



## Heritage Vaughan Committee Report

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**DATE:** Wednesday, March 25, 2026

**WARD(S):** 5

**TITLE:** 21 SPRING GATE BLVD. – PROPOSED REHABILITATION OF THE JOHN ARNOLD HOUSE

**FROM:**

Vince Musacchio, Deputy City Manager, Planning and Infrastructure Development

**ACTION:** DECISION

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**Purpose**

Seeking a recommendation of approval from Heritage Vaughan Committee to Council for the proposed rehabilitation and repair works at 21 Spring Gate Blvd., the Arnold House, a City owned property designated through By-Law 74-82 under section 29, Part IV of the *Ontario Heritage Act*.

**Report Highlights**

- The Owner (City of Vaughan) is proposing rehabilitation of the Arnold House including repair of over 30% of the brick masonry, window repair & replacement, shutter replacement and the existing front porch among others.
- The proposal is consistent with the relevant policies of the City of Vaughan's Official Plan regarding designated properties and in keeping with the by-law designation. Heritage Vaughan review and Council approval is required under the *Ontario Heritage Act*.
- Staff is recommending approval of the proposed works as it will repair and restore the Arnold House

**Recommendations**

1. That Heritage Vaughan Committee recommends Council approve the proposed renovations at 21 Spring Gate Blvd. under Section 33 of the *Ontario Heritage Act*, subject to the following conditions:

- a) Any significant changes to the proposal may require reconsideration by the Heritage Vaughan Committee, which shall be determined at the discretion of the Director of Development and Parks Planning and Senior Manager of Urban Design and Cultural Heritage;
- b) That Heritage Vaughan Committee recommendations to Council do not constitute specific support for any Development Application under the *Planning Act* or permits currently under review or to be submitted in the future by the Owner as it relates to the subject application;
- c) That the applicant submit Building Permit stage architectural drawings and building material specifications to the satisfaction of the Vaughan Development Planning Department, Urban Design and Cultural Heritage Division.

## **Background**

Arnold House, municipally known as 21 Spring Gate Blvd., was originally built circa 1872 and fronting onto Yonge Street (7460 Yonge St.). During re-development along this section of Yonge Street in the late 1970's, local interest in the house permitted its preservation and it was relocated to its present position on a new foundation in 1981 as shown in Attachment 1 in what is now the northwest corner of Gallanough Park.

Once the property was relocated to its present location, the ownership was transferred over to the then Town of Vaughan in 1981. Designation of the property occurred the following year through By-Law 74-82 as shown in Attachment 2 and through the 1980's several restoration and renovation projects were done to restore and to readapt the house for public programming.

The following elements are identified in the Designation By-Law as significant heritage attributes:

- Large two storey red brick in vernacular Italianate style with cubic proportion
- A simple rectangular addition of one and half storey at the rear
- Façade is classically composed of 3 bays with the Centre door allowing a deep jamb.
- Windows to the north and south and the door are accented with yellow brick segmented voussoirs.
- Large double sash windows on the second storey following the pattern of the three lower apertures.

In addition to the new foundation in 1981, additional elements were either added or replaced in 1980's. Below is summary of some of those exterior works:

- the wood door on the north elevation;
- the right-hand wood double-hung window beneath the porch
- two existing lintel insert brick arches above the basement windows
- original windows were replaced with storm fixed glass windows
- the welded bars secured at head and sill at all basement windows;
- the wood canopy above the basement door located on the south façade;
- the wooden rear deck at porch and the wood treads;
- the wooden mechanical platform and its wooden fence;
- the wooden deck called verandah in front of the main facade (west);
- asphalt roof and the pre-finished aluminum eavestrough;

Some original elements were also lost during this time, with several windows being filled in, as well as one of the sidelights at the south elevation door and a chimney removed. A full list of the alterations of the property may be reviewed in the attached Cultural Heritage Impact Assessment as shown in Attachment 3. The interior has also been altered for public use and art programs but is not being reviewed as part of the scope of this report.

### **Previous Reports/Authority**

NA

### **Analysis and Options**

The proposed works fall into two broad categories, the restoration and repair of the existing original with sympathetic materials and the removal of the existing verandah and platform with a new more accessible construction.

Restoration and Repair:

The proposed work includes the following actions for the repair and restoration of the following:

Brickwork:

- Re-point cracks or large joints in brick mortar;
- Remove efflorescence from brick surfaces, clean, and make good;
- Remove damaged brick and replace with a heritage brick to match existing;

Repair and repaint all wood surfaces (frames, sills, soffits, friezes, fascias, cornices, sashes, muntins, shutters and structure);

## Window Rehabilitation

- Off Site: Remove existing glazed sash assemblies from frames, temporarily board-up openings, strip existing glazing compound and replace all with new, clean glass, restore all wood components, and make good;
- On Site: Restore frames and sill, install restored sashes, replace all sealant, and make good;

## Other repair and restoration work:

- Replace existing shutter assembly;
- Replace all eavestroughs and downspouts with galvanized steel with paint finish;
- Parge exposed concrete block foundation, repair and repaint existing foundation wall;
- Where wiring is redundant and where required, remove ferrous metal anchors from masonry and patch with mortar;
- Repair soffit and trim to prevent animal infiltration;
- Patch, repair and make good damaged segments of wood cornice and soffit;
- Replace and seal mechanical penetrations with mortar;

## Proposed works with the Barrier Free door and other elements include:

### Barrier-Free Door(s)

- Sidelights and Transom Assembly: Remove existing door and relocate existing wood jambs to accommodate a new 965 mm wide solid wood door - details and hardware to match existing Replace sidelight glass with new and provide auto swing door opener with electric strike and barrier-free wave operators inside and out;
- Barrier-Free Door with Transom: Remove existing door, transom, and frame assembly. Saw cut existing opening in wall to accommodate a wider new door, frame and transom assembly (similar to existing) complete with a 965 mm wide door - details & hardware to match existing. Provide a new steel lintel, auto swing door opener with electric strike, and barrier-free wave operators inside and out;
- Barrier-Free Basement Door Assembly: Remove existing door and frame. Widen existing door opening by saw cutting foundation to accommodate a new 965 mm wide insulated metal door complete with frame - details and hardware to match existing. Provide a new steel lintel, auto swing door opener with electric strike, and barrier-free wave operators inside and out;
- Remove deteriorated wood fence and gate assembly and replace with new;
- Remove modern wood deck/platform called “verandah” on the west elevation and replace with a new exterior accessible ramp.

A full description of the proposed works is discussed in the Cultural Heritage Impact Assessment in Attachment 3 and the Architectural Drawings shown in Attachment 4.

Vaughan Official Plan 2010

The proposed alterations to properties designated under Part IV of the *Ontario Heritage Act* are subject to the policies of the Vaughan 2010 Official Plan (VOP 2010) with the objective to minimize and/or eliminate negative impacts to the identified heritage attributes, as a result of the proposed alterations. Heritage attributes were identified in the Cultural Heritage Impact Assessment per Attachment 3, in keeping with the reasons for designation included in By-Law 74-82.

Section 6.2.2.6 outlines the following:

“That, in reviewing heritage permit applications, the City be guided by the following: heritage conservation principles:

- a. good heritage conservation practices.
- b. protecting heritage buildings, Cultural heritage landscapes and archaeological sites including their environs from any adverse impacts of the proposed alterations, additions, works or development;
- c. retaining and repairing original building fabric and architectural features;
- d. new additions and features should generally be no higher than the existing building and wherever possible be placed to the rear of the building or set back substantially from the principal façade so as to make the addition unobtrusive from the pedestrian realm”.

Standards and Guidelines for the Conservation of Historic Places in Canada.

	Recommended	Not Recommended
<b>ACCESSIBILITY CONSIDERATIONS</b>		
<b>18</b>	<b>Finding</b> solutions to meet accessibility requirements that are compatible with the exterior form of the historic building. For example, introducing a gently sloped walkway instead of a constructed ramp with handrails in front of an historic building.	Radically altering the building’s exterior form to comply with accessibility requirements.  Relocating primary entrances when undertaking interventions to accommodate accessibility-related features.
<b>19</b>	<b>Working</b> with accessibility and conservation specialists and users to determine the most appropriate solution to accessibility issues with the least impact on the character-defining elements and overall heritage value of the historic building.	Altering character-defining elements, without consulting the appropriate specialists and users.

## GENERAL GUIDELINES FOR PRESERVATION, REHABILITATION AND RESTORATION

	Recommended	Not Recommended
1	<b>Understanding</b> the exterior form and how it contributes to the heritage value of the historic building.	
2	<b>Understanding</b> the design principles used by the original designer or builder, and any changes made to the exterior form over time.	
3	<b>Documenting</b> the building's exterior form before undertaking an intervention, including the form and massing, and viewscales, sunlight and natural ventilation patterns.	Undertaking an intervention that affects the building's exterior form without first documenting building, site and setting relationships.
4	<b>Assessing</b> the condition of the building's exterior form early in the planning process so that the scope of work is based on current conditions.	
5	<b>Protecting</b> and maintaining elements of the building's exterior form through cyclical or seasonal maintenance work.	
6	<b>Retaining</b> the exterior form by maintaining proportions, colour and massing, and the spatial relationships with adjacent buildings.	
7	<b>Stabilizing</b> deteriorated elements of the exterior form by using structural reinforcement and weather protection, or correcting unsafe conditions, as required, until repair work is undertaken.	Removing deteriorated elements that could be stabilized or repaired.
8	<b>Protecting</b> adjacent character-defining elements from accidental damage or exposure to damaging materials during maintenance or repair work.	
9	<b>Documenting</b> all interventions that affect the exterior form, and ensuring that the documentation is available to those responsible for future interventions.	

The proposed alterations, which include localized repairs, introducing a new accessible ramp and doors and screening the mechanical elements are proposed in a way that would minimize negative impact on the building and are in keeping with good conservation practices outlined in Standards and Guidelines for the Conservation of Historic Places in Canada.

### **Financial Impact**

There are no requirements for new funding associated with this report.

## **Broader Regional Impacts/Considerations**

There are no broader Regional impacts or considerations.

## **Conclusion**

The Urban Design and Cultural Heritage Division of the Development and Parks Planning Department is satisfied with the proposed work which conforms to the policies of the City of Vaughan Official Plan and conserves the identified heritage properties of the properties. Accordingly, staff can support the proposed renovation of 21 Spring Gate Blvd. under Section 33 of the Ontario Heritage Act.

**For more information**, please contact: Katrina Guy, Heritage Specialist, ext. 8115.

## **Attachments**

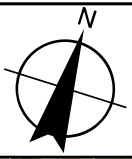
1. Location Map
2. Designation By-law
3. Cultural Heritage Impact Assessment
4. Architectural Drawings

## **Prepared by**

Katrina Guy, Heritage Specialist, ext.8115

Shahrzad Davoudi-Strike, Senior Manager of Urban Design and Cultural Heritage, ext. 8653

Nancy Tuckett, Director of Development and Parks Planning, ext. 8529



### Context Map

CENTRE ST.

YONGE ST.

Subject Lands

21 Spring Gate Boulevard

SPRING GATE BOULEVARD

Gallanough Building

Gallanough Park

TANJO COURT



SPRINGFIELD WAY

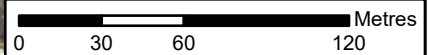
BROWNSTONE CIRCLE

BROWNSTONE CIRCLE

CLARK AVENUE WEST

YONGE STREET

-  Subject Lands
-  Heritage District



### Location Map

**Location:**  
 21 Spring Gate Boulevard  
 Block 121, Plan M-2005  
 Part of Lot 29, Concession 1



### Attachment

Date:  
 March 25, 2026

1

A By-law to designate the building situated on the lands known municipally as 15 Spring Gate Boulevard, Thornhill, as being of architectural value or interest.

WHEREAS Section 29 of the Ontario Heritage Act, R.S.O. 1980, authorizes the Council of a municipality to enact by-laws to designate real property, including all buildings and structures thereon, to be of architectural or historical value or interest; and,

WHEREAS the Council of The Corporation of the Town of Vaughan has caused to be served on the owners of the lands and premises known as the "John Arnold House" formerly at 7460 Yonge Street, Thornhill, and upon the Ontario Heritage Foundation, notice of intention to so designate the aforesaid real property and has caused such notice of intention to be published in the same newspaper having general circulation in the municipality once for each of three consecutive weeks; and,

WHEREAS no notice of objection to the proposed designation has been served on the Clerk of the Municipality;

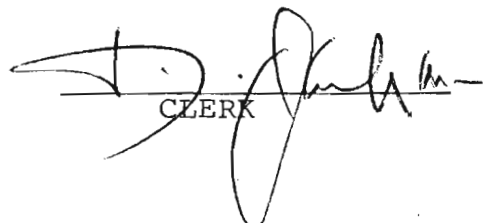
THEREFORE The Corporation of the Town of Vaughan ENACTS AS FOLLOWS:

1. There is designated as being of architectural value or interest the real property known as the "John Arnold House" formerly at 7460 Yonge Street and now located on Block 121, Registered Plan M-2005, Thornhill.
2. The Town Solicitor is hereby authorized to cause a copy of this By-law to be registered against the said property in the proper Land Registry Office.

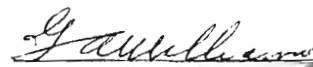
this By-law to be served on the owner of the aforesaid property and on the Ontario Heritage Foundation and to cause notice of the passing of this By-law to be published in the same newspaper having general circulation in the municipality once for each of three consecutive weeks.


READ a FIRST and SECOND time this 5th day of April, 1982.


  
MAYOR

  
CLERK

READ a THIRD time and finally passed, this 5th day of April, 1982.

  
MAYOR

  
CLERK



CORPORATION OF THE TOWN OF VAUGHAN

JOHN R. ARNOLD  
 A. C. ... its in and  
 for the ... Region, for  
 for work in ... Cooperation  
 only. ... Commission

## REASON FOR DESIGNATION

This house is built in a classical tradition. It is classical in that it is well proportioned and with good details in the wood and brickwork. It is one of the houses built by the Arnold family who were old and prominent citizens of Thornhill. The previous 2 storey frame house that is mentioned in the census records has since been burnt or taken down. This house was built by Robert Arnold's son after his death. It completes the group of five buildings in this area of Yonge Street which make up an important grouping in terms of the architecture and history of the area.

## CONDITION

This building is in good structural condition, though repairs are needed on the chimneys. Renovation could be carried out at any time on the front porch, in favour of a more sympathetic structure.

## HISTORICAL SIGNIFICANCE

Robert J. Arnold was deeded lot 29, Concession 1 in Vaughan from John Arnold, his Father in 1848. His Father had bought the land from James Miles, a relative of his wives'

The 1851 census shows that Robert was still living with his parents in their two storey frame house. In 1862 Robert and his wife took out a mortgage for \$ 1,000 which was discharged in 1869. It was probably at this time that the house was erected, which seems to relate to the one and a half storey frame house.

In 1871 Robert left to his daughter Bertha, the north half of his property and the south to Robert C. In 1872, John R. Arnold took out a mortgage for \$ 1,600. It may have been at this date that the building was started. The 1851 and 1861 census shows that the family lived in a two storey frame house. This may have been torn down or burnt and the present house built.

## ARCHITECTURAL DESCRIPTION

This large two storey red brick house is designed in a vernacular Italianate style. This is seen in the cubic proportions. A simple rectangular addition of one and a half storey lies at the rear (west) The house is set on a plinth with fieldstone foundations. The house fronts east onto Yonge Street. This facade is classically composed of 3 bays with the centre door allowing for a deep jamb. The original lights from the sides and transom are gone, but the basic frame is intact. The windows to the north and south and the door are accented with yellow brick segmented voussoirs. These are large double sash windows on the second storey. The three windows follow the pattern of the three lower apertures. The veranda on this front is certainly not the original nor does it attempt to sympathize with the style of the house. If a veranda was intended in the original design it would have been built with more delicate forms and included some reference to the classical vocabulary of architectural members.

LARKIN ARCHITECT LIMITED

**JOHN ARNOLD HOUSE,  
21 SPRING GATE BOULEVARD, THORNHILL  
CULTURAL HERITAGE IMPACT ASSESSMENT**



View of subject property while heading north on Spring Gate Boulevard  
Google Streetview December 2020

**JANUARY 2025 - Rev1**

Prepared by:  
Roberto Chiotti, OAA, FRAIC, LEED AP, APT, CAHP  
Founding Principal, Larkin Architect Limited



Larkin Architect Limited  
43 Davies Avenue, 2nd Floor  
Toronto, Ontario M4M 2A9

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# 1.0 INTRODUCTION & SUMMARY

## 1.1 General

The City of Vaughan, owner of the property, proposes exterior envelope rehabilitation and the addition of a new exterior ramp and entrance door to improve barrier-free accessibility for the built heritage John R. Arnold House, 21 Spring Gate Blvd., Thornhill, ON.

Our firm was engaged as heritage consultant by Baron Nelson Architects Inc. to prepare a Cultural Heritage Impact Assessment (CHIA) report and provide certain other services related to proposed work defined in the City's Request for Proposal. The scope of work, as refined by the recommendations in this report, is intended to include no significant negative impact on the heritage resources and character-defining elements. The recommended subject building primary conservation treatment is rehabilitation, as defined by the *Standards and Guidelines for the Conservation of Historic Places in Canada*, and is assumed to be consistent with intentions of previous work carried out to support the current/ongoing use of the building and property, while conserving historic fabric and visible character-defining elements.

## 1.2 Purpose of report – amended CHIA scope

The purpose of this Cultural Heritage Impact Assessment (CHIA) report is to (1) identify & (2) evaluate heritage resources on the subject building and (3) assess the impacts on these cultural heritage attributes that may result from the proposed alterations to the subject building. The recommended alterations are limited to exterior envelope repairs to the heritage house and related exterior access. No impact on landscape or archaeological potential is anticipated by design.

Given the proposed focus on repair work, the related CHIA, as defined in the City's *Guidelines For Preparing A Cultural Heritage Impact Assessment*, may be 'scoped' or limited to the detail design, execution, quality assurance, and quality control, related to conserving the heritage resources during and after the proposed work. As they are the subject of any conservation treatment, these heritage resources and character-defining elements are intended to be identified through evaluation and preparation, or refinement, of a statement of heritage value or interest.

Part 9 confirms the property's cultural heritage value and interest designated under Part IV of the Ontario Heritage Act.

## 1.3. Proposed work

The proposed scope of work focuses on the conservation of the building's exterior and sensitively integrating accessibility upgrades. Key interventions include:

- **Masonry and Foundation Repair:** Re-pointing deteriorated mortar joints, replacing damaged bricks with matching heritage bricks, cleaning efflorescence, and parging the exposed concrete block foundation.
- **Wood Element Restoration:** Repairing and repainting all exterior wood surfaces, including soffits, fascias, frames, and sills.
- **Window Rehabilitation:** A key conservation measure is the rehabilitation, rather than replacement, of the historic wood windows. This involves removing existing sashes for off-site restoration and restoring the wood frames on-site, preserving original material and design.
- **Accessibility Upgrades:** To improve barrier-free access, three exterior door openings will be widened to accommodate new, wider doors with automatic openers. On the main (west) elevation, a modern wood deck will be removed and replaced with a new accessible ramp.
- **Other Repairs:** Replacement of non-original elements like eavestroughs, downspouts, and shutters with new components that respect the building's heritage character.

The conservation approach for this project is rehabilitation, as defined by the *Standards and Guidelines for the Conservation of Historic Places in Canada*. The work prioritizes the repair of character-defining elements and ensures that any replacements are physically and visually compatible with the building's heritage character. The proposed alterations have been designed to have no significant negative impact on the cultural heritage value and character-defining elements of the John R. Arnold House.

## 2.0 STATEMENT OF QUALIFICATIONS, PROFESSIONAL OPINION, REPORT LIMITATIONS

### 2.1 Author of the report

The heritage architect, Roberto Chiotti, OAA, FRAIC, CAHP, APT, founding principal of Larkin Architect Limited is the author of this report.

LAL is an award-winning, full service architectural practice with a broad portfolio encompassing project planning, heritage restorations, renovations, additions, and the design of new buildings. Roberto has completed dozens of projects at listed and designated properties, especially in the religious sector. He brings 25 years of experience working with historic buildings to protect and preserve their built legacy, while adapting them to contemporary needs and uses.

As a member of the Canadian Association of Heritage Professionals, and Association of Preservation Technologists, Roberto has extensive experience with the assessment, and preservation of heritage buildings. He works to find solutions that protect the character defining features, ensure building safety, comfort, functionality, and sustainability. Significant recent projects include Basilica Church of our Lady Immaculate, a restoration of the national historic site's neo-gothic church, and the adjacent seminary; the adaptation of the old St. Andrew's Church in Toronto for Grace Toronto Church; Our Lady of Sorrows, the restoration and addition to a historic church, and Regis College, the restoration and addition to the old Christie Mansion to create new classroom space for a theological college. Roberto is currently the lead heritage and design consultant for the rebuilding of St Anne's Anglican Church, a national historic site severely damaged by fire in June 2024.

This report represents the observations and professional opinion of the author, Larkin Architect Limited, based on the information and site access available to the author at the time of preparation, and within the limitations of the scope of our engagement.

This report is prepared exclusively for the use of Client/Owner for the stated purpose and considered in its entirety. The author denies any liability to other parties for any injury, loss, or damages suffered by such parties arising from their use of, or reliance upon, the contents of this report without the express written consent of the author and the Client/Owner.

