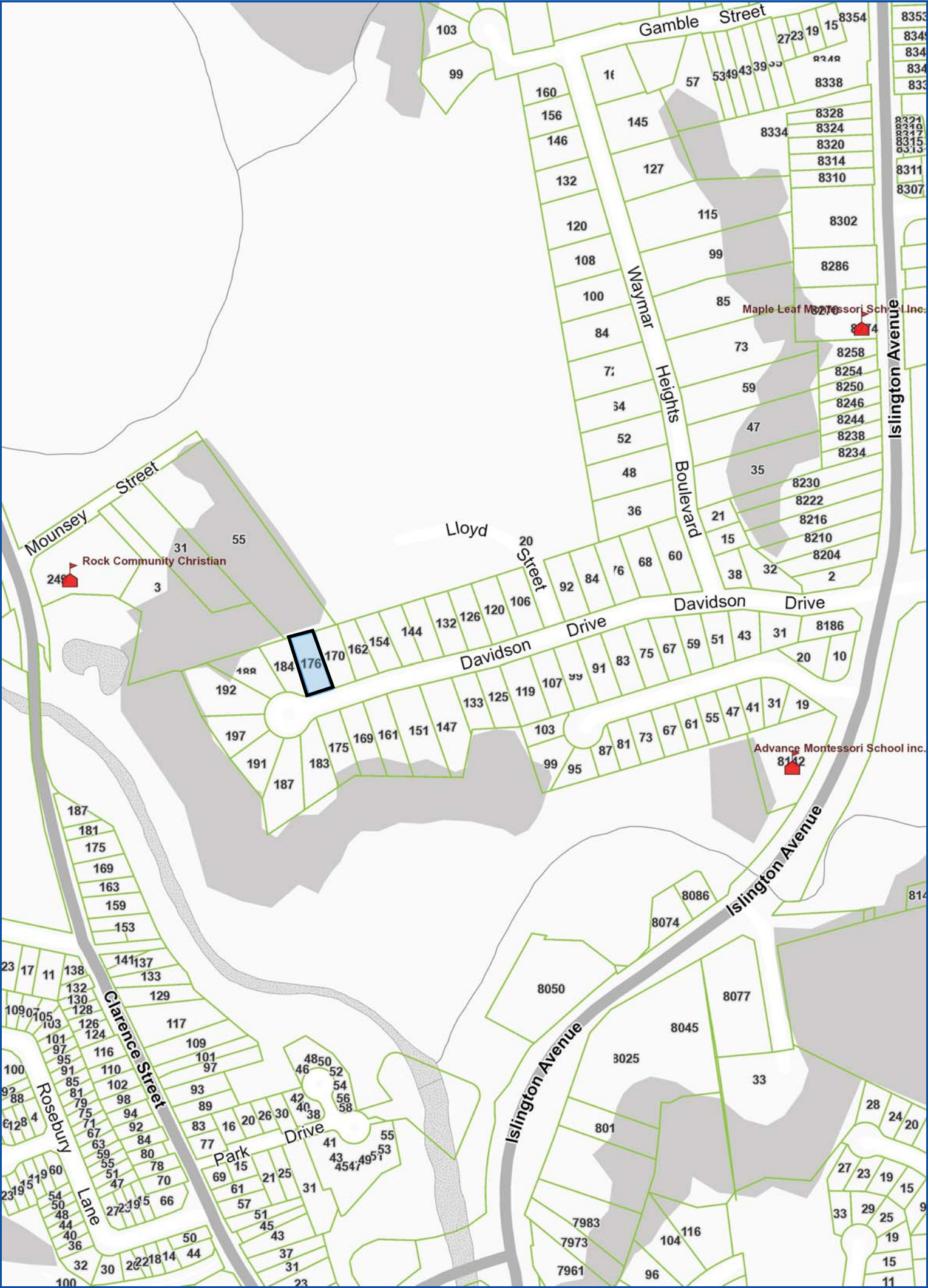


Scale: 1: 4,514
0 0.07 km



Created By:
Infrastructure Delivery
Department
July 11, 2018 12:17 PM

Projection:
NAD 83
UTM Zone
17N



Title:

176 Davidson Drive, Woodbridge

LOCATION MAP - A115/18

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:4,514

0 0.07 km



Created By:

Infrastructure Delivery Department

July 11, 2018 12:09 PM

Projection:

NAD 83 UTM Zone 17N

LOT GRADING NOTES:

- 1) All dimensions and grade elevations are expressed in SI units.
- 2) The contractor shall check and verify all given grade elevations and drainage prior to commencement of construction.
- 3) Underside of footing shown is taken from architectural plans and may not represent actual footing depth.
- 4) Footings must bear on native, undisturbed soil or rock, and be a minimum of 1.22 m below finished grade.
- 5) Exterior cladding, thresholds, and window sills shall be a minimum of 150 mm above finished grade.
- 6) Driveways must be clear of light standards by a MIN of 1.5m and other above ground services or other obstructions (hydro transformers) bell pedestals, etc.) by a minimum of 3.0m no deflection in driveway alignments is permitted to achieve the clearance.
- 7) Any above ground utilities not meeting the above noted minimum clearances from proposed driveway are to be relocated at the applicants expense.
- 8) SWALES:
 - i) Swales providing internal drainage from each lot shall have a minimum slope of 2%.
 - ii) Swales must be 1.0 m from lot line to higher property.
 - iii) Minimum swale depth to be 250mm.
 - iv) Maximum swale side slope to be 3H:1V.
 - v) Maximum depth of rear yard swale to be 750 mm.
 - vi) Maximum depth of side yard swale to be 450 mm.
 - vii) Eave downspouts must discharge onto splash-pads and towards the street. Connections to weeping tiles or sewers are not permitted.
- 10) EMBANKMENTS:
 - Maximum 4H: 1V slope if < 1M high.
 - Maximum 4H: 1V slope if > 1M high.
 - Terraces minimum 1.5m wide.
- 11) All lot surfaces to be constructed with a minimum grade of 2.0 % and a maximum grade of 5.0 %.
- 12) Where rear lot catchbasins are provided, house footing adjacent to the RLCB lead must be lower than the lead.

NOTES:

Builder to provide location and elevation of storm / sanitary sewer laterals at streetline prior to commencing any works. Adjustments (if any) to be made prior to proceeding with any building activity.

Note:

ELEVATIONS ARE GEODETIC AND ARE REFERRED TO CAN-NET BASE STATION "TORO" HAVING AN ORTHOMETRIC ELEVATION OF 111.272 METRES.

REAR YARD STATISTICS

TOTAL REAR YARD AREA : 500m²
POOL : 67.0m² (13.4%)
CABANA : 135.2m² (27.0%)
SOFT LANDSCAPING : 151.9m² (31.0%)
HARD LANDSCAPING : 42.9m² (8.6%)

BUILDING STATISTICS

LOT AREA : 1274.83m²
DWELLING : 439.5m² (34.5%)
CABANA : 135.2m² (10.6%)
TOTAL : 574.7m² (45.1%)

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE

CLIENT
CUSTOM RESIDENCE

PROJECT/LOCATION
176 DAVIDSON DR.
VAUGHAN, ONTARIO

DRAWING
SITE GRADING PLAN

BUILDING STATISTICS

REG. PLAN No.	
ZONE	R1
LOT NUMBER	6
LOT AREA(m ²)	1274.83m ²
BLDG AREA(m ²)	574.7m ²
LOT COVERAGE(%)	45.1%
No. OF STOREYS	2
MEAN HEIGHT(m)	8.94m
PEAK HEIGHT(m)	N/A
DECK LINE(m)	N/A

LEGEND	
FFE	FINISHED FLOOR ELEVATION
TFW	TOP OF FOUNDATION WALL
TBS	TOP OF BASEMENT SLAB
USF	UNDER SIDE FOOTING
USFR	UNDER SIDE FOOTING @ REAR
USFG	UNDER SIDE FOOTING @ GARAGE
TEF	TOP OF ENGINEERED FILL
R	NUMBER OF RISERS TO GRADE
WOD	WALKOUT DECK
LOB	LOOKOUT BASEMENT
WOB	WALK OUT BASEMENT
REV	REVERSE PLAN
STD	STANDARD PLAN
DOOR	DOOR
WINDOW	WINDOW
BELL	BELL PEDISTAL
CABLE	CABLE PEDISTAL
CATCH	CATCH BASIN
DBL	DBL CATCH BASIN
ENG	ENGINEERED FILL
HYDRO	HYDRO CONNECTION
FIRE	FIRE HYDRANT
STREET	STREET LIGHT
MAIL	MAIL BOX
TRANS	TRANSFORMER
WATER	WATER VALVE
WATER	WATER CONNECTION
SEWER	SEWER CONNECTIONS 2 LOTS
SEWER	SEWER CONNECTIONS 1 LOT
AIR	AIR CONDITIONING
DOWN	DOWN SPOUT TO SPLASH PAD
SWALE	SWALE DIRECTION
CHAIN	CHAINLINK FENCE
PRIVACY	PRIVACY FENCE
SOUND	SOUND BARRIER
FOOTING	FOOTING TO BE EXTENDED TO 1.25 MIN. BELOW GRADE
PROPOSED	PROPOSED GRADE
EXISTING	EXISTING GRADE

ISSUED OR REVISION COMMENTS				
NO.	DESCRIPTION	DATE	OWN	CHK
1	ISSUED FOR REVIEW (SITED)	APR. 11/13	NP	BS
2	ISSUED FOR REVIEW	MAY. 14/13	NP	BS
3	REV. PER ENG. COMM.	NOV. 7/13	NP	BS
4	ISSUED FOR FINAL	NOV. 11/13	NP	NP
5	RE-ISSUED FOR FINAL	FEB. 18/15	RK	NP
6	REVISED PER CITY COMM.	MAR. 5/15	NP	NP
7	RE ISSUED FOR FINAL	MAR. 9/15	NP	NP
8	RE-GRADED AS PER NEW MODEL	APR. 21/15	BWS	NP
9	ISSUED FOR REVIEW	APR. 30/15	BWS	NP
10	ISSUED FOR REVIEW	MAY 11/15	BWS	NP
11	ISSUED FOR REVIEW	MAY 22/15	BWS	NP
12	ADDED CABANA - FOR REVIEW	SEP. 27/15	SDU	NP
13	REV. AS PER ALDO COMMENTS	JULY 31/16	NA	AL
14	REV. AS PER ALDO COMMENTS	AUG. 09/16	BWS	AL



I, ARTHUR PUTYAN LAW, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES

QUALIFIED DESIGNER BCIN: 41230
FIRM BCIN: 28995
DATE:

SIGNATURE:

DRAWN BY

BWS

SCALE

1:250

PROJECT No.

12091

LOT NUMBER

6



2. To permit a total max. lot coverage of 45.1% (Dwelling 34.5% Cabana 10.6%)

1. To permit a maximum of 135.2 m2 of floor area of the accessory building.
3. To permit a maximum building height of 6.05 metres for the accessory building.
4. To permit a maximum building height of 3.35 metres to the nearest part of the roof for the accessory building.

Note:

POOL EQUIPMENT WILL BE STORED IN THE MECHANICAL ROOM OF THE CABANA BASEMENT.

DAVIDSON DRIVE

(BY REGISTERED PLAN 4632)

Revised

October 24, 2019

A135/19

GROSS GLAZING AREA

TOTAL PERIPHERAL WALL AREA	1129.33 SF	104.91 m ²
FRONT GLAZING AREA	95.04 SF	8.83 m ²
LEFT SIDE GLAZING AREA	9 SF	0.84 m ²
RIGHT SIDE GLAZING AREA	38.34 SF	3.56 m ²
REAR GLAZING AREA	32.16 SF	2.99 m ²
TOTAL GLAZING AREA	174.54 SF	16.21 m ²
TOTAL GLAZING PERCENTAGE	15.46 %	

Accessory Building
Height 6.05m

FRONT ELEVATION 'A'

Building Height to
nearest part of roof
for accessory building
= 3.35m

6.05m

I, ARTHUR PUI YAN LAW DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C PART-3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.
QUALIFIED DESIGNER BCIN: 41230
FIRM BCIN: 26995
DATE: JUNE 05, 2017

SIGNATURE:

project
Cabana

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	09-02-16	REM	AL					
2	STOPPED GRAD	26-07-16	SP	REM					
3	REVISED PER CLIENT COMMENTS	12-04-17	AL	AL					
4	ISSUED FOR FINAL	05-10-17	AL	AL					

location
VAUGHAN
marketing name

RN design
Imagine • Inspire • Create



scale
3/16" = 1'0"

project #
16079

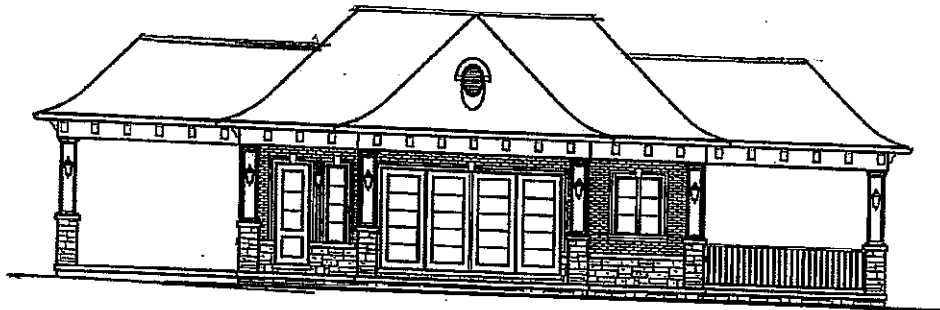
page

A4

October 24, 2019

Revised

A135/19



Drawing List:

- A0 TITLE SHEET
- A1 BASEMENT FLOOR ELEV 'A'
- A2 GROUND FLOOR ELEV 'A'
- A3 ROOF PLAN ELEV 'A'
- A4 FRONT ELEVATION 'A'
- A5 RIGHT SIDE ELEVATION 'A'
- A6 REAR ELEVATION 'A'
- A7 LEFT SIDE ELEVATION 'A'
- D1 CONSTRUCTION NOTES
- D2 CONSTRUCTION NOTES
- D3 CONSTRUCTION NOTES
- D4 CONSTRUCTION NOTES

Areas:

	ELEVATION 'A'	
	SF	SM
GROUND FLOOR	647.3	60.1
TOTAL AREA	647.3	60.1
COVERAGE INC PORCH	1455.2	135.2

Cabana

I, ARTHUR PHILIP YAN LAW, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.
QUALIFIED DESIGNER BCIN: 41230
FIRM BCIN: 26995
DATE: JUNE 05, 2017

SIGNATURE

client

project
Cabana

#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	05-27-16	REM	AL	5	REVISED AS PER ENG COMMENTS	05-27-16	PS	AL
2	STOPPED DRAFT	06-02-16	SP	REM	6	ISSUED FOR FINAL	05-27-16	AL	AL
3	REVISED PER CLIENT COMMENTS	10-01-17	AL	AL					
4	REVISED PER FLOOR/DECK COORD	10-01-17	AL	AL					

location
VAUGHAN

marketing name

RN design
Imagine • Inspire • Create



JUN 05 2017



client
CABANA

scale
3/16" = 1'0"

project #
16079

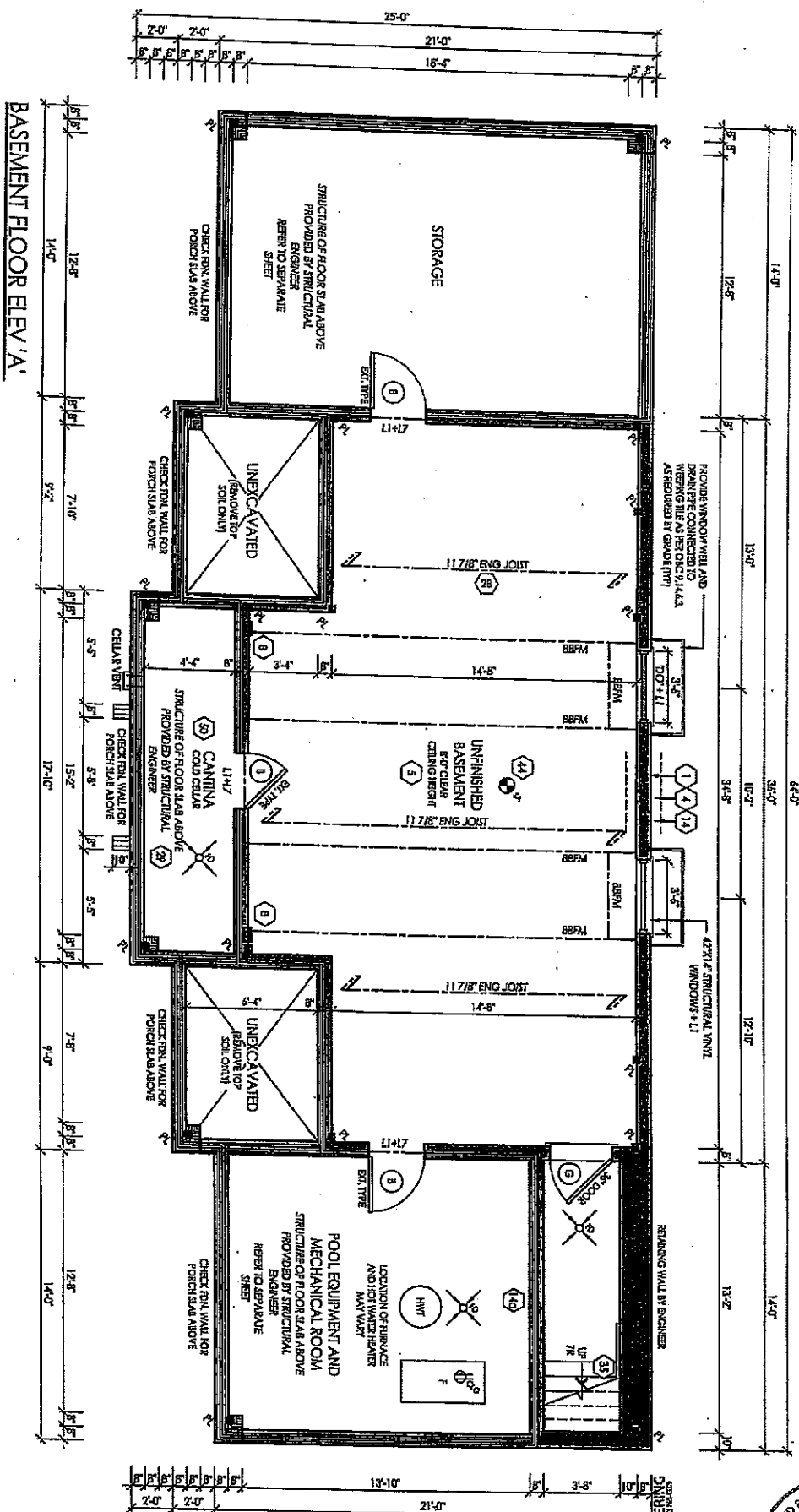
page

A0

October 24, 2019

Revised

A135/19



I, ARTHUR PUI YAN LAM, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF MY DESIGN FIRM UNDER DIVISION C, PART 3, SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.
QUALIFIED DESIGNER BCIN: 41230
FIRM BCIN: 26995
DATE: JUNE 05, 2017

SIGNATURE:

project					location				
Cabana					VAUGHAN				
revisions					revisions				
#	description	date	chn	chk	#	description	date	chn	chk
1	ISSUED FOR CLIENT REVIEW	05-24-17	AL	AL	5	ISSUED FOR FINAL	05-24-17	AL	AL
2	STUPPED GRADE	05-24-17	AL	AL					
4	REVISED FOR FLOOR/DRUSE COORD	11-04-17	AL	AL					
5	REVISED AS PER ENG COMMENTS	05-24-17	AL	AL					

DATE: JUN 5 2017

REGISTERED PROFESSIONAL ENGINEER
J. G. ALVAREZ

CABANA

22nd OF ONTARIO
300-57-130

project # 16079

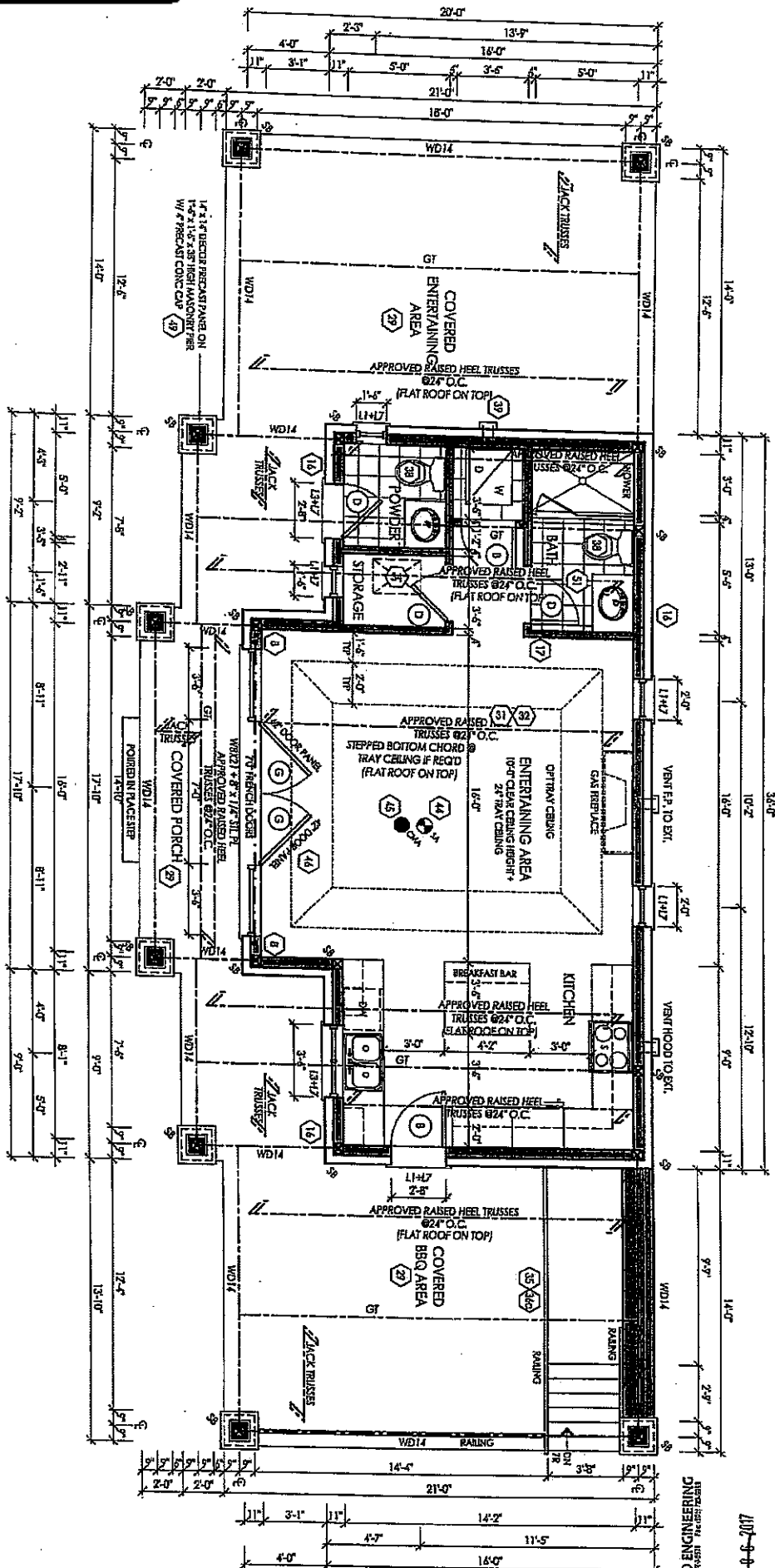
page A1

October 24, 2019

Revised

A135/19

GROUND FLOOR ELEV. A



I, ARTHUR PUI YAN LAW, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF IN DESIGN LTD. UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 41233
FIRM BCIN: 24995
DATE: JUNE 05, 2017

SIGNATURE: _____

revisions					revisions				
#	description	date	drawn	chk	#	description	date	drawn	chk
1	ISSUED FOR CLIENT REVIEW	05/24/18	REM	AL	5	REVISED AS PER ENG COMMENTS	05/24/17	PH	AL
2	REVISED GRADE	06/20/18	2P	REM	6	ISSUED FOR FINAL	05/24/17	AL	AL
3	REVISED PER CLIENT COMMENTS	10/02/17	AL	AL					
4	REVISED PER FLOORING COORD	10/02/17	AL	AL					

PROFESSIONAL ENGINEER
J. G. ALVAREZ
100014325

location
VAUGHAN

project
Cabana

scale
3/16" = 1'-0"

project #
16079

page
A2

October 24, 2019

Architectural drawing of the right side elevation of a building. The drawing shows a two-story structure with a gabled roof, a central entrance, and a large window. Dimensions are provided for various elements: roof pitch (18/12), roof overhang (2'-0"), window height (7'-0"), and overall height (10'-1"). Callouts identify materials like 1 1/2" decor precast panels, 6" precast concrete structural wythe, and 1 1/2" precast concrete panels. A legend indicates that 1, 4, and 14 refer to concrete form walls on concrete footing (TF), 3 refers to stepped footing, and 51 refers to 8" north face of c.g. parapet single metal cladding walls (TF).