## 3.0 APPLICANT AND OWNER CONTACT INFORMATION

The Corporation of the City of Vaughan, contact:

John-Paul Zentena                      john-paul.zentena@vaughan.ca

# 4.0 DESCRIPTION OF THE SUBJECT PROPERTY

## 4.1. Legal Description of property

Block 121, Registered Plan M-2005,  
Municipal address is Thornhill, 21 Spring Gate Blvd, ON  
PIN 03253-0067

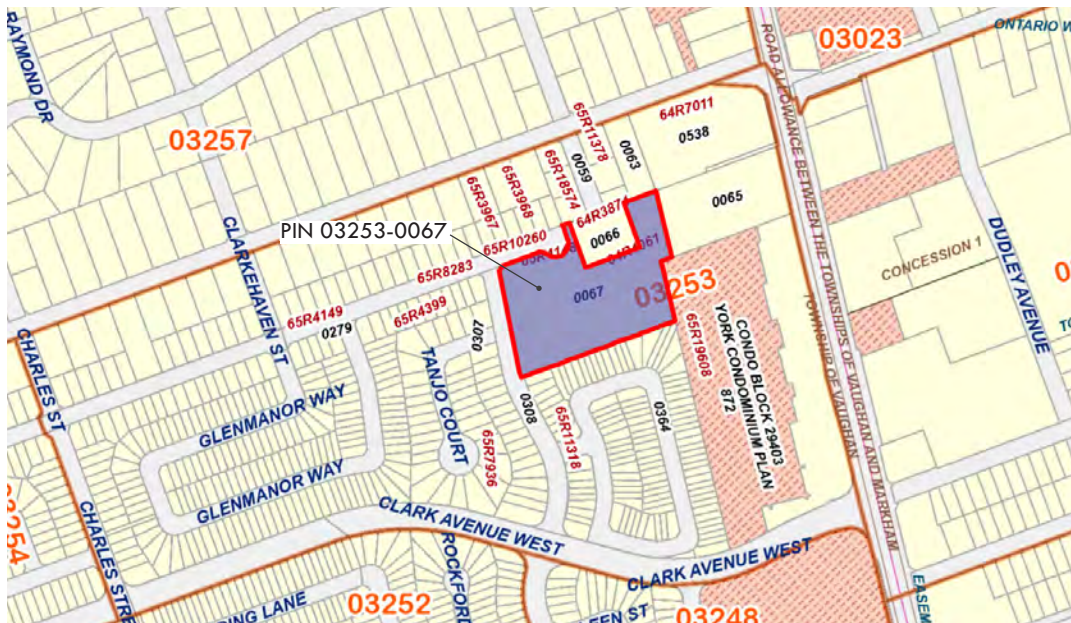
## 4.2. Ownership & Heritage Status

The property at 21 Spring Gate Blvd, Thornhill, ON, forms part of Gallanough Park and is owned by The Corporation of the City of Vaughan. The building area is approximately 135m<sup>2</sup> and the property area is 21,810m<sup>2</sup>.

The building is designated since April 5, 1982, under By-law number 74-82 as being of architectural value or interest under Part IV of the Ontario Heritage Act, R.S.O, 1980, Chapter 337, in reason of “its architectural and historical grounds. The house is built on a classical tradition (Georgian) in that it is well proportioned and exhibits good details in the wood and brickwork. It was built by John R. Arnold, son of Robert Arnold, whose family were old and prominent citizens of Thornhill. The house was built after Robert Arnold’s death. It completes the group of five buildings in this area of Yonge Street which make up an important grouping in terms of the architecture and history of the area.” (By-Law Number 74-82)

It is important to remind that for the purpose of this present CHIA report that the designation makes reference to its original location along Yonge Street, as completing a group of five buildings. Since the building was relocated in 1981, this reference to its original context is not longer relevant, but all the reasons for its designation are still applicable.

## 4.3. Location, PIN, Context and Current Use



Context Map showing property location



Google Satellite view of the house and related park

# 5.0 SELECTIVE COLONIAL SETTLEMENT & DEVELOPMENT HISTORY OF SUBJECT PROPERTY

## 5.1. Chain of Title Summary

### Early History: From Crown Grant to the Arnold Family

- December 14, 1798: The history begins with a Crown Patent (P.) granting the entire 210-acre lot to Asa Johnson;
- May 13, 1799: The property is transferred from Asa Johnson and his wife to Abner Miles for £312.10;
- January 20, 1832: James Miles (a relative to John Arnold's wife) sold all the 210 acres to John Arnold, a United Empire Loyalist who left New Jersey after the American Revolution, and settled first in New Brunswick before settling to Thornhill;
- January 28, 1848: John Arnold sold all the 210 acres to his son, Robert Joseph Arnold for £1,500;
- November 7, 1871: Robert J. Arnold's son, Robert C. Arnold inherited the south half of the property, and Bertha Arnold, his sister, the north half of the property;
- January 9, 1899, Jemima G. Arnold became the Grantor of the south half of the property from Robert C. Arnold.

### 20th Century Transfers

- March 31, 1909: Jemima G. Arnold sold the south half of the lot to John W. Breakey for \$1000, subject to a mortgage. This marks the beginning of the Breakey family's involvement with the property, as John W. Breakey occupied the house until 1934;
- In 1940, John F. Hauseman was registered as Grantor of the north half of the property and George J. Spring, as Grantor of the south half of the property, from William J. Breakey;
- September 21, 1943: Wesley Thomson grants the North half of the property to J. Charles Smith for \$11,000.

### The Development Era

The mid-20th century saw the land transition from individual owners to corporate developers.

- April 23, 1946: J. Charles Smith and his wife sold two parts of the lot to Thornhill Estates Ltd.
- March 26, 1956: George J. Spring and his wife Muriel sold the south half to a consortium of development companies who were in partnership as Spring Valley Development Co..
- April 2, 1962: El-Jo Enterprises Ltd. (one of the partner companies) granted the south half to Shields-Snow Developments Ltd..
- April 25, 1963: Shields-Snow Developments Ltd. and the other partner companies grant a portion of the land, specifically, the part located west of Yonge St, to Rexdale Investments Ltd..

### The End of the Abstract Record

The final entries on the abstract sheets consist mainly of mortgages and other financial instruments involving Rexdale Investments Limited in the late 1960s and early 1970s.

- October 17, 1974: The very last entry notes the registration of Plan 9834. It states: "No further entries will be made on this abstract index. See pages opened for lots on Registries Compiled Plan 9834".

From this note, we understand that Lot 29 was formally subdivided into many smaller lots under Plan 9834. From this date forward, the history of each new, smaller lot would be tracked on its own separate title record, and this master abstract for the original Lot 29 was closed.

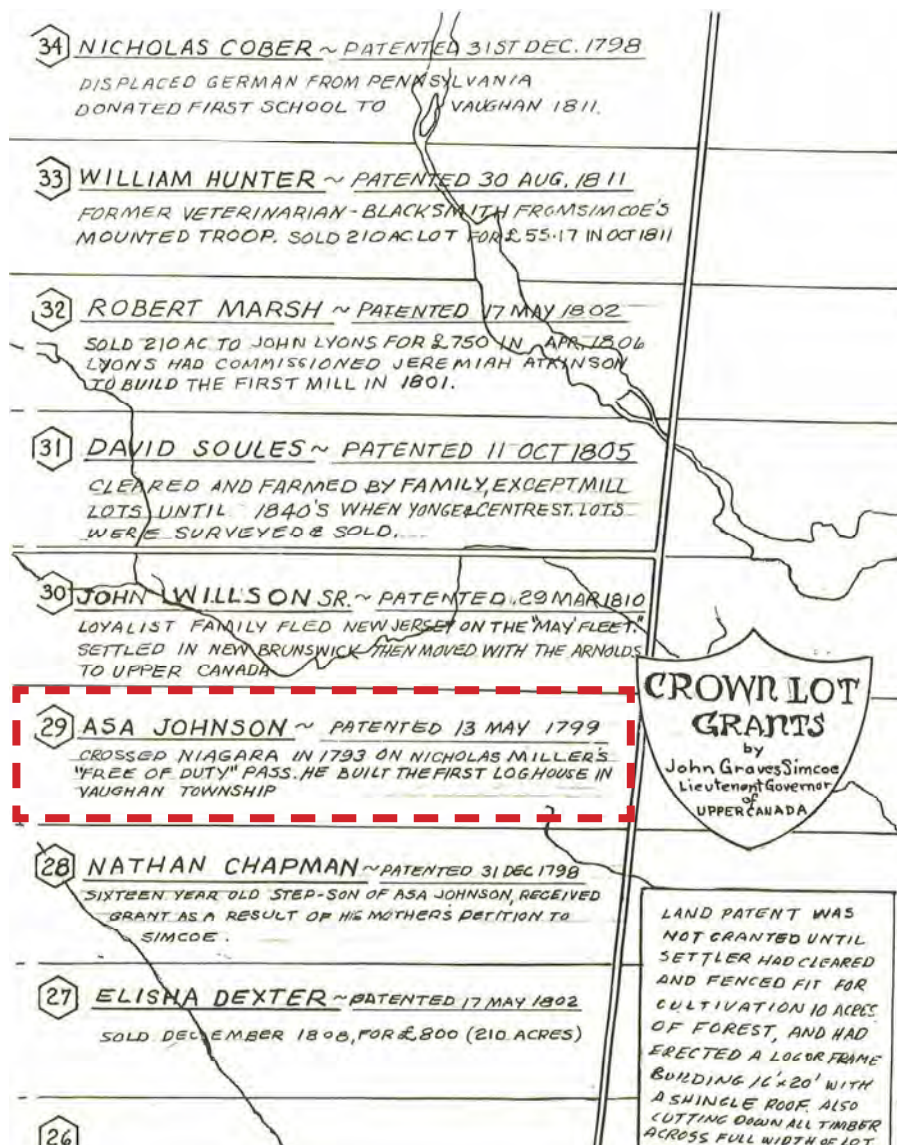
## Property transfer towards the Township of Vaughan

While, our research failed to determine the exact date of the property transfer towards the Township of Vaughan, Runnymede Development Corporation Limited and the Township of Vaughan entered into a subdivision agreement dated the 21st day of November, 1980 and subsequent revisions dated the 15th December 1980, 16th February 1981, 12th September 1983 and 2nd February 1987. This agreement ruled that:

1. "Runnymede shall, [...] be responsible for the preservation of 7460 to the Town (of Vaughan) and relocating it (by removal and placement on a new fully excavated basement foundation) at its own cost to a location to be designated by the Town adjacent to the Gallanough Library, [...]"
2. Runnymede shall transfer the ownership of and relocate 7460 within 45 working days, [...], but not in any case later than September 30, 1981."

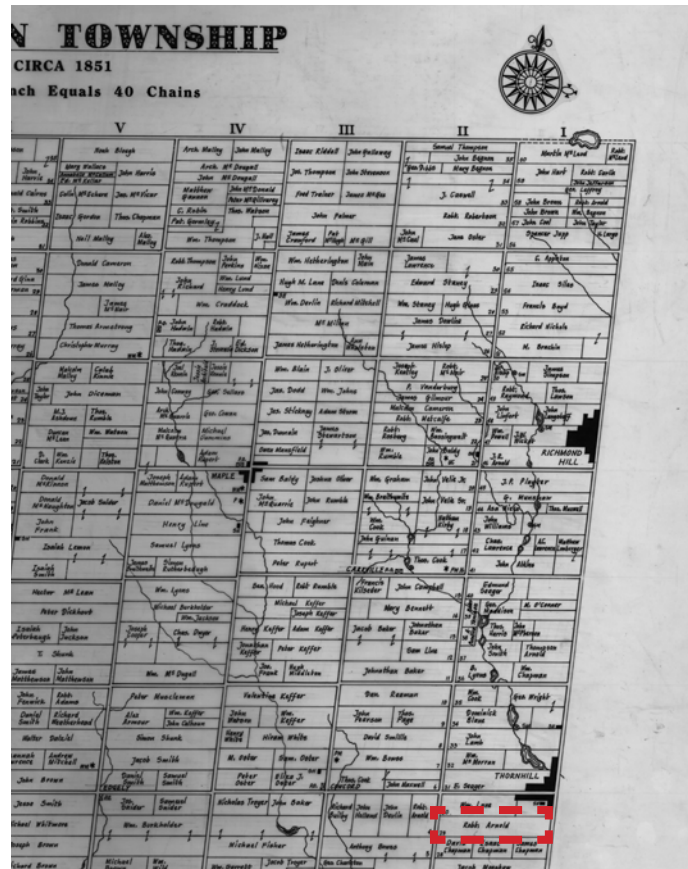
In 1981, the house was moved to Spring Gate Boulevard, on the west corner of Gallanough Park and is known since then as the Arnold Centre for the Arts.

## 5.2 Map of Crown Lot Grants, Circa 1810's



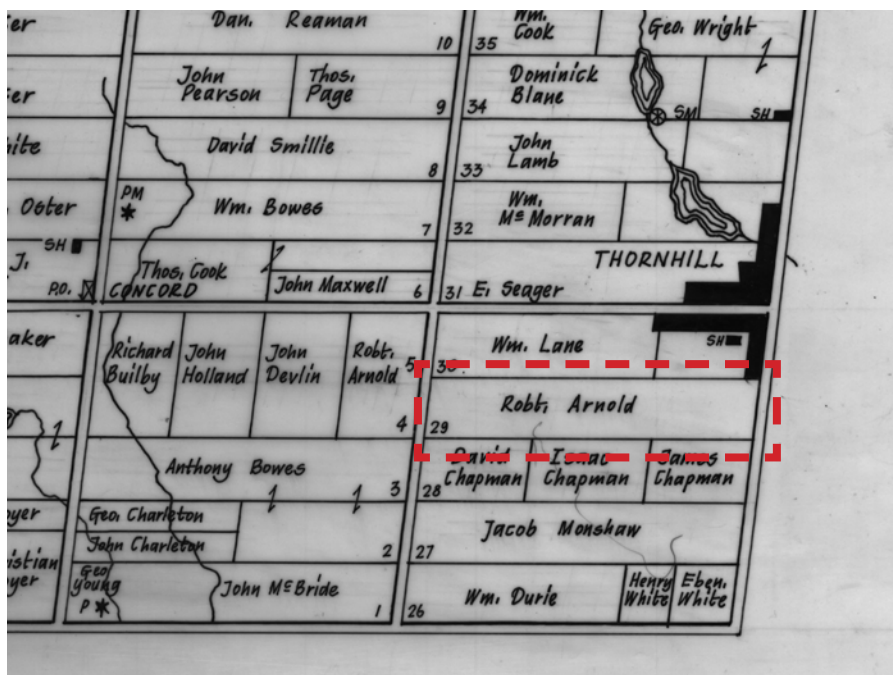
5.3

Vaughan Township Map circa 1850's



5.4

Detail of Vaughan Township Map circa 1850's with Subject Property Identified





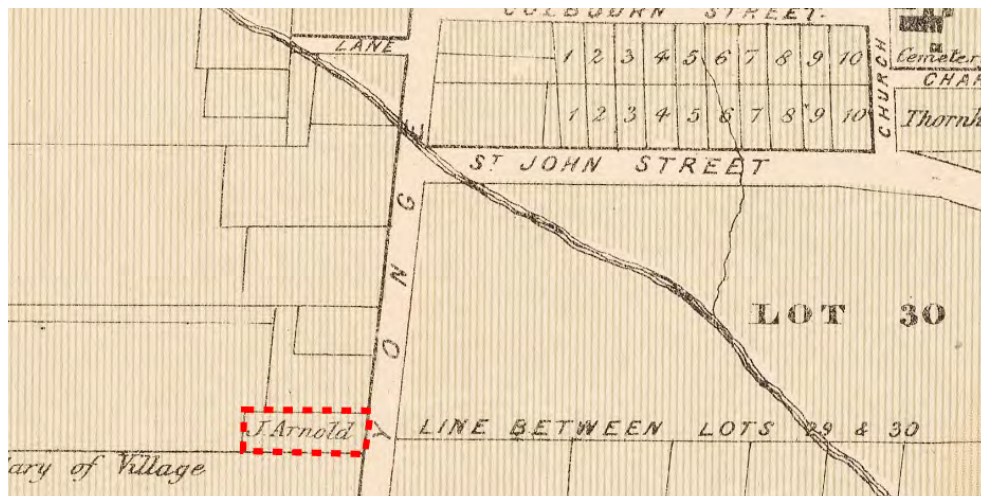
5.7

Atlas Map of 1878 with Subject Property Identified



5.8

Detail of Atlas Map with Subject Property Identified



SHEET NO. 1 LOT 29 CONCESSION 1 SHEET NO. 1

NO. OF INSTRUMENT	INSTRUMENT	IT'S DATE	DATE OF REGISTRY	GRANTOR	GRANTEE	CONSIDERATION	QUANTITY OF LAND - REMARKS
	F.	11 Dec. 1794		CROWN	John Johnson		1/2 210 ac.
53	S. & S.	27 Dec. 1798	13 May 1799	Ann Johnson et ux.	Amos Miles	\$315.10.0	1/2 210 ac.
10890	S. & S.	30 Jan. 1838	3 Jul. 1838	James Miles	John Arnold	5/-	1/2 210 ac.
30992	S. & S.	28 Jan. 1849	3 Mar. 1849	John Arnold	Robert Joseph Arnold	\$1300.	1/2 210 ac.
83826	M.	10 Feb. 1862	10 Feb. 1862	Robert I. Arnold et ux	Jacob Munshaw	\$1000.00	N. 1/2 100 ac. 391
96453	M.	1 Nov. 1863	30 Nov. 1863	Robert I. Arnold et ux	John Morgan	\$600.00	S.W. 1/4 50 ac. 390
390	D.M.	19 Nov. 1869	22 Nov. 1869	John Margah	Robert J. Arnold	\$600.	S.W. 1/4 52 ac.
391	D.M.	19 Nov. 1869	22 Nov. 1869	William Munshaw	Robert J. Arnold	\$1000.	N. 1/2 100 ac.
392	M.	19 Nov. 1869	22 Nov. 1869	Robert J. Arnold et ux	William Munshaw	\$1600.	S. 1/2 100 ac.
393	A.M.	19 Nov. 1869	22 Nov. 1869	William Munshaw	Synod of Diocese of Toronto	\$1600.	N. 1/2 100 ac.
1190	Will.	7 Nov. 1871	1 Nov. 1871	Robert J. Arnold	Robert C. Arnold & Bertha Arnold		S. 1/2 100 a. N. 1/2
1192	M.	15 Oct. 1872	7 Nov. 1872	John R. Arnold et al Exrs.	George Burnett	\$1600.	S. 1/2 100 ac.
1279	D.M.	3 Oct. 1885	29 Dec. 1885	Incorporated Synod Diocese of Toronto	John Arnold	\$1600.	N. 1/2 100 ac. 392
1280	G.	3 Nov. 1885	29 Dec. 1885	John R. Arnold	Bertha Arnold	\$1.	N. 1/2 100 ac.
1281	M.	29 Dec. 1885	29 Dec. 1885	Bertha Arnold	William S. Forster	\$1000.	N. 1/2 100 ac.
1563	M.	31 Mar. 1887	31 Mar. 1887	Bertha Arnold et al	William H. Bennett	\$600.	N. 1/2 100 ac. S.M.
1834	Appt. of Trustee	1 June 1888	29 Aug. 1888	W.H.L. Gordon et al	Alexander Sampson	\$-----	S. 1/2
5254	D.M.	17 June 1890	17 June 1890	William H. Bennett et al	Bertha Arnold et al	\$600.	N. 1/2 100 ac. 4563
5258	G.	10 May 1890	7 July 1890	John Arnold	Robert C. Arnold	\$100.	S. 1/2 100 ac.
5318	A.M.	1 May 1881	17 Jan. 1881	George Bennett	William H.L. Gordon Etal.	\$1600.	S. 1/2 100 ac.
5493	Deed of Trust	27 Aug. 1890	6 Feb. 1892	Bertha Arnold	Robert C. Davison & Annie C. Davison Trustees	\$1.00	N. 1/2 100 ac.
5494	Appt. of Trustee	8 Oct. 1890	6 Feb. 1892	Bertha Turquand Robert C. Davison Annie C. Davison & B. Deane Turquand	Robert C. Davison Victor Chisholm & William Cook Trustees	\$-----	N. 1/2 100 ac.

SHEET NO. 1 LOT 29 CONCESSION 1 SHEET NO. 1

NO. OF INSTRUMENT	INSTRUMENT	IT'S DATE	DATE OF REGISTRY	GRANTOR	GRANTEE	CONSIDERATION	QUANTITY OF LAND - REMARKS
5802	D.M.	23 Feb. 1891	22 Nov. 1893	William H.L. Gordon & Alexander Sampson Trustees	Robert C. Arnold	\$1600.	Part. 1192
5803	M.	20 Nov. 1892	22 Nov. 1893	Robert C. Arnold	Hannah Sprouts	\$400.	S. 1/2 100 ac. Oct. 9-1929 MK
5937	M.	10 July 1891	16 July 1891	Robert C. Arnold	Peter S. Gibson	\$2100.	S. 1/2 100 ac. Reg. in full Oct. 9 1929 MK
5947	M.	20 Sept. 1891	21 Sept. 1891	Robert C. Arnold	Peter S. Gibson	\$500.	S. 1/2 100 ac. Reg. in full Oct. 9 1929 MK
6031	D.M.	13 Nov. 1890	29 Dec. 1891	William S. Forster	Bertha Arnold	\$1000.	N. 1/2 100 ac. 4281
6032	M.	27 Dec. 1891	29 Dec. 1891	Robert C. Davison Victor Chisholm & William Cook Trustees	William P. Munro & Hawberry B. Munro Exrs.	\$1500.	N. 1/2 100 ac. Reg. in full July 22 1930 J.W.
6446	M.	1 Mar. 1897	5 Mar. 1897	William P. Munro Hawberry B. Munro Exrs. of Timothy Munro	William Hart John Hart & William Cook Exrs. of John Hart	\$1515.	N. 1/2 July 22 '30 J.W.
6745	Grant	9 Jan 1899	14 Jan 1899	Robert C. Arnold	Jemima G. Arnold	\$1.	S. 1/2 100 acres Subj to Mrg
7302	Trust Deed	18 Apr 1902	2 June 1902	Bertha Turquand	Robert C. Davison Victor Chisholm & William Cook	\$-----	N. 1/2
8215	Lease	22 May 1906	26 Feb 1907	David G. Gooderham	James Sherlock.	\$5.4c	All
8742	Grant	31 Mar 1909	31 Mar 1909	Jemima G. Arnold by Atty M. H. Ludwig	John V. Brokley	\$400. & Mrg	S. 1/2 Subj to Mrg
Plan	2132	27 Nov 1917	3 Apr 1919	R.C. Davison William Cook & Victor Chisholm			Speight & Van Nostrand O.L.S. Pt. N. 1/2
12549	Lease 10 yrs	22 Feb 1921	2 May 1921	Robert C. Davison, William Cook & Victor Chisholm Trustee Bertha McAllum	John A. Davison	\$50. per year	W 10 ac. of N. 1/2

SHEET NO. 2 LOT 29 CONCESSION 1 SHEET NO. 2

REGISTRATION NO.	INSTRUMENT	DATE OF INSTRUMENT	REGISTRATION DATE	GRANTOR	GRANTEE	CONSIDERATION ETC.	LAND AND REMARKS
13163	Mort. H.	1 Dec 1922	22 Dec 1922	John H. Breakey & Helen S. his wife	Toronto General Trusts Corporation	\$5000.	S 1 Not-in-full 22 Feb '38 JAH
14011	D.M. H.	5 Dec 1927	9 Dec 1927	Toronto General Trusts Corporation	John H. Breakey	\$5000.	Htg-13163 22 Feb '38 JAH
16928	Release	15 Feb 1935	19 Feb 1935	Helen S. Breakey	Isaiah Breakey Wm. J. Breakey & John H. Breakey Exors.	\$1. & prem	H 1
16977	Htg. H.	1-Apr-1935	1-May-1935	Isaiah Breakey	Hary K. Vanhorn	\$5000.	S 1 Not-in-full Feb 26'52 WIH
18900	Grant	25 Apr 1940	27 Apr 1940	Robert C. Davison surv.Trustee Bertha A.T. McAllum, Alexander J. Anderson, John A. Davison Exors. Bertha A. T. McAllum & John A. Davison Consent Treas. of Ontario	John F. Hausseman	\$5000.	H 1 in al
18901	Htg.	25 Apr 1940	27 Apr 1940	John F. Hausseman & Katherine C. his wife	John A. Davison Alexander J. Anderson Exors. Bertha A. T. McAllum	\$4800.	H 1 final Not-in-full Jan 27'54 WIH
18737	Grant	30 Nov 1940	30 Nov 1940	William J. Breakey John H. Breakey surv. Exors. John M. Breakey, Wm. J. Breakey & Isabelle K. his wife, John H. Breakey & Wesley S. Breakey	George J. Spring	\$1,000.	S 1 S Htg