I, ARTHUR PU YAN LAM, DECLARE THAT I HAVE REVIEWED AND
TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON
BEHALF OF HK DESIGN LTD. UNDER DIVISION C PART 3
SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED
AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES /
CATEGORIES.

QUALIFIED DESIGNER SIGN: _____
FIRM SIGN: _____
DATE: _____

41230
26895
1/10/2002

SIGNATURE

location					location				
project					VAUGHAN				
Cobana					marketing name				
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	25-SEP-16	EDM	AL					
2	DROPPED GRADE	25-SEP-16	SP	ADM					
3	REVISED FOR CLIENT COMMENTS	25-SEP-17	AL	AL					
4	ISSUED FOR FINAL	25-SEP-17	AL	AL					

CO ENGINEERING

NO 5 2017



AN design
imagine • inspire • create

$$3/16'' = 1'0''$$

project #
16079

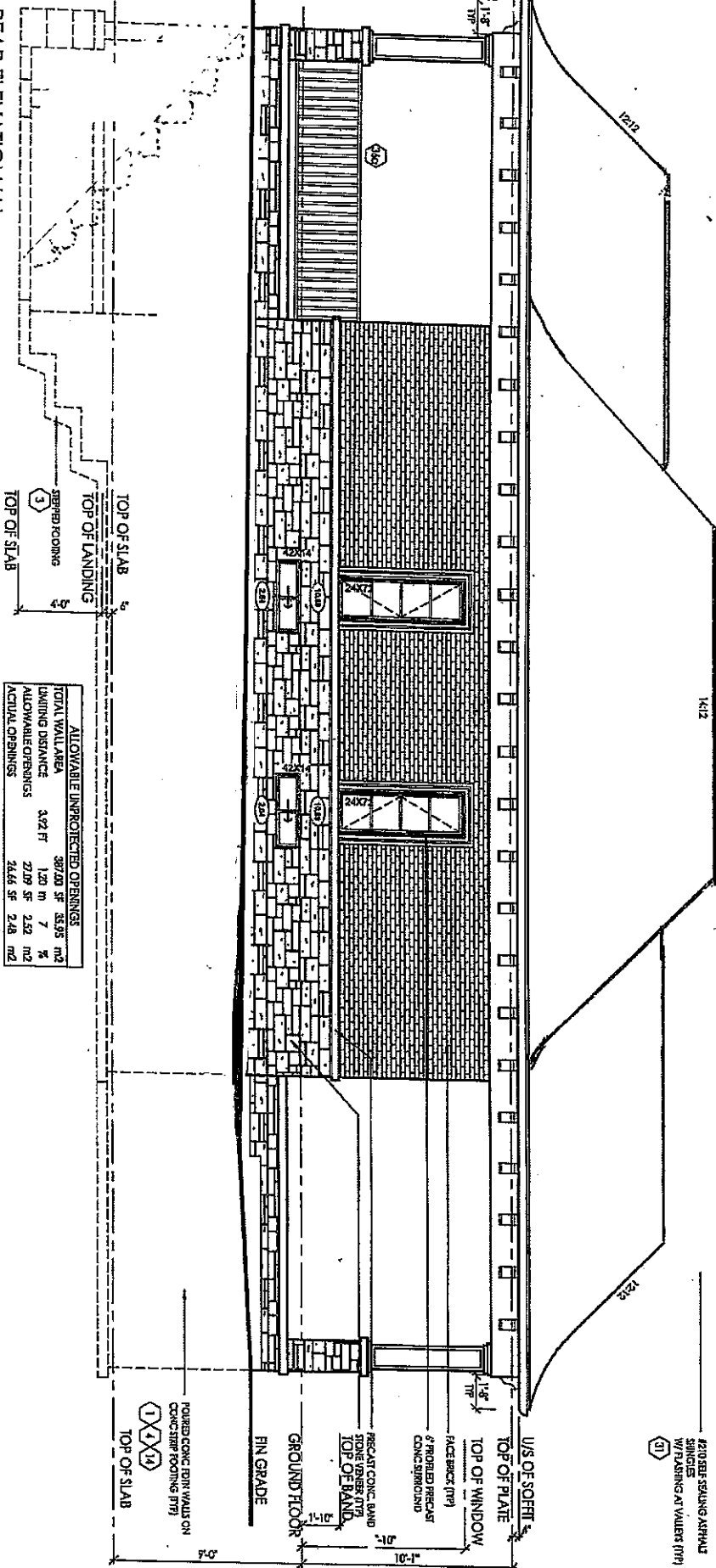
ESOM

A5

Revised
October 24, 2019

A135/19

REAR ELEVATION A



ALLOWABLE UNPROTECTED OPENINGS			
TOTAL WALL AREA	387.00 SF	35.95 m ²	
LANDING DISTANCE	3.02 FT	0.92 m	
ALLOWABLE OPENINGS	27.09 SF	2.52 m ²	
ACTUAL OPENINGS	24.46 SF	2.26 m ²	

I, ARTHUR FRIYAN, LAW DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF FIN DESIGN LTD. UNDER DIVISION 4 PART 3 SUBSECTION 4.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.
QUALIFIED DESIGNER BCIN: 41230
FIRM BCIN: 26995
DATE: JUNE 05, 2017
SIGNATURE: _____

project				location			
Cabana				VAUGHAN			
revisions				revisions			
#	description	date	by	#	description	date	by
1	ISSUED FOR CLIENT REVIEW	05-10-17	AL				
2	STEPPED GRADE	06-14-17	SP				
3	REVISED PER CLIENT COMMENTS	05-04-17	AL				
4	ISSUED FOR FINAL	05-04-17	AL				

FIN design
Imagine • Inspire • Create

LICENCED PROFESSIONAL ENGINEER
J. G. AVAREZ
100014328

scale
3/16" = 1'0"

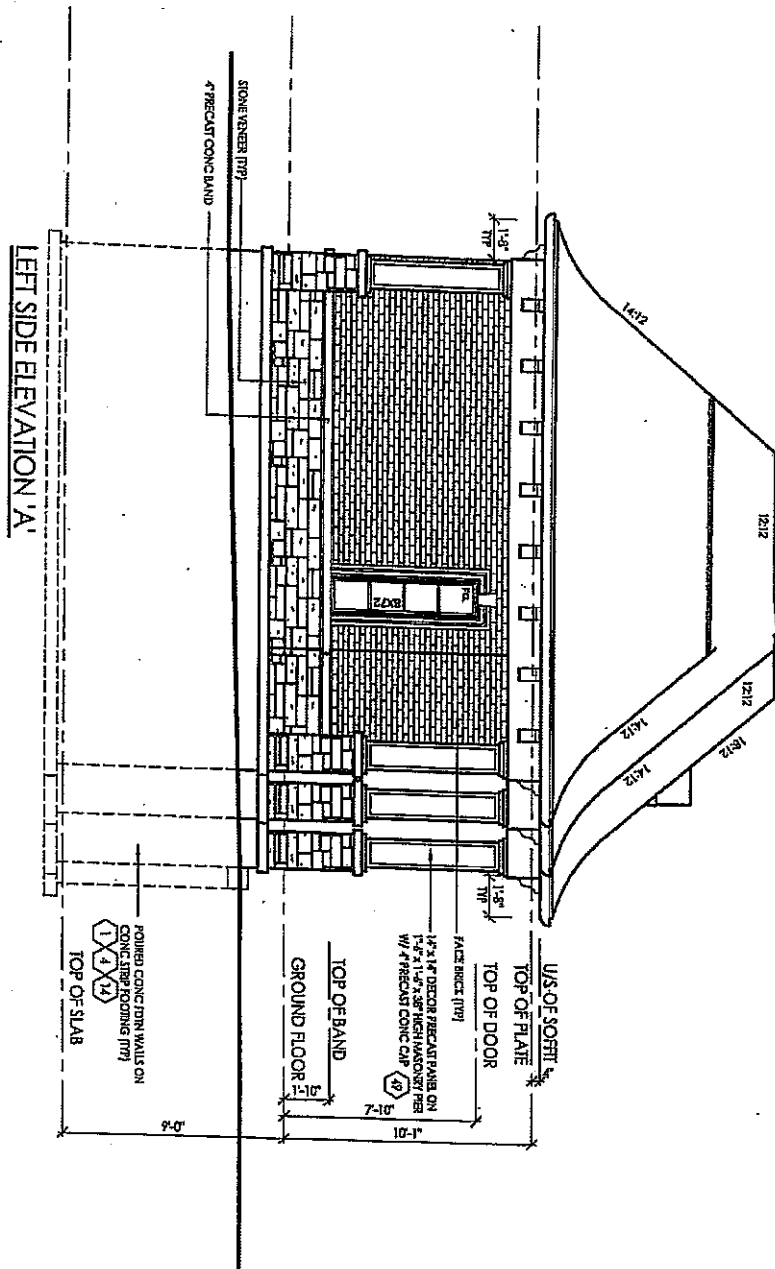
project #
16079

page
A6

Revised

October 24, 2019

A135/19



I, ARTHUR PUI YAN, I/AM DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF MY DESIGN LTD. UNDER DIVISION C PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.
QUALIFIED DESIGNER BCIN: 41230
FIRM BCIN: 26975
DATE: JUNE 03, 2017

SIGNATURE

Project					Location				
Cabana					VAUGHAN				
Revisions					Revisions				
#	revisions	date	own	chk	#	revisions	date	own	chk
1	ISSUED FOR CLIENT REVIEW	2017-11	REM	AL					
2	STEPPED GRADE	2017-11	SP	REM					
3	REVISED PER CLIENT COMMENTS	2017-11	AR	AL					
4	ISSUED FOR FINAL	2017-11	AL	AL					

CCO ENGINEERING
INCORPORATED
1000 SHEPPARD AVENUE EAST
SUITE 100
VICTORIA, BC V8W 2E1

JUN 06 2017



PN design
Imagine - Inspire - Create

scale 3/16" = 1'0"
project # 16079

page

A7

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum. Written submissions from the public will only be accepted / processed until 12:00 p.m. on the date of the scheduled hearing.

Letter of Support – F. Carozza, 175 Davidson Drive
Letter of Support – M. Monardo, 187 Davidson Drive
Letter of Support – S. Monardo, 2 Davidson Drive
Letter of Support – T. Di Giuseppe, 188 Davidson Drive
Letter of Support – A. Macri, 162 Davidson Drive
Letter of Support – A. Greco, 20 Lloyd Street
Letter of Support – G. Trombetta, 170 Davidson Drive
Letter of Support – R. Lecce, 184 Davidson Drive
Agent – Request to Adjourn (December 12, 2019 or sooner)

A135/19

RECEIVED

October 21, 2019

Committee of Adjustment

October 17, 2019

The City of Vaughan
City Clerks Department
2141 Major Mackenzie Drive
Maple, Ontario
L6A 1T1

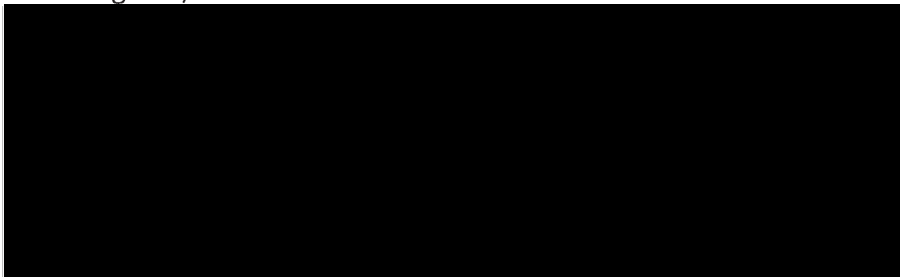
Attention: Lenore Providence

Re: C of A File # A135/19
176 Davidson Drive

With respect to the above application, my name is *Fionelle Carozza* and I live at 175 Davidson Drive.

Please be advised that we have no objection to this application, and we are in support of approving it in its current form, and variance requests as they apply to coverage, height(s) and overall size.

Regards,



A135/19



October 17, 2019

The City of Vaughan
City Clerks Department
2141 Major Mackenzie Drive
Maple, Ontario
L6A 1T1

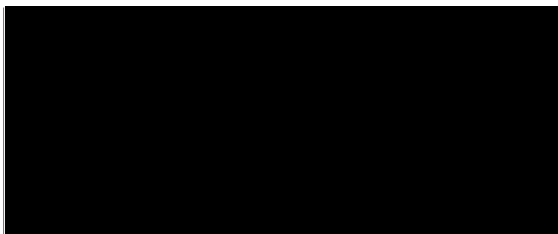
Attention: Lenore Providence

Re: C of A File # A135/19
176 Davidson Drive

With respect to the above application, my name is Mary Monardo, and I live at 187 Davidson Drive.

Please be advised that we have no objection to this application, and we are in support of approving it in its current form, and variance requests as they apply to coverage, height(s) and overall size.

Regards,



RECEIVED

October 21, 2019

Committee of Adjustment

A135/19

October 17, 2019

The City of Vaughan
City Clerks Department
2141 Major Mackenzie Drive
Maple, Ontario
L6A 1T1

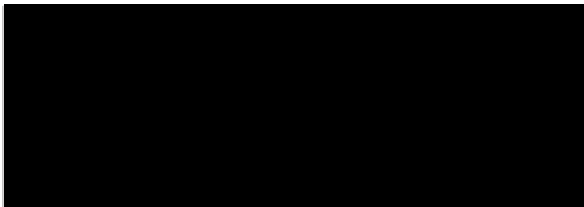
Attention: Lenore Providence

Re: C of A File # A135/19
176 Davidson Drive

With respect to the above application, my name is Sandra Monardo, and I live at 2 Davidson Drive.

Please be advised that we have no objection to this application, and we are in support of approving it in its current form, and variance requests as they apply to coverage, height(s) and overall size.

Regards,



RECEIVED

October 10, 2019

Committee of Adjustment

A135/19

October 10, 2019

The City of Vaughan
City Clerks Department
2141 Major Mackenzie Drive
Maple, Ontario
L6A 1T1

Attention: Lenore Providence

Re: C of A File # A135/19
176 Davidson Drive

With respect to the above application, my name is Tony Di Giuseppe, and I live at 188 Davidson Drive, my property is the second property, directly West of the subject property. I have had an opportunity to review the application with my neighbour Mr. Mirigello.

Please be advised that I have no objection to this application, and I am in support of approving it in its current form, and variance requests as they apply to coverage and height(s), and size.

Regards,



Tony Di Giuseppe
188 Davidson Drive

RECEIVED

October 10, 2019

Committee of Adjustment

A135/19

October 9, 2019

The City of Vaughan
City Clerks Department
2141 Major Mackenzie Drive
Maple, Ontario
L6A 1T1

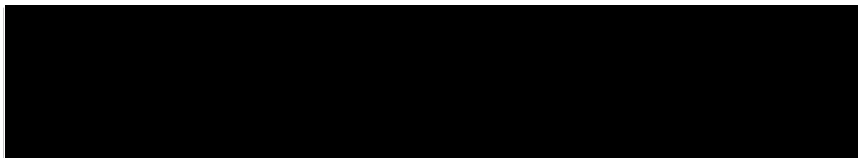
Attention: Lenore Providence

Re: C of A File # A135/19
176 Davidson Drive

With respect to the above application, my name is Anthony Macri, and I live at 162 Davidson Drive, my property is the second property, directly East of the subject property. I have had an opportunity to review the application with my neighbour Mr. Mirigello.

Please be advised that I have no objection to this application, and I am in support of approving it in its current form, and variance requests as they apply to coverage and height(s), and size.

Regards,



Anthony Macri
162 Davidson Drive

RECEIVED

October 10, 2019

Committee of Adjustment

A135/19



October 8, 2019

The City of Vaughan
City Clerks Department
2141 Major Mackenzie Drive
Maple, Ontario
L6A 1T1

Attention: Lenore Providence

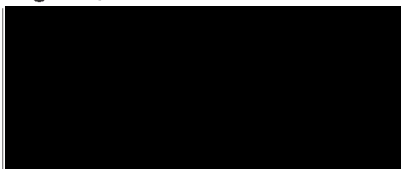
Re: C of A File # A135/19
176 Davidson Drive

With respect to the above application, my name is Angelo Greco, representing The Country Club, the members and staff of the property located at 20 Lloyd Street. Our property is directly North of the subject property. We have had an opportunity to review the application with the property owner to the South, Mr. Mirigello.

There has been zero complaints as it pertains to the structure in question.

Please be advised that we have no objection to this application, and we are in support of approving it in its current form, and variance requests as they apply to coverage, height(s) and overall size.

Regards,



Angelo J. Greco
Director Of Operations
The Country Club



RECEIVED

October 9, 2019

Committee of Adjustment

A135/19

October 8, 2019

The City of Vaughan
City Clerks Department
2141 Major Mackenzie Drive
Maple, Ontario
L6A 1T1

Attention: Lenore Providence

Re: C of A File # A135/19
176 Davidson Drive

With respect to the above application, my name is Gary Trombetta, and I live at 170 Davidson Drive, my property is directly east of the subject property. I have had an opportunity to review the application with my neighbour Mr. Mirigello.

Please be advised that I have no objection to this application, and I am in support of approving it in its current form, and variance requests as they apply to coverage, height(s) and overall size.

Regards, *GD*

Gary Trombetta
170 Davidson Drive

RECEIVED

October 9, 2019

Committee of Adjustment

A135/19

October 8, 2019

The City Of Vaughan
City Clerks Department
2141 Major Mackenzie Drive
Maple, Ontario
L6A 1T1

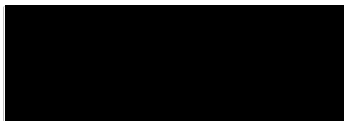
Attention: Lenore Providence

Re: C of A File # A135/19
176 Davidson Drive

With respect to the above application, my name is Rosemary Lecce and I live at 184 Davidson Drive, my property is directly West of the subject property. I have had an opportunity to review the application with my neighbour Mr. Mirigello.

Please be advised that I have no objection to this application, and I am in support of approving it in its current form, and variance requests as they apply to coverage, height(s) and overall size.

Regards,



Rosemary Lecce
184 Davidson Drive

Vigneault, Christine

From: Providence, Lenore
Sent: Wednesday, October 23, 2019 3:39 PM
To: Vigneault, Christine
Subject: FW: A135-19: 176 Davidson Drive

fyi

Lenore Providence
Assistant Secretary Treasurer to Committee of Adjustment
905-832-8585, ext. 8394 Lenore.providence@vaughan.ca

City of Vaughan | Office of the City Clerk
2141 Major Mackenzie Dr., Vaughan, ON L6A 1T1
vaughan.ca



From: Sabrina Sgotto <ssgotto@westonconsulting.com>
Sent: October-23-19 3:37 PM
To: Providence, Lenore <Lenore.Providence@vaughan.ca>
Cc: Constance Tsang <ctsang@westonconsulting.com>
Subject: RE: A135-19: 176 Davidson Drive

Hi Lenore,

Thank you for the clarification. This is to confirm that adjournment to December 12th or sooner is acceptable.

Thanks,
Sabrina

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum. Correspondence will only be accepted until 12:00 p.m. on the date of the scheduled hearing.

Alectra (Formerly PowerStream) – No concerns or objections



COMMENTS:

☐

We have reviewed the proposed Variance Application and have no comments or objections to its approval.

☒

We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).