See Deposit No 5738 (H)  
See Deposit No 5994 (S1)  
See Deposit No 6112 (S1)  
"Carried"

SHEET NO. 2 LOT 29 CONCESSION 1 SHEET NO. 2

REGISTRATION NO.	INSTRUMENT	DATE OF INSTRUMENT	REGISTRATION DATE	GRANTOR	GRANTEE	CONSIDERATION ETC.	LAND AND REMARKS
18873	D.M. H.	10 Apr 1941	26 Apr 1941	Clifford S. Vanhorn Exors. Hary K. Vanhorn Alice I. Mahoney & Willie M. Miller formerly Mahoney, Consent Treas. of Ontario	Isaiah Breakey Wm. J. Breakey John H. Breakey Exors. John M. Breakey, Wesley S. Breakey & sd. Wm. J. Breakey & John H. Breakey	\$5000.	Htg-16977- Feb 26'52 WIH
18908	Grant	20 May 1941	28 May 1941	John F. Hausseman & Katherine C. his wife	Wesley Thomson	\$2, etc. & Htg	H 1 final S to Htg
Plan 3036		May 1941	31 July 1941	Depo. of Highways, Ontario Land Plan & Despn.			E 10.08' of S 672.60' final J.E. Jackson O.L.S.
19569	D.M. H.	5 Mar 1943	11 Mar 1943	John A. Davison Alexander J. Anderson Exors. Bertha A. T. McAllum	Wesley Thomson	\$4800.	Htg-18501- Jan 27'54 WIH
19800	Grant	21 Sept 1943	1 Oct 1943	Wesley Thomson & Violet his wife	J. Charles Smith	\$1000.	H 1 final
19801	Htg. H.	1 Oct 1943	1 Oct 1943	J. Charles Smith & Pearl R. his wife	Wesley Thomson	\$5000.	H 1 final Not-in-full Feb 3'56 WIH
20669	D.M. H.	25 July 1945	28 July 1945	Wesley Thomson	J. Charles Smith & Pearl R. Smith	\$5000.	Htg 19402- Feb 3'56 WIH
20670	Htg. H.	27 July 1945	28 July 1945	J. Charles Smith & Pearl R. his wife	Wesley Thomson	\$3500.	H 1 ex-Plan-2132 Not-in-full Jan 22'57 WIH
21043	D.M. H.	28 Jan 1946	28 Jan 1946	Wesley Thomson	J. Charles Smith	\$3500.	Htg 20670- Jan 22'57 WIH
21227	Grant	23 Apr 1946	30 Apr 1946	J. Charles Smith & Pearl R. his wife	Thornhill Estates Ltd.	\$2, etc	Fr. contg at N.W. angle of Plan 2132 then W 279' x 670'5" deep to centre
21407	Plan 3298	24 June 1946	25 June 1946	Depo. Highways, Ontario Land Plan & Despn.			Front 10'08' in al J.E. Jackson O.L.S. May 1942 COMPILED PLAN 2132
Plan 3319		16 July 1946	12 Aug 1946	Thornhill Estates Limited			Fr. N 1/4 of Plan 2132 Speight & Co. O.L.S.
23053	By-Law	5 Aug 1947	17 Mar 1948	Township of Vaughan			Allinal, re urban area

"Carried"

LOT 29 CONCESSION 1

REGISTRATION NO.	INSTRUMENT	DATE OF INSTRUMENT	REGISTRATION DATE	GRANTOR	GRANTEE	CONSIDERATION ETC.	LAND AND REMARKS
24326	Grant	14 May 1949	16 May 1949	J. Charles Smith & Pearl R. his wife	H. Clarke Smith	\$4000.	Yt along at N W angle (as wid then 2587' then S 666' then W 2672' then N 666' to F.O.B. land in 24326
Plan 3715		6 June 1949	24 June 1949	H. Clark Smith			Van Nostrand, Ward & Anderson O.L.S.
30478	By-Law	5 Oct 1953	28 Oct 1953	Township of Vaughan	re subdivision control	4-----	Allinal
35460	By-Law	7 Sept 1954	30 Jan 1956	Township of Vaughan	re subdivision control	4-----	Allinal & any subdivision plans
No 1875							
35801	Grant	26 Mar 1956	29 Mar 1956	George J. Spring & Muriel F. his wife	SI-Jo Enterprises Ltd. Ho-Bud Investments Ltd. Ho-Mel Investments Ltd. V. Tam Constr. Co. Ltd. Santo Investments Ltd. Springdale Development Ltd. A.H. Chapman Developments Ltd. partnership vis; Spring Valley Development Co.	\$1.000	3 1/2 inial S to Vendor's Lien Sketch Act'd
35802	Mag	26 Mar 1956	29 Mar 1956	SI-Jo Enterprises Ltd. Ho-Bud Investments Ltd. Ho-Mel Investments Ltd. V. Tam Constr. Co. Ltd. Santo Investments Ltd. Springdale Development Ltd. A.H. Chapman Developments Ltd. vis; Spring Valley Development Co.	George J. Spring	\$721855	1/2 inial Not-in full See D.M. No. 65337
							See Deposit No 25216 (J 3)
49511	Grant	2 Apr 1962	31 Aug 1962	SI-Jo Enterprises Ltd.	Shields-Snow Developments Ltd.	\$2,000.	3 1/2 inial
50121	Hwy.	29 Nov 1962	21 Dec 1962	Dept. of Highways, Ont.			Pt 0.180 ac inial re Spring Valley Development Co. COMPILED PLAN 9834 Alan L. Vaughan O.L.S.
50267	Hwy.	18 Jan 1963	30 Jan 1963	Dept. of Highways, Ont.			Pt inial H. A. Garden O.L.S.
Plan				Land Plan 6722 & Despn. to show iron bars etc			

LOT 29 CONCESSION 1

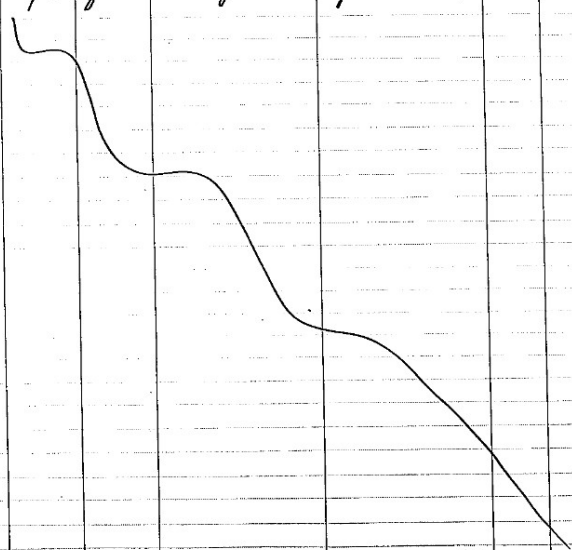
REGISTRATION NO.	INSTRUMENT	DATE OF INSTRUMENT	REGISTRATION DATE	GRANTOR	GRANTEE	CONSIDERATION ETC.	LAND AND REMARKS
50798	Grant	25 Apr 1963	30 May 1963	Shields-Snow Developments Ltd. Ho-Bud Investments Ltd.	Hexdale Investments Ltd.	\$2,000.	That pt lying W of Yonge St as wid by Plan 6666 & lying S of Plans 2132, 3319 & 3715 inial Sketch Act'd <b>Now Lot 70 COMPILED PLAN 9834</b>
50799	Grant	31 July 1956	30 May 1963	Ho-Mel Investments Ltd. V. Tam Constr. Co. Ltd. Santo Investments Ltd. & Springdale Development Ltd. vis; Spring Valley Development Co. A. H. Chapman Developments Ltd.	V. Tam Constr. Co. Ltd. as Partnership Property	\$1.000	3 1/2 inial
50800	Mag	23 May 1963	30 May 1963	Hexdale Investments Ltd. Ho-Mel Investments Ltd. V. Tam Constr. Co. Ltd. Santo Investments Ltd. Springdale Development Ltd. Shields-Snow Developments Ltd. in partnership vis; Spring Valley Development Co.	Ho-Bud Investments Ltd.	\$598910	That pt lying W of Yonge St as wid by Plan 6666 & lying S of Plans 2132, 3319 & 3715 inial See D.M. No. 65949
							See Deposit No 36071 (re Spring Valley Development Co)
51844	Agmt.	-June 1963	14 Nov 1963	George J. Spring	Hexdale Investments Ltd.	\$200.	That pt lying W of Yonge St as wid. Plan 6666 & lying S of Plans 2132, 3319 & 3715 inial
52284	Hwy.	5 Feb 1964	19 Feb 1964	Dept. of Highways, Ont. Land Plan 7072 & Despn. To designate as King's Hwy.			Part inial Dept. of Highways Ho P-1699-110 V. S. Conroy O.L.S.
49511	A.M.	3 June 1962	3 June 1962	Shields-Snow Limited, Shields-Snow Limited, Ho-Bud Investments Limited, Ho-Mel Investments Limited, V. Tam Construction Company Limited, Santo Investments Limited, Springdale Development Limited, (Development Co. Ltd) vis; Spring Valley Development Co.	Shields-Snow Limited, Hexdale Investments Limited	\$200.	That pt lying W of Yonge St as wid. Plan 6666 & lying S of Plans 2132, 3319 & 3715 inial See D.M. No. 65949

SHEET NO. 7  
LOT 29 CONCESSION 1  
SHEET NO. 8

REGISTRATION NO.	INSTRUMENT	DATE OF INSTRUMENT	REGISTRATION DATE	GRANTOR	GRANTEE	CONSIDERATION ETC.	LAND AND REMARKS
65336	Mtg	9 July 1969	15 Feb 1969	Apfalda Investments Limited	The Toronto Dominion Bank	\$100,000	That pt lying w of George St & north of ... Plan 3192-3194-3195-3196 See D.M. No 68134
65949	D.M.	2 Jan 1970	16 Jan 1970	Shelburne Limited (See Deposit 35802)	Apfalda Investments Limited	\$75,000 Mtg 50000	
99342 (Plan Reg)	Consent	17 June 1970	23 June 1970	Department of National Revenue	Ed. George J. Spring		Same as in 35802 inal
99338 (Plan Reg)	Consent	5 July 1970	8 July 1970	Minister of Revenue	Ed. George J. Spring		Same as in 35802 inal
68034	Mtg	16 Feb 1971	19 Feb 1971	Apfalda Investments Limited	The Toronto Dominion Bank	\$700,000	That pt lying w of George St & north of ... See D.M. No 68134
68134	D.M.	24 Feb 1971	11 Mar 1971	The Toronto Dominion Bank	Apfalda Investments Limited	\$700,000 Mtg 64886	DISCHARGED BY No. 77828
68221	Mtg	19 July 1971	25 July 1971	Apfalda Investments Limited	The Toronto Dominion Bank	\$700,000	That pt lying w of George St & north of ... by plan 6666-1 copy of plan 2152 See D.M. No 77828
68257	D.M.	28 July 1971	27 Aug 1971	Muriel A. Spring James A. Spring, Elizabeth Holmwood Frances Elsie Eloise J. George J. Spring	Apfalda Investments Limited	\$21,855 Mtg 35802	DISCHARGED BY No. 77828
69346	Mtg	7 Dec 1971	14 Dec 1971	Apfalda Investments Limited	The Toronto Dominion Bank	\$250,000	That pt lying w of George St & north of ... by plan 6666-1 copy of plan 2152 See D.M. No 77828

FILMED NOV 3 6 1973  
 See Deposit Reference Plan 348-351 (in land in 50118)  
 See Deposit Reference Plan 440-485 (in land in 50118)  
 SEE DEPOSIT REFERENCE PLAN 348-351 (in land in 50118) mt 50298  
 See Deposit Reference Plan No 648 4061 (in land in 48R 3874 part 1)

SHEET NO. 9  
LOT 29 CONCESSION 1  
SHEET NO. 10

REGISTRATION NO.	INSTRUMENT	DATE OF INSTRUMENT	REGISTRATION DATE	GRANTOR	GRANTEE	CONSIDERATION ETC.	LAND AND REMARKS
Plan 9834		17 Oct 1974	6 Nov 1974	Registrars	Compiled Plan		
<p>NOTE</p> <p>No further entries will be made on this abstract Index</p> <p>See pages opened for lots on Registrars' Compiled Plan 9834</p> 							

# 6.0 ARCHITECTURAL EVALUATION OF BUILT CULTURAL HERITAGE RESOURCES

## 6.1. Built heritage resources

The built heritage resources may be described as an 'L'-shaped combining a rectangular 2 story brick house and a one and half story brick addition. Even though the house is identified as "vernacular italianate style" per the designation by-law; based on an architectural evaluation, the house can be defined as Ontario Georgian-style settler house. The house originally built on 7460 Yonge Street was moved in 1981 to Spring Gate Boulevard, on the northwest corner of Gallanough Park. The adjacent park, landscape, walkway and accessory structure may help evoke a farm yard, but are not part of the scope of work.



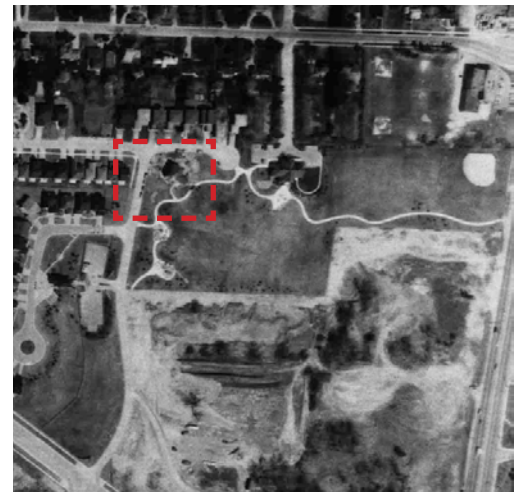
Aerial view dated 1969 with subject property identified



Detail of aerial view dated 1969 indicating the original location of the house on the property on 7460 Yonge Street



Aerial view dated 1983 with subject property identified as relocated



Detail of aerial view dated 1983 indicating the new location of the house on the property on 15 Spring Gate Boulevard (now 21 Spring Gate Boulevard)

## **6.2. Exterior key character-defining attributes presenting the original construction include:**

The key character-defining attributes presenting the original construction include:

- the symmetrical composition of the brick facades with the same amount of windows on either side and a central entrance on the west elevation;
- the minimal detailing around the doors and double-hung windows, such as the flat arch brick lintels above the window openings, modest door transom and sidelight to either side, and plain wooden window sill and no decorative surround;
- the decorative wooden panelled reveal around the recessed front door;
- the Flemish bond English corner bricklaying pattern, alternately laying headers and stretchers in a single course of brick, on the main façade (west elevation), English garden wall bond bricklaying pattern with one course of headers for every three courses of stretchers (north, east and south elevations);

## **6.3. Non-original additional architectural elements from the restoration undertaken in the 1980's, include:**

- the decorative wood slender posts supporting the porch whose character is more neo-classical than Georgian, were replaced to match original design, as well as the supporting porch;
- the two ornamented chimney shafts with recessed panels and corbels in brick were rebuilt to match existing design;
- the painted wood soffit fascias and moulding were replaced to match original;
- the painted wood slip sills were replaced to match original;
- the wood blades louvre window shutters were added;
- one double hung window was replaced at ground level on the south facade;
- the wood door on the north elevation under the porch was replaced;
- speculation is made regarding the right-hand wood double-hung window beneath the porch, which was likely added to replace a former door;
- two existing lintel insert brick arches above the basement windows located on the south and north elevations were replaced to match existing;
- in those two windows, original windows were replaced with storm fixed glass windows with wood muntins bars matching the above windows;
- the welded bars secured at head and sill at all basement windows;
- the wood canopy above the basement door located on the south facade;
- the wooden rear deck at porch and the wood treads;
- the wooden mechanical platform and its wooden fence;
- the wooden deck called verandah in front the main facade (west);
- the pre-finished aluminum eavestrough;
- the asphalt shingle roofing.

## **6.4. Original elements that were removed include:**

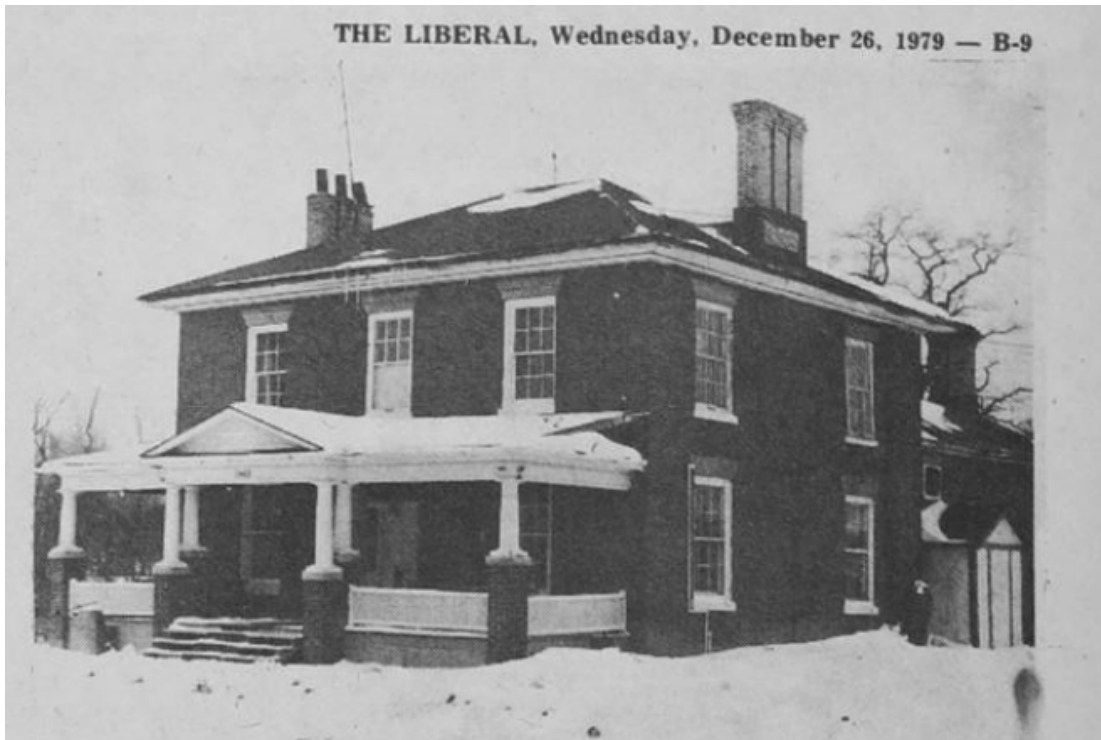
- the veranda located on the main facade (west) was removed in the 1980's. However, By-law 74-82 stipulates that this veranda was certainly not original, as it failed in its attempt to sympathize with the style of the house. There is no record whether a veranda was existing on the west elevation at its origin.
- two existing window openings on the east facade at basement level were filled;
- one existing window opening on the south facade at second floor was filled;
- one chimney located on the south east corner was removed;
- the right sidelight located at the basement door on the south facade was removed, and the opening was filled in;

## 7.0 **CONDITION ASSESSMENT OF THE BUILT HERITAGE RESOURCES**

To our knowledge, there is no existing condition assessment report available for the present building. Nevertheless, a visual condition assessment was undertaken as part of this CHIA to inform the proposed scope of work. Photos are displayed in the following section 8.0.

# 8.0

## DOCUMENTATION OF CULTURAL HERITAGE RESOURCES ON THE SUBJECT PROPERTY



Photograph from The Liberal Newspaper, dated December 26, 1979 illustrating the verandah located on the main facade (west), then, removed in the 1980's.



North elevation illustrating the porch, the wood deck, entrance and two flanking windows. The filled-in right apron wall suggests that a door may have previously existed at this location.



View of the east elevation.



View of the south elevation.



View of the main facade (west) illustrating its composition of 3 bays and its central door, and the platform named “verandah”.

#### NORTH ELEVATION



Detail of the wood door that has been replaced in the 1980's under the porch. The wood door on the background is original.



Detail of the wood window sill located under the porch.



Detail of the shed above the porch that was rebuilt in the 1980's.



Detail of the recent wood deck leading to the porch.



Detail of the current roof and eavestrough above the porch that was replaced.

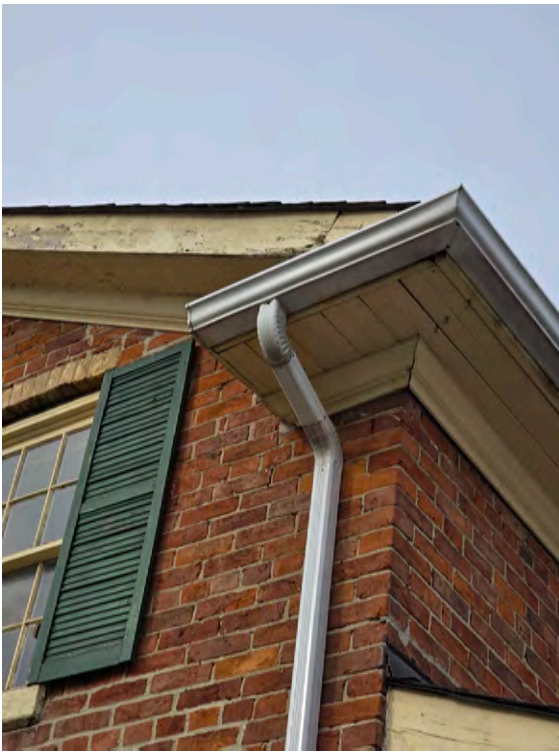


Detail of existing window sill of a window located on the east facade above the porch (second floor).

EAST ELEVATION



Detail of the top windows located on the east elevation. Wood window sills were replaced and shutters were added in the 1980's.



Detail of the current wood soffit and moulding, and eavesthrough and downspouts that were replaced in the 1980's.



Detail of the current roof and eavestrough above the porch that were replaced in the 1980's. Asphalt shingle roofing was replaced recently.

SOUTH ELEVATION



Detail of the current basement foundation that was built in the 1980's when the building was moved to its new location. The top of the photo illustrates the window opening filled in with masonry in the 1980's.