☐

We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI
Phone: 1-877-963-6900 ext. 31297
Fax: 905-532-4401
E-mail: stephen.cranley@alectrautilities.com

Mr. Tony D'Onofrio
Supervisor, Subdivisions & New Services
Phone: 1-877-963-6900 ext. 24419
Fax: 905-532-4401
Email: tony.donofrio@alectrautilities.com

Schedule D: Previous Approvals (Notice of Decision)

Minor Variance A115/18
Minor Variance A131/15

NOTICE OF DECISION
Minor Variance Application A115/18
 Section 45 of the Planning Act, R.S.O. 1990, c.P.13

Date of Hearing: Thursday, August 16, 2018
Applicant: Aldo Mirigello
Agent RN Design Ltd
Property: **176 Davidson Dr Woodbridge**
Zoning: The subject lands are zoned R1 Residential Zone One, and subject to the provisions of Exception 9(1349) under By-law 1-88 as amended.
OP Designation: VOP 2010: "Low Rise Residential" under the Woodbridge Centre Secondary Plan (Section 11.11, Volume 2)
Related Files: None
Purpose: Relief from the by-law is requested to permit the proposed ~~proposed~~ ***existing** cabana located in the rear yard

Note: Applicant has confirmed cabana is existing

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum rear yard setback of 7.5 metres is required.	1. To permit a minimum rear yard setback of 1.25 metres to the accessory building.
2. A minimum rear yard setback of 5.7 metres is required.	2. To permit a minimum rear yard setback of 1.25 metres to the exterior stairs of the accessory building.
3. Where the area of the rear yard exceeds 135m2, a minimum of 60% of that portion of the rear yard in excess of 135m2 shall be composed of soft landscaping.	7. To permit a minimum rear yard landscaping of 42.4%.

Sketch: A sketch illustrating the request has been attached to the decision.

Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:

THAT variances 1, 2 & 7 (above) for Application No. A115/18 on behalf of Aldo Mirigello be **APPROVED**, in accordance with the sketch submitted with the application (as required by Ontario Regulation 200/96) and subject to the following conditions:

	Department/Agency	Condition
1	Development Engineering Brad Steeves 905-832-8585 x 8977 brad.steeves@vaughan.ca	1) The Owner/applicant shall submit the final Lot Grading Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading approval prior to any work being undertaken on the property. Please visit or contact Development Engineering's front desk on the 2nd floor of City Hall to apply for lot grading approval. 2) The Owner/applicant shall apply for a pool permit and receive grading approval for the proposed in ground pool with the Development Engineering (DE) Department.

For the following reasons:

- 1. The general intent and purpose of the by-law will be maintained.
- 2. The general intent and purpose of the official plan will be maintained.
- 3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- 4. The requested variance(s) is/are minor in nature.

Please Note:

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:

THAT variances 3, 4, 5 & 6 (below) for Application No. A115/18, on behalf of Aldo Mirigello, be **REFUSED**.

3. A maximum of 67m2 is permitted for all accessory buildings.	3. To permit a maximum of 135.2 m2 of floor area of the accessory building.
4. A maximum lot coverage of 30% is permitted.	4. To permit a total maximum lot coverage of 45.1%.
5. A maximum building height of 4.5 metres is permitted for the accessory building.	5. To permit a maximum building height of 5.55 metres for the accessory building.
6. A maximum building height of 3.0 metres is permitted to the nearest part of the roof of the accessory building.	6. To permit a maximum building height of 4.20 metres to the nearest part of the roof for the accessory building.


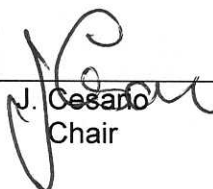


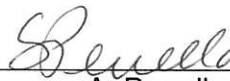
For the following reasons:

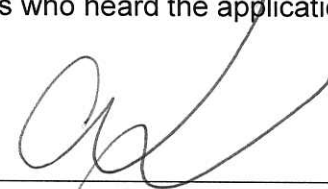
- 1. The general intent and purpose of the by-law will not be maintained.
- 2. The general intent and purpose of the official plan will not be maintained.
- 3. The requested variance(s) is/are not acceptable for the appropriate development of the subject lands.
- 4. The requested variance(s) is/are not minor in nature.

Written & oral submissions considered in the making of this decision were received from the following:

Public Written Submissions	Public Oral Submissions
* Public Correspondence received and considered by the Committee in making this decision	*Please refer to the approved Minutes of the Thursday , August 16, 2018 meeting for submission details.
Name: Concerned Citizen Nature of Correspondence: Letter of Objection	Name: Address:

SIGNED BY ALL MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

 H. Zheng Member	 J. Cesano Chair	 R. Buckler Vice Chair
 M. Mauti Member		 A. Perrella Member

DATE OF HEARING:	Thursday , August 16, 2018
DATE OF NOTICE:	August 24, 2018
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	September 05, 2018 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan's Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.  Christine Vigneault, ACST Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

Appealing to The Local Planning Appeal Tribunal
The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or any other person or public body who has an interest in the matter may within 20 days of the making of the decision appeal to the Local Planning Appeal Tribunal (LPAT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal (A1 Appeal Form) setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Local Planning Appeal Tribunal Act*.

Note: A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days of the date of the making of the decision, the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

Appeal Fees & Forms

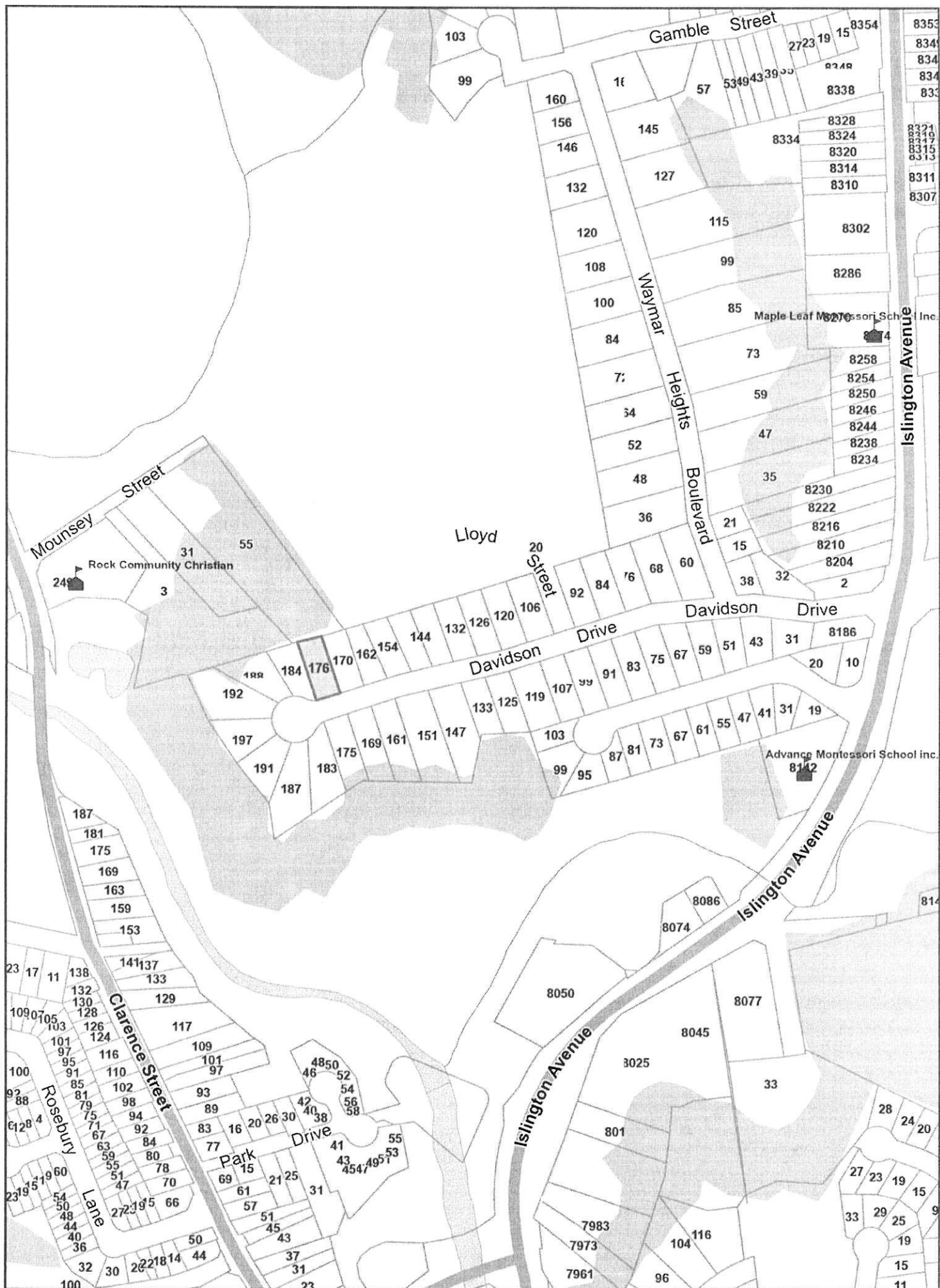
Local Planning Appeal Tribunal: The LPAT appeal fee is \$300 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The LPAT Appeal Fee must be paid by certified cheque or money order payable to the "Minister of Finance". Notice of appeal forms (A1 Appeal Form – Minor Variance) can be obtained at www.elto.gov.on.ca or by visiting our office.



City of Vaughan LPAT Processing Fee: \$793.00 per application

*Please note that all fees are subject to change.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from each respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All applicable conditions must be cleared prior to the issuance of a Building Permit.



Map Information: 	Title: 176 Davidson Drive, Woodbridge LOCATION MAP - A115/18 Disclaimer: <small>Every reasonable effort has been made to ensure that the information appearing on this map is accurate and correct. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.</small>	 VAUGHAN Scale: 1:4,514 0 0.07 km Created By: Infrastructure Delivery Department July 11, 2018 12:09 PM Projection: NAD 83 UTM Zone 17N
---	--	--

LOT GRADING NOTES:

- 1) All dimensions and grade elevations are expressed in SI units.
- 2) The contractor shall check and verify all given grade elevations and drainage prior to commencement of construction.
- 3) Underside of footing shown is taken from architectural plans and may not represent actual footing depth.
- 4) Footings must bear on native, undisturbed soil or rock, and be a minimum of 1.22 m below finished grade.
- 5) Exterior cladding, thresholds, and window sills shall be a minimum of 150 mm above finished grade.
- 6) Driveways must be clear of light standards by a MIN of 1.5m and other above ground services or other obstructions (hydro transformers) bell pedestals, etc.) by a minimum of 5.0m no deflection in driveway alignments is permitted to achieve the clearance.
- 7) Any above ground utilities not meeting the above noted minimum clearances from proposed driveway are to be relocated at the applicants expense.
- 8) SWALES:
 - I) Swales providing internal drainage from each lot shall have a minimum slope of 2%.
 - II) Swales must be 1.0 m from lot line to higher property.
 - III) Minimum swale depth to be 250mm.
 - IV) Maximum swale side slope to be 3H:1V.
 - V) Maximum depth of rear yard swale to be 750 mm.
 - VI) Maximum depth of side yard swale to be 450 mm.
- 9) Eave downspouts must discharge onto splash-pads and towards the street. Connections to weeping tiles or sewers are not permitted.
- 10) EMBANKMENTS:
 - I) Maximum 3H: 1V slope if < 1M high.
 - II) Maximum 4H: 1V slope if > 1M high.
 - III) Maximum depth of side yard swale to be 450 mm.
 - IV) Maximum depth of side yard swale to be 450 mm.
 - V) Maximum depth of side yard swale to be 450 mm.
 - VI) Maximum depth of side yard swale to be 450 mm.
- 11) All lot surfaces to be constructed with a minimum grade of 2.0 % and a maximum grade of 5.0 %.
- 12) Where rear lot catchbasins are provided, house footing adjacent to the RLCB lead must be lower than the lead.

NOTES:

Builder to provide location and elevation of storm / sanitary sewer laterals at streetline prior to commencing any works. Adjustments (if any) to be made prior to proceeding with any building activity.

Note:

ELEVATIONS ARE GEODETIC AND ARE REFERRED TO CAN-NET BASE STATION "TORO" HAVING AN ORTHOMETRIC ELEVATION OF 111.272 METRES.

REAR YARD STATISTICS

TOTAL REAR YARD AREA : 500m²
 POOL : 67.0m² (13.4%)
 CABANA : 135.2m² (27.0%)
 HARD LANDSCAPING : 142.9m² (28.6%)
 SOFT LANDSCAPING : 154.9m² (42.4% IS BASED ON BY-LAW REQUIREMENT, TOTAL REAR YARD OF 365m²)

BUILDING STATISTICS

LOT AREA : 1274.83m²
 DWELLING : 439.5m² (34.5%)
 CABANA : 135.2m² (10.6%)
 TOTAL : 574.7m² (45.1%)

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

CLIENT
 CUSTOM RESIDENCE

PROJECT/LOCATION
 176 DAVIDSON DR.
 VAUGHAN, ONTARIO

DRAWING
 SITE GRADING PLAN

BUILDING STATISTICS

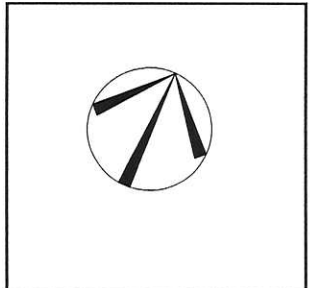
REG. PLAN No.	R1
ZONE	R1
LOT NUMBER	6
LOT AREA(m ²)	1274.83m ²
BLDG AREA(m ²)	574.7m ²
LOT COVERAGE(%)	45.1%
No. OF STOREYS	2
MEAN HEIGHT(m)	8.94m
PEAK HEIGHT(m)	N/A
DECK LINE(m)	N/A

LEGEND

FFE	FINISHED FLOOR ELEVATION
TFW	TOP OF FOUNDATION WALL
TBS	TOP OF BASEMENT SLAB
USF	UNDER SIDE FOOTING
USFR	UNDER SIDE FOOTING @ REAR
USFG	UNDER SIDE FOOTING @ GARAGE
TEF	TOP OF ENGINEERED FILL
R	NUMBER OF RISERS TO GRADE
WOD	WALKOUT DECK
LOB	LOOKOUT BASEMENT
WOB	WALK OUT BASEMENT
REV	REVERSE PLAN
STD	STANDARD PLAN
DOOR	DOOR
WINDOW	WINDOW
BELL PEDISTAL	BELL PEDISTAL
CABLE PEDISTAL	CABLE PEDISTAL
CATCH BASIN	CATCH BASIN
DBL CATCH BASIN	DBL CATCH BASIN
ENGINEERED FILL	ENGINEERED FILL
HYDRO CONNECTION	HYDRO CONNECTION
FIRE HYDRANT	FIRE HYDRANT
STREET LIGHT	STREET LIGHT
MAIL BOX	MAIL BOX
TRANSFORMER	TRANSFORMER
WATER VALVE	WATER VALVE
WATER CONNECTION	WATER CONNECTION
SEWER CONNECTIONS 2 LOTS	SEWER CONNECTIONS 2 LOTS
SEWER CONNECTIONS 1 LOT	SEWER CONNECTIONS 1 LOT
AIR CONDITIONING	AIR CONDITIONING
DOWN SPOUT TO SPLASH PAD	DOWN SPOUT TO SPLASH PAD
SWALE DIRECTION	SWALE DIRECTION
CHAINLINK FENCE	CHAINLINK FENCE
PRIVACY FENCE	PRIVACY FENCE
SOUND BARRIER	SOUND BARRIER
FOOTING TO BE EXTENDED TO 1.25 (MIN) BELOW GRADE	FOOTING TO BE EXTENDED TO 1.25 (MIN) BELOW GRADE
PROPOSED GRADE	PROPOSED GRADE
EXISTING GRADE	EXISTING GRADE

ISSUED OR REVISION COMMENTS

NO.	DESCRIPTION	DATE	DWN	CHK
1	ISSUED FOR REVIEW (SITED)	APR. 11/13	NP	BS
2	ISSUED FOR REVIEW	MAY. 14/13	NP	BS
3	REV. PER ENG. COMM.	NOV. 7/13	NP	BS
4	ISSUED FOR FINAL	NOV. 11/13	NP	NP
5	RE-ISSUED FOR FINAL	FEB. 18/13	RK	NP
6	REVISED PER CITY COMM.	MAR. 5/15	NP	NP
7	RE ISSUED FOR FINAL	MAR. 9/15	NP	NP
8	RE-GRADED AS PER NEW MODEL	APR. 21/15	BWS	
9	ISSUED FOR REVIEW	APR. 30/15	BWS	NP
10	ISSUED FOR REVIEW	MAY 11/15	BWS	NP
11	ISSUED FOR REVIEW	MAY 22/15	BWS	NP
12	ADDED CABANA-FOR REVIEW	SEP. 27/16	SDU	NP
13	REV. AS PER ALDO COMMENTS	JULY 31/18	MA	AL
14	REV. AS PER ALDO COMMENTS	AUG. 09/18	BWS	AL



I, ARTHUR PUI YAN LAW, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD UNDER DIVISION C, PART-3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.
 QUALIFIED DESIGNER BCIN: 41230
 FIRM BCIN: 26995
 DATE:

SIGNATURE:

DRAWN BY
 BWS

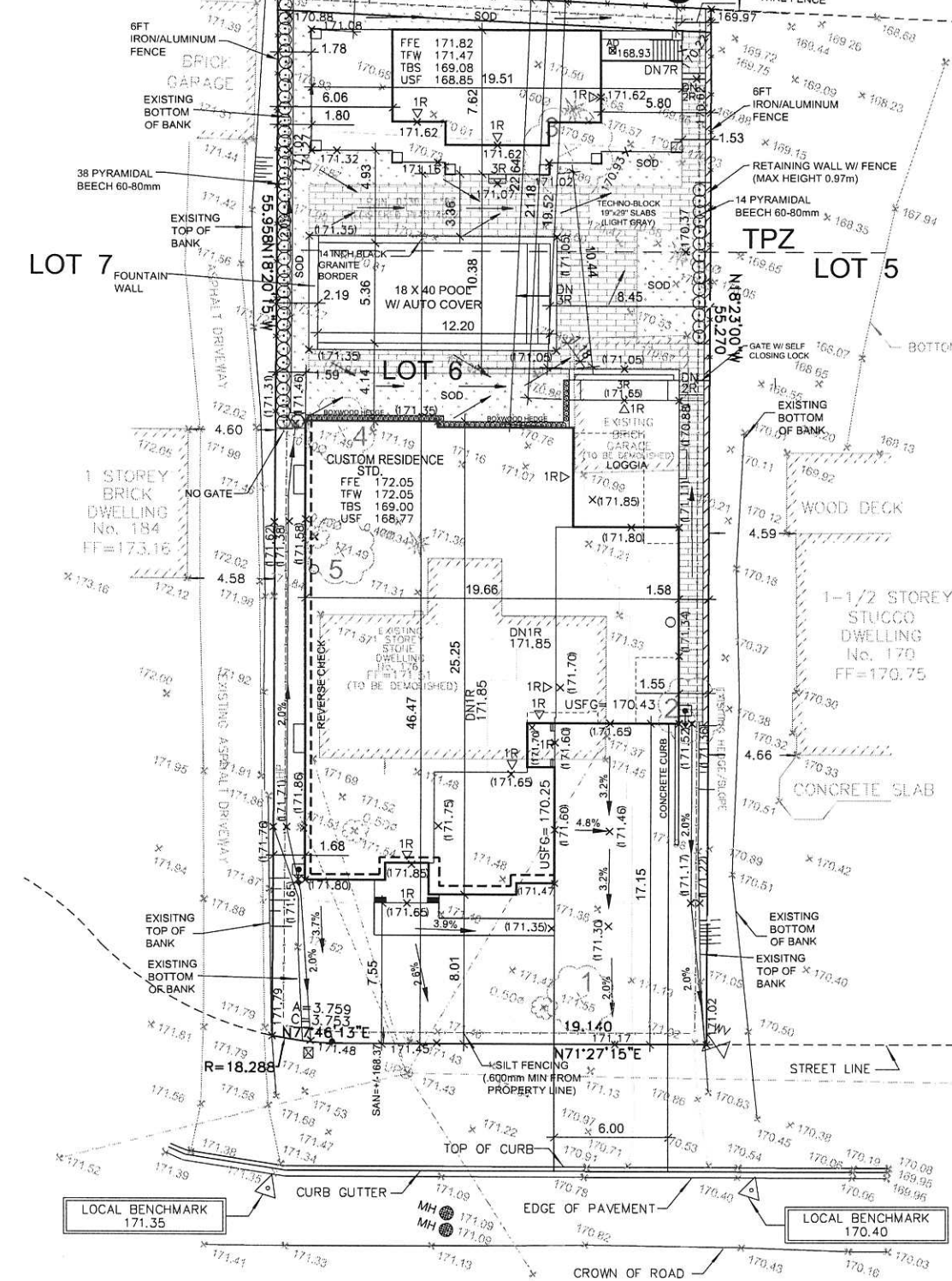
SCALE
 1:250

PROJECT No.
 12091

LOT NUMBER
 6



REVISED AUG. 10/18



DAVIDSON DRIVE
 (BY REGISTERED PLAN 4632)

APPROVED FOR GRADING

I have reviewed the site and grading plan for the proposed building(s) to be constructed on Lot(s) _____ and hereby certify that:
 1. The proposed grading and appurtenant drainage works comply with sound engineer principles.
 2. The proposed grading is in conformity with the grading plan approved for the subdivision and will not adversely affect adjacent lands.
 3. The proposed building is compatible with the proposed grading.
 VALDOR ENGINEERING INC.
 Date:

Note:

POOL EQUIPMENT WILL BE STORED IN THE MECHANICAL ROOM OF THE CABANA BASEMENT.

NOTICE OF DECISION

MINOR VARIANCES

FILE NUMBER: A131/15

APPLICANT: ALDO MIRIGELLO

PROPERTY: Part of Lot 8, Concession 7, (Lot 6, Registered Plan 4032) municipally known as 176 Davidson Drive, Woodbridge

ZONING: The subject lands are zoned R1, Residential Zone One and subject to the provisions of Exception 9(1349) under By-law 1-88 as amended.

PURPOSE: To permit the construction of a single family dwelling, as follows:

PROPOSAL: To permit a maximum lot coverage of ~~38%~~ **34.97% (incl. 1.7% covered unenclosed front portico)**

BY-LAW REQUIREMENT: A maximum lot coverage of 30% is permitted.

Sketches are attached illustrating the request.