Detail of the lintel insert brick arches above the basement windows that was rebuilt in the 1980's. The welded security bars were added at the same period.



Detail of the current wood soffit and moulding, and eavesthrough and downspouts that were replaced in the 1980's.



Detail of the current typical original windows where the wood window sills were replaced and the shutters were added in the 1980's.



Detail of the current window located above the mechanical platform that was replaced in the 1980's. Window sill was replaced and shutters were replaced at the same period.



Detail of the current typical original window where the wood window sill was replaced and the shutters were replaced in the 1980's.



Detail of the current canopy above the basement door that was added in the 1980's.

WEST ELEVATION



Photographs illustrating the current wood platform on the main facade (verandah).



Detail of the original decorative wooden panelled reveal around the recessed front door.

# 9.0

## STATEMENT OF CULTURAL HERITAGE VALUE, DESIGNATED UNDER PART IV OF THE ONTARIO HERITAGE ACT, BY-LAW 74-82

The building is designated since April 5, 1982, under By-law number 74-82 as being of architectural value or interest under Part IV of the Ontario Heritage Act, R.S.O, 1980, Chapter 337, in reason of its architectural and historical grounds. The below information is extracted from the designation (By-Law Number 74-82)

### 9.1. Reason for designation

“The house is built on a classical tradition (Georgian) in that it is well proportioned and exhibits good details in the wood and brickwork. It was built by John R. Arnold, son of Robert Arnold, whose family were old and prominent citizens of Thornhill. The house was built after Robert Arnold’s death. It completes the group of five buildings in this area of Yonge Street which make up an important grouping in terms of the architecture and history of the area.”

### 9.2. Condition (back in 1982)

“The house is in good structural condition, though repairs are needed on the chimneys. Renovation could be carried out at any time on the front porch, in favour of a more sympathetic structure.”

### 9.3. Historic significance

“Robert J. Arnold was deeded lot 29, Concession 1 in Vauhan from John Arnold, his Father in 1848. His Father had bought the land from James Miles, a relative of his wives’. The 1851 census shows that Robert was still living with his parents in their two storey frame house. In 1862 Robert and his wife took out a mortgage for \$1,000 which was discharged in 1869. It was probably at this time that the house was erected, which seems to related to the one and a half storey frame house. In 1871 Robert left to his daughter Bertha, the north half of his property and the south to Robert C. In 1872, John R. Arnold took out a mortgage for \$1,600. It may have been at this date that the building was started. The 1851 and 1861 census shows that the family lived in a two storey frame house. This may have been torn down or burnt and the present house built.”

### 9.4. Architectural description

“This large two storey red brick house is designed in a vernacular Italianate style. This is seen in the cubic proportions. A simple rectangular addition of one and half storey lies at the rear (west). The house is set on the plinth with fieldstone foundations. The house fronts east onto Yonge Street. This facade is classically composed of 3 bays with the centre door allowing for a deep jamb.

The original lights from the sides and transom are gone, but the basic frame is intact. The windows to the north and the south and the door are accented with yellow brick segmented voussoirs. These are large double sash windows on the second storey. The three windows follow the pattern of the three lower apertures [sic]. The veranda on this front is certainly not the original nor does it attempt to sympathize with the style of the house. If a veranda was intended in the original design it would have been built with more delicate forms and included some reference to the classical vocabulary of architectural members.”

The house has been moved from its original location, and as a result the building is not fronting east onto Yonge Street anymore. Additionally, the fieldstone foundations were replaced by concrete block foundations when the relocation occurred.

# 10.0 SUMMARY OF PROPOSED ALTERATIONS

## 10.1. Proposed scope of work from RFP

- Complete a full review on the existing exposed foundation wall, exterior brick, windows, doors and roof assembly. Restoration is only required on the exterior of the home.
- It is preferred that the windows are replaced and not restored. Review and replace framing and sills.
- Review the main entry design, framing and sill. Increase door size to accommodate a wheelchair. Review all exterior doors and increase size to accommodate a wheelchair.
- Design new front entry and accessible ramp.
- Replace any damaged brick and tuck-pointing restoration where required.
- Review existing condition of foundation wall and specify any restoration required.
- Restoration on all exterior painted areas.
- The roof is new, but review and restoration to the overhang, eavestrough, soffit and trims is required. Review down spouts and ensure water is draining away from home.

## 10.2. Refinement of scope from Client meeting and informed by regulation & good practice

- Re-point cracks or large joints in brick mortar;
- Remove efflorescence from brick surfaces, clean, and make good;
- Remove damaged brick and replace with a heritage brick to match existing;
- Repair and repaint all wood surfaces (frames, sills, soffits, friezes, fascias, cornices, sashes, muntins shutters and structure);
- Window Rehabilitation - Off Site: Remove existing glazed sash assemblies from frames, temporarily board-up openings, strip existing glazing compound and replace all with new, clean glass, restore all wood components, and make good;
- Window Rehabilitation - On Site: Restore frames and sill install restored sashes, replace all sealant, and make good;
- Replace existing shutter assembly;
- Replace all eaves troughs and downspouts with galvanized steel with paint finish;
- Parge exposed concrete block foundation, repair and repaint existing foundation wall;
- Where wiring is redundant and where required, remove ferrous metal anchor from masonry and patch with mortar;
- Repair soffit and trim to arrest animal infiltration;
- Patch, repair and make good damaged segments of wood cornice and soffit;
- Replace and seal mechanical penetrations with mortar;
- Barrier-Free Door, Sidelights and Transom Assembly: Remove existing door and relocate existing wood jambs to accommodate a new 965mm wide solid wood door - details and hardware to match existing Replace sidelight glass with new and provide auto swing door opener with electric strike and barrier-free wave operators inside and out;
- Barrier-Free Basement Door Assembly: Remove existing door and frame. Widen existing door opening by saw cutting foundation to accommodate a new 965mm wide insulated metal door complete with frame - details and hardware to match existing. Provide a new steel lintel, auto swing door opener with electric strike, and barrier-free wave operators inside and out;
- Barrier-Free Door with Transom: Remove existing door, transom, and frame assembly. Saw cut existing opening in wall to accommodate a wider new door, frame and transom assembly (similar to existing) complete with a 965mm wide door - details & hardware to match existing. Provide a new steel lintel, auto swing door opener with electric strike, and barrier-free wave operators inside and out;
- Remove deteriorated wood fence and gate assembly and replace with new;
- Remove modern wood deck/platform called “verandah” on the west elevation and replace with a new exterior accessible ramp.

# 11.0 RECOMMENDATIONS (ASSESSMENT OF ALTERNATIVE OPTIONS, MITIGATION MEASURES, AND CONSERVATION METHODS)

## 11.1. Approach on conservation

Baron Nelson Architects Inc. (BNA) is demonstrating good conservation practices, and the architectural drawings (refer to the Appendix) align with the *Standards and Guidelines for the Conservation of Historic Places in Canada*. The current scope of work is limited to exterior envelope rehabilitation and the addition of a new exterior ramp and entrance door to improve barrier-free accessibility.

Elements being replaced, such as brick, eavestroughs and downspouts, wood surfaces, and shutters are specified to be replaced in a manner that respects the original materials and design wherever practical.

The approach to window restoration reflects a strong commitment to preserving the original heritage design elements, and aligns with the standard relating to rehabilitation which recommends repair rather than replace character-defining elements. Certain components being removed and replaced, such as the wood fence around the mechanical platform, the veranda wood platform, the wood pediment, and the basement door; are not considered heritage elements. Their replacement does not compromise the character-defining features of the building.

# 12.0 BIBLIOGRAPHY

John Arnold House; property designated under Part IV of the Ontario Heritage Act, By-law 74-82 available at: <https://www.heritagetrust.on.ca/oha/details/file?id=4557>

Standards and Guidelines for the Conservation of Historic Places in Canada, available at: <https://www.historicplaces.ca/media/18072/81468-parks-s+g-eng-web2.pdf>

Canadian Register of Historic Places:  
<https://www.historicplaces.ca/en/rep-reg/place-lieu.aspx?id=14143>

Ontario Heritage Act, R.S.O. 1990, c. 0.18, available at:  
<https://www.ontario.ca/laws/statute/90o18>

Ontario Heritage Tool Kit, available at:  
<https://www.ontario.ca/page/ontario-heritage-tool-kit>

Ontario Standards and Guidelines for Conservation of Provincial Heritage Properties, available at:  
<https://files.ontario.ca/mhstci-standards-guidelines-heritage-properties-en-2022-04-29.pdf>  
[does not apply as City of Vaughan is not a public body prescribed under Ont. Reg.157/10]

Robert Mikel, *Ontario House Styles, The distinctive architecture of the province's 18th and 19th century homes*, James Lorimer & Company LTD., Publishers Toronto, 2004

*THE HERITAGE YEARS: Thornhill, Vaughan Township, 1796 to 1900*, Architectural Conservation Advisory Committee for the Thornhill Area, Submitted 30 April 1979

*Arnold House and other historical information related to Thornhill*, available at: <https://www.thornhillhistoric.org/walking-tours/plaques-walking-tour/arnold-house>

*Settlement in Vaughan | City of Vaughan*, available at : <https://www.vaughan.ca/explore-vaughan/vaughans-history/settlement-vaughan>

Historical aerial photographs, available at: <https://www.toronto.ca/city-government/accountability-operations-customer-service/access-city-information-or-records/city-of-toronto-archives/whats-online/maps/aerial-photographs/>

Google Maps

# 13.0 APPENDICES

## 13.1. By-Law 74-82

### BY-LAW NUMBER 74-82

A By-law to designate the building situated on the lands known municipally as 15 Spring Gate Boulevard, Thornhill, as being of architectural value or interest.

WHEREAS Section 29 of the Ontario Heritage Act, R.S.O. 1980, authorizes the Council of a municipality to enact by-laws to designate real property, including all buildings and structures thereon, to be of architectural or historical value or interest; and,

WHEREAS the Council of The Corporation of the Town of Vaughan has caused to be served on the owners of the lands and premises known as the "John Arnold House" formerly at 7460 Yonge Street, Thornhill, and upon the Ontario Heritage Foundation, notice of intention to so designate the aforesaid real property and has caused such notice of intention to be published in the same newspaper having general circulation in the municipality once for each of three consecutive weeks; and,

WHEREAS no notice of objection to the proposed designation has been served on the Clerk of the Municipality;

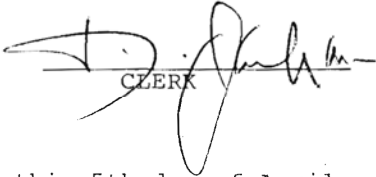
THEREFORE The Corporation of the Town of Vaughan ENACTS AS FOLLOWS:

1. There is designated as being of architectural value or interest the real property known as the "John Arnold House" formerly at 7460 Yonge Street and now located on Block 121, Registered Plan M-2005, Thornhill.
2. The Town Solicitor is hereby authorized to cause a copy of this By-law to be registered against the said property in the proper Land Registry Office.

this By-law to be served on the owner of the aforesaid property and on the Ontario Heritage Foundation and to cause notice of the passing of this By-law to be published in the same newspaper having general circulation in the municipality once for each of three consecutive weeks.


READ a FIRST and SECOND time this 5th day of April, 1982.


  
MAYOR

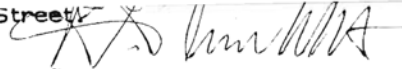
  
CLERK

READ a THIRD time and finally passed, this 5th day of April, 1982.

  
MAYOR

  
CLERK





REASON FOR DESIGNATION

This house is built in a classical tradition. It is classical in that it is well proportioned and with good details in the wood and brickwork. It is one of the houses built by the Arnold family who were old and prominent citizens of Thornhill. The previous 2 storey frame house that is mentioned in the census records has since been burnt or taken down. This house was built by Robert Arnold's son after his death. It completes the group of five buildings in this area of Yonge Street which make up an important grouping in terms of the architecture and history of the area.

JOHN R. ARNOLD  
A COMMITTEE REPORT  
its in and  
for the I d  
Region, for  
nd  
ation  
Commission

CONDITION

This building is in good structural condition, though repairs are needed on the chimneys. Renovation could be carried out at any time on the front porch, in favour of a more sympathetic structure.

HISTORICAL SIGNIFICANCE

Robert J. Arnold was deeded lot 29, Concession 1 in Vaughan from John Arnold, his Father in 1848. His Father had bought the land from James Miles, a relative of his wives' The 1851 census shows that Robert was still living with his parents in their two storey frame house. In 1862 Robert and his wife took out a mortgage for \$ 1,000 which was discharged in 1869. It was probably at this time that the house was erected, which seems to relate to the one and a half storey frame house. In 1871 Robert left to his daughter Bertha, the north half of his property and the south to Robert C. In 1872, John R. Arnold took out a mortgage for \$ 1,600. It may have been at this date that the building was started. The 1851 and 1861 census shows that the family lived in a two storey frame house. This may have been torn down or burnt and the present house built.

ARCHITECTURAL DESCRIPTION

This large two storey red brick house is designed in a vernacular Italianate style. This is seen in the cubic proportions. A simple rectangular addition of one and a half storey lies at the rear (west) The house is set on a plinth with fieldstone foundations. The house fronts east onto Yonge Street. This facade is classically composed of 3 bays with the centre door allowing for a deep jamb. The original lights from the sides and transom are gone, but the basic frame is intact. The windows to the north and south and the door are accented with yellow brick segmented voussoirs. These are large double sash windows on the second storey. The three windows follow the pattern of the three lower apertures. The veranda on this front is certainly not the original nor does it attempt to sympathize with the style of the house. If a veranda was intended in the original design it would have been built with more delicate forms and included some reference to the classical vocabulary of architectural members.

### 13.2. Agreement between Runnymede Development Corporation Limited and the Corporation of the Town of Vaughan, dated December 15, 1980

→ *Blake Campbell*

AN AGREEMENT made this 15th day of December, 1980.

BETWEEN

RUNNYMEDE DEVELOPMENT CORPORATION LIMITED

(hereinafter called "RUNNYMEDE")

OF THE FIRST PART

-AND-

THE CORPORATION OF THE TOWN OF VAUGHAN

(hereinafter called the "TOWN")

OF THE SECOND PART.

WHEREAS Runnymede owns buildings with municipal addresses known as 7460 Yonge Street, Thornhill, Ontario ("7460") and 7490 Yonge Street, Thornhill, Ontario ("7490");

AND WHEREAS paragraph A.10(f) of the Subdivision Agreement (the "Subdivision Agreement") dated the 21st day of November, 1980, between Runnymede and the Town provides that no building permits shall be issued on any building lot within Runnymede's subdivision until, inter alia, an agreement has been reached between the Town and Runnymede as to the disposition of 7460 and 7490;

AND WHEREAS the parties have reached such an agreement on the terms and conditions hereinafter set forth;

NOW THEREFORE THIS AGREEMENT WITNESSETH that the parties agree as follows:

(1) 7460 Yonge Street

(a) Runnymede shall, subject to sub-paragraph 1(e), be responsible for the preservation of 7460 by the 30th day of September, 1981, transferring ownership of 7460 to the Town and relocating it (by removal and placement on a new fully excavated basement foundation) at its own cost to a location to be designated by the Town adjacent to the Gallanough Library (the municipal address of which is known as 1 Brooke Street, Thornhill, Ontario) on lands to be conveyed to the Town by Runnymede as park land pursuant to the Subdivision Agreement.

(b) Runnymede shall transfer the ownership of and relocate 7460 within 45 working days, weather conditions permitting, of receiving written notice requiring same from the Town, but not in any case later than September 30, 1981. Runnymede shall co-ordinate the exact timing of the transfer of ownership and relocation of 7460 with the Parks and Recreation Department of the Town.

(c) Forthwith after the relocation, Runnymede shall secure (by boarding) to the Town's satisfaction all door and window openings of 7460.

(d) Runnymede shall be responsible for providing storm sewer, sanitary sewer, water and hydro services for 7460 in its new location, within thirty (30) days of the moving of the house but not later than October 31, 1981.

(e) Runnymede shall indemnify and save harmless the Town from and against any and all loss, liability or expense by reason of any claim or suit resulting from or arising in connection with the relocation of 7460.

(f) Runnymede shall use its best efforts and be diligent and careful in the performance of its obligations under sub-paragraph 1(a), but shall not be responsible for any damage to or loss of 7460, howsoever caused, resulting from or in connection with its relocation.

(g) Runnymede shall on the execution hereof deposit with the Town a Letter of Credit in the amount of \$65,000.00 to secure performance of its obligations under paragraph 1. Upon fulfillment of such obligations the Letter of Credit shall be terminated and released to Runnymede.

(2) 7490 Yonge Street

Runnymede shall be responsible for the preservation of 7490 by selling it to a third party for relocation within the Town of Vaughan by December 31st, 1981. Runnymede shall provide the Town with a copy of the Agreement of Purchase and Sale for 7490. Said Agreement shall contain an acknowledgement by the Purchaser that in the event the Purchaser is in default of any term thereof, the Town may enforce the Agreement as if it were a party thereto.

(3) The Ontario Heritage Act

Prior to the relocation provided for in paragraphs (1) and (2), the Town shall not directly or indirectly through any agency or committee, including, without limitation, the Local Architectural Conservation Advisory Committee, take or cause the taking of, any action or proceeding for the preservation of either 7480 or 7490 under The Ontario Heritage Act.

(4) Entire Agreement

This Agreement embodies the entire agreement of the parties with regard to the matters dealt with herein and no understandings or agreements, verbal or otherwise, exist between the parties except as herein expressly set out.

(5) Successors and Assigns

This Agreement shall enure to the benefit of and be binding upon the parties and their respective successors and assigns.

IN WITNESS THEREOF the parties have hereunto executed this Agreement on the date first written above.

RUNNYMEDE DEVELOPMENT CORPORATION LIMITED

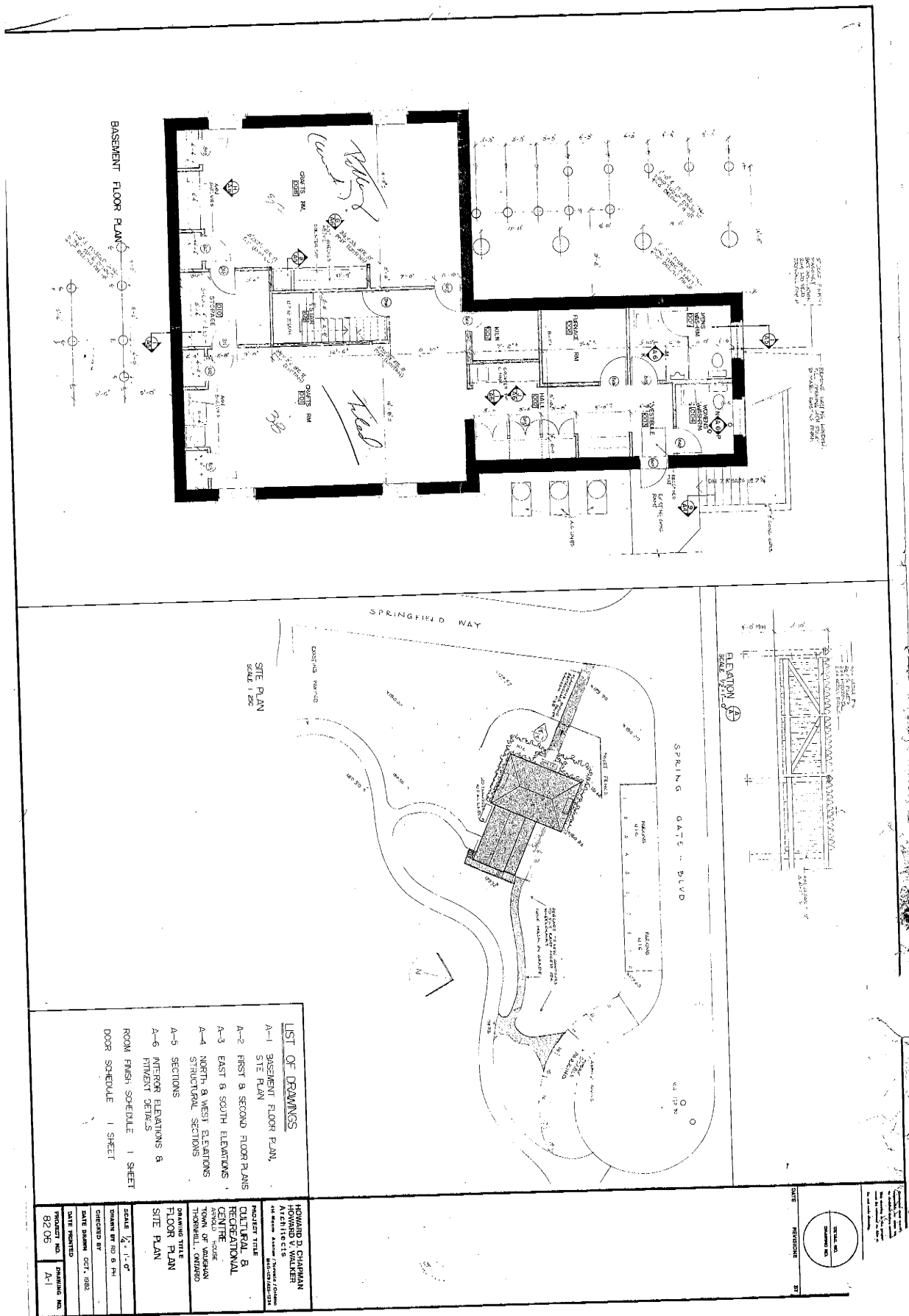
Per: L. I. Crauford

THE CORPORATION OF THE TOWN OF VAUGHAN

Per: G. Williams MAYOR

Per: J. L. Hughes DEPUTY CLERK

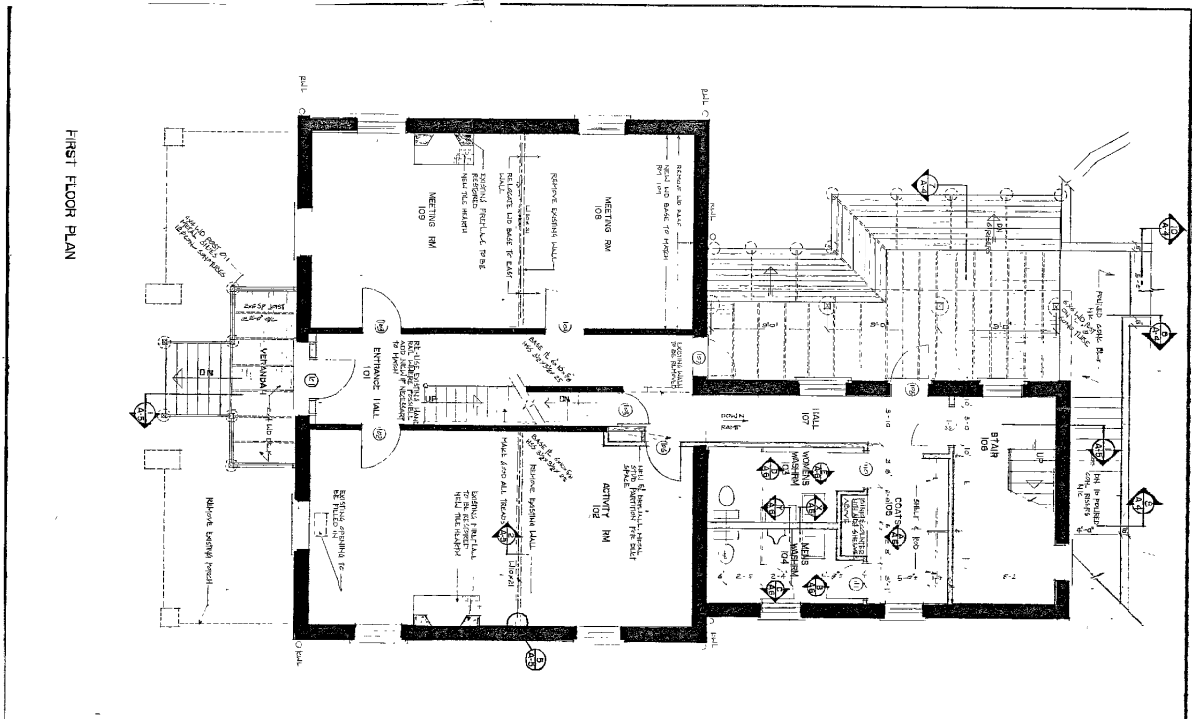
13.3. Architectural drawings dated October 1982