MOVED BY:

may manti

SECONDED BY:

R. B. ...

THAT the Committee is of the opinion that the variances sought, can be considered minor and are desirable for the appropriate development and use of the land. The general intent and purpose of the By-law and the Official Plan will be maintained.

THAT Application No. **A131/15, ALDO MIRIGELLO**, be **APPROVED**, in accordance with the sketches attached

THIS MINOR VARIANCE DECISION IS NOT A BUILDING PERMIT AUTHORIZING CONSTRUCTION UNDER THE BUILDING CODE ACT, R.S.O. 1990, AS AMENDED. A BUILDING PERMIT MAY BE REQUIRED. PLEASE CONTACT THE BUILDING STANDARDS DEPARTMENT IN THE EVENT THAT YOU REQUIRE FURTHER CLARIFICATION.


CARRIED.

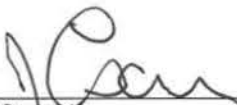
CHAIR: 

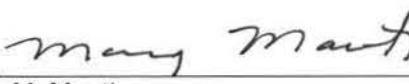
Signed by all members present who concur in this decision:


A. Perrella,
Chair


H. Zheng,
Vice Chair

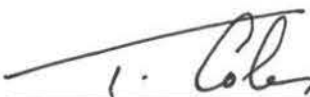

R. Buckler,
Member


J. Cesario,
Member


M. Mauti,
Member

CERTIFICATION

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.


Todd Coles, BES, MCIP, RPP
Manager of Development Services
and Secretary-Treasurer to
Committee of Adjustment

Date of Hearing:	APRIL 30, 2015
Last Date of Appeal:	MAY 20, 2015

APPEALS

APPEALS MUST BE RECEIVED BY THIS OFFICE NO LATER THAN 4:30 P.M. ON THE LAST DATE OF APPEAL NOTED ABOVE.

Should you decide to appeal this decision to the Ontario Municipal Board, a copy of an appeal form is available for download in Microsoft Word and Adobe Acrobat versions from the Ontario Municipal Board website at www.omb.gov.on.ca. If you do not have Internet access, these forms can be picked up at the City of Vaughan, Committee of Adjustment offices.

Please fill out Form A1 and follow the instructions as provided by the Ontario Municipal Board and submit your appeal to the City of Vaughan, Committee of Adjustment on or before the date stated above. You must enclose the completed form with the \$690.00 processing fee, paid by certified cheque or money order, to the "TREASURER, CITY OF VAUGHAN" and the appeal fee of \$125.00 for each application appealed, paid by certified cheque or money order, made payable to the "ONTARIO MINISTER OF FINANCE".

NOTE: The Planning Act provides for appeals to be filed by "persons". As groups or associations, such as residents or ratepayers groups which do not have incorporated status, may not be considered "persons" for the purposes of the Act, groups wishing to appeal this decision should do so in the name of individual group members, and not in the name of the group.

CONDITIONS


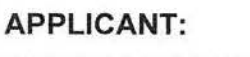
IF ANY CONDITIONS ARE IMPOSED ON THIS APPLICATION, THE FINAL DATE FOR FULFILLING THEM IS: **MAY 20, 2016**

KIPLING AVENUE



HIGHWAY 7



	FILE NUMBER:	A131/15
	APPLICANT:	ALDO MIRIGELLO
		Subject Area Municipally known as 176 Davidson Drive, Woodbridge

Schedule E: Similar Approvals Provided by Applicant (Notice of Decision)

- Minor Variance A196/18
- Minor Variance A138/18
- Minor Variance A077/18
- Minor Variance A106/16
- Minor Variance A024/14

NOTICE OF DECISION
Minor Variance Application A196/18
 Section 45 of the Planning Act, R.S.O. 1990, c.P.13

Date of Hearing: Thursday, March 7, 2019
Applicant: Christina Marotta
Agent Sandra Wojtecki - Richard Wengle Architect Inc
Property: **153 Old Humber Crescent, Kleinburg ON**
Zoning: The subject lands are zoned RR Rural Residential, and subject to the provisions of Exception No. 9(741) under By-law 1-88 as amended.
OP Designation: VOP 2010: 'Low-Rise Residential' and 'Natural Areas' within the 'Greenbelt Natural Heritage System'
Related Files: None.
Purpose: Relief from the by-law is being requested to permit the construction of a proposed two-storey dwelling, two (2) detached accessory structures (garages) located in the westerly side yard and a cabana located in the rear/easterly side yard. The existing dwelling is to be demolished.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A maximum lot coverage of 10% is permitted.	1. To permit a maximum lot coverage of 16.18% for the dwelling, accessory buildings and all covered areas (Dwelling 9.251%, Garages 2.985%, Cabana 1.272%, Covered areas 2.672%).
2. A maximum building height of 9.5 metres is permitted for the dwelling.	2. To permit a maximum building height of 11.34 metres for the dwelling.
3. A minimum interior side yard setback of 4.20 metres is required to the stairs of the accessory building.	3. To permit a minimum interior side yard setback of 3.05 metres to the stairs of the accessory building. (cabana)
4. A maximum building height of 4.5 metres is permitted to the highest point of the roof for the accessory building.	4. To permit a maximum building height of 5.32 metres to the highest point of the roof for the accessory building. (cabana)
5. A maximum building height of 3.0 metres is permitted to the nearest part of the roof for the accessory building.	5. To permit a maximum building height of 3.76 metres to the nearest part of the roof for the accessory building. (cabana)
6. 4. A maximum building height of 4.5 metres is permitted to the highest point of the roof for the accessory building.	6. To permit a maximum building height of 7.84 metres for the accessory building (garage 1) to the highest point of the roof.
7. A maximum building height of 3.0 metres is permitted to the nearest part of the roof for the accessory building.	7. To permit a maximum building height of 4.19 metres for the accessory building (garage 1) to the nearest part of the roof.
8. A maximum building height of 4.5 metres is permitted to the highest point of the roof for the accessory building.	8. To permit a maximum building height of 7.84 metres for the accessory building (garage 2) to the highest point of the roof.
9. A maximum building height of 3.0 metres is permitted to the nearest part of the roof for the accessory building.	9. To permit a maximum building height of 4.19 metres for the accessory building (garage 2) to the nearest part of the roof.
10. A maximum floor area of 67m2 is permitted for all accessory buildings.	10. To permit a maximum of 304.72m2 of floor area for all accessory buildings.

Sketch: A sketch illustrating the request has been attached to the decision.

Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:

THAT Application No. A196/18 on behalf of Christina Marotta, be **APPROVED**, in accordance with the sketch submitted with the application (as required by Ontario Regulation 200/96) and subject to the following conditions:

	Department/Agency	Condition
1	Development Engineering Brad Steeves 905-832-8585 x 8977 brad.steeves@vaughan.ca	1. The Owner/applicant shall submit the final Lot Grading/Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading/servicing approval prior to any work being undertaken on the property. Please visit or contact Development Engineering's front desk on the 2nd floor of City Hall to apply for lot grading/servicing approval. 2. The Owner/applicant shall demonstrate appropriate LID (Low-impact Development) measures to the satisfaction of DE to address the increased lot coverage area from 10% to 16.18% in order to mitigate potential impacts on the municipal stormwater system.

For the following reasons:

1. The general intent and purpose of the by-law will be maintained.
2. The general intent and purpose of the official plan will be maintained.
3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
4. The requested variance(s) is/are minor in nature.

Please Note:

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.


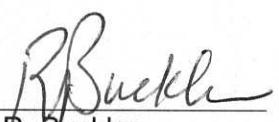
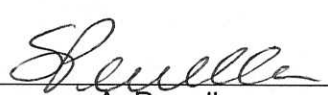
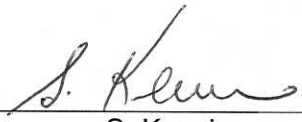

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

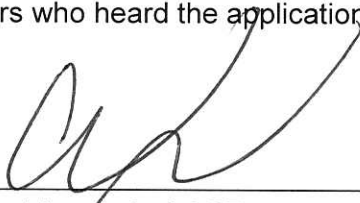
Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Written & oral submissions considered in the making of this decision were received from the following:

Public Written Submissions	Public Oral Submissions
* Public Correspondence received and considered by the Committee in making this decision	*Please refer to the approved Minutes of the Thursday , March 07, 2019 meeting for submission details.
Name: Address: Nature of Correspondence:	Name: Address:
Name: Address: Nature of Correspondence:	Name: Address:
Name: Address: Nature of Correspondence:	Name: Address:

SIGNED BY ALL MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

 H. Zheng Member	 R. Buckler Chair	 A. Perrella Vice Chair
 S. Kerwin Member	 A. Antinucci Member	

DATE OF HEARING:	Thursday, March 7, 2019
DATE OF NOTICE:	March 15, 2019
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	March 27, 2019 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan's Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.  Christine Vigneault, ACST Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

Appealing to The Local Planning Appeal Tribunal
The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or any other person or public body who has an interest in the matter may within 20 days of the making of the decision appeal to the Local Planning Appeal Tribunal (LPAT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal (A1 Appeal Form) setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Local Planning Appeal Tribunal Act*.

Note: A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days of the date of the making of the decision, the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

Appeal Fees & Forms

Local Planning Appeal Tribunal: The LPAT appeal fee is \$300 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The LPAT Appeal Fee must be paid by certified cheque or money order payable to the "Minister of Finance". Notice of appeal forms (A1 Appeal Form – Minor Variance) can be obtained at www.elto.gov.on.ca or by visiting our office.

City of Vaughan LPAT Processing Fee: \$817.00 per application

*Please note that all fees are subject to change.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from each respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All applicable conditions must be cleared prior to the issuance of a Building Permit.



Title:

153 OLD HUMBER CRESCENT, KLEINBURG

LOCATION MAP - A196/18

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.

VAUGHAN

Scale: 1:4,514

0 0.07 km

Created By:
Infrastructure Delivery
Department
December 5, 2018 7:52 PM

Projection:
NAD 83
UTM Zone
17N

NEW
November 9, 2018

A196/18

VITULLO RESIDENCE

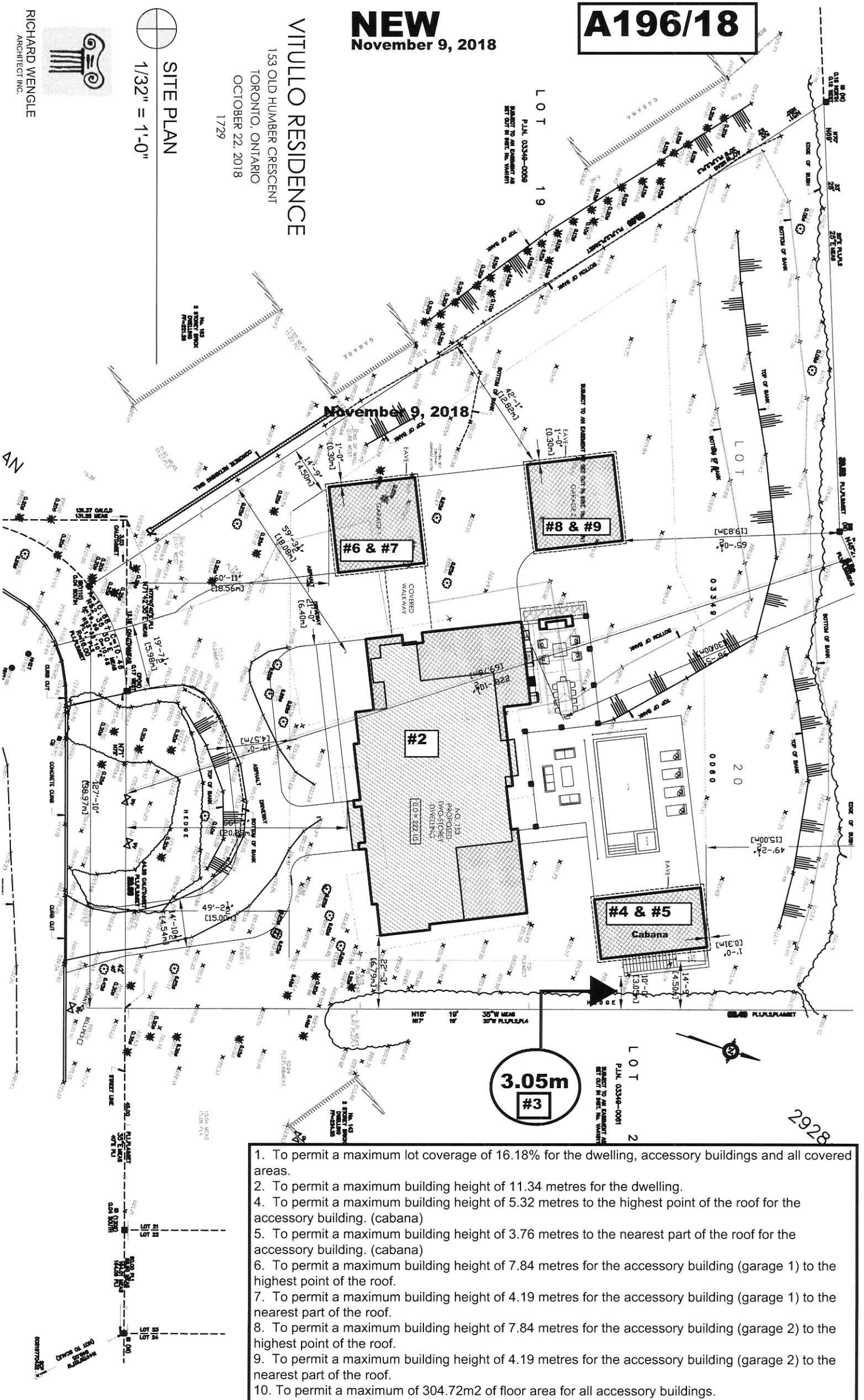
153 OLD HUMBER CRESCENT
TORONTO, ONTARIO
OCTOBER 22, 2018
1729


SITE PLAN
1/32" = 1'-0"

RICHARD WENGLE
ARCHITECT INC.



N



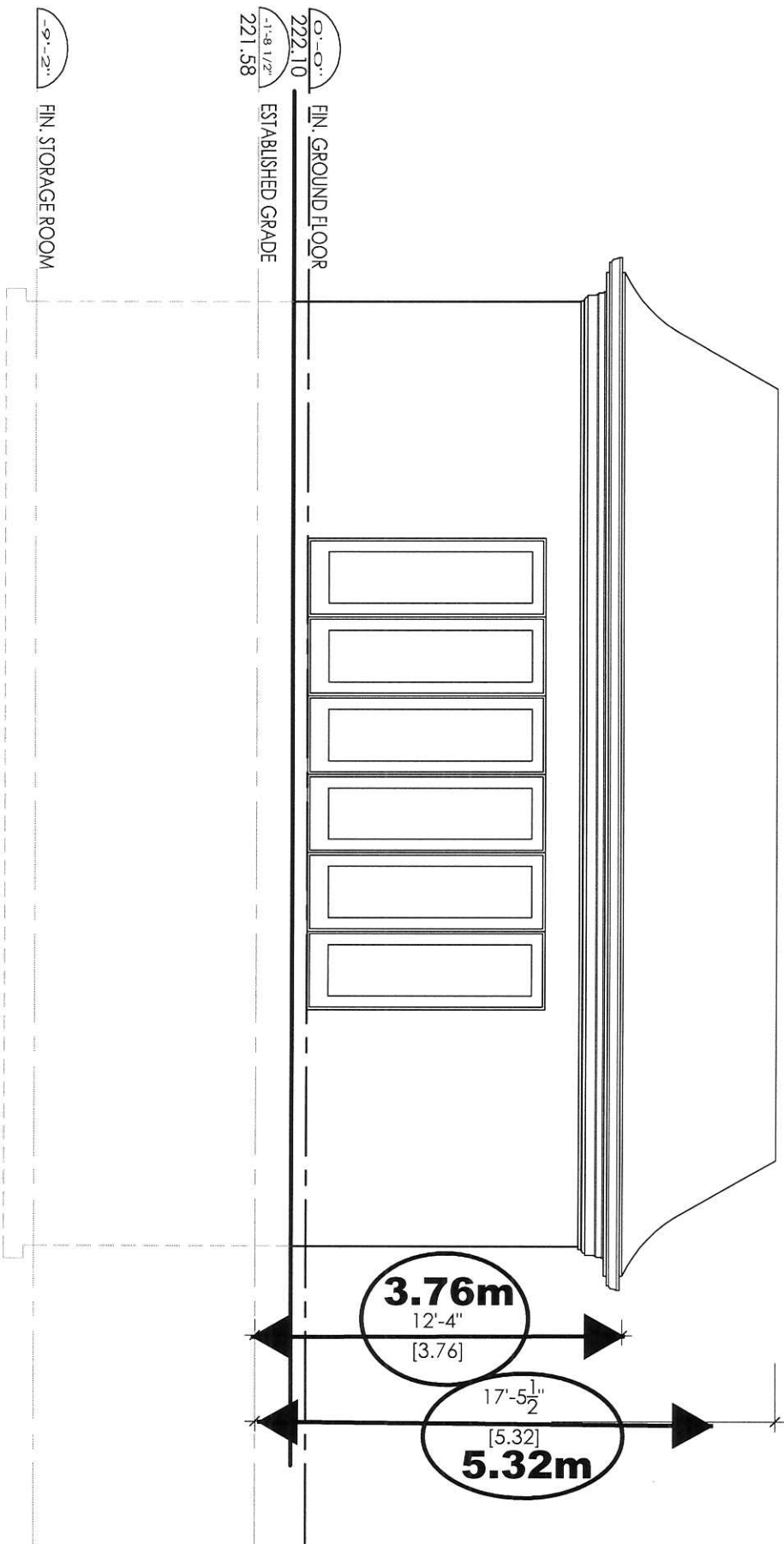
1. To permit a maximum lot coverage of 16.18% for the dwelling, accessory buildings and all covered areas.
2. To permit a maximum building height of 11.34 metres for the dwelling.
4. To permit a maximum building height of 5.32 metres to the highest point of the roof for the accessory building. (cabana)
5. To permit a maximum building height of 3.76 metres to the nearest part of the roof for the accessory building. (cabana)
6. To permit a maximum building height of 7.84 metres for the accessory building (garage 1) to the highest point of the roof.
7. To permit a maximum building height of 4.19 metres for the accessory building (garage 1) to the nearest part of the roof.
8. To permit a maximum building height of 7.84 metres for the accessory building (garage 2) to the highest point of the roof.
9. To permit a maximum building height of 4.19 metres for the accessory building (garage 2) to the nearest part of the roof.
10. To permit a maximum of 304.72m² of floor area for all accessory buildings.



CABANA WEST ELEVATION
3/16" = 1'-0"



RICHARD WENGLE
ARCHITECT INC.



VITULLO RESIDENCE

153 OLD HUMBER CRESCENT
TORONTO, ONTARIO
OCTOBER 22, 2018
1729

A196/18

NEW November 9, 2018



WEST ELEVATION

$$1/16" = 1'-0"$$


RICHARD WENGLE
ARCHITECT INC.

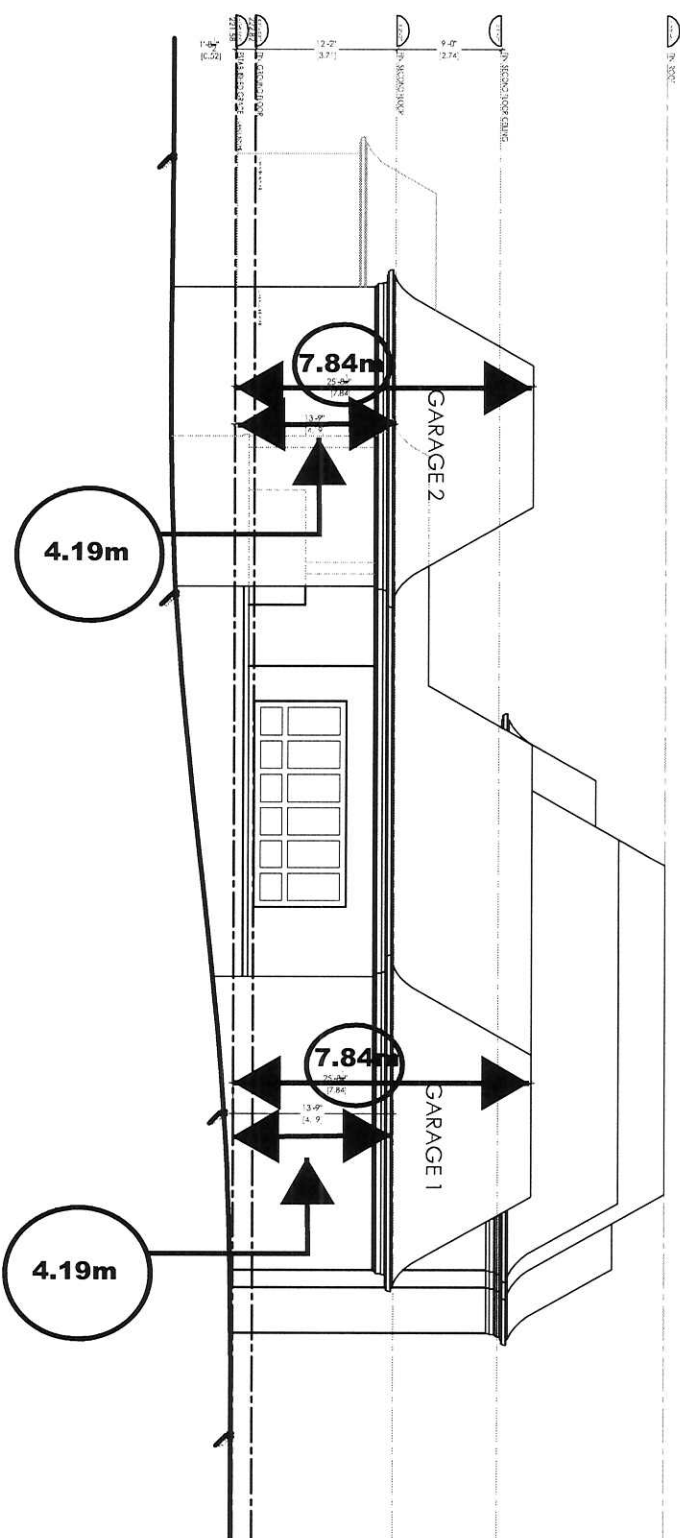
VITULLO RESIDENCE

153 OLD HUMBER CRESCENT

TORONTO, ONTARIO

OCTOBER 22, 2018

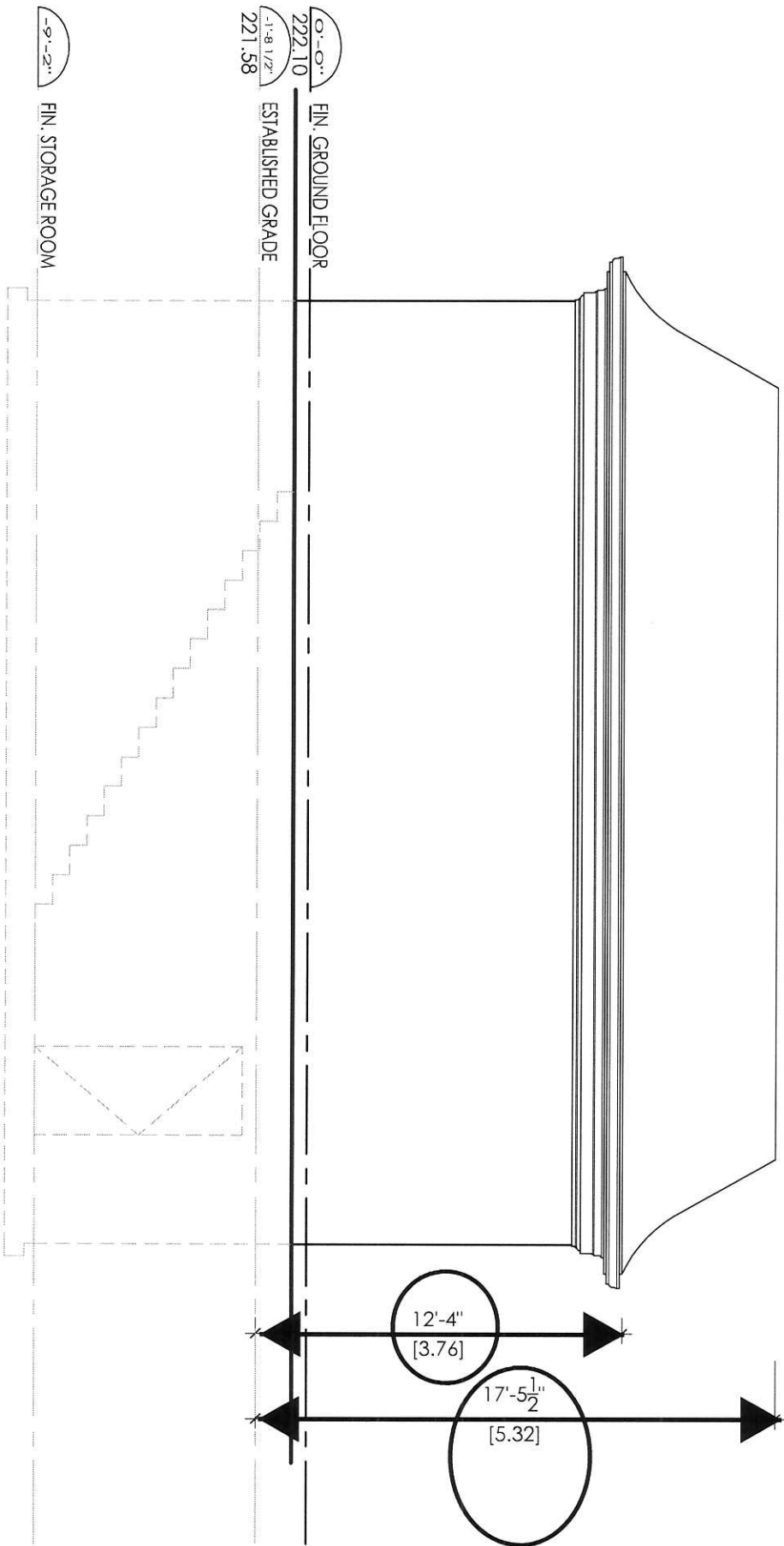
1729



CABANA EAST ELEVATION
3/16" = 1'-0"



RICHARD WENGLE
ARCHITECT INC.



VITULLO RESIDENCE

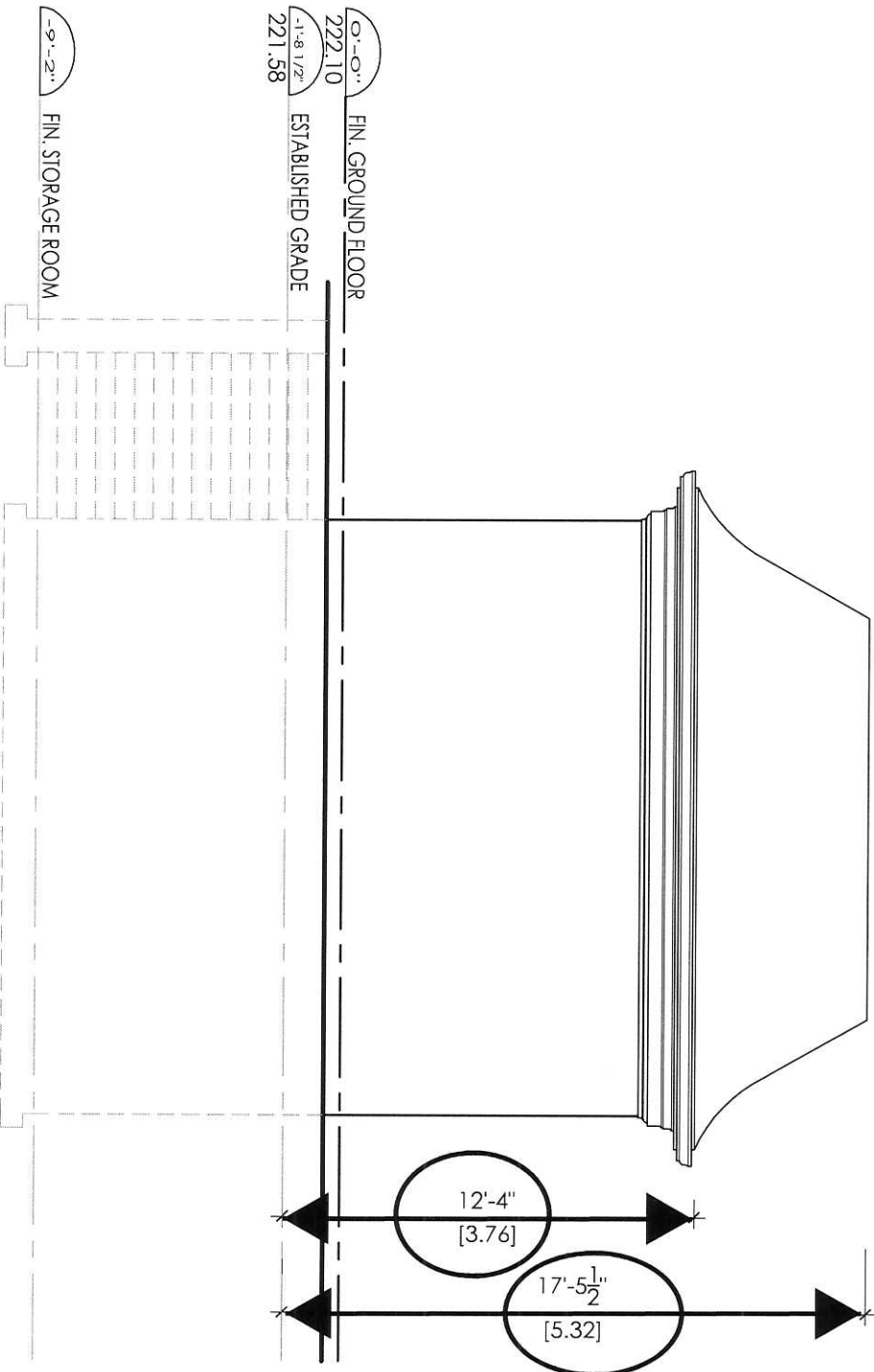
153 OLD HUMBER CRESCENT
TORONTO, ONTARIO
OCTOBER 22, 2018
1/729



CABANA NORTH ELEVATION
3/16" = 1'-0"



RICHARD WENGLE
ARCHITECT INC.



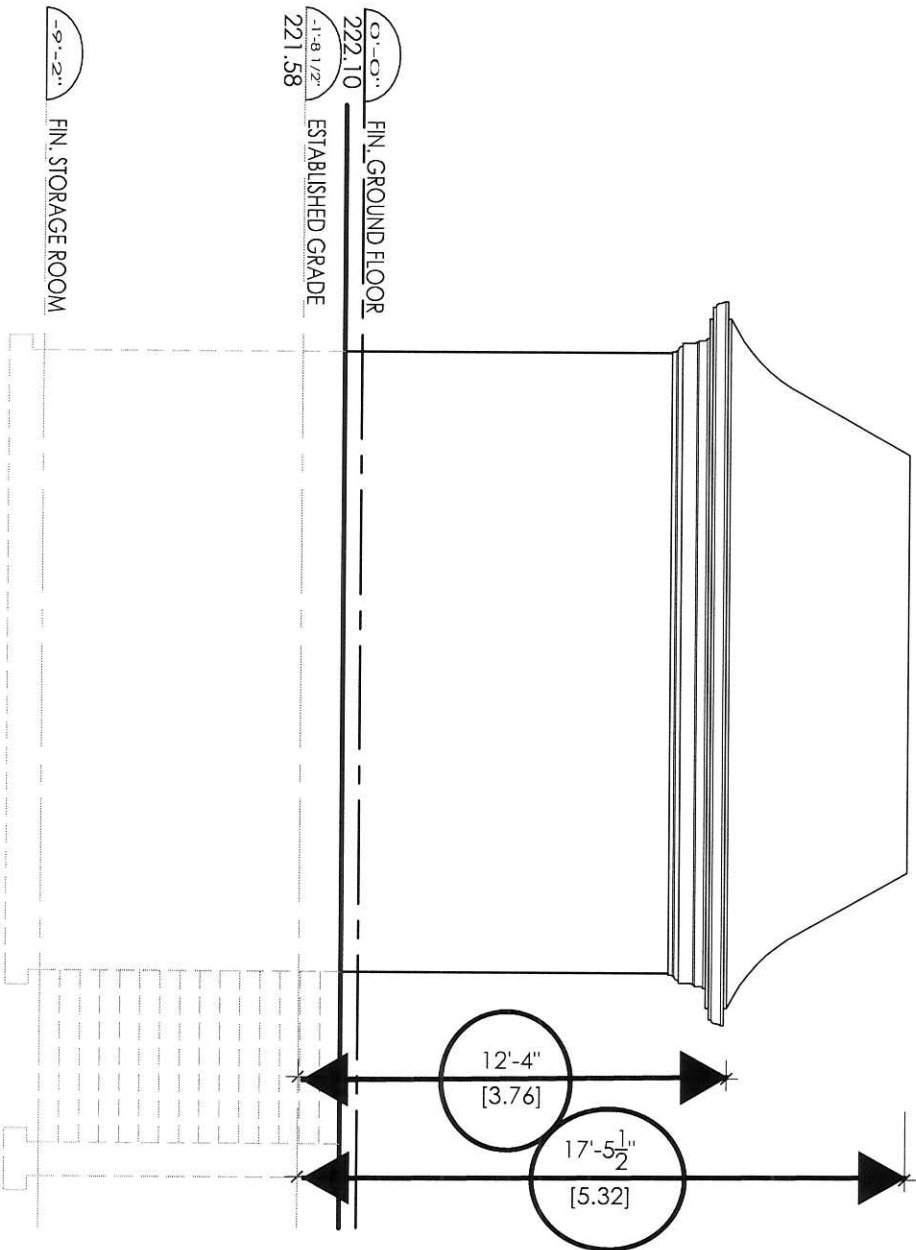
VITULLO RESIDENCE

153 OLD HUMBER CRESCENT
TORONTO, ONTARIO
OCTOBER 22, 2018
1729

CABANA SOUTH ELEVATION
3/16" = 1'-0"



RICHARD WENGLE
ARCHITECT INC.



VITULLO RESIDENCE

153 OLD HUMBER CRESCENT
TORONTO, ONTARIO
OCTOBER 22, 2018
1729

NOTICE OF DECISION
Minor Variance Application A138/18
 Section 45 of the Planning Act, R.S.O. 1990, c.P.13

Date of Hearing: Thursday, March 7, 2019
Applicant: Shana Ditta
Agent: Fausto Cortese
Property: 63 Rainbow's End Kleinburg ON L0J 1C0
Zoning: The subject lands are zoned R1, Residential Zone, and subject to the provisions of Exception 9(1162) under By-law 1-88 as amended.
OP Designation: VOP 2010: "Low-Rise Residential"
Related Files: None.
Purpose: Relief from the by-law is being requested to permit the construction of a proposed cabana and shed (pool equipment inside) to be located in the rear yard and to permit the existing in-ground pool.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A pool shall only be located in the Rear Yard.	1. To permit a pool not completely in the Rear yard.
2. A minimum Exterior Side yard setback of 4.5 metres is required.	2. To permit a minimum Exterior Side yard setback of 3.97 metres to a pool.
3. A minimum Exterior Side yard setback of 4.5 metres is required.	3. To permit a minimum Exterior Side yard setback of 0.83 metres to a shed.
4. A minimum Rear Yard setback of 7.5 metres is required.	4. To permit a minimum Rear Yard setback of 2.42 metres to a Cabana.
5. A minimum of 60% of the excess Rear Yard area greater than 135 m2 shall be soft landscape.	5. To permit a minimum of 35.59% Soft Landscaping for the area in excess of 135m2.
6. A maximum Height of 3.0 metres is permitted to the nearest part of the roof of an accessory structure.	6. To permit a maximum Height of 4.083 metres to the nearest part of the roof of an accessory structure.

Sketch: A sketch illustrating the request has been attached to the decision.

Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:

THAT Application No. A138/18 on behalf of Shana Ditta, be **APPROVED**, in accordance with the sketch submitted with the application (as required by Ontario Regulation 200/96) and subject to the following conditions:

	Department/Agency	Condition
1	Development Planning Christopher Cosentino 905-832-8585 x 8215 christopher.cosentino@vaughan.ca	That the Owner provides photographic documentation which shows that the works to increase the soft landscaping have been completed to the satisfaction of the Development Planning Department.
2	Development Engineering Brad Steeves 905-832-8585 x 8977 brad.steeves@vaughan.ca	1. The Owner/applicant shall submit the final Lot Grading Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading approval for the proposed cabana

	Department/Agency	Condition
		<p>prior to any work being undertaken on the property. Please visit or contact Development Engineering's front desk on the 2nd floor of City Hall to apply for lot grading approval.</p> <p>2. The Owner/applicant shall demonstrate appropriate LID (Low-impact Development) measures to the satisfaction of DE to address the increased impervious area (minimum of 35.59% soft landscaping compared to the By-law requirement of minimum 60% soft landscaping) in order to mitigate potential impacts on the municipal stormwater system.</p>

For the following reasons:

1. The general intent and purpose of the by-law will be maintained.
2. The general intent and purpose of the official plan will be maintained.
3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
4. The requested variance(s) is/are minor in nature.

Please Note:

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.


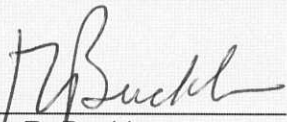
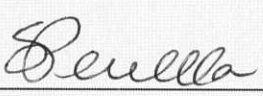
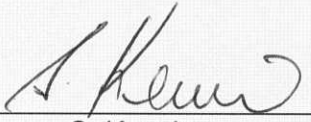

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

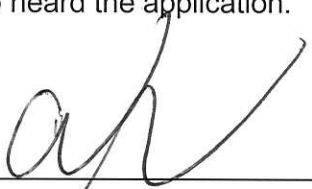
Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Written & oral submissions considered in the making of this decision were received from the following:

Public Written Submissions	Public Oral Submissions
* Public Correspondence received and considered by the Committee in making this decision	*Please refer to the approved Minutes of the Thursday , March 07, 2019 meeting for submission details.
Name: Address: Nature of Correspondence:	Name: Address:
Name: Address: Nature of Correspondence:	Name: Address:
Name: Address: Nature of Correspondence:	Name: Address:

SIGNED BY ALL MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

		
H. Zheng Member	R. Buckler Chair	A. Perrella Vice Chair
		
S. Kerwin Member		A. Antinucci Member

DATE OF HEARING:	Thursday, March 7, 2019
DATE OF NOTICE:	March 15, 2019
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	March 27, 2019 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan's Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.  _____ Christine Vigneault, ACST Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

Appealing to The Local Planning Appeal Tribunal
The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or any other person or public body who has an interest in the matter may within 20 days of the making of the decision appeal to the Local Planning Appeal Tribunal (LPAT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal (A1 Appeal Form) setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Local Planning Appeal Tribunal Act*.

Note: A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days of the date of the making of the decision, the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

Appeal Fees & Forms

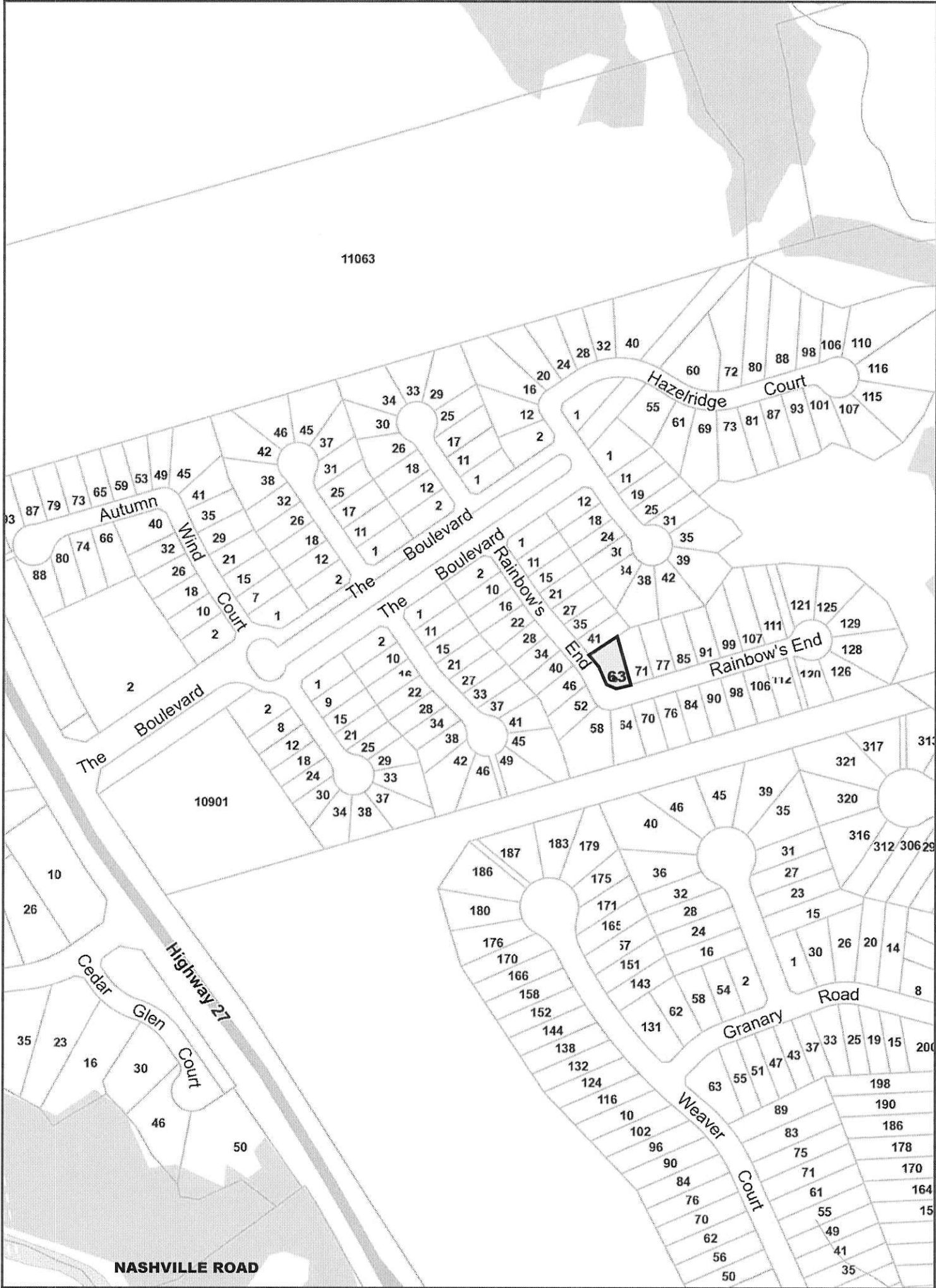
Local Planning Appeal Tribunal: The LPAT appeal fee is \$300 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The LPAT Appeal Fee must be paid by certified cheque or money order payable to the "Minister of Finance". Notice of appeal forms (A1 Appeal Form – Minor Variance) can be obtained at www.elto.gov.on.ca or by visiting our office.

City of Vaughan LPAT Processing Fee: \$817.00 per application

*Please note that all fees are subject to change.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from each respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All applicable conditions must be cleared prior to the issuance of a Building Permit.




Title:

LOCATION MAP - A138/18


63 RAINBOW'S END, KLEINBURG

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.

 **VAUGHAN**

Scale: 1:4,514

0 0.07 km 

Created By:

Infrastructure Delivery
Department
January 30, 2019 7:40 PM

Projection:

NAD 83
UTM Zone
17N

REVISED

February 21, 2019
January 21, 2019

KEY PLAN

1	ISSUED FOR REVISION	07/21/2019
2	REVISED	
3	ISSUED FOR CONSTRUCTION	
4	ISSUED FOR BID	
5	ISSUED FOR BUILDING PERMIT	
6	ISSUED FOR SITE PLAN APPROVAL	
7	SUBMITTALS	

CONTRACTOR AND PROFESSIONAL DESIGNER ARE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONDITIONS OF THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION. THIS DRAWING IS FOR INFORMATION PURPOSES ONLY AND NOT TO BE USED FOR CONSTRUCTION. DO NOT SCALE DRAWING.