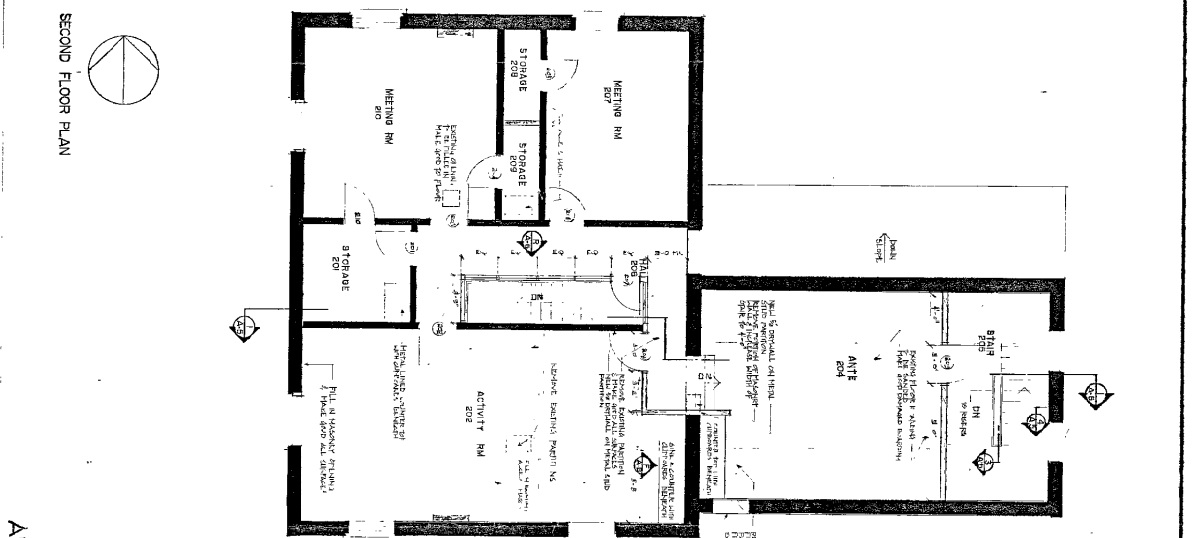
**LIST OF DRAWINGS**

A-1	BASEMENT FLOOR PLAN, SITE PLAN
A-2	FIRST & SECOND FLOOR PLANS
A-3	EAST & SOUTH ELEVATIONS
A-4	NORTH & WEST ELEVATIONS
A-5	STRUCTURAL SECTIONS
A-6	INTERIOR ELEVATIONS & FINISH DETAILS
	ROOM FINISH SCHEDULE 1 SHEET
	DOOR SCHEDULE 1 SHEET

<b>PROJECT TITLE</b>	
CULTURAL & RECREATIONAL	
AND THE HOUSE	
TOWN OF WILSHAM	
THORNHILL, ONTARIO	
<b>DRAWING TITLE</b>	
FLOOR PLAN	
SITE PLAN	
<b>SCALE</b>	
1/4" = 1'-0"	
<b>DRAWN BY</b>	
RD & PH	
<b>CHECKED BY</b>	
DATE DRAWN	
OCT. 1982	
<b>DATE REVISION</b>	
NO.	
82.05	
<b>REVISION</b>	
BY	
A-1	



FIRST FLOOR PLAN

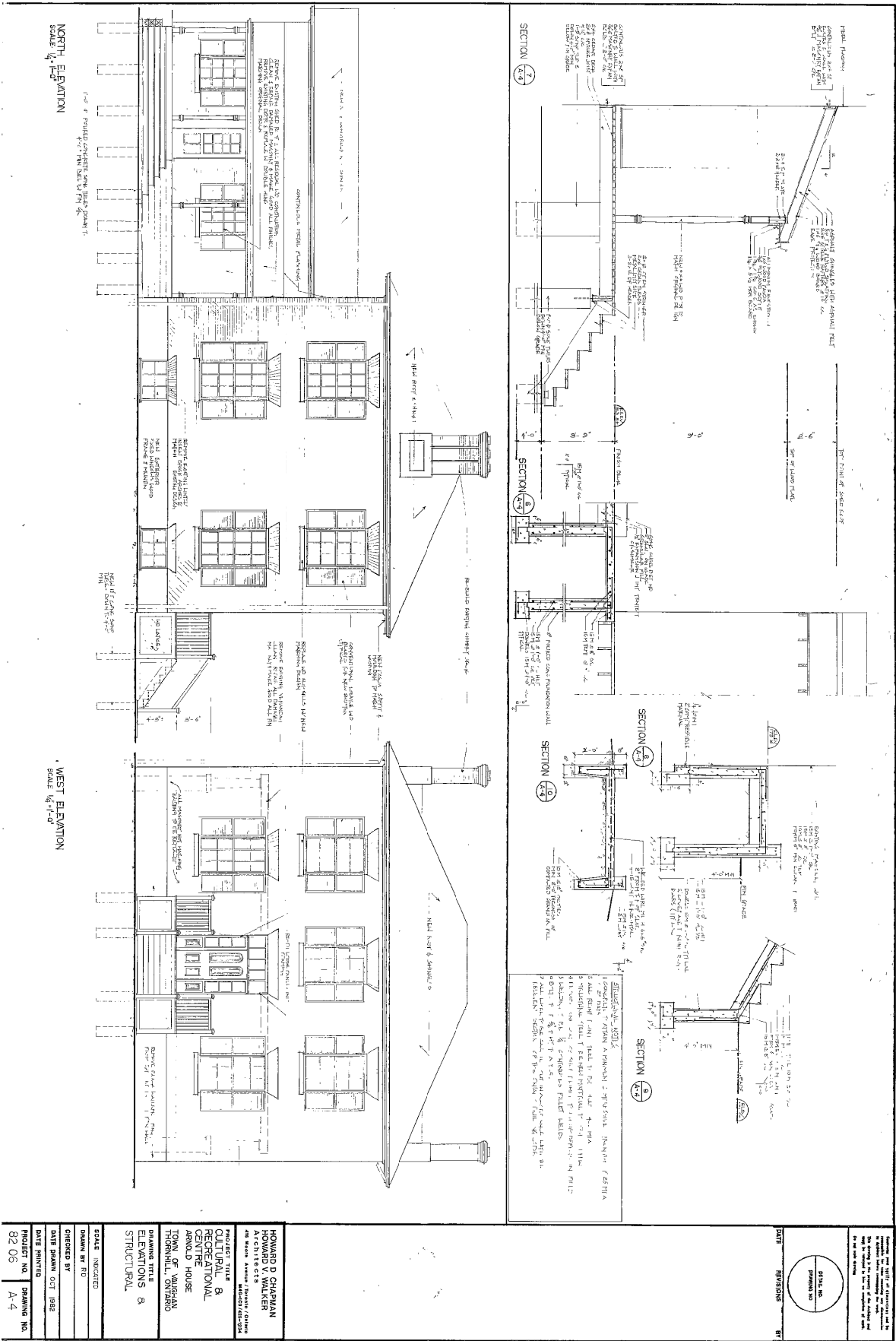


SECOND FLOOR PLAN

AH-001

<p>DATE: _____</p> <p>REVISION: _____</p> <p>BY: _____</p>	
<p>PROJECT TITLE: <b>CULTURAL &amp; RECREATIONAL CENTRE</b></p> <p>CLIENT: <b>HOWARD D. CHAPMAN &amp; HOWARD V. WALKER</b></p> <p>ADDRESS: <b>21 SPRING GATE BOULEVARD, THORNHILL, ONTARIO</b></p>	
<p>DRAWING TITLE: <b>FLOOR PLANS</b></p>	
<p>SCALE: <b>1/4" = 1'-0"</b></p> <p>DRAWN BY: <b>HS</b></p> <p>CHECKED BY: <b>HS</b></p> <p>DATE ISSUED: <b>OCT 1982</b></p> <p>DATE PRINTED: _____</p> <p>PROJECT NO: <b>8206</b></p> <p>DRAWING NO: <b>A-2</b></p>	



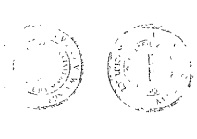


<p>PROJECT TITLE  <b>RECREATIONAL CENTRE &amp; ARNOLD HOUSE</b>          TOWN OF VAUGHAN          THORNHILL, ONTARIO</p>	<p>DATE PRINTED          OCT 1982</p>	<p>PROJECT NO.          82-06</p>	<p>DRAWING NO.          A-4</p>
<p>DATE DRAWN          OCT 1982</p>	<p>CHECKED BY</p>	<p>DRAWN BY          RFD</p>	<p>SCALE INDICATED</p>
<p>PROJECT NO.          82-06</p>	<p>DRAWING NO.          A-4</p>	<p>DATE PRINTED          OCT 1982</p>	<p>CHECKED BY</p>
<p>DATE DRAWN          OCT 1982</p>	<p>CHECKED BY</p>	<p>DRAWN BY          RFD</p>	<p>SCALE INDICATED</p>



DRAWING NO. 92-06  
 PROJECT NO. A-6

DATE: \_\_\_\_\_  
 REVISION: \_\_\_\_\_  
 BY: \_\_\_\_\_

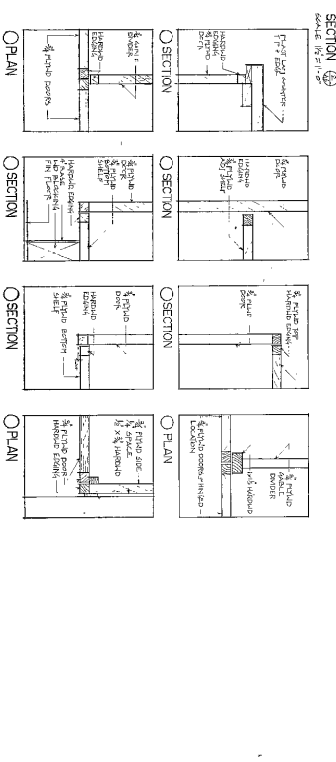
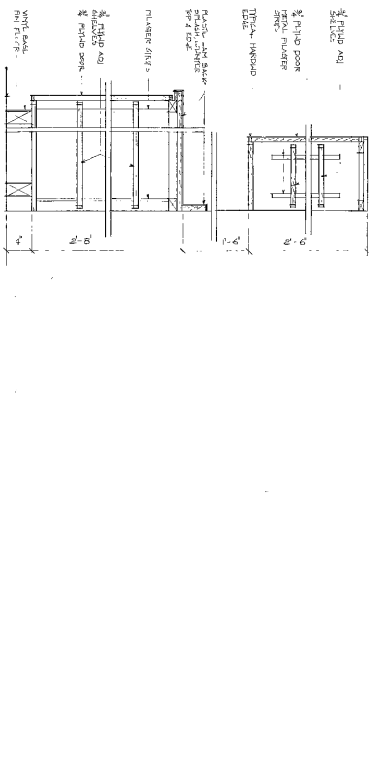
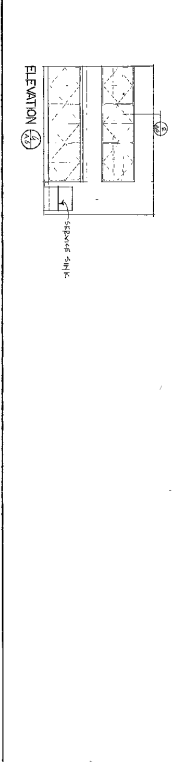
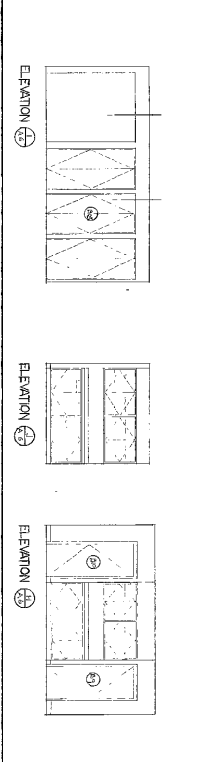
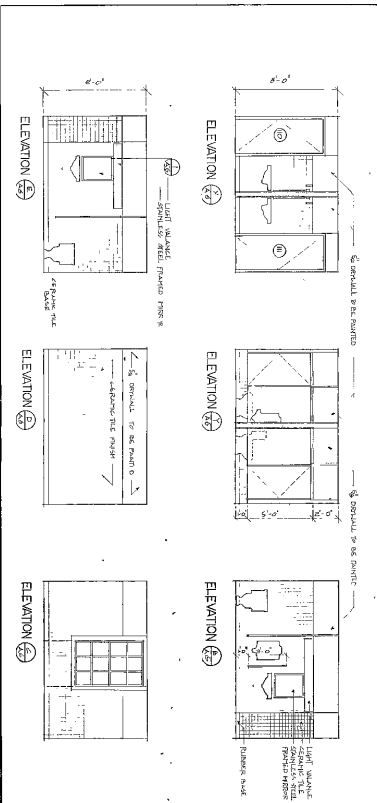
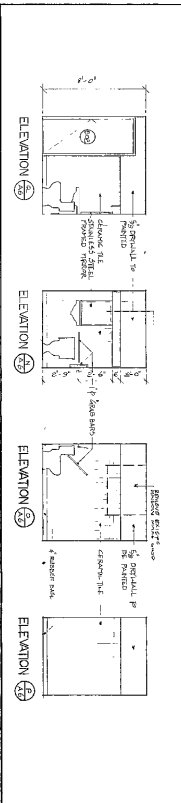
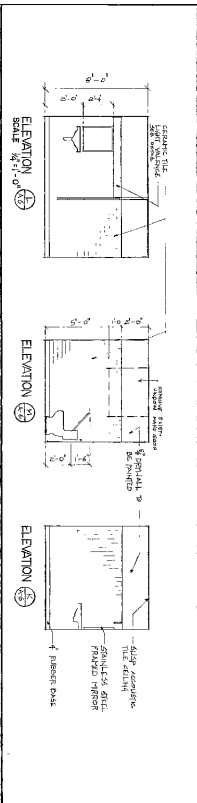


**HOWARD J. GOSSMAN**  
**HOWARD V. WALKER**  
 ARCHITECTS  
 48 WILSON AVENUE, THORNHILL, ONTARIO

**PROJECT TITLE**  
 CULTURAL & RECREATIONAL CENTRE  
 TOWN OF WILSON  
 THORNHILL, ONTARIO

**DRAWING TITLE**  
 INTERIOR ELEVATIONS  
 FIFTH FLOOR DETAILS

SCALE INDICATED  
 DRAWN BY: R.D.  
 CHECKED BY:  
 DATE DRAWN: OCT 1980  
 DATE PRINTED:  
 PROJECT NO.: 92-06  
 DRAWING NO.: A-6



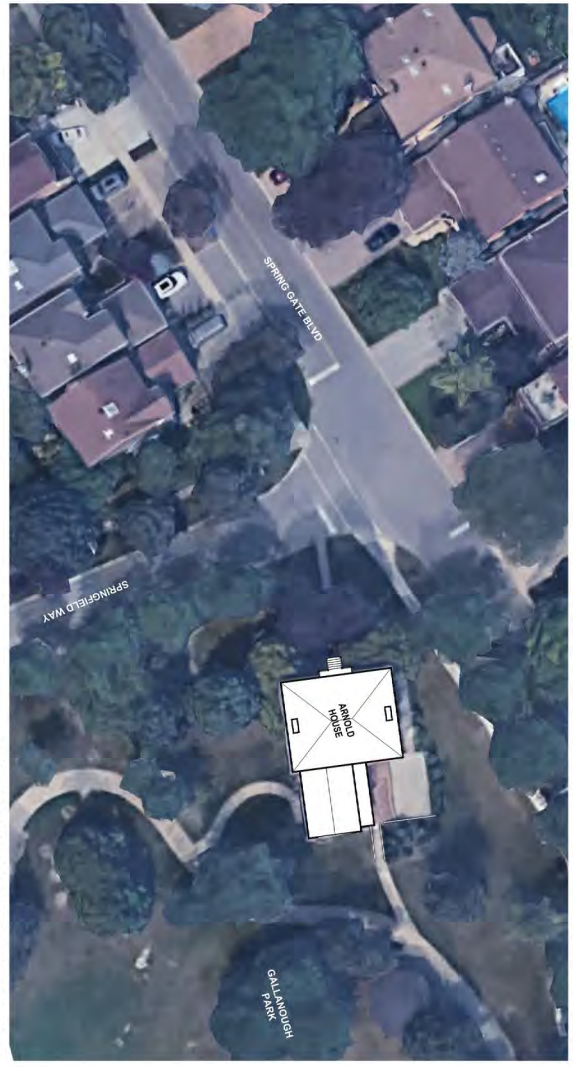


# 13.4. Architectural drawings dated December 04, 2025 - 75 CD Coordination

## CITY OF VAUGHAN HERITAGE HOME RENOVATION - JOHN ARNOLD HOUSE Building Envelope Rehabilitation & Accessibility Upgrades

DRAWING LIST

SHEET NUMBER	SHEET NAME
A1	CONTEXT PLAN AND BUILDING CODE MATRIX
A2	EXISTING FLOOR PLAN AND ACCESSIBILITY
A3	EXISTING EXTERIOR ELEVATION
A4	EXISTING & PROPOSED EXTERIOR ELEVATION
A5	EXISTING & PROPOSED INTERIOR ELEVATION
A6	NEW RENOVATION & MAINT. ASSUMPTIONS - PLAN & SECTION
A7	NEW RENOVATION & MAINT. ASSUMPTIONS - SECTION
A8	PROPOSED EXTERIOR ELEVATION
A9	PROPOSED INTERIOR ELEVATION



EXISTING FEATURES AND CONTEXT PLAN 1

General Project Information

Project Name: **John Arnold House Rehabilitation & Accessibility Upgrades**

Client: **75% CD CORPORATION**

Address: **21 Spring Gate Blvd, Thornhill, ON L4T 3P7**

Project Type: **Heritage Home Renovation**

Building Code: **Ontario Building Code (OBC)**

Project Number: **2025-1544**

Revision: **1**

Date: **December 04, 2025**

11.08 Context Building

Change to Major Occupancy:  No  Yes (Indicate if major occupancy)

Construction Method: **0**

Historic Category:  Low  Medium  High

11.09 Occupied Land

Development:  No  Yes

11.10 Occupied Land

Development:  No  Yes

11.14 Context Building

Change to Major Occupancy:  No  Yes (Indicate if major occupancy)

Construction Method: **0**

Historic Category:  Low  Medium  High

11.15 Occupied Land

Development:  No  Yes

**75% CD CORPORATION**  
2025-1544

**ARNOLD HOUSE REHABILITATION**

**VAUGHAN**

Project Number: **2412**

Scale: **1:100**

**A1**

**BNB**

**Brian Nelson Architects Inc.**  
2457 Yonge Street, Suite 200, Toronto, ON M2B 1P7  
Tel: (416) 927-8888

**DATE:** 2025.12.04  
**PROJECT:** 75% CD CORPORATION  
**NO:** 2025.1544

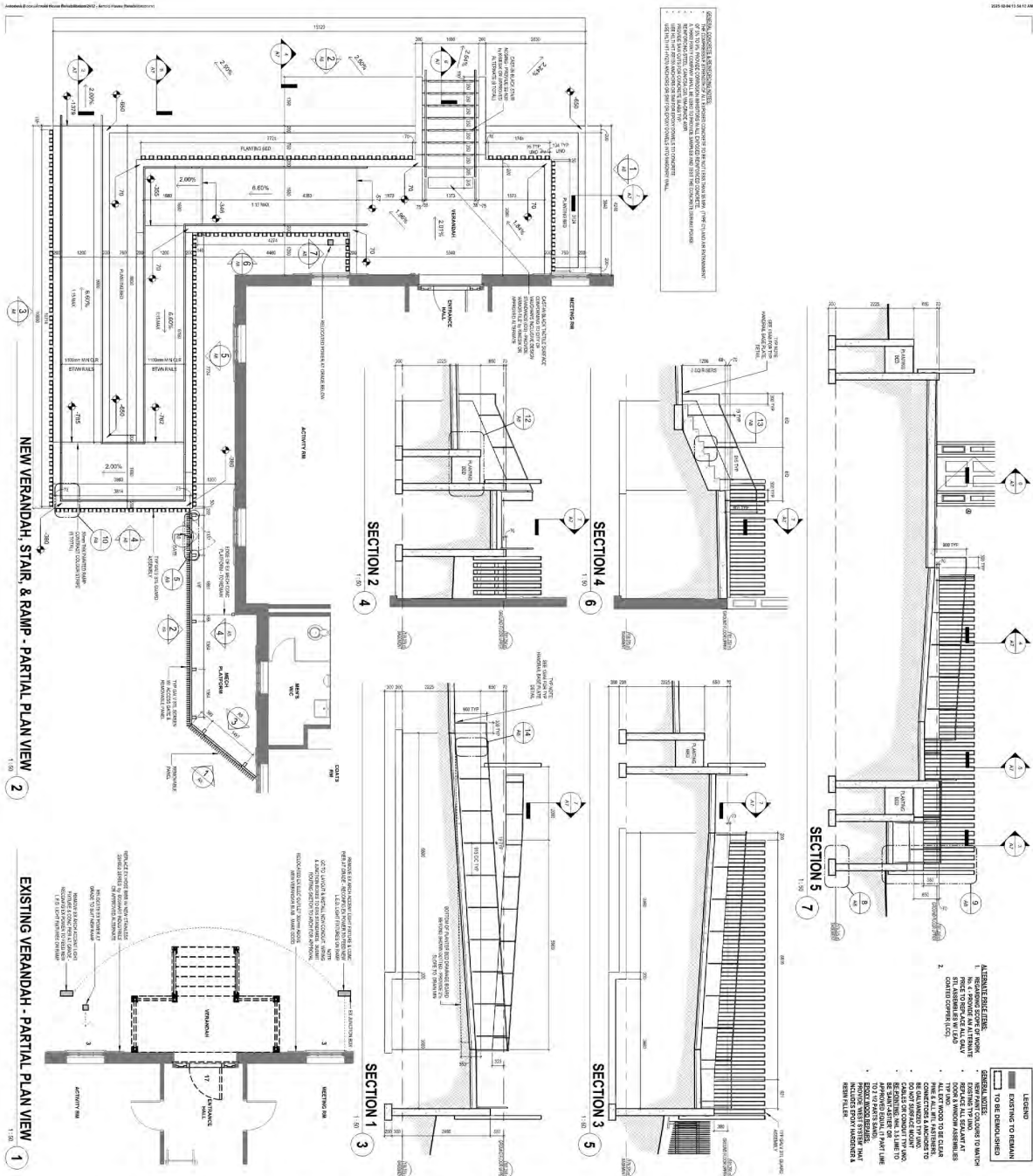












ITEM	SCOPE OF WORK
1	Remove existing verandah structure and concrete floor. Remove existing concrete floor and existing verandah structure. Remove existing concrete floor and existing verandah structure. Remove existing concrete floor and existing verandah structure.
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**VAUGHAN**

2412

7750 OF CORPORATION

**ARNOLD HOUSE**

REHABILITATION

**BNB**

Brian Nelson Architects Inc.