FAUSTO CORTESE
ARCHITECTS
3590 RUTHERFORD RD. UNIT 7
VAUGHAN, ONTARIO, L4H 3T8
416-806-7000
FCORTESE@FCARCHITECTS.CA

PROJECT:
PROPOSED
POOL CABANA
AT
63 RAINBOW END
CITY OF VAUGHAN

DRAWING:
SITE PLAN

DATE:	APRIL 2018	PROJECT NO.:	2018-17
SCALE:	AS NOTED	DRAWING NO.:	
DRAWN BY:		REVIEWED BY:	A1.0



SOFT LANDSCAPE AREA

0.83m
Shed with
Pool Equip.

3.97m

RAINBOW END

2.42m

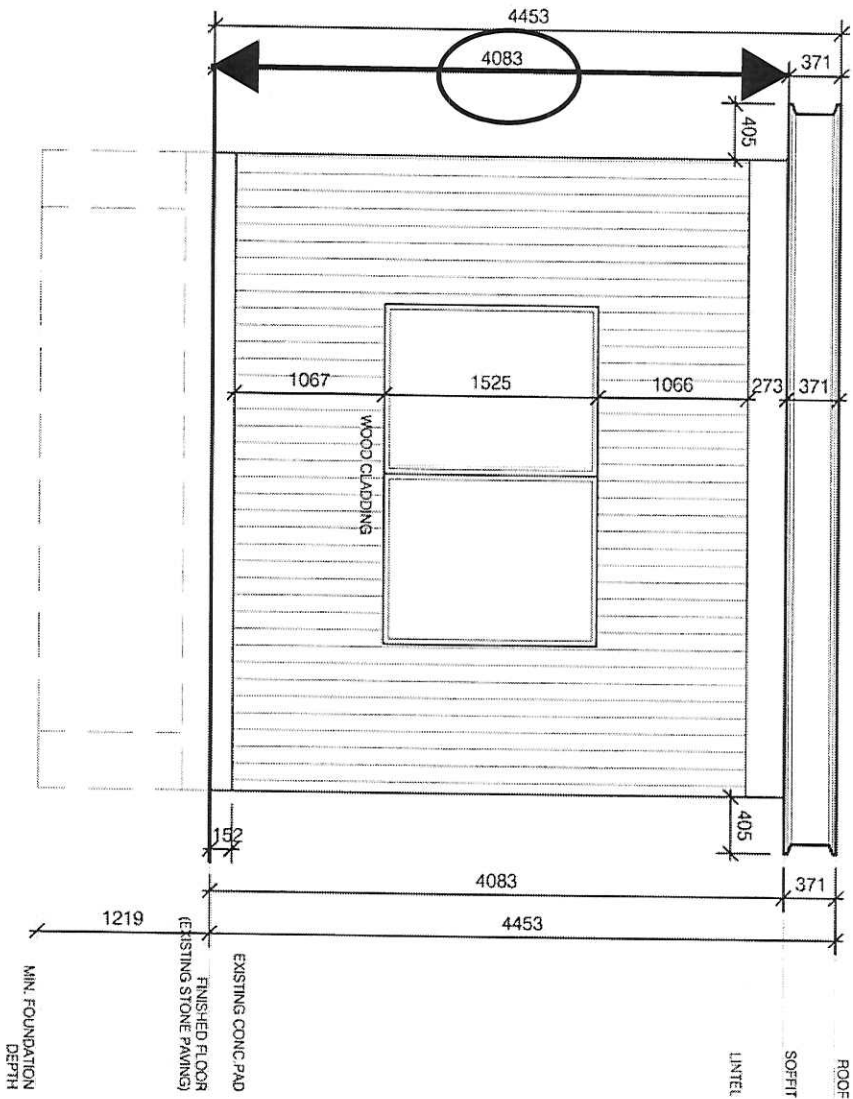
A138/19

- To permit a pool not completely in the Rear yard.
- To permit a minimum of 35.59% Soft Landscaping for the area in excess of 135m2.
- To permit a maximum Height of 4.083 metres to the nearest part of the roof of an accessory structure (cabana).

SITE DEVELOPMENT	
ZONING	R1 (SINGLE FAMILY DETACHED DWELLING)
LOT AREA	10,683.61 SQ. FT.
HOUSE AREA	982.54 SQ. M.
FOOTPRINT HOUSE	221.81 SQ. M.
EXISTING PORCH	30.17 SQ. M.
PROPOSED CABANA	46.24 SQ. M.
TOTAL FOOT PRINT	297.22 SQ. M.
BUILDING HEIGHT	BY-LAW
HEIGHT	9.50 M
LOT COVERAGE	ALLOWED 35%
TOTAL COVERAGE	PROVIDED 29.95%
SETBACKS	BY-LAW
FRONT YARD	7.50 M
REAR YARD	7.50 M
EXTERIOR SIDE YARD	4.50 M
SIDE YARD	1.50 M
LANDSCAPE AREA	BY-LAW
FRONT AND EXTERIOR YARD	60%
LANDSCAPE AREA (100%)	184.30 SQ. M. (100%)
HARD LANDSCAPE AREA	75.55 SQ. M. (38.88%)
SOFT LANDSCAPE AREA	118.75 SQ. M. (61.12%)
REAR YARD	135 SQ. M. < 60%
TOTAL BACKYARD AREA	408.23 SQ. M.
HARD LANDSCAPE AREA (INCLUDED POOL AREA)	324.98 SQ. M.
AMOUNT OF SOFT LANDSCAPE AREA (408.23 SQ. M. - 324.98 SQ. M.)	163.94 SQ. M.
SOFT LANDSCAPE AREA PROVIDED	97.24 SQ. M. (35.59%)

RAINBOW END

1 SITE PLAN
A1.0 SCALE 1:150



1 NORTH ELEVATION
A3.0 SCALE 1:50

FAUSTO CORTESE ARCHITECTS		FLCA	
3590 RUTHERFORD RD. UNIT 7 VAUGHAN, ONTARIO, L4H 3T8 416.806.7000 FCORTES@FAUSTOARCHITECTS.CA		PROJECT PROPOSED CABANA AT 63 RAINBOW END CITY OF VAUGHAN	
ELEVATIONS		ELEVATION	
DATE: APR 2018	PROJECT: 2018-12	SCALE: AS NOTED	
DRAWN BY: AS NOTED	REVIEWED BY: AS NOTED	A3.0	
PLOT SCALE: 1		FILE NAME: XREFS	

CONTRACTOR MUST CHECK AND SIGN ALL DIMENSIONS AND CONTINUE ON THE PROJECT AND LIST ALL DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION. THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER. DO NOT SCALE DRAWINGS.

SUBMITTALS

ISSUED FOR CONSTRUCTION	
ISSUED FOR BID	
ISSUED FOR BUILDING PERMIT	
ISSUED FOR SITE PLAN APPROVAL	

NOTICE OF DECISION
Minor Variance Application A077/18
 Section 45 of the Planning Act, R.S.O, 1990, c.P.13

Date of Hearing: Thursday, January 10, 2019
Applicant: Franca Zeppa
Agent John Zipay & Associates
Property: **43 Pennon Road, Kleinburg**
Zoning: The subject lands are zoned R1V Old Village Residential under By-law 1-88 as amended.
OP Designation: VOP 2010: "Low-Rise Residential"
Related Files: None
Purpose: Relief from the by-law is being requested to permit the construction of a proposed single family dwelling.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum front yard setback of 19.92 metres is required (existing 22.13 m -10%).	1. To permit a minimum front yard setback of 16.22 metres to a dwelling.
2. A minimum front yard setback of 19.92 metres is required (existing 22.13 m -10%).	2. To permit a minimum front yard setback of 13.38 metres to terraces (which are excavated).
3. A maximum lot coverage of 20% is permitted.	3. To permit a maximum lot coverage of 29.5% (dwelling 25% including covered porch areas + accessory building 4.5%). To permit a total maximum lot coverage of 28.29%
4. A maximum building height of 9.5 metres is permitted.	4. To permit a maximum building height of 10.95 metres for a dwelling.
5. A maximum building height of 4.5 metres is permitted.	5. To permit a maximum building height of 6.58 metres for an accessory building (cabana). To permit a maximum building height of 5.70 metres for an accessory building (cabana)
6. A maximum building height of 3.0 metres is permitted.	6. To permit a maximum building height of 3.05 metres from average finished ground level to the nearest part of the roof for an accessory building (cabana).
7. A maximum floor area of 67 square metres is permitted.	7. To permit a maximum floor area of 92.59 square metres for an accessory building (cabana).
8. A minimum rear yard setback of 7.5 metres is required.	8. To permit a minimum rear yard setback of 6.31 metres to an accessory building (cabana).
9. A reverse slope driveway is not permitted.	9. To permit a reverse slope driveway.
10. Eaves and gutter shall not project more than 0.5 metres into all required yards.	10. To permit eaves and gutters to project 0.74 metres into a minimum required yard (dwelling and cabana).

Sketch: A sketch illustrating the request has been attached to the decision.

Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:

THAT Application No. A077/18 on behalf of Franca Zeppa be **APPROVED**, in accordance with the sketch submitted with the application (as required by Ontario Regulation 200/96) and subject to the following conditions:

	Department/Agency	Condition
1	Development Engineering Steve Lysecki 905-832-2281 ext. 8731 Steve.Lysecki@Vaughan.ca	1) The Owner / Applicant shall apply to the Development Inspection & Grading Division of the Development Engineering Department for Lot Grading Approval prior to any work taking place on the property for construction of the proposed dwelling. The application(s) can be made at the Development Engineering Department counter on the 2nd floor of City Hall and proof of application shall be sent to Steve Lysecki at Steve.Lysecki@Vaughan.ca to clear this condition. Should the Owner require assistance with application for approval, please see counter staff at the Development Engineering counter, or call Steve Lysecki at Vaughan City Hall at 905-832-2281 ext. 8731. 2) The Owner / Applicant shall complete a capacity analysis, to the satisfaction of the Development Engineering (DE) Department, of the receiving storm sewer should the proposed sump pump be connected to the sewer. The Owner / Applicant shall contact Steve Lysecki of DE to discuss and undertake this analysis.
2	Planning Department Chris Cosentino 905-832-8585, ext. 8215 christopher.cosentino@vaughan.ca	1) A total of 39 replacement trees are required for the proposal. The Owner shall provide a Landscape Plan indicating the location of the proposed replacement trees. Cash-in-lieu payment at a rate of \$550 per replacement tree is required for any required replacement trees that are not accommodated on site. 2) The Owner shall provide a Tree Protection Zone (TPZ) around tree #448 (as identified in the tree inventory). 3) The Owner shall resubmit an amended Tree Inventory/Preservation Plan and Arborist Report in accordance with the provided Urban Design comment memo dated January 2, 2019.
3	Committee of Adjustment Christine Vigneault 905-832-8585 ext. 8332 Christine.vigneault@vaughan.ca	That a revised sketch be submitted reflecting the Committee's approval for Variance No. 3 & 5 (see variance chart)


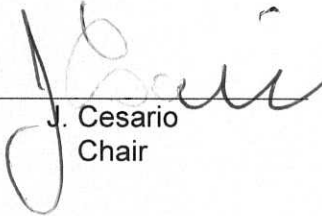

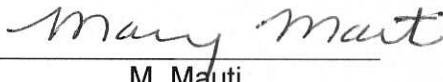
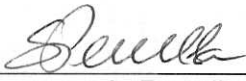
For the following reasons:


1. The general intent and purpose of the by-law will be maintained.
2. The general intent and purpose of the official plan will be maintained.
3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
4. The requested variance(s) is/are minor in nature.

Written & oral submissions considered in the making of this decision were received from the following:

Public Written Submissions	Public Oral Submissions
* Public Correspondence received and considered by the Committee in making this decision	*Please refer to the approved Minutes of the Thursday , January 10, 2019 meeting for submission details.
Name: Nadia & Phillip Lazzarino Address: 25 Pennon Road Nature of Correspondence: Letter of Objection	Name: Address:

SIGNED BY ALL MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

 H. Zheng Member	 J. Cesario Chair	 R. Buckler Vice Chair
 M. Mauti Member		 A. Perrella Member

DATE OF HEARING:	Thursday, January 10, 2019
DATE OF NOTICE:	January 18, 2019
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	January 30, 2019 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan's Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.  Christine Vigneault, ACST Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

Appealing to The Local Planning Appeal Tribunal
The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or any other person or public body who has an interest in the matter may within 20 days of the making of the decision appeal to the Local Planning Appeal Tribunal (LPAT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal (A1 Appeal Form) setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Local Planning Appeal Tribunal Act*.

Note: A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days of the date of the making of the decision, the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

Appeal Fees & Forms

Local Planning Appeal Tribunal: The LPAT appeal fee is \$300 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The LPAT Appeal Fee must be paid by certified cheque or money order payable to the "Minister of Finance". Notice of appeal forms (A1 Appeal Form – Minor Variance) can be obtained at www.elto.gov.on.ca or by visiting our office.

City of Vaughan LPAT Processing Fee: \$817.00 per application

*Please note that all fees are subject to change.

Conditions

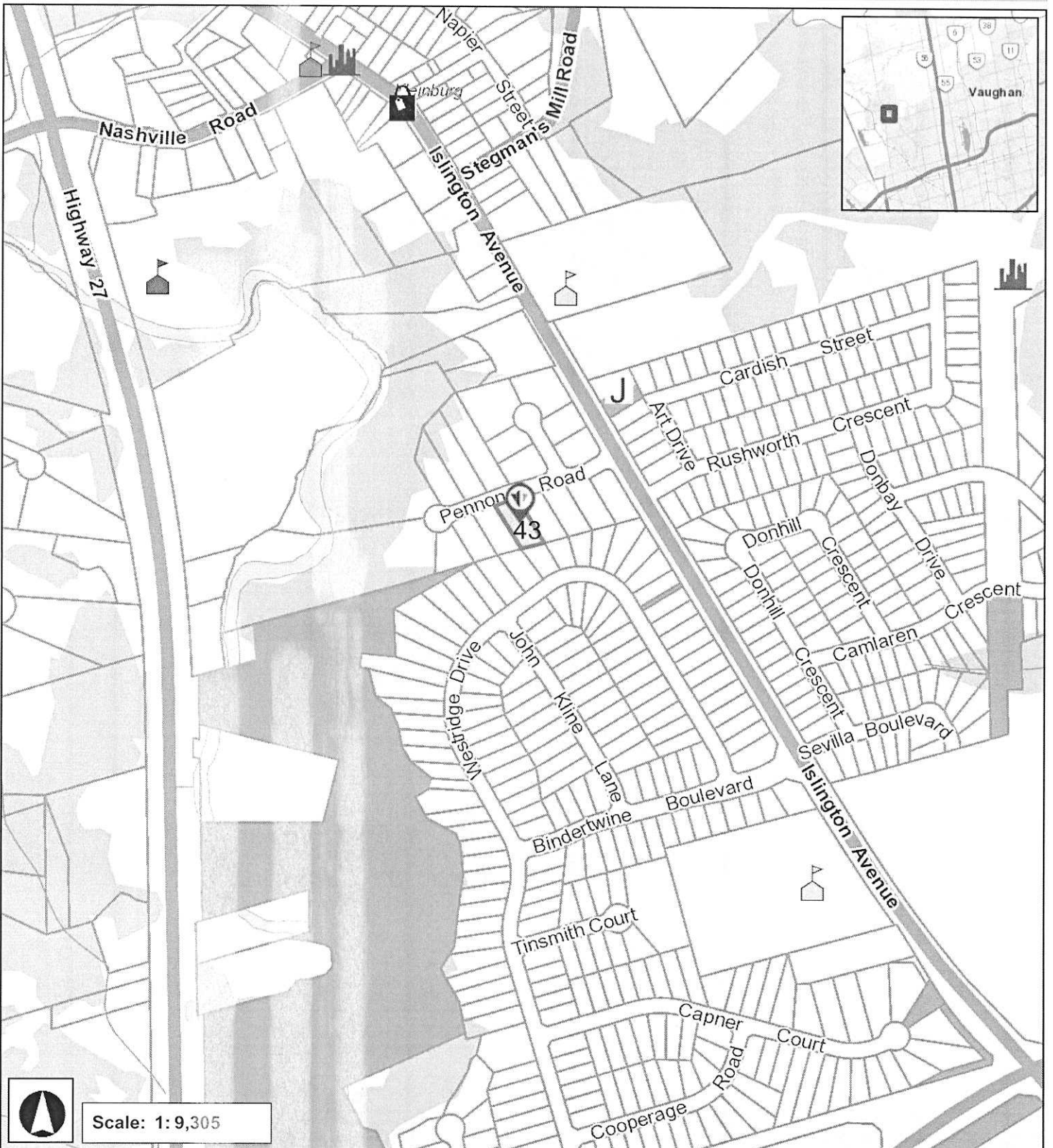
It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from each respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All applicable conditions must be cleared prior to the issuance of a Building Permit.



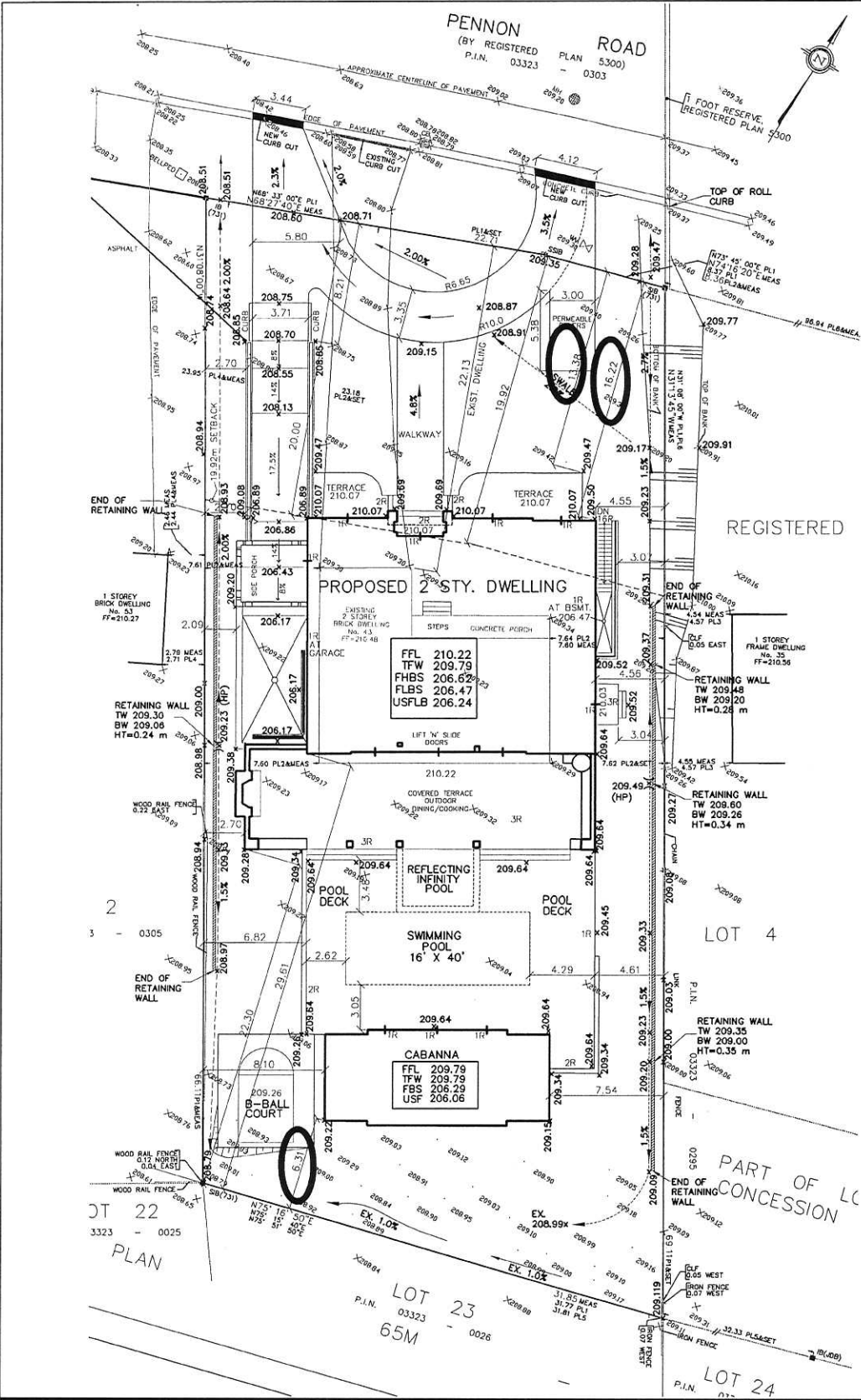
VAUGHAN

A077/18 - Location Map

43 Pennon Road, Kleinburg



September 7, 2018 4:13 PM



GENERAL NOTES

1. Builder and Surveyor to confirm difference between FFL and USF before proceeding with excavation. Report discrepancies to the Architect.
2. Surveyor is to comply with the municipality regarding setbacks in laying out the work. Any discrepancies are to be reported to the Architect and the builder.
3. The builder shall comply with all current municipal standards for Subdivision Lot Drainage and Grading as they relate to max. & min. slopes for yards, swales & drives and clearances to street furniture and services for driveways.
4. The builder shall check and verify all given grade elevations and drainage prior to commencement of construction.
5. Builder shall verify location of existing and proposed utilities prior to commencement of construction. Footings to bear on natural undisturbed soil and be a min. of 1.22m below finished grade. Underside of footings shown are taken from architectural plans and may not represent actual footing level.
6. All dimensions and grade elevations are shown in metres.
7. Unless otherwise indicated, finished floor level is 0.40m above Specified House Grade at entry points to house and provision of 2 risers at entries must be made to gain entry into house. Maintain top of foundation wall min. 0.15m above finished grade.
8. These General Notes apply to all drawings for Siting & Grading including siting on individual sheets.
9. All front and rear yards shall be graded at a 2% - 5% grade within 6.0m of the dwelling unit.

DATE	REV.	DESCRIPTION
10.16.18	FP	REVISED HOUSE/POOL/CABANA PER NEW DESIGN
9.29.18	FP	FINALIZED SITE PLAN FOR COA
06.29.18	FP	REVISED HOUSE/POOL/CABANA PER NEW DESIGN
04.11.18	FP	SHIFTED HOUSE/POOL/CABANA REVISED STATISTICS
2.15.18	FP	UPDATED STATISTICS ADDED EXIST. FRONT SETBACK
2.15.18	FP	UPDATED HEIGHT
01.30.18	FP	UPDATED HEIGHT

DO NOT SCALE DRAWING



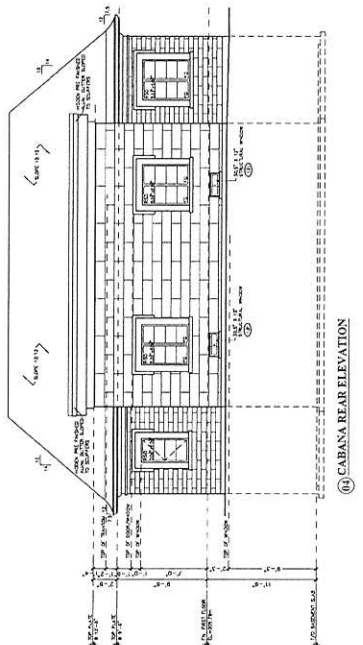
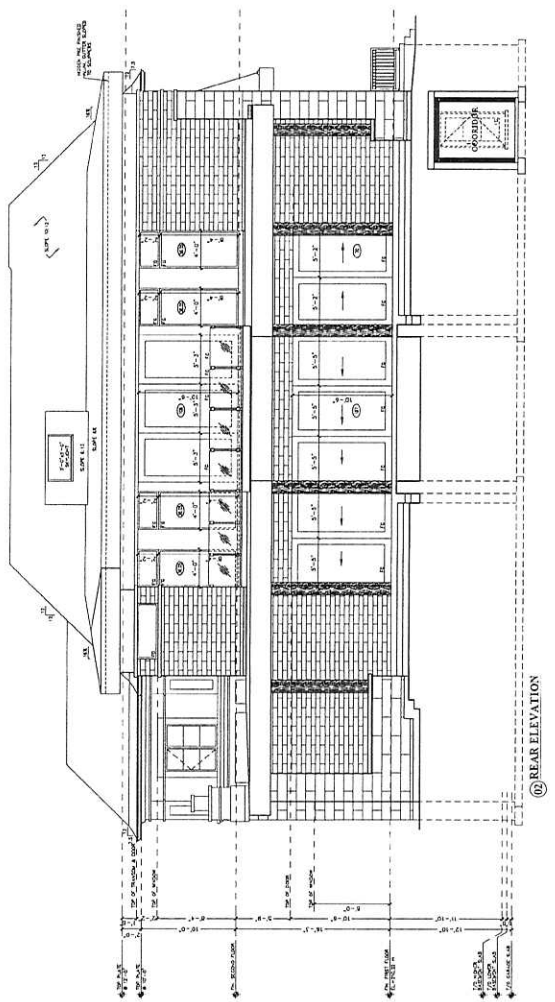
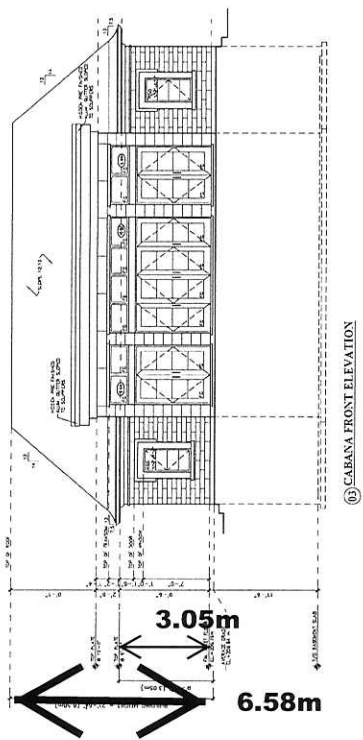
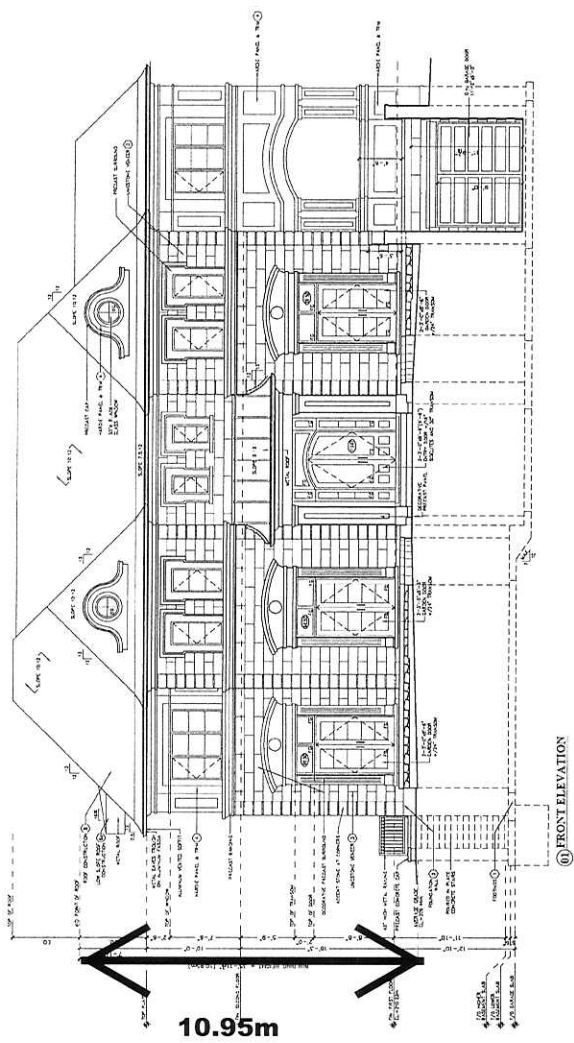
Proposal:

1. To permit a minimum front yard setback of 16.22 metres to a dwelling.
2. To permit a minimum front yard setback of 13.38 metres to terraces (which are excavated).
3. To permit a maximum lot coverage of 29.5% (dwelling 25% including covered porch areas + accessory building 4.5%).
4. To permit a maximum building height of 10.95 metres for a dwelling.
5. To permit a maximum building height of 6.58 metres for an accessory building (cabana).
6. To permit a max bldg height of 3.05 metres from average finished ground level to the nearest part of the roof for an accessory bldg (cabana).
7. To permit a maximum floor area of 92.59 square metres for an accessory building (cabana).
8. To permit a minimum rear yard setback of 6.31 metres to an accessory building (cabana).
9. To permit a reverse slope driveway.
10. To permit eaves and gutters to project 0.74 metres into a minimum required yard (dwelling and cabana).

○	HYDRANT	— G	GAS LOCATION
⊗	TRANSFORMER		
⊗	VALVE CHAMBER		
—	WATER SERVICE		
▼	STORM & SANITARY CONNECTION		
▼	SINGLE STORM & SANITARY CONNECTION		

Item	Area (m²)	Percentage (%)
SETBACKS (ACCESSORY BUILDING)		
Side Yards	7.54m	1.50m
Rear Yard	6.31m	7.50m
HARD LANDSCAPING AREA	403.19m²	
SOFT LANDSCAPING AREA	327.65m² (81.26%)	(60.0% of H.L.A.)

08.14.17	Job Number	Drawn By
17-1374	17-1374	FP
Scale	1:300	
Cad Dwg.	Sheet Number	
17-1374-SP		

[illegible]PRELIMINARY
DRAWINGSarchitects inc.
750 Lexington Ave. N.Y. 10022

圖書分類

INFILL RESIDENCE

[illegible]

FRONT & REAR

	Overall Ht
EXTENSOR ELEVATIONS	
Hgt.	Overall Ht

OCT. 16, 2010 —

17-1374	2
---------	---

 $3/16^{\circ} = 1^{\circ} 0^{\circ}$

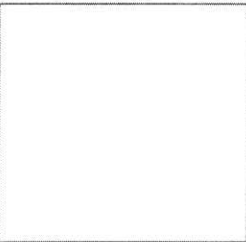
trial name	A2.1
------------	------

1000

ADDENDUM
AGENDA ITEM

8
COMMITTEE OF ADJUSTMENT

- municipality regarding setbacks in laying out the work. Any discrepancies are to be reported to the Architect and the builder.
- 3 The builder shall comply with all current municipal standards for Subdivision Lot Drainage and Grading as they relate to max. & min. slopes for yards, roads & drives and clearances to street furniture and services for driveways.
- 4 The builder shall check and verify all given grade elevations and drainage prior to commencement of construction.
- 5 Builder shall verify location of existing and proposed utilities prior to commencement of construction. Footings to bear on natural undisturbed soil and be a min. of 1.23m below finished grade. Underside of footings shown are taken from architectural plans and may not represent actual footing level. All dimensions and grade elevations shown in metres.
- 7 Unless otherwise indicated, finished floor level is 0.40m above Specified House Grade at entry points to house and provision of 2 risers at entries must be made to gain entry into house. Maintain top of foundation wall min. 0.15m above finished grade.
- 8 These General Notes apply to all drawings for Siting & Grading including siting on individual sheets.
- 9 All front and rear yards shall be graded at a 2% - 5% grade within 6.0m of the dwelling unit.



10.16.18	FP	REVISED HOUSE/POOL/CABANA PER NEW DESIGN
9.29.18	FP	FINALIZED SITE PLAN FOR COA
06.29.18	FP	REVISED HOUSE/POOL/CABANA PER NEW DESIGN
04.11.18	FP	SHIFTED HOUSE/POOL/CABANA REVISED STATISTICS
2.15.18	FP	UPDATED STATISTICS ADDED EXIST. FRONT SETBACK
2.15.18	FP	UPDATED HEIGHT
01.30.18	FP	UPDATED HEIGHT

DO NOT SCALE DRAWING

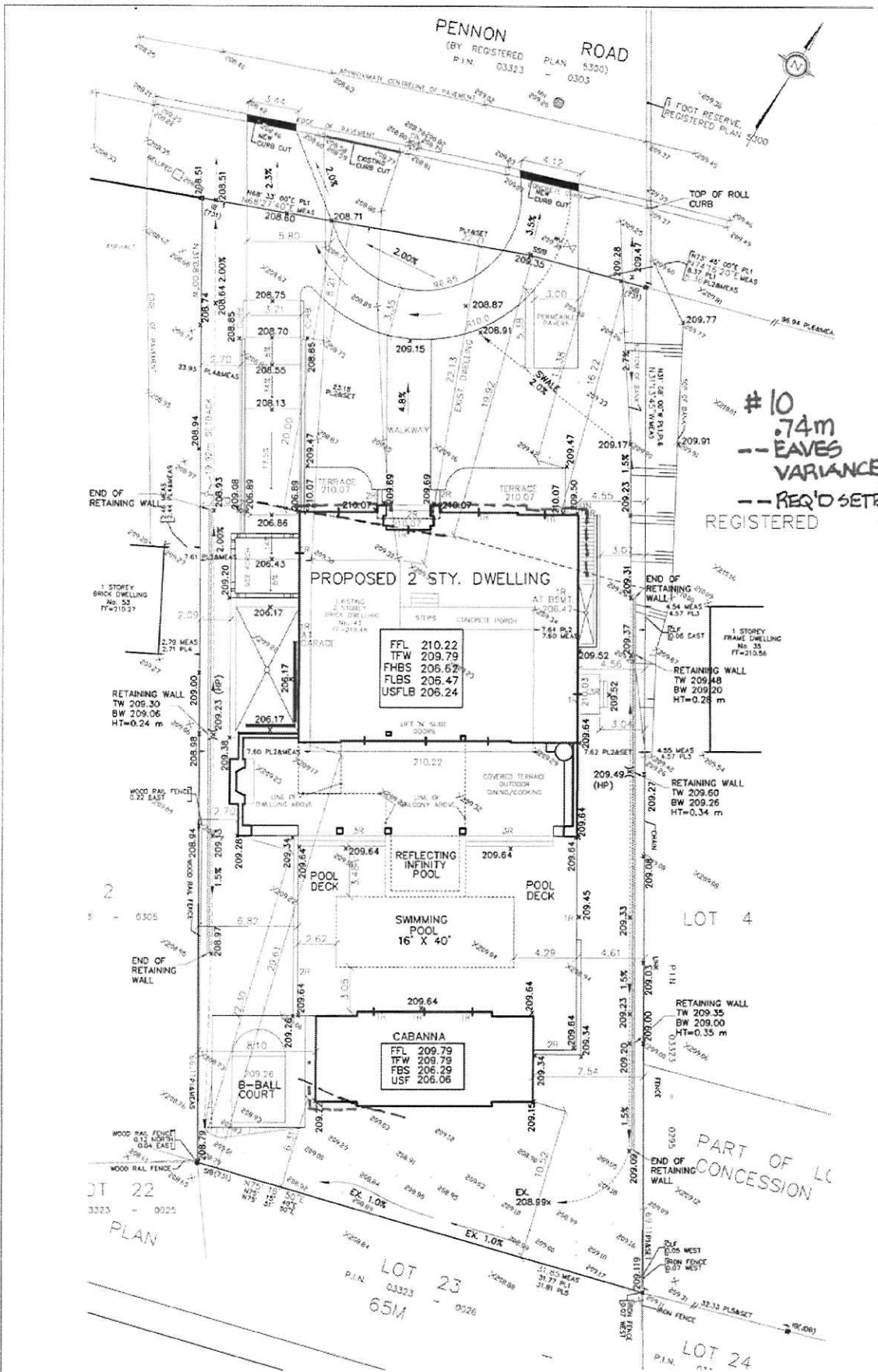
architects inc.

70 Glen Road,
Unit #20,
Woodbridge, Ontario,
(416) 895-1905
265-2688

INFILL RESIDENCE
43 PENNON ROAD
VAUGHAN, ONTARIO

LEGAL DESCRIPTION:
PART 1
PLAN OF LOT 1
REGISTERED PLAN 7553
CITY OF VAUGHAN
REGIONAL MUNICIPALITY
OF YORK

SITE PLAN	
Date	Checked By
08.14.17	
Job Number	Drawn By
17-1374	FP
Scale	
1:300	
Cad Dwg.	Sheet Number
17-1374-SP	



LEGEND	
286.0	PROPOSED GRADES
286.0	PROPOSED GRADE
286.0	DIRECTION OF FLOW
F.F.L.	FINISHED FLOOR LEVEL
T.F.W.	TOP OF FOUNDATION WALL
F.H.B.S.	FINISHED HIGHER BASEMENT SLAB
F.L.B.S.	FINISHED LOWER BASEMENT SLAB
F.F.F./F.	FINISHED FLOOR ENTRY REAR/FRONT
U.S.F.L.B.	UNDERSIDE OF FOOTINGS LOWER BSMY
SL	STREET LIGHT
HYD	HYDRANT
TR	TRANSFORMER
VC	VALVE CHAMBER
WS	WATER SERVICE
SS	STORM & SANITARY CONNECTION
SS	SINGLE STORM & SANITARY CONNECTION
C.T.P.	CABLE TV PEDESTAL
B	BELL PEDESTAL
C.B.	CATCH BASIN
E.D.L.	EXTERIOR DOOR LOCATION
S.D.	SWALE DIRECTION
W.O.D.	WALK OUT DECK
W.O.B.	WALK OUT BASEMENT
R	REVERSE PLAN
D	DOWNSPOUT
E.F.	ENGINEERED FILL
S.S.	STREET SIGN
H.T.	HYDRO TAIL
G	GAS LOCATION

SITE STATISTICS		
	PROPOSED	REQUIRED
LOT AREA	2070.89m ²	845m ²
LOT FRONTAGE	30.44m	30.0m
LOT COVERAGE (incl. covered Porch areas)	609.57m ² (29.5%)	414.17m ² (20.0%)
LOT COVERAGE- DWELLING	516.98m ² (25.0%)	
LOT COVERAGE- ACCESSORY BUILDING	92.59m ² (4.5%)	67.0m ²
LANDSCAPING AREA	1260.67m ² (60.8%)	
DRIVEWAY & WALKWAYS	200.62m ² (9.7%)	
AVERAGE GRADE	209.44	
BUILDING HEIGHT DWELLING	10.95m	9.5m
BUILDING HEIGHT ACCESSORY BLDG.	6.58m	4.50m
NEAREST PART OF ROOF-ACCESSORY BLDG	3.05m	3.00m
SETBACKS (DWELLING)		
Front Yard	16.22m	22.13 - 2.213 = 19.92m
Side Yards	2.09m	1.50m
Rear Yard	29.61m	7.5m
SETBACKS (ACCESSORY BUILDING)		
Side Yards	7.54m	1.50m
Rear Yard	6.31m	7.50m
HARD LANDSCAPING AREA	403.19m ²	
SOFT LANDSCAPING AREA	327.65m ² (81.26%)	(60.0% of H.L.A.)

NOTICE OF DECISION

MINOR VARIANCES

FILE NUMBER: A106/16

APPLICANT: ARMANDO BALDASSARRA

PROPERTY: Part of Lot 13, Concession 6, (Lot 29, Registered Plan No. 5757), municipally known as 206 Pine Valley Cres., Woodbridge.

ZONING: The subject lands are zoned RR, Rural Residential under By-law 1-88 as amended.

PURPOSE: To permit the construction of a proposed one-storey detached garage.

PROPOSAL:

1. To permit a minimum interior side yard setback of 2.45m to the detached garage.
2. To permit a maximum eaves and gutter encroachment of 0.71m for the detached garage.
3. To permit a maximum building height of 10.48m for the detached garage.
4. To permit the nearest part of the roof to be no more than 6.15m above finished grade for the detached garage.
5. To permit the maximum area of all accessory buildings and structures not to exceed 290.71 sq.m.
6. To permit a maximum lot coverage of 20.55%
7. To permit a reverse slope driveway for the detached garage.

BY-LAW REQUIREMENT:

1. Minimum interior side yard setback 4.5m (detached garage).
2. Maximum encroachment of eaves and gutters 0.5m (detached garage).
3. Maximum building height 4.5m (detached garage).
4. The nearest part of the roof shall not be more than 3.0m above finished grade (detached garage).
5. The maximum area of all accessory buildings and structures shall not exceed 67 square meters.
6. Maximum lot coverage 10%.
7. All driveways shall have a positive slope away from all parts of the building or structure to the street.

BACKGROUND INFORMATION: Other Planning Act Applications
The land which is the subject in this application was also the subject of another application under the Planning Act:

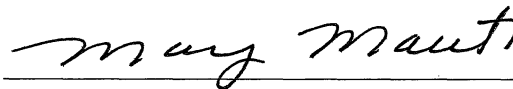
MINOR VARIANCE APPLICATION:

A166/09 - APPROVED - Jul. 23/09 (lot coverage 18.2%, max height 9.9m nearest part 4.4m, CABANA: RYS 8m; area 164.87m², height 5.51m; nearest point 3.51m)

A084/09 - APPROVED April 28/09 (lot coverage of 15.3%)

A sketch is attached illustrating the request.

MOVED BY:



SECONDED BY:



THAT the Committee is of the opinion that the variances sought, can be considered minor and are desirable for the appropriate development and use of the land. The general intent and purpose of the By-law and the Official Plan will be maintained.

THAT Application No. **A106/16, ARMANDO BALDASSARRA**, be **APPROVED**, in accordance with the sketches attached and subject to the following conditions:

1. That prior to the issuance of a building permit for the proposed detached garage, the Owner shall submit an Arborist Report prepared by a qualified arborist for the mature deciduous tree, to the satisfaction of the Development Planning Department. The Arborist Report shall identify that the tree will be protected during the construction of the proposed garage and identify the measures that will be used to protect the tree. If the Arborist Report recommends that the tree is to be removed, the Owner is required to provide compensation for this tree, if required, to the satisfaction of the Development Planning Department;

2. That if the condition(s) listed above is/are not fulfilled and the Building Permit is not applied for within twelve (12) months of the date this decision becomes final and binding, the said decision shall expire and shall be deemed to have been annulled and rescinded by the Committee. **(PLEASE NOTE THAT THIS TIME PERIOD CANNOT BE EXTENDED IN ANY WAY, FAILURE TO MEET THIS DEADLINE WILL RESULT IN REQUIRING A NEW APPLICATION AND FEE.)**

VERY IMPORTANT: IT IS THE RESPONSIBILITY OF THE OWNER/APPLICANT AND/OR AGENT TO OBTAIN AND PROVIDE A CLEARANCE LETTER FROM EACH AGENCY AND/OR DEPARTMENT LISTED IN THE CONDITIONS WHETHER "IF REQUIRED" APPEARS IN THE CONDITION OR NOT, AND FORWARD THIS CLEARANCE LETTER TO THE SECRETARY-TREASURER AS SOON AS THE CONDITIONS ARE FULFILLED.

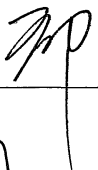
FAILURE TO COMPLY WITH THIS PROCEDURE WILL RESULT IN A LETTER BEING FORWARDED BY THE SECRETARY-TREASURER INDICATING THIS FILE HAS LAPSED AND, THEREFORE, WILL NECESSITATE THAT A NEW APPLICATION BE SUBMITTED TO LEGALIZE THIS PROPERTY.

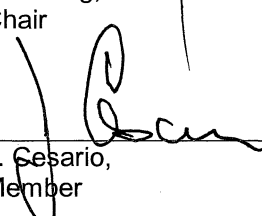
THIS MINOR VARIANCE DECISION IS NOT A BUILDING PERMIT AUTHORIZING CONSTRUCTION UNDER THE BUILDING CODE ACT, R.S.O. 1990, AS AMENDED. A BUILDING PERMIT MAY BE REQUIRED. PLEASE CONTACT THE BUILDING STANDARDS DEPARTMENT IN THE EVENT THAT YOU REQUIRE FURTHER CLARIFICATION.

CARRIED.


CHAIR: 

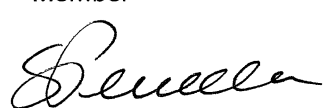
Signed by all members present who concur in this decision:


H. Zheng,
Chair


J. Cesario,
Member

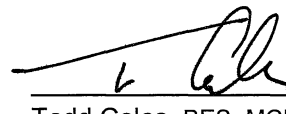

M. Mauti,
Vice Chair


R. Buckler,
Member


A. Perrella,
Member

CERTIFICATION

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.


Todd Coles, BES, MCIP, RPP
Manager of Development Services
and Secretary-Treasurer to
Committee of Adjustment

Date of Hearing:	MARCH 17, 2016
Last Date of Appeal:	APRIL 6, 2016

APPEALS

APPEALS MUST BE RECEIVED BY THIS OFFICE NO LATER THAN 4:30 P.M. ON THE LAST DATE OF APPEAL NOTED ABOVE.