2407 Wellington Street West, Suite 201

Scarborough, Ontario M1V 3W1

DATE: 2023-10-13

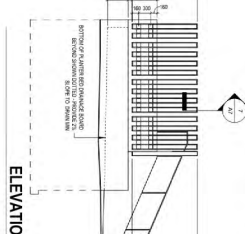
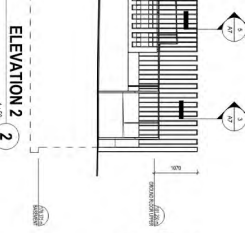
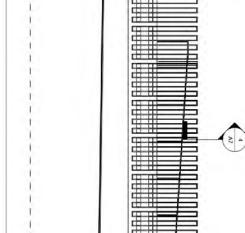
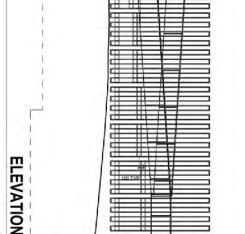
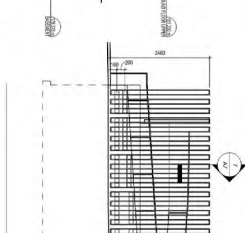
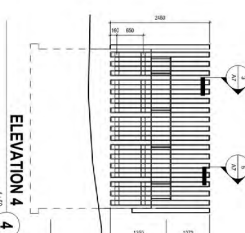
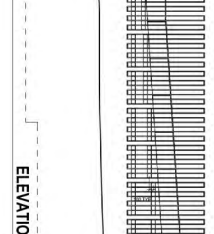
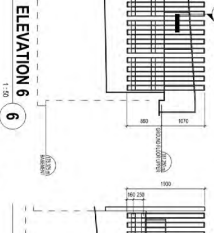
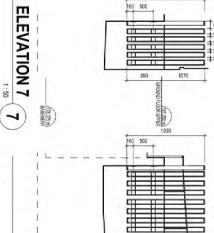
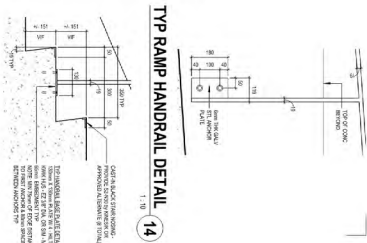
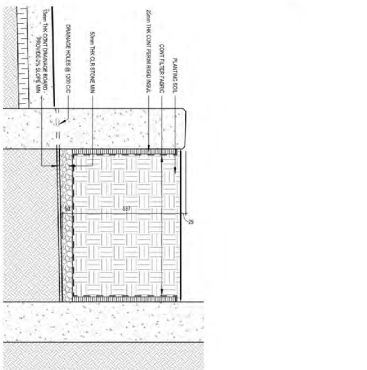
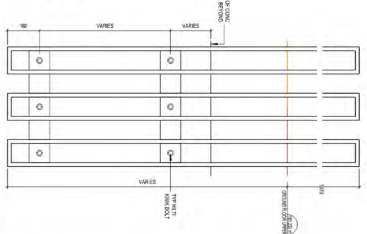
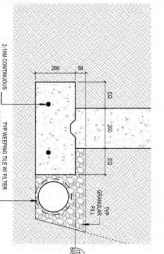
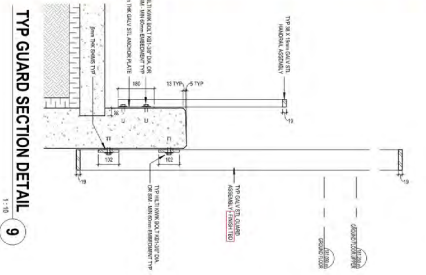
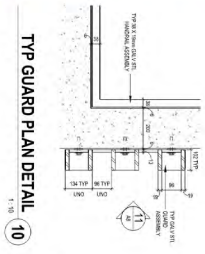
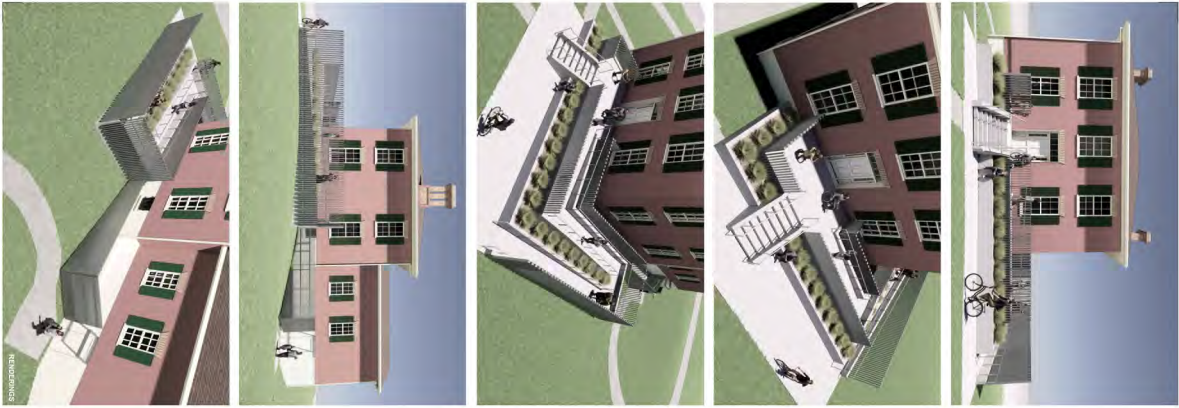
PROJECT: 2023-12-04

SCALE: 1:50

**A7**

NEW VERANDAH & RAMP

ASSEMBLY - PLANS & SECTIONS



**bna**  
Brian Nelson Architects Inc.  
2047 Yonge Street, Suite 200, Toronto, Ontario M2M 3L3  
Tel: 416-927-0800  
www.bna.ca

**VAUGHAN**  
2412  
2023-12-04

**ARNOLD HOUSE REHABILITATION**  
775 G.D. COOPERATION  
2023-12-04

**NEW VERANDAH & RAMP ASSEMBLY - ELEVATIONS, DETAILS & RENDERINGS**  
A8



## Village Artists still need home

An art show organized two years ago by Harriet deGiacomo for the Thornhill Historical Society planted the seed for the organization of the Thornhill Village Artists.

Mrs. deGiacomo, of Thornhill, was very impressed with the art displayed by the local Thornhill artists and along with Monika Preston of the Thornhill Historical Society, decided to start a club. They contacted all the artists and were met with positive responses.

The Thornhill Village Artists sponsor art classes for adults at the Gallanough Library on Wednesday nights and at various times, art instructors attend the classes. Last summer there was a weekly class in exterior landscaping. There are also art shows semi-annually at the Heintzman House and every Saturday morning Mrs. deGiacomo's sister Solace Loven, a graduate of the Ontario College of Art,

teaches children at the Gallanough Library. They had their own art display recently.

### A HOUSE,

### A HOME

But what the group lacks, according to Mrs. deGiacomo, is a home of its own.

Two years ago when the club was incorporated, Mrs. deGiacomo's first priority was to find a house. Rory O'Donal of the Ontario Art Gallery Association spent a great deal of time looking at buildings, bringing architects along with him.

Mrs. deGiacomo said all members of every local service club and both Councils were invited to a meeting since the artists were afraid of going into a large complex as was suggested, it was decided to look for an historical home.

The group then planned to purchase a house and move it to another location. The Arnold House and the Spring Farm were suggested but the Arnold House was selected.

Mrs. deGiacomo says all the artists need is a "super basement with wall space and a place to paint." She also envisions a "little tea shop where ornaments, etc., can be sold. The upper level could be rented.

### ARNOLD IN LIMBO

Charles Brooks, president of the club said "we don't know exactly where we stand (regarding the Arnold House). About the middle of the year, a committee headed by Dave Fraser, was organized from among the members of the club. As far as I know there's no actual agreement with the developers and I don't know where it stands; it's sort of in limbo. We hope that it will come through eventually, but I don't know when."

The club now has about 60 members and at its workshop on Wednesdays the artists bring whatever work interests them. There are also set-ups of models or demonstrations by well known painters.

### MORE OR LESS

Brooks says he is "more or less an artist." He was originally an architect and designer but since he retired he "gets a little tired of doing nothing very much so I quit that and I started to paint seriously again."

Although he says he was a fair painter 40 years ago, he never bothered showing at that time. More recently he has had showings at the Gallanough Library, the Thornhill Community Centre and has plans for a showing in June in Markham.

He does mostly water colors or oils in landscape or street-scapes.

Mrs. deGiacomo, who has been ill recently, says "bit by bit we're building a very good membership list of artists. The artists are super, really great."

But she still yearns for a permanent home for the Thornhill Village Artists and feels if the momentum stops now, it may take a long time to get it going.



The Arnold House, an historic building nearly 140-years-old is still being discussed as a location for the Thornhill Village Artists. The group has existed for a year and spends much of its time working at the Gallanough Library in

Vaughan and displaying its paintings in such places as Heintzman House. It hopes to obtain a permanent home sometime this year. (Liberal photo by Bruce Hogg)

## Happy Birthday Horticultural Society

By GEORGIE BURKHOLDER  
Liberal Correspondent

The Thornhill and District Horticultural Society celebrates its 65th birthday this year.

In April 1914, a few citizens of Thornhill gathered at the home of Francis Simpson, now occupied by the Town and Country Nursing Home on Yonge St. They formed the roots of present society.

In January 1915, they received their charter and have since maintained their registry with the Ontario Horticultural Society under provincial legislation, which provides a small grant support.

From the original 25 members, the club has

grown to more than 100 members with 10 Honorary Life Members. Their ages range from 12-95, all enthusiastic and dedicated.

Dedicated to good gardening and beautification programs in the community, strong leadership has been provided by such as Joe Waine, Ernie Kohler, Percy Bone, and Alexander Galbraith, author of "Trees We Should Know", a standard reference book.

The late Percy Bone served eight years as president of the Society then became president of the Ontario Horticultural Society, Director of the C.N.E. and chairman of the horticultural building

where there is a plaque in his memory.

Flower shows and meetings have been held nearly every month, usually at the Gallanough Library, Thornhill. Over the years, the Society has been active in various local and public projects and has provided labour and planning to sections of Thornhill Park and around Thornbank Pond, as well as in many other areas.

Members are currently working on the upkeep and beautification of the Percy Bone Memorial Parkeite in Thornhill Park.

The Thornhill Horticultural Society is proud of the young members who compete regularly for top prizes.

## Christmas memories, thoughts of neglected kids

By N. BRUCE McLEOD  
Richmond Hill United Church

As the magic of Christmas Eve turns again to the torn paper of the morning after and the frantic elbows of Boxing Day Sales, vivid memories return to me of Central America.

Two Christmas Days ago, I sat in a children's prison in Costa Rica.

An 11-year-old boy, with lifeless eyes and expressionless stare, cut his arm methodically with a piece of glass.

Their children take each other's hands and go out into the world. Some are organized into gangs or thieves. Others live out of garbage cans. Some end up in children's prisons.

Maria de los Angeles (Mary of the Angels) was 12 when I met her. She was in a holding centre designed to hold 75 children for up to a month while the Children's Aid attempted to place them.

There were 205 children there the day we went, some in their second

through the windows of the bus.

None of them had lifeless eyes or expressionless stares.

David Beattie, from St. Matthew's United Church in Richmond Hill, will soon be going to Pueblo to join the Canadian volunteer team which works under Costa Rican

Milliken school to be called

Mother Theresa

direction there.

He will learn, as I did, that Christmases are not necessarily the merriest in countries which have the most, that no child anywhere should be in any kind of prison, and that Mary of the Angels will welcome him to her family, which is our family and the family of God who will turn this whole earth into a home.



# Looking BACK

THORNHILL BECAME FRONT  
PAGE NEWS IN 1885 WHEN  
JOHN R. ARNOLD  
WAS SHOT TWICE IN THE HEAD

BY JEANNE HOPKINS

Over the years, the Arnold family had always been the talk of the town because of their involvement in Thornhill politics, but the murder of John Arnold III put the Village of Thornhill on the front pages of many newspapers.

United Empire loyalist John Arnold had come to New Brunswick from New Jersey after the American Revolution of 1776. He trekked to Niagara, then to Thornhill, settling on the west side of Yonge Street.

His son, also John Arnold, was active during the War of 1812, commanding the No. 3 Company of the first regiment of the York Militia. When Fort York was captured in April, 1813, he was taken prisoner and later released.

He returned to his land and hired Rowland Burr to build a sawmill. John and his son, Abner operated the mill until 1870, expanding their holdings to both sides of Yonge Street.

But, on Feb. 3, 1885, John R. Arnold III was murdered in the local hotel by two men from Etobicoke. John was only 24. He had been living in Manitoba and was visiting his mother, brother, and two sisters at the time.

John and his friend, Francis Huff, met James Stewart and John G. Wesley from Etobicoke. After a few drinks at Simon's Thornhill Hotel, the foursome went to Collin's Hotel to play euchre.

When Arnold and Huff won \$8.25, one of the men accused Arnold of cheating. Arnold insisted they pay up.

They went back to Simon's Hotel, where a fight broke out during which John was shot twice in the head. They tried to escape on a passing sleigh, but when the driver wouldn't comply to speed away, two

shots were fired into the air to frighten the horses. The two men fell off the sleigh and were held until the police arrived.

When Justice of the Peace, Isaac Chapman arrived, he and the magistrate sentenced the two men to trial. They spent the night in a guarded hotel room, then were taken to the Toronto jail. After the trial, held during the first week of May, the jury convicted Stewart of manslaughter and acquitted Wesley.

The Arnolds reserved the right to have a family burial plot set aside in the churchyard of Richmond Hill's first permanent church, donated by the family.

In 1860, another son, Robert John Arnold built this Regency-style house on the property which he inherited from his father. Robert was active in politics, serving as Reeve of Vaughan from 1861 to 1863. Robert died in 1871 at 44.

The house remained in the family until the early 1900s. From 1900 to 1934, John W. Breakey lived in the house. In 1935, the property was returned to the Arnold family when it was rented to Robert's daughter Annie Cora, who lived there until 1940. Then the land was sold for development.

When the Arnold house was threatened with demolition, residents fought to save it.

In 1982, it was designated an historic building and the Town of Vaughan persuaded the developers to move the house to a nearby park.

Fund-raising drives and grants allowed the house to be restored to a cultural centre. The Arnold House Arts Centre in Gallanough Park was officially opened on June 18, 1983.

*Jeanne Hopkins is the author of several books on Canadian history, and also serves as Post Newspapers' resident historian.*

# Arnold Family Has Interesting History

by Doris M. FitzGerald

JAN. 15, 1959

Similar street names are to be found in many early Ontario villages and towns especially if they were visited by old time notables such as the Duke of Richmond, Lord Elgin and Sir John Colborne. Thornhill and Richmond Hill have one name in common which has been particularly associated with this district since Crown Grant days. Arnold Ave. in Thornhill runs through the former farm of the late Robert Joseph Arnold who was Reeve of Vaughan Township in 1861-2-3, and Arnold Street and Arnold Crescent in Richmond Hill were opened on land which had belonged to his brother, John R. Arnold, whose home there was known as the Hermitage. These men and their brother Abner were among the descendants of John Arnold, a United Empire Loyalist from New Jersey, who settled first in New Brunswick, then made the long and difficult trip to Upper Canada with a number of other Loyalist families when Simcoe was appointed Governor in 1792. He received a Crown Grant on the 3rd Concession, Markham, and later acquired lot 27 on the Markham side of Yonge Street.

During the war of 1812 John Arnold served as a captain in the York Militia and was taken prisoner at the old fort on April 27, 1813. Also captured at the same time was his 73 year old uncle, Captain John Willson, J.P., whose Crown Grant, lot 30, concession 1 Vaughan, now lies in the centre of the village, the northern boundary being No. 7 Highway west.

We do not know whether Abner, John R., and Robert Joseph were sons or grandsons of Captain John Arnold but have been told that all the family took a keen and active interest in the building of Holy Trinity Church, Thornhill. Between 1825-70 Abner operated a saw mill, built for his father by Rowland Burr, in what is now Doncaster. He lived near the mill but later built the house on Yonge St. presently owned by the E. V. Graingers. John R. married Martha Milbourne, a granddaughter of Jordan Post, former New England clock maker, for whom Jordan St. in Toronto is named, and she inherited a farm at Yonge and John Sts., Thornhill, which had belonged to him. The John R. Arnolds later moved to Richmond Hill where they gave the land for St. Mary's Anglican Church and it is said that the name for the church was chosen by Mrs. Arnold. The Thornhill farm was rented for a number of years, and finally bought by the late James Pearson, who sold the John St. frontage for subdivision after the last war.

When Robert Joseph Arnold and Miss Sarah Kirkpatrick of Meadville, Pa., were married in 1848 they received as a wedding gift one of the first farms cleared on Yonge St., lot 29, Vaughan Township. The donor was James Miles, a relative of the bridegroom who had obtained it years before from the original Crown Grantee Asa Johnston. Robert Arnold commissioned Job Trott, Thornhill stonemason to build the handsome brick house which still stands in spacious grounds. It has not belonged to the Arnolds for a long time but in 1935

Late Mrs. J. W. Breakey

The death occurred at the residence of her son, Edward D. Nelles, 100 Dalewood Crescent, Hamilton, on Tuesday, July 13th, 1937, of Helen Sarah Breakey, widow of J. W. Breakey, of Thornhill. One son Edward B. Nelles of Hamilton, one daughter Mrs. Wilfred Ball of Thornhill and 8 grandchildren survive. The funeral service was held at Trinity Church, Thornhill, this Thursday at 3 o'clock, Rev. N. H. Noble officiating. Interment followed in Trinity Church Cemetery. 1937

Mrs. R. J. Davison, a daughter of Mr. and Mrs. Robert Arnold, rented it and lived there with her family for 5 years. More recently it was used as a nursing home. Now its future seems uncertain for this property together with the adjoining farm, which was the old Chapman Crown Grant have been sold by their last owner Mr. George S. Spring to a syndicate for the proposed Spring Valley subdivision. Though the large brick house was sold years ago the farm house and most of the land were retained by the Arnold family until comparatively recently. Mrs. Leigh MacCallum, another daughter, willed the north section to her nephew Arnold Davison who sold it to Mr. Charles Smith and he opened up Arnold Ave. Thornhill Public School stands on the former Arnold Farm, just north of the old frame farmhouse.

7460 YONGE ST.

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## 13.6. Online Resources From Thornhill Historic Website and other websites



THS

Home

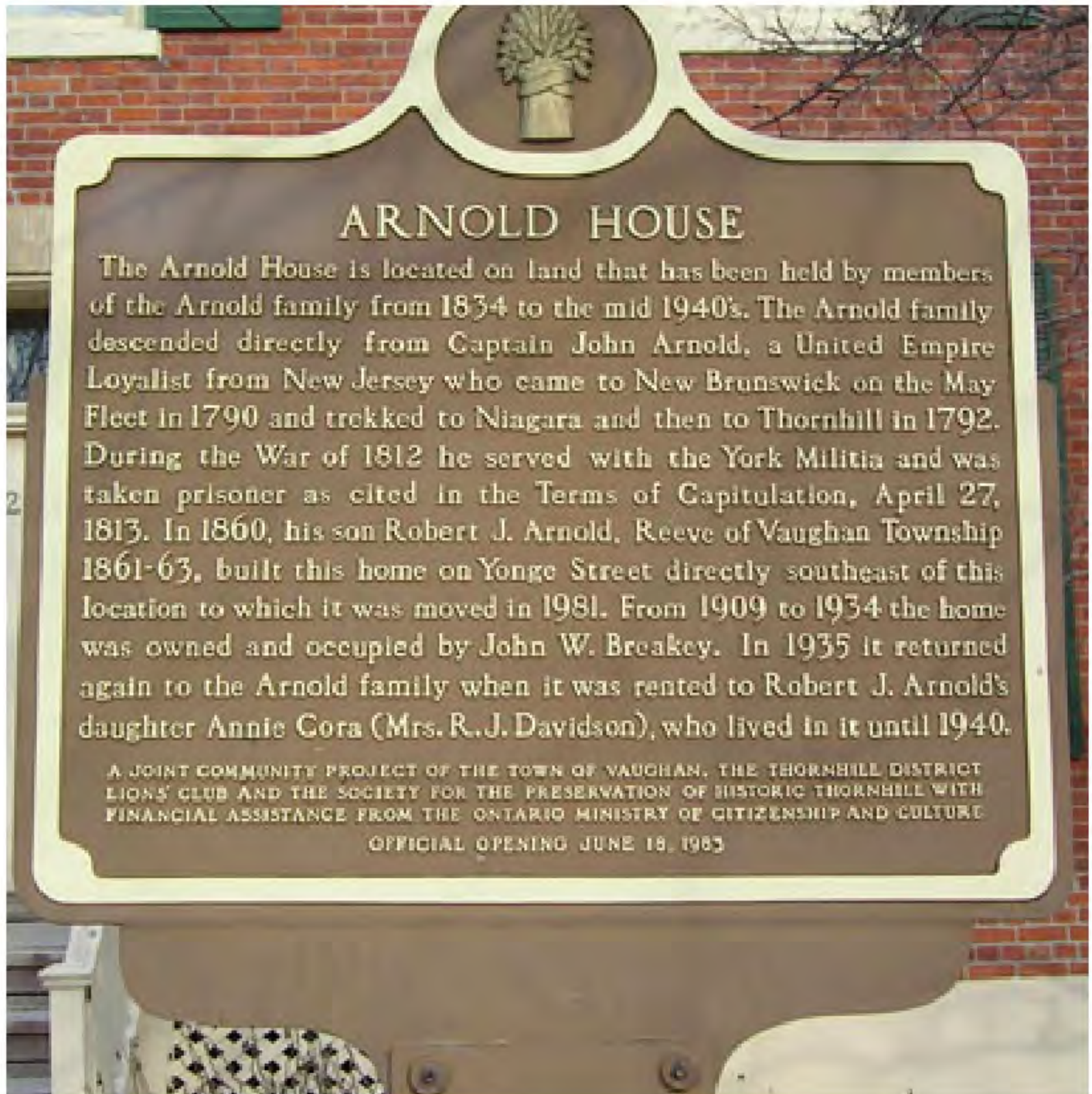
Join THS

About

Discover

Walking Tours

Events



## Arnold House (1860)

From the historical plaque outside the house.

The Arnold House is located on land that has been held by members of the Arnold family from 1834 to the mid 1940's. The Arnold family descended directly from Captain John Arnold, a United Empire Loyalist from New Jersey who came to New Brunswick on the May Fleet in 1790 and trekked to Niagara and then to Thornhill in 1792. During the War of 1812 he served with the York Militia and was taken prisoner as cited in the Terms of Capitulation, April 27, 1813. In 1860, his son Robert J. Arnold, Reeve of Vaughan Township 1861-63, built this home on Yonge Street directly southeast of this location to which it was moved in 1981. From 1909 to 1934 the home was owned and occupied by John W. Breakey. In 1935 it returned again to the Arnold family when it was rented to Robert J. Arnold's daughter Annie Cora (Mrs. R. J. Davidson), who lived in it until 1940.



## **JOHN ARNOLD HOUSE**

In 1872, John Arnold built this two storey red-brick house along Yonge Street. The Arnold family was one of the first that settled in Thornhill. Robert Arnold, John's father, was a Reeve (head of Council) of Vaughan Township in 1861 and was very much concerned with helping the Thornhill community.

The Arnold House was moved to Spring Gate Boulevard in 1981 and is now known as the Arnold Centre for the Arts.



## 13.7. The Heritage Years Thornhill Vaughan 1796-1900

1.2 (e)



### ROBERT J. ARNOLD HOUSE

7460 Yonge Street

Roll Number 040.005

Concession 1 part Lot 29

Frontage 650' 11.5 ac

Owner 1977: Rexdale Investments Ltd.

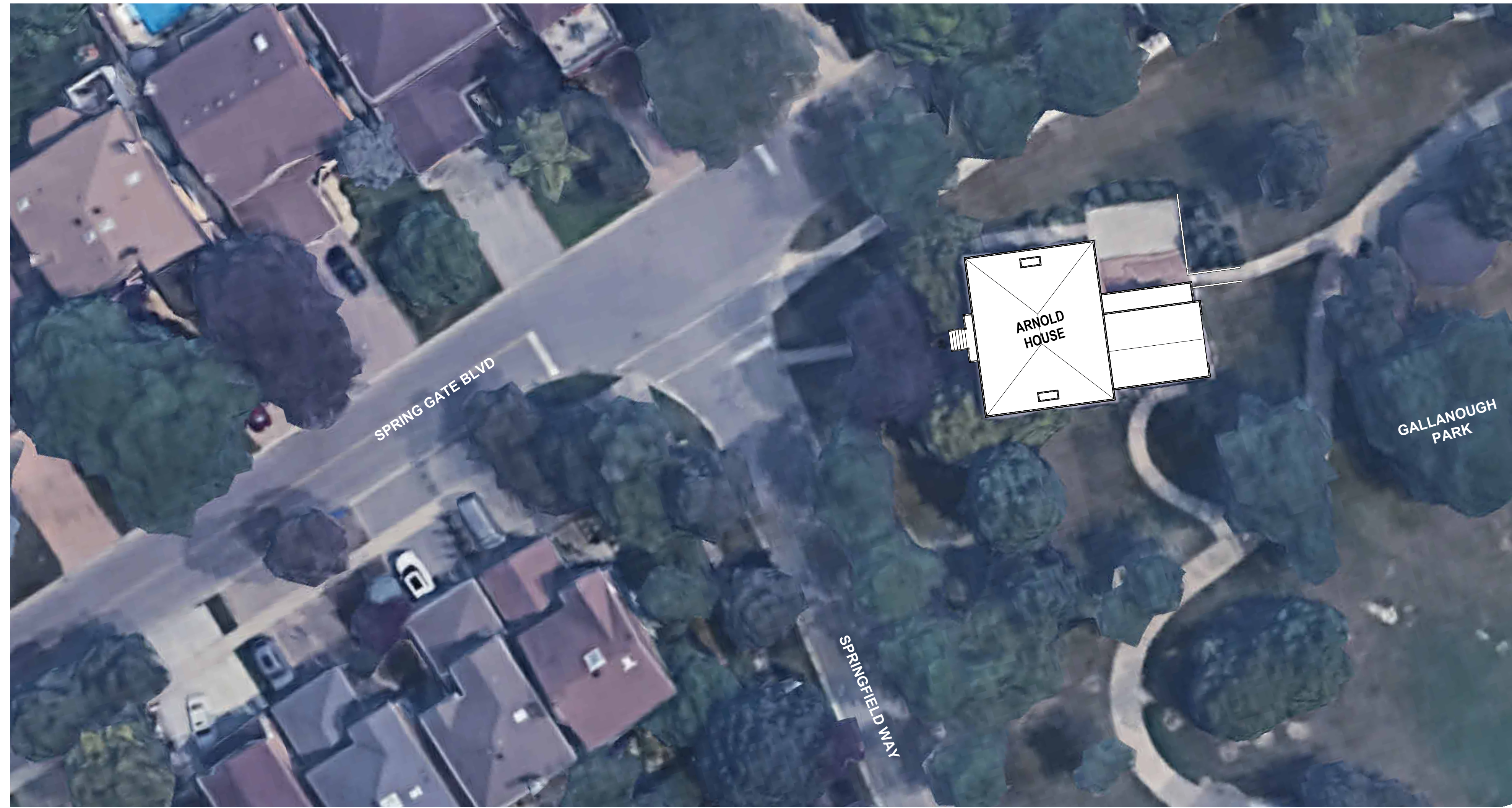
This fine Regency house c 1860 was reportedly built by stonemason Job Trott for Robert J. Arnold, a distinguished son of a notable family. The well proportioned house of classic style has very fine brickwork, particularly the chimneys. An added veranda obscures the original "Thornhill" doorway with typical sidelights and transom.

Capt. John Arnold was a United Empire Loyalist from New Jersey, via New Brunswick. He settled in Thornhill with brothers and sons. Related to Squire Miles of Richmond Hill, the Arnolds soon expanded into farms and mills on Lots 29 and 27 in Vaughan and Markham. Capt. John Arnold was one of several Thornhill members of the York Militia taken prisoner at the fall of Fort York on April 27, 1813. Lot 29 - Vaughan was given to John Arnold as a wedding gift by John Miles. The family was prominent in the building of Trinity Church and community affairs. Robt. J. Arnold was Reeve of Vaughan Twp. in 1861-62-63.

### Relevant Land Transfers

# CITY OF VAUGHAN HERITAGE HOME RENOVATION - JOHN ARNOLD HOUSE Building Envelope Rehabilitation & Accessibility Upgrades

DRAWING LIST	
SHEET NUMBER	SHEET NAME
A1	CONTEXT PLAN AND BUILDING CODE MATRIX
A2	EXISTING FLOOR PLANS
A3	EXISTING & PROPOSED WEST ELEVATION
A4	EXISTING & PROPOSED SOUTH ELEVATION
A5	EXISTING & PROPOSED EAST ELEVATION
A6	EXISTING & PROPOSED NORTH ELEVATION
A7	NEW VERANDAH & RAMP ASSEMBLY - PLANS & SECTIONS
A8	NEW VERANDAH & RAMP ASSEMBLY - ELEVATIONS, DETAILS & RENDERINGS
A9	MISCELLANEOUS DETAILS & SOFFIT LIGHTING



## EXISTING FEATURES AND CONTEXT PLAN

1:250

1

<b>Name of Practice:</b> Baron Nelson Architects Inc. (BNA) 304 - 67 Mowat Ave., Toronto, ON, M6K 3E3 Contact: Jason Nelson 416 662-1601		
<b>Name of Project:</b> Vaughan Heritage Home Renovation - Arnold House Rehabilitation		
<b>Location:</b> 21 Spring Gate Blvd., Thornhill, ON, L4J 3C9		
<b>Date: As Noted,</b>		
<b>Ontario Building Code Data Matrix Part II - Renovation of Existing Building</b>		<b>Building Code Reference 1</b>
11.00	Building Code Version: <u>O_Reg_332/12</u> Last Amendment <u>O_Reg_191/14</u>	
11.01	Project Type: <input type="checkbox"/> Addition <input checked="" type="checkbox"/> Renovation <input type="checkbox"/> Addition and renovation <input type="checkbox"/> Change of use Description: <u>HERITAGE BUILDING - ENVELOPE REHABILITATION</u>	[A] 1.1.2.
11.02	Major Occupancy Classification: Occupancy <u>A2</u> Use <u>ACTIVE RECREATION USE (DAY CAMP)</u>	3.1.2.1.(1)
11.03	Superimposed Major Occupancies: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Description:	3.2.2.7.
11.04	Building Area (m <sup>2</sup> ): Description: Existing New Total LEVEL 1 165.9 0 0 LEVEL 2 165.9 0 0 Total 331.8 0 0	[A] 1.4.1.2.
11.05	Building Height: <u>2</u> Storeys above grade <u>7</u> (m) Above grade <u>1</u> Storeys below grade	[A] 1.4.1.2. & 3.2.1.1.
11.06	Number of Streets/Firefighter access: <u>1</u> street(s)	3.2.2.10. & 3.2.5.
11.07	Building Size: <input checked="" type="checkbox"/> Small <input type="checkbox"/> Medium <input type="checkbox"/> Large <input type="checkbox"/> > Large	T.11.2.1.1.B.-N.

11.08	Existing Building Classification: Change in Major Occupancy: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not Applicable (no change of major occupancy) Construction Index: <u>0</u> Hazard Index: <u>0</u> Importance Category: <input type="checkbox"/> Low <input type="checkbox"/> Normal <input type="checkbox"/> High <input type="checkbox"/> Post-disaster	11.2.1.1. T.11.2.1.1A T.11.2.1.1B to N 4.2.1.(3), 5.2.2.1.(2)																									
11.09	Renovation type: <input checked="" type="checkbox"/> Basic Renovation <input type="checkbox"/> Extensive Renovation	11.3.3.1, 11.3.3.2.																									
11.10	Occupant Load: <table border="1"> <thead> <tr> <th>Floor Level/Area</th> <th>Occupancy Type</th> <th>Based On</th> <th>Occupant Load (Persons)</th> </tr> </thead> <tbody> <tr> <td>LEVEL 1 / 165.9</td> <td>A2</td> <td>9.3</td> <td>18</td> </tr> <tr> <td>LEVEL 2 / 165.9</td> <td>A2</td> <td>9.3</td> <td>18</td> </tr> <tr> <td></td> <td></td> <td></td> <td>0</td> </tr> <tr> <td></td> <td></td> <td></td> <td>0</td> </tr> </tbody> </table>	Floor Level/Area	Occupancy Type	Based On	Occupant Load (Persons)	LEVEL 1 / 165.9	A2	9.3	18	LEVEL 2 / 165.9	A2	9.3	18				0				0	3.1.17.					
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LEVEL 2 / 165.9	A2	9.3	18																								
			0																								
			0																								
11.11	Plumbing Fixture Requirements: Ratio: <u>M/F = 1/1 Except as otherwise noted</u> <table border="1"> <thead> <tr> <th>Floor Level/Area</th> <th>Occupant Load</th> <th>OBC Reference</th> <th>Fixtures Required</th> <th>Fixtures Provided</th> </tr> </thead> <tbody> <tr> <td>LEVEL 1 / 165.9</td> <td>18</td> <td>3.7.4.3-A</td> <td>2</td> <td>2</td> </tr> <tr> <td>LEVEL 2 / 165.9</td> <td>18</td> <td>3.7.4.3-A</td> <td>2</td> <td>0</td> </tr> <tr> <td>BASEMENT</td> <td>0</td> <td></td> <td>0</td> <td>2</td> </tr> <tr> <td></td> <td>0</td> <td></td> <td>4</td> <td>4</td> </tr> </tbody> </table>	Floor Level/Area	Occupant Load	OBC Reference	Fixtures Required	Fixtures Provided	LEVEL 1 / 165.9	18	3.7.4.3-A	2	2	LEVEL 2 / 165.9	18	3.7.4.3-A	2	0	BASEMENT	0		0	2		0		4	4	3.7.4.
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LEVEL 2 / 165.9	18	3.7.4.3-A	2	0																							
BASEMENT	0		0	2																							
	0		4	4																							
11.12	Barrier-free Design: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	11.3.3.2.(2)																									
11.13	Reduction in Performance Level: Structural: <input type="checkbox"/> No <input type="checkbox"/> Yes By increase in occupant load: <input type="checkbox"/> No <input type="checkbox"/> Yes Plumbing: <input type="checkbox"/> No <input type="checkbox"/> Yes Sewage-systems: <input type="checkbox"/> No <input type="checkbox"/> Yes Extension of combustible construction: <input type="checkbox"/> No <input type="checkbox"/> Yes	11.4.2.1. 11.4.2.2. 11.4.2.3. 11.4.2.4. 11.4.2.5. 11.4.2.6.																									

11.14	Compensating Construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Structural: <input type="checkbox"/> No <input type="checkbox"/> Yes (Describe) Increase in occupant load: <input type="checkbox"/> No <input type="checkbox"/> Yes (Describe) Change of major occupancy: <input type="checkbox"/> No <input type="checkbox"/> Yes (Describe) Plumbing: <input type="checkbox"/> No <input type="checkbox"/> Yes (Describe) Sewage systems: <input type="checkbox"/> No <input type="checkbox"/> Yes (Describe) Extension of combustible construction: <input type="checkbox"/> No <input type="checkbox"/> Yes (Describe)	11.4.3.1. 11.4.3.2. 11.4.3.3. 11.4.3.4. 11.4.3.5. 11.4.3.6. 11.4.3.7.
11.15	Compliance Alternatives Proposed: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (list numbers and describe) (list numbers and describe) (list numbers and describe)	11.5.1.

**GENERAL NOTES:**

- ALL DIMENSIONS GIVEN IN METRIC (UNLESS OTHERWISE NOTED).
- ALL CONSTRUCTION TO COMPLY WITH ONTARIO BUILDING CODE 2012 (INCLUDING ALL COMPENDIUM AMENDMENT PACKAGES IN EFFECT AS OF JAN 1, 2024) AND ACCEPTABLE PRACTICES.
- DESIGN IS BASED ON ONTARIO BUILDING CODE 2012 EDITION (INCLUDING ALL COMPENDIUM AMENDMENT PACKAGES IN EFFECT AS OF JAN 1, 2024).
- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY THE CONSULTANT OF ANY DISCREPANCIES BETWEEN THE SITE CONDITIONS AND THE ASSUMED DESIGN CONDITIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- CONSULTANT REQUIRES MINIMUM 24 HOURS NOTICE FOR SITE VISIT.

**DEMOLITION PROCEDURE:**

- PROVIDE SHORING AND BRACING AS REQUIRED BEFORE STARTING DEMOLITION. SHORING AND BRACING SHALL BE DESIGNED FOR SAFELY TRANSFERRING GRAVITY LOADS AND ALSO ANY LATERAL LOAD INCLUDING WIND LOADS. SHORING AND BRACING FOR SOIL EXISTING STRUCTURE AND NEW STRUCTURE TO THE END OF CONSTRUCTION IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL RETAIN A PROFESSIONAL ENGINEER TO DESIGN SHORING AND BRACING AS REQUIRED.

**GUARDS**

INTERIOR LANDINGS = 85mm (2'-10") MIN.  
 EXTERIOR BALCONY = 102mm (3'-4") MIN.  
 INTERIOR STAIRS = 85mm (2'-11") MIN.  
 EXTERIOR STAIRS = 85mm (2'-11") MIN.  
 MAX. BETWEEN POCKETS = 100mm (4")

GUARD HEIGHT @ DECK TO GRADE IS:  
 GREATER THAN 1800mm = 102mm (3'-4")  
 1800mm (5'-7") OR LESS = 85mm (2'-11")  
 NO MEMBERS OR ATTACHMENT (EITHER 100mm (4") & 85mm (2'-11") HIGH SHALL FACILITATE CLIMBING.  
 STAIR STRINGERS TO BE 2"x10" MIN.

**STAIRS/GUARDS SPECIFICATIONS:**  
 DESIGN WIND LOAD: P<sub>WIND</sub>=0.9\*W<sub>0</sub>=1.0\*0.44\*0.90\*2.3=0.91 KPA  
 W<sub>0</sub>=1.0 (ULS)  
 ROOF DESIGN SNOW LOAD IS 1.44 KPA (29.9 PSF).  
 FLOOR DESIGN LIVE LOADS FOR GROUND FLOOR AND BALCONY IS 4.8 KPA(100 PSF).

MIN. ALLOWABLE SOIL PRESSURE CONSIDERED AS MIN. 100 KPA.

**CONSTRUCTION NOTES:**


- PROVIDE SAW CUTS FOR SLAB ON GRADES.
- A THIRD PARTY COMPANY (APPROVED BY CLIENT AND CONSULTANTS) SHALL BE USED TO PROVIDE SAMPLES DURING CONCRETE POURS. TEST THEM IN THE LAB AND PROVIDE REPORTS.

**CONCRETE NOTES:**

- NORMALLY UNREINFORCED CONCRETE SHALL BE DESIGNED, MIXED, PLACED, CURED AND TESTED IN ACCORDANCE WITH CAN/CSA-A438, "CONCRETE CONSTRUCTION FOR HOUSING AND SMALL BUILDINGS".
- NORMALLY UNREINFORCED STEEL-BARREDED CONCRETE SHALL BE DESIGNED, MIXED, PLACED AND CURED IN ACCORDANCE WITH ARTICLE 3.1.3.1.2 TO 3.1.3.1.9 AND REINFORCED CONCRETE SHALL BE DESIGNED TO CONFORM TO THE REQUIREMENTS OF PART 4 AND OBC 2012 EDITION (INCLUDING ALL COMPENDIUM AMENDMENT PACKAGES IN EFFECT AS OF JAN 1, 2024).
- CONCRETE SHALL MEET THE REQUIREMENTS FOR USE IN CONCRETE.
- AGGREGATES SHALL CONSIST OF SAND, GRAVEL, CRUSHED ROCK, CRUSHED AIR-COOLED BLAST FURNACE SLAG, EXPANDED SHALE OR EXPANDED CLAY CONFORMING TO CAN/CSA-A23.1, "CONCRETE MATERIALS AND METHODS OF CONCRETE CONSTRUCTION" AND BE CLEAN, WELL-GRADED AND FREE OF HARMFUL AMOUNTS OF ORGANIC AND OTHER DELETERIOUS MATERIAL.
- WATER SHALL BE CLEAN AND FREE OF HARMFUL AMOUNTS OF OIL, ORGANIC MATTER, SEDIMENT OR ANY OTHER DELETERIOUS MATERIAL.
- FOR FRESH SLAB, FORM SLAB, EXTERIOR CONCRETE STAIRS, CONCRETE WALLS AND FOOTINGS, AND ANY EXPOSED REINFORCED CONCRETE, USE EXPOSURE CLASS C-1 AND COMPRESSIVE STRENGTH OF CONCRETE AFTER 28 DAYS SHALL BE NOT LESS THAN 30 MPa (5000 PSF). ADD CORROSION INHIBITORS.
- USE EXPOSURE CLASS C-2 WITH COMPRESSIVE STRENGTH OF 30 MPa (4500 PSF) FOR ALL UN-REINFORCED EXTERIOR CONCRETE WORK.
- USE TYPE F2 CONCRETE FOR INTERIOR FOOTINGS AND SLAB ON GRADE. COMPRESSIVE STRENGTH OF CONCRETE AFTER 28 DAYS SHALL NOT BE LESS THAN 25 MPa.
- REINFORCING STEELS TO BE: CAN/CSA-A815 AND CAN/CSA-A310M GRADE 400R UNLESS NOTED.
- REINFORCING LAMBER SHALL BE SPF#1R OR 2 KILN DRIED UNLESS NOTED.
- EXTERIOR WOODS SHALL BE PRESURE TREATED.
- USE HELIX HIT-HYDRO ANCHORS OR SIMILAR FOR EPOXY DONKELS INTO CONCRETE.
- FOR ALL ANCHORS, FOLLOW MANUFACTURER'S SPECIFICATION FOR INSTALLATION.
- FOR ALL SIMPSON TIES CONNECTIONS, FOLLOW MANUFACTURER'S INSTRUCTION FOR NAILING/SCREWING.

THE CONTRACTOR SHALL STRICTLY FOLLOW PERMIT DRAWINGS AND SITE INSTRUCTION PROVIDED BY ENGINEER AND CURRENT OBC CODE AND ACCEPTABLE PRACTICES FOR CONSTRUCTION. BEFORE PROVIDING SIGN OFF BY ENGINEER, THE CONTRACTOR SHALL PROVIDE AN OFFICIAL LETTER TO ENGINEER THAT WORK COMPLETED AS PER PERMIT DRAWINGS, WRITTEN SITE INSTRUCTIONS AND SPECIFICATIONS.