Should you decide to appeal this decision to the Ontario Municipal Board, a copy of an appeal form is available for download in Microsoft Word and Adobe Acrobat versions from the Ontario Municipal Board website at www.omb.gov.on.ca. If you do not have Internet access, these forms can be picked up at the City of Vaughan, Committee of Adjustment offices.

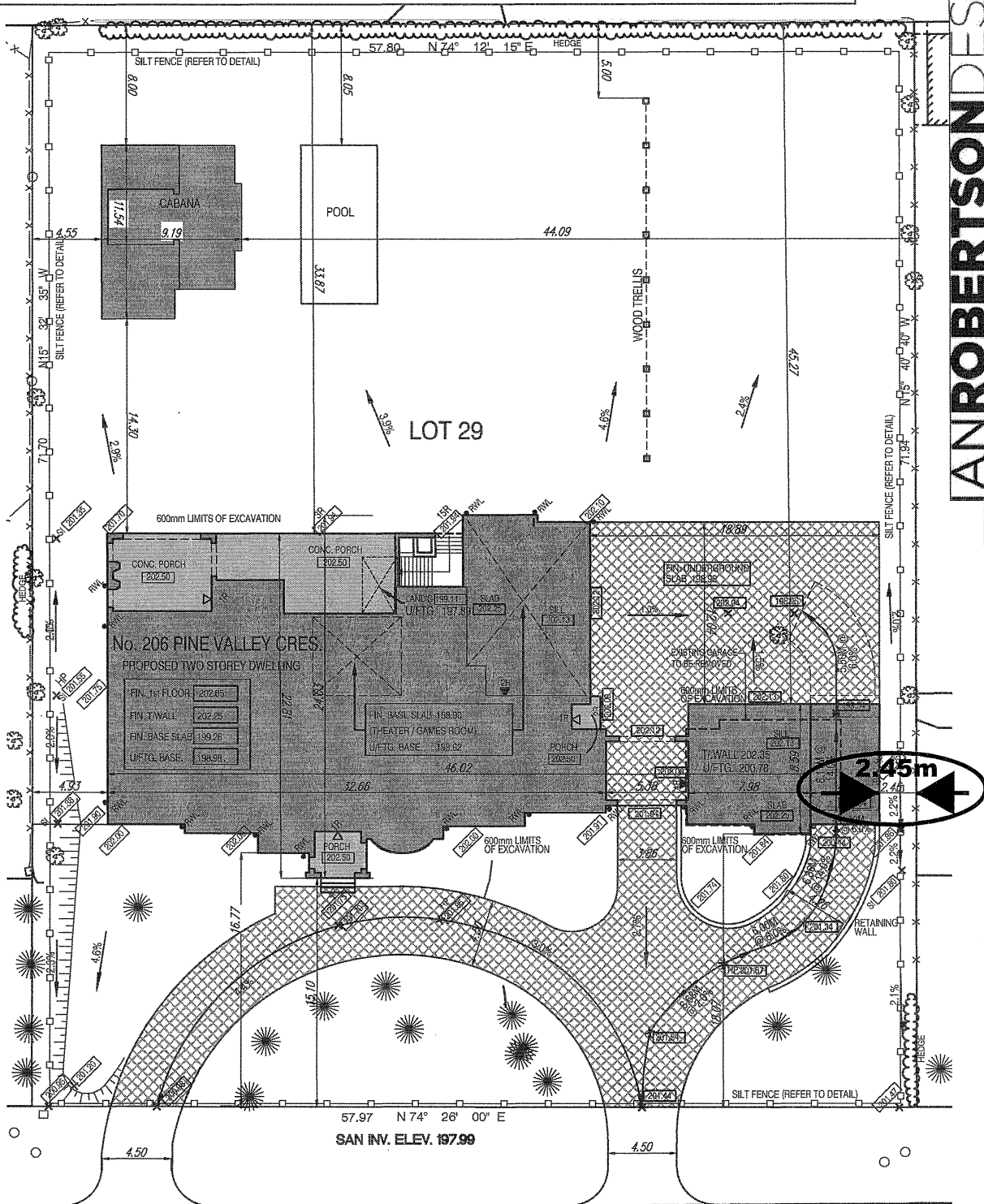
Please fill out Form A1 and follow the instructions as provided by the Ontario Municipal Board and submit your appeal to the City of Vaughan, Committee of Adjustment on or before the date stated above. You must enclose the completed form with the \$708.00 processing fee, paid by **certified cheque** or **money order**, to the "TREASURER, CITY OF VAUGHAN" and the appeal fee of \$125.00 for each application appealed, paid by **certified cheque** or **money order**, made payable to the "ONTARIO MINISTER OF FINANCE".

NOTE: The Planning Act provides for appeals to be filed by "persons". As groups or associations, such as residents or ratepayers groups which do not have incorporated status, may not be considered "persons" for the purposes of the Act, groups wishing to appeal this decision should do so in the name of individual group members, and not in the name of the group.

CONDITIONS

IF ANY CONDITIONS ARE IMPOSED ON THIS APPLICATION, THE FINAL DATE FOR FULFILLING THEM IS:
APRIL 6, 2017

LOT 29 - 206 PINE VALLEY CRES.



SITE STATS		
	EXISTING	PROPOSED
LOT AREA	4156.78 SM	4156.78 SM
LOT FRONTAGE	57.97M	57.97M
HOUSE COVERAGE INCL PORCH	13.55% 563.61SM	13.55% 563.61SM
DETACHED GARAGE COVERAGE	1.91% 71.72 SM	2.44% 101.72 SM
EXISTING BREEZEWAY COVERAGE	0.58% 24.12 SM	0.58% 24.12 SM
EXISTING CABANA COVERAGE	3.96% 164.87 SM	3.96% 164.87 SM
TOTAL COVERAGE	19.83% 824.32 SM	20.55% 854.32 SM
COVERAGE OF ACCESSORY BLDGS	6.27% 260.71 SM	6.99% 290.71 SM
SETBACKS		
-FRONT	15.10M	15.10M
-SIDE	4.93M	4.93M
-SIDE	6.96M	6.96M
-REAR	33.87M	33.87M
SETBACKS (PARKING GARAGE)		
-FRONT		18.07M
-SIDE		2.45M
-REAR		45.27M
BUILDING HEIGHT	12.9M	12.9M
BUILDING HEIGHT ACCESSORY	9.79M	10.48M
WALL HEIGHT ACCESSORY		6.15M
BUILDING HEIGHT TRELLIS	3.5M	3.5M
BUILDING DEPTH	24.03M	24.03M
SOFT LANDSCAPE AREA	66% (703.76SM)	66% (703.76SM)

- PINE VALLEY CRES.
2. To permit a maximum eaves and gutter encroachment of 0.71m for the detached garage.
 3. To permit a maximum building height of 10.48m for the detached garage.
 4. To permit the nearest part of the roof to be no more than 6.15m above finished grade for the detached garage.
 5. To permit the maximum area of all accessory buildings and structures not to exceed 290.71m2.
 6. To permit a maximum lot coverage of 20.55%
 7. To permit a reverse slope driveway for the detached garage.

CUSTOM RESIDENCE

LOT 29

206 PINE VALLEY CRES

CITY OF VAUGHAN

SITE PLAN

BM

FEB. 25, 2016

15-47

SP1

20 RIVERMEDE ROAD, UNIT 101, VAUGHAN, ONTARIO, L4K 1N3

PHONE: (905) 689-2111; FAX: 1 (866) 602-1163; www.ianrobertsondesign.com

NOTICE OF DECISION

MINOR VARIANCES

FILE NUMBER: A024/14

APPLICANT: STEVE CAROGIOIELLO

PROPERTY: Part of Lot 22, Concession 8, (Lot 10, Registered Plan 65M-3747, municipally known as 28 Nightfall Court, Woodbridge).

ZONING: The subject lands are zoned RR, Rural Residential Zone and subject to the provisions of Exception 9(577) under By-law 1-88 as amended.

PURPOSE: To permit the maintenance of an existing cabana at the rear of an existing two-storey single family dwelling.

PROPOSAL:

1. To permit a rear yard setback of 12.65 metres to the accessory building (cabana).
2. To permit a building height of 6.25 metres for the accessory building (cabana).
3. To permit a height of 4.26 metres to the nearest part of the roof of the accessory building (cabana).
4. To permit a floor area of 103.12 m² for the accessory building (cabana).
5. To permit a lot coverage of 18.1% (16.12% for the dwelling and 1.98% for the accessory building).
- ~~6. To permit an interior side yard setback of 0.38 metres to the retaining wall.~~

BY-LAW REQUIREMENT:

1. A minimum rear yard setback of 15.0 metres is permitted.
2. A maximum building height of 4.5 metres is permitted.
3. A maximum height of 3.0 metres is permitted to the nearest part of the roof.
4. A maximum floor area of 67 m² is permitted.
5. A total maximum lot coverage of 10% is permitted.
- ~~6. A minimum interior side yard setback of 2.0 metres is permitted to the retaining wall.~~

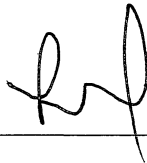
BACKGROUND INFORMATION: Other Planning Act Applications
The land which is the subject in this application was also the subject of another application under the Planning Act:

MINOR VARIANCE APPLICATION:

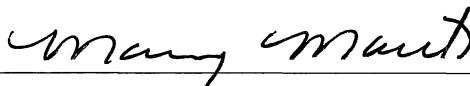
A114/08- APPROVED - MAY 22/08 - (lot coverage=14.95%; Side yard setback 2.3m & Driveway width 11.18m) **Clearance of conditions ltr. issued Feb. 2/09.**

A sketch is attached illustrating the request.

MOVED BY:



SECONDED BY:



THAT the Committee is of the opinion that the variances sought, can be considered minor and are desirable for the appropriate development and use of the land. The general intent and purpose of the By-law and the Official Plan will be maintained.

THAT Application No. **A024/14, STEVE CAROGIOIELLO**, be **APPROVED**^{as amended} in accordance with the sketches attached and subject to the following conditions:

1. That the applicant successfully obtains a revision to their existing Ontario Regulation 166/06 permit (C-130736) from the TRCA to recognize the changes in design of the proposed cabana and retaining walls, if required, to the satisfaction of the Toronto and Region Conservation Authority;
2. The applicant submit the variance application fee of **\$300** payable to the Toronto and Region Conservation Authority, if required, to the satisfaction of the Toronto and Region Conservation Authority

3. That if the condition(s) listed above is/are not fulfilled and the Building Permit is not applied for within twelve (12) months of the date this decision becomes final and binding, the said decision shall expire and shall be deemed to have been annulled and rescinded by the Committee. **(PLEASE NOTE THAT THIS TIME PERIOD CANNOT BE EXTENDED IN ANY WAY, FAILURE TO MEET THIS DEADLINE WILL RESULT IN REQUIRING A NEW APPLICATION AND FEE.)**

VERY IMPORTANT: IT IS THE RESPONSIBILITY OF THE OWNER/APPLICANT AND/OR AGENT TO OBTAIN AND PROVIDE A CLEARANCE LETTER FROM EACH AGENCY AND/OR DEPARTMENT LISTED IN THE CONDITIONS WHETHER "IF REQUIRED" APPEARS IN THE CONDITION OR NOT, AND FORWARD THIS CLEARANCE LETTER TO THE SECRETARY-TREASURER AS SOON AS THE CONDITIONS ARE FULFILLED.


FAILURE TO COMPLY WITH THIS PROCEDURE WILL RESULT IN A LETTER BEING FORWARDED BY THE SECRETARY-TREASURER INDICATING THIS FILE HAS LAPSED AND, THEREFORE, WILL NECESSITATE THAT A NEW APPLICATION BE SUBMITTED TO LEGALIZE THIS PROPERTY.


THIS MINOR VARIANCE DECISION IS NOT A BUILDING PERMIT AUTHORIZING CONSTRUCTION UNDER THE BUILDING CODE ACT, R.S.O. 1990, AS AMENDED. A BUILDING PERMIT MAY BE REQUIRED. PLEASE CONTACT THE BUILDING STANDARDS DEPARTMENT IN THE EVENT THAT YOU REQUIRE FURTHER CLARIFICATION.

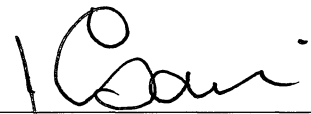
CARRIED.


CHAIR: 

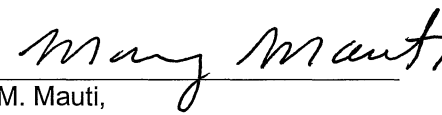
Signed by all members present who concur in this decision:


A. Perrella,
Chair


H. Zheng,
Vice Chair

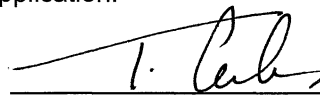

J. Cesario,
Member


L. Fluxgold,
Member


M. Mauti,
Member

CERTIFICATION

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.


Todd Coles, BES, MCIP, RPP
Manager of Development Services
and Secretary-Treasurer to
Committee of Adjustment

Date of Hearing: FEBRUARY 27, 2014

Last Date of Appeal: MARCH 19, 2014

APPEALS

APPEALS MUST BE RECEIVED BY THIS OFFICE NO LATER THAN 4:30 P.M. ON THE LAST DATE OF APPEAL NOTED ABOVE.

Should you decide to appeal this decision to the Ontario Municipal Board, a copy of an appeal form is available for download in Microsoft Word and Adobe Acrobat versions from the Ontario Municipal Board website at www.omb.gov.on.ca. If you do not have Internet access, these forms can be picked up at the City of Vaughan, Committee of Adjustment offices.

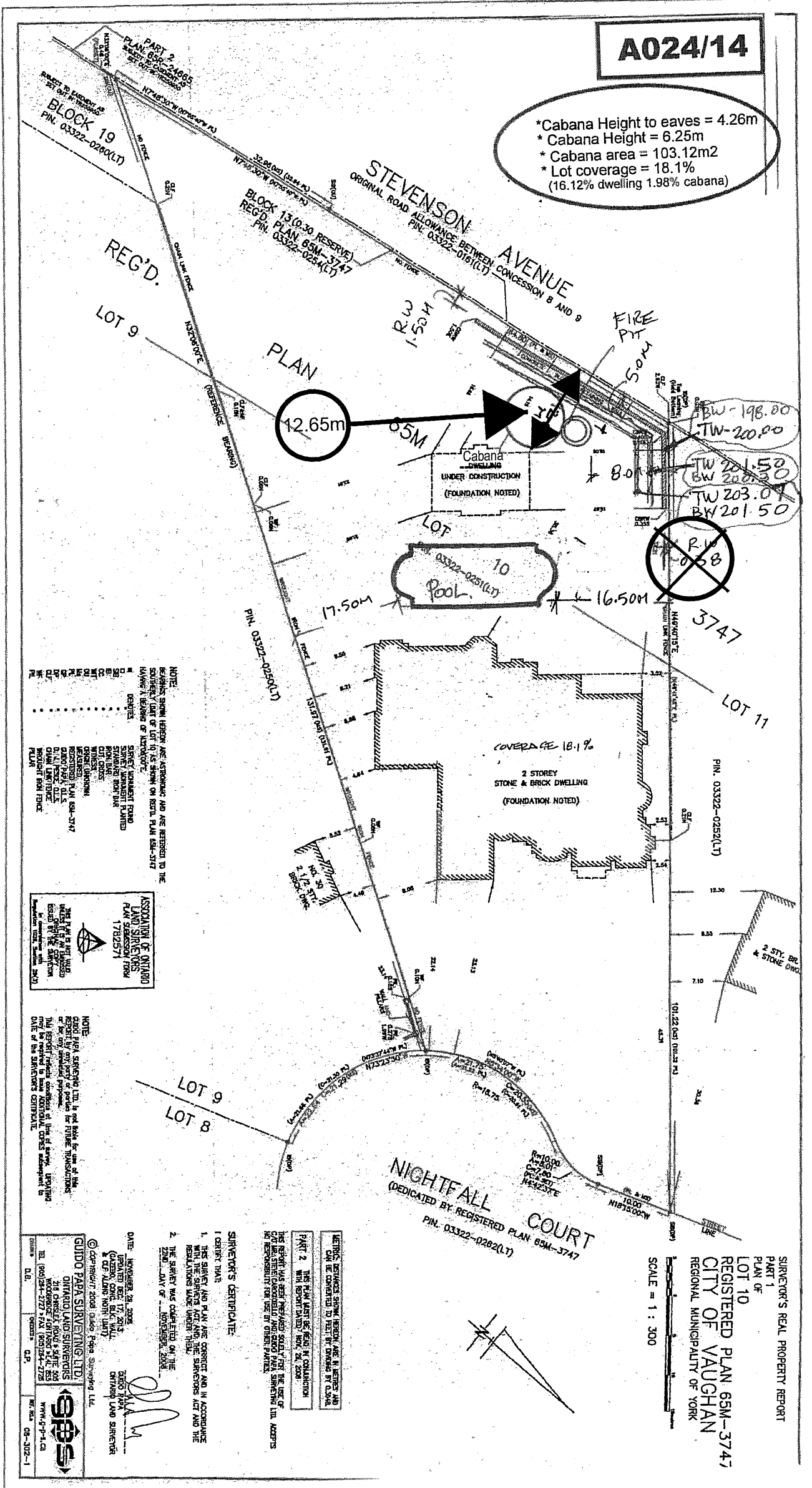
Please fill out Form A1 and follow the instructions as provided by the Ontario Municipal Board and submit your appeal to the City of Vaughan, Committee of Adjustment on or before the date stated above. You must enclose the completed form with the \$650.00 processing fee, paid by **certified cheque** or **money order**, to the "TREASURER, CITY OF VAUGHAN" and the appeal fee of \$125.00 for each application appealed, paid by **certified cheque** or **money order**, made payable to the "ONTARIO MINISTER OF FINANCE".

NOTE: The Planning Act provides for appeals to be filed by "persons". As groups or associations, such as residents or ratepayers groups which do not have incorporated status, may not be considered "persons" for the purposes of the Act, groups wishing to appeal this decision should do so in the name of individual group members, and not in the name of the group.

CONDITIONS

IF ANY CONDITIONS ARE IMPOSED ON THIS APPLICATION, THE FINAL DATE FOR FULFILLING THEM IS:

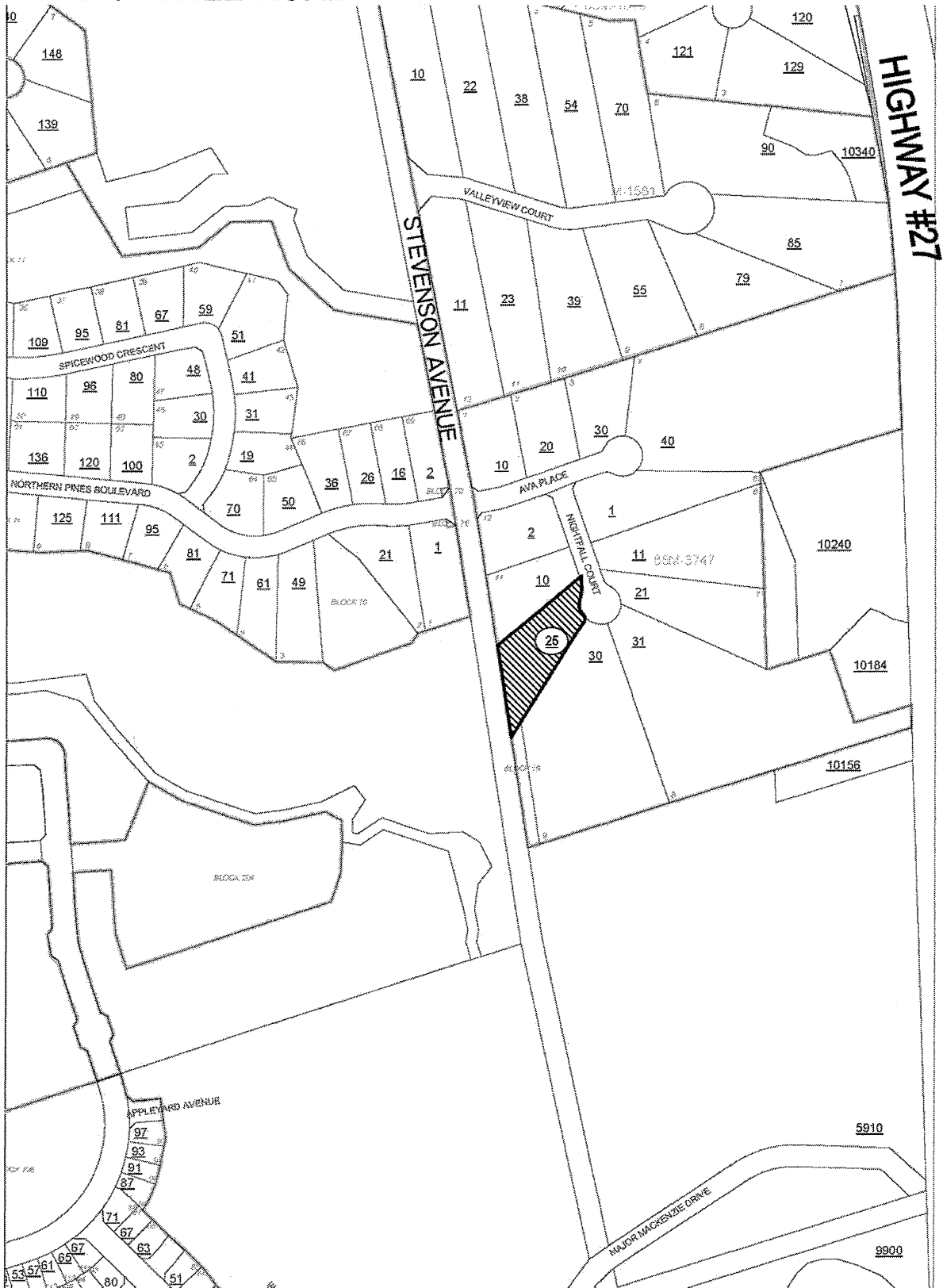
MARCH 19, 2015



ROOF OVERHANGS ARE TO
BE 18" UNLESS NOTED



NASHVILLE ROAD



COMMITTEE OF ADJUSTMENT
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
Phone: (905)832-8585 Fax: (905)832-8535

	FILE NUMBER:	A024/14
	APPLICANT:	STEVE CAROGIOIELLO
		Subject Area Municipally known as 28 NIGHTFALL COURT, WOODBRIDGE