**TO BE COORD W/ STRUCT CONSULTANT**



**Baron Nelson Architects Inc.**  
 304 - 67 Mowat Avenue, Toronto, Ontario, M6K 3E3  
 info@bnarch.ca www.bnarch.ca

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**Heritage Specialist / Architect**  
 Larkin Architect Limited  
 43 Dineen Avenue, Second Floor, Toronto, Ontario M5M 2A8

**Structural Engineering**  
 TCMAT and Associates  
 207-42 Industrial Street, East York, Ontario M4G 1Y9

**Electrical Engineering**  
 N/A

**Landscape Architect**  
 N/A

**Civil Engineering**  
 N/A


**Interior Design**  
 N/A

**Metric Scale**

Drawing No.	Issued for:	Date:
1	COORDINATION	2025-08-29
2	50% CD COORDINATION	2025-09-30
3	75% CD COORDINATION	2025-12-04
4	HERITAGE VAUGHAN REVIEW & COORD	2026-01-29

Last Issued For  
**HERITAGE VAUGHAN REVIEW & COORD**  
 2026-01-29

21 SPRING GATE BLVD., THORNHILL, ON  
**ARNOLD HOUSE REHABILITATION**

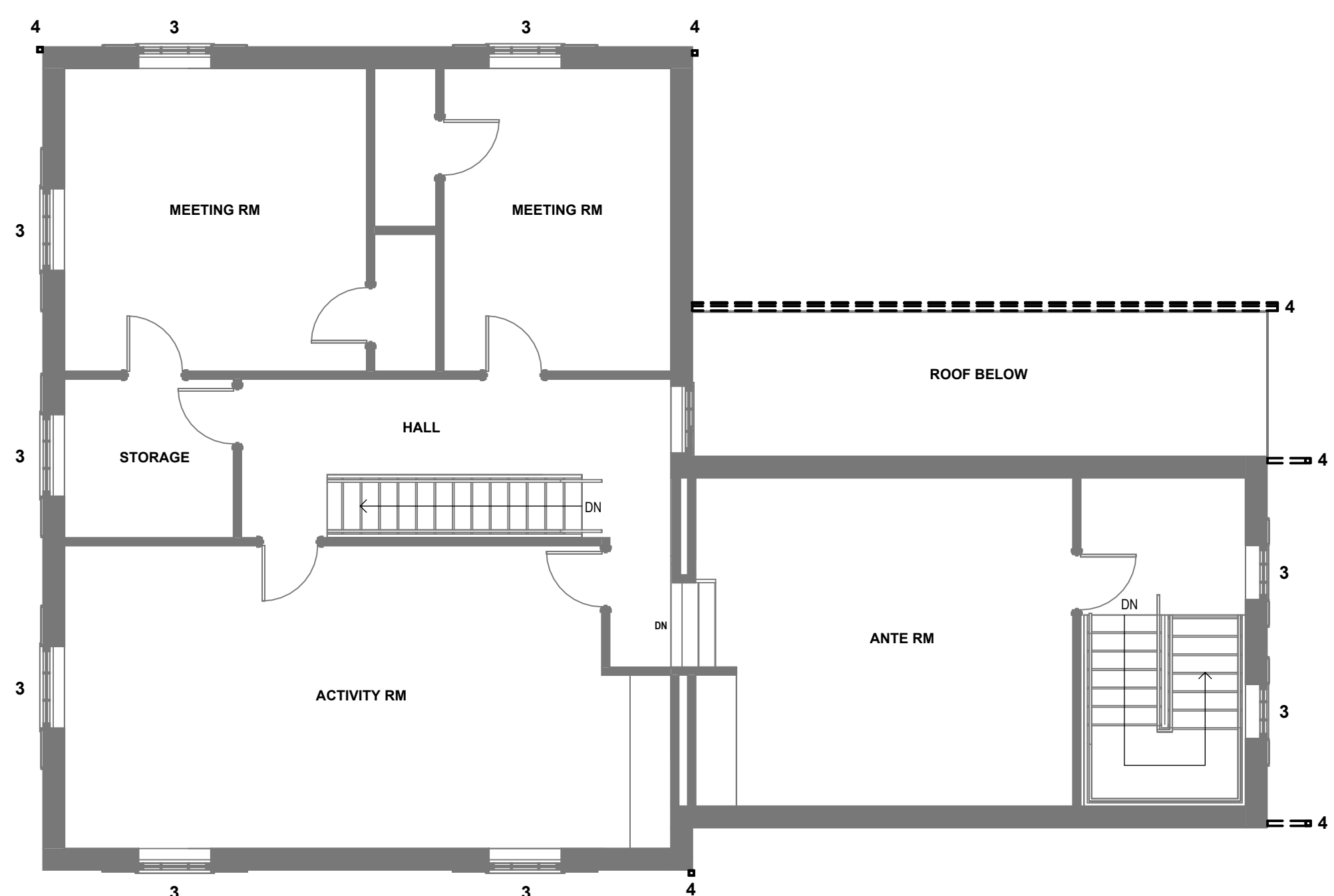
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Project Number  
**2412**

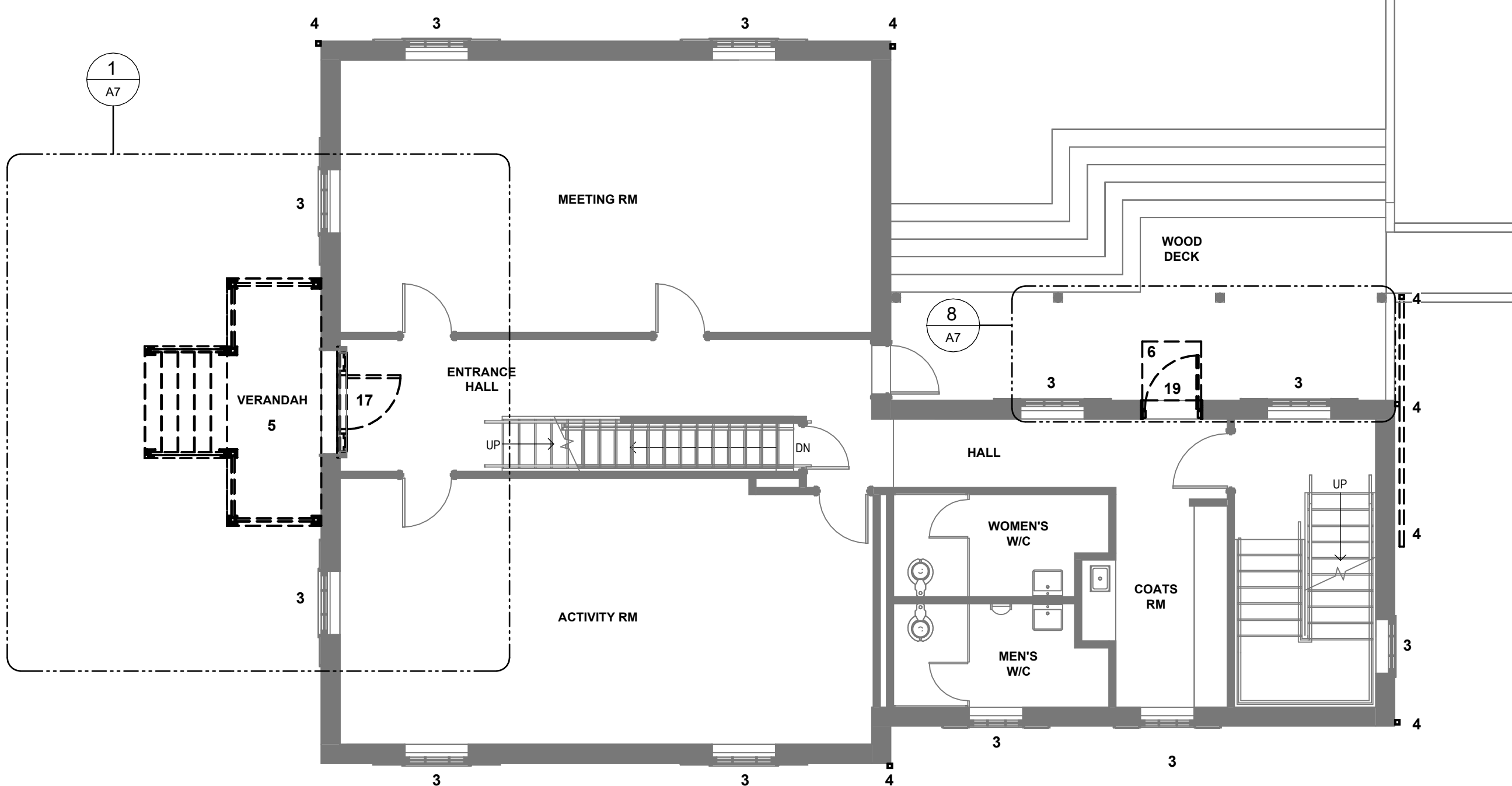
North Seal

**Title**  
**CONTEXT PLAN AND BUILDING CODE MATRIX**

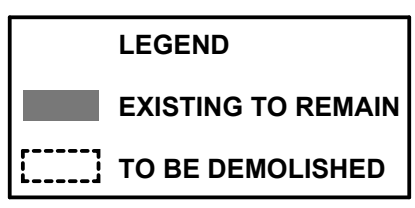
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Number  
**A1**



**LEVEL 2 FLOOR PLAN** 1:75 **3**



**LEVEL 1 FLOOR PLAN** 1:75 **2**

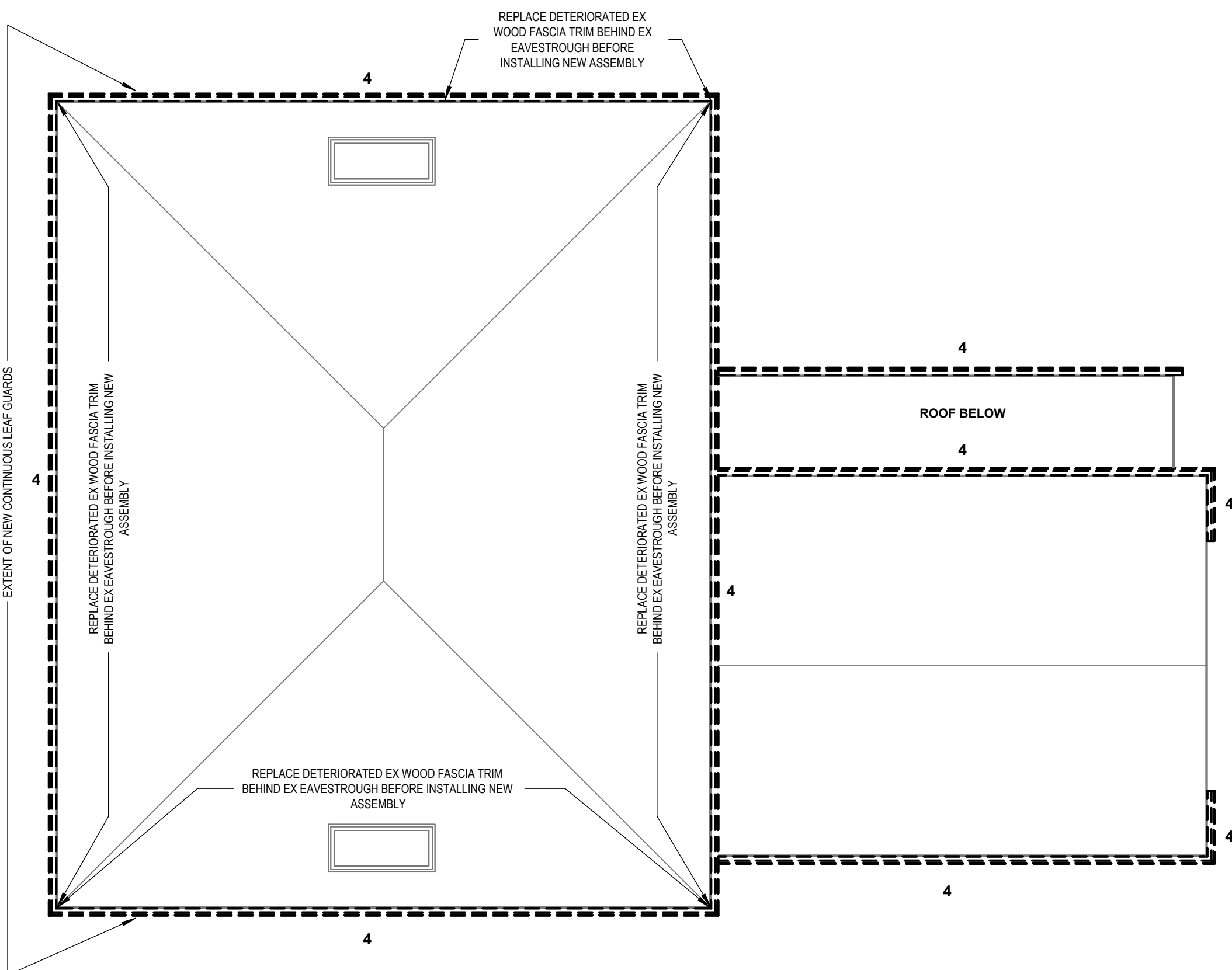


**GENERAL NOTES:**

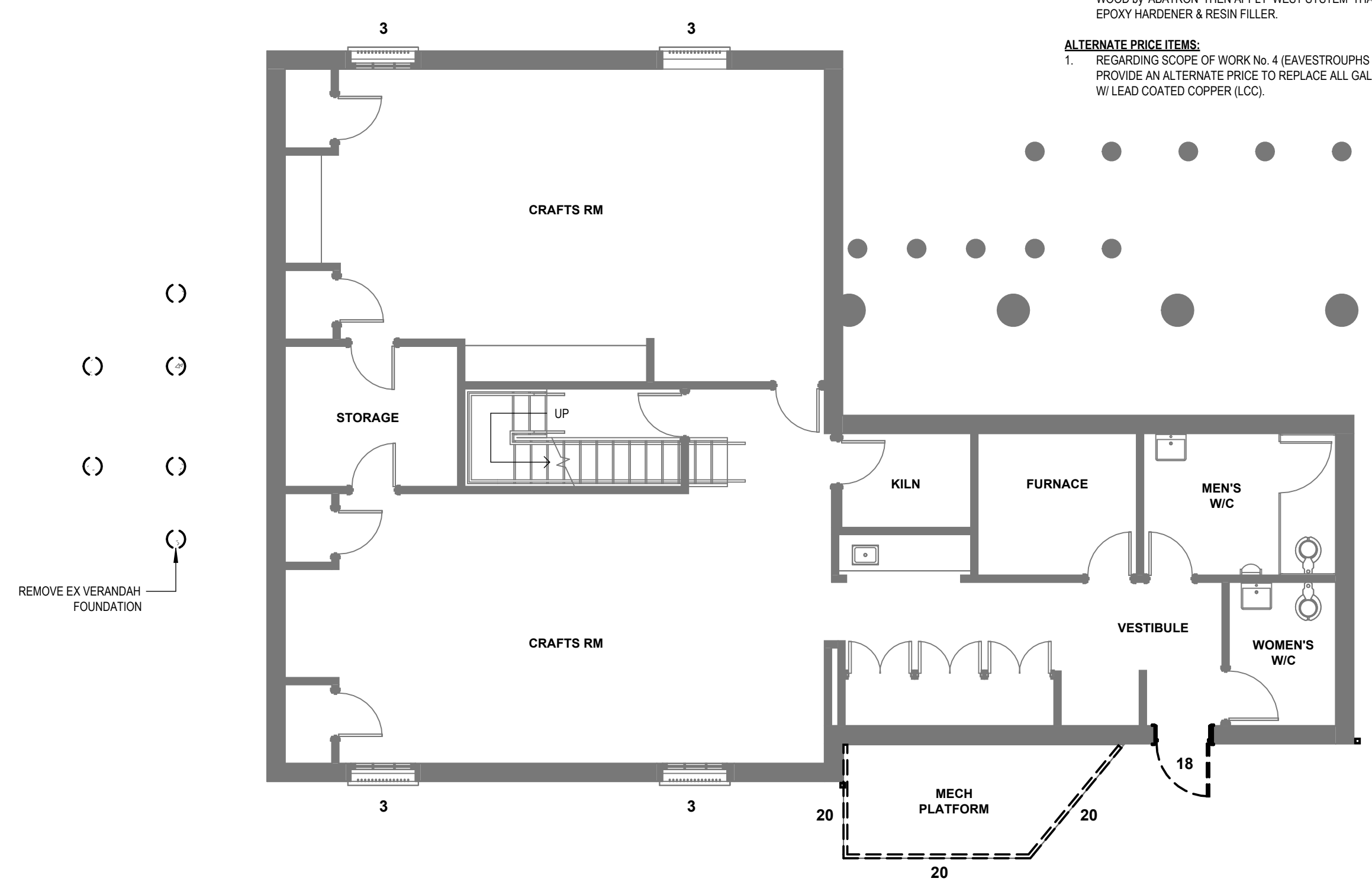
- ALL WORK MUST BE COMPLETED IN CONFORMANCE WITH THE 'STANDARDS & GUIDELINES FOR THE CONSERVATION OF HISTORIC PLACES IN CANADA'.
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- NEW PAINT COLOURS TO MATCH EXISTING TYP UNO.
- REPLACE ALL SEALANT AT DOOR & WINDOW ASSEMBLIES TYP UNO.
- ALL EXT WOOD TO BE CLEAR PINE & ALL MTL FASTENERS, CONNECTORS & ANCHORS TO BE GALVANIZED TYP UNO.
- DO NOT SURFACE MOUNT CABLES OR CONDUIT TYP UNO.
- RE-POINTING: NHL 3.5 LIME TO BE SAINT-ASTIER OR APPROVED EQUAL (1 PART LIME TO 2 1/2 PARTS SAND).
- EPOXY WOOD REPAIRS: APPLY WOOD CONSOLIDANT, SUCH AS LIQUID WOOD BY 'ABATRON' THEN APPLY 'WEST SYSTEM' THAT INCLUDES EPOXY HARDENER & RESIN FILLER.

**ALTERNATE PRICE ITEMS:**

- REGARDING SCOPE OF WORK No. 4 (EAVESTROUGHS & DOWNSPOUTS), PROVIDE AN ALTERNATE PRICE TO REPLACE ALL GALV STL ASSEMBLIES W/ LEAD COATED COPPER (LCC).



**ROOF PLAN** 1:75 **4**



**BASEMENT PLAN** 1:75 **1**

ITEM	SCOPE OF WORK
1	Re-point cracks or large joints in brick mortar. Remove hard replacement mortar (light gray in colour) and re-point with colour matched Natural Hydraulic Lime 3.5 (NHL 3.5) typ uno - see General Notes for additional info. Note: Extent of re-pointing shown dotted on images)
2	Remove existing (ex) paint on all wood surfaces (frames, sills, soffits, friezes, fascias, cornices, sashes, muntins, shutters, trims, structure...). Fill small voids w/ wood epoxy filler & fill large voids w/ a solid wood patch (Dutchmen) - see General Notes for additional info. Sand, prep, & repaint all surfaces with soft coat paint (Sage Restoration linseed oil paint or approved equal) & make good.
3	<b>Window Rehabilitation - Off Site:</b> Remove ex glazed sash assemblies from frames, temporarily board-up openings, strip ex glazing compound & replace all with new, clean glass, restore all wood components, & make good (also see Item 2 for additional restoration scope). <b>Window Rehabilitation - On Site:</b> Restore frames & sill (also see Item 2 for additional restoration scope), install restored sashes, replace all sealant, & make good. At sills: seal perimeter at top & sides, restore drip, and point bottom joint (see Item 1).
4	Replace all eavestroughs and downspouts with galv steel w/ paint finish. Provide a 38mm offset between the existing facade and downspouts. Fully flash and seal gutter end dams. Provide inspection holes top & bottom in all vertical pipes, leaf interceptors 600 mm above bottom of downpipes, and leaf guards at gutters near trees. See Detail 1/A9
5	Remove existing verandah assembly.
6	Remove ex sloped plywood surf & replace w/ new. Provide 5% max slopes to landing aligned with u/s of new door threshold.
7	Parge exposed concrete block foundation w/ Keim Universal Putz or equivalent. Paint w/ Keim Granital, Exterior Mineral Silicate Finish' (colour to consultants selection) & make good. Review Item 8 below.
8	Remove ex foundation paint, prep, and re-paint all w/ 'Keim Granital, Exterior Mineral Silicate Finish' (colour to consultants selection).
9	Remove existing shutter assembly and replace w/ new custom sized to fit windows as manufactured by 'Amazing Window Fashions' (tel: (905) 660-1127) or approved equal cedar, louvered wood shutters w/ functional metal hinges and 'S' holdbacks to be permanently secured in the open position. Apply Linseed oil paint fin to match ex. (see Item 2 for additional info) - GC to submit drawdowns of available greens for final selection.
10	Apply biodegradable efflorescence remover similar to 'WhiteAway' efflorescence remover by Industrial Plastic & Paints, or equivalent. Scrub w/ a stiff synthetic bristle brush and wash away w/ water (see manufacturers recommendations).
11	Remove damaged brick and replace w/ a heritage brick to match existing (see Item 1 for re-pointing scope).
12	Confirm wiring is redundant, where reqd, remove ferrous metal anchors from masonry & patch with mortar (see Item 1).
13	Reserved
14	Arrest animal infiltration: remove resident animals/insects, repair soffit & trim, and make good (see Item 2 for finishing notes).
15	Reserved
16	At mechanical penetrations through brick, remove hard replacement mortar (light gray in colour) & replace w/ appropriate mortar (see item 1), seal penetrations, & make good.
17	<b>Barrier-Free Door, Sidelights &amp; Transom Assembly</b> Remove ex door & relocate ex wd jambs to accommodate a new 965mm wide solid wood door - details & hardware to match ex uno. Replace sidelight glass w/ new & provide auto swing door opener w/ electric strike & barrier-free wave operators inside & out (see Item 2 for wd resto & fin notes) - make good.
18	<b>Barrier-Free Basement Door Assembly</b> Remove ex door & frame. Widen ex door opening by saw cutting foundation to accommodate a new 965mm wide insulated metal door c/w thermally broken frame - details & hardware to match ex uno. Provide a new sill lintel, auto swing door opener w/ electric strike, & barrier-free wave operators inside & out - make good.
19	<b>Barrier-Free Door w/ Transom</b> Remove ex door, transom, & frame assembly. Saw cut ex opening in wall to accommodate a wider new door, frame and transom assembly (sim to ex) c/w a 965mm wide door - details & hardware to match ex uno. Provide a new sill lintel, auto swing door opener w/ electric strike, & barrier-free wave operators inside & out - make good.
20	Remove deteriorated wd fence & gate assembly and replace w/ new galv stl screen/fence assembly. See A7 & A9
21	Patch, repair and make good damaged segments of wood cornice and soffit. Fill gaps between brick and wood cornice with mineral wool and stainless steel mesh to deter animal and insect infiltration. See Detail X/A9
22	Reserved
23	Reserved



**Baron Nelson Architects Inc.**  
304 - 67 Mowat Avenue, Toronto, Ontario, M6K 3E3  
info@bnarch.ca www.bnarch.ca

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Larkin Architect Limited  
43 Dineen Avenue, Second Floor, Toronto, Ontario M4M 2A9

Structural Engineering  
TDMT and Associates  
207 - 42 Industrial Street, East York, Ontario M4G 1Y9

Electrical Engineering  
N/A

Landscape Architect  
N/A

Civil Engineering  
N/A

Interior Design  
N/A

**Metric Scale**

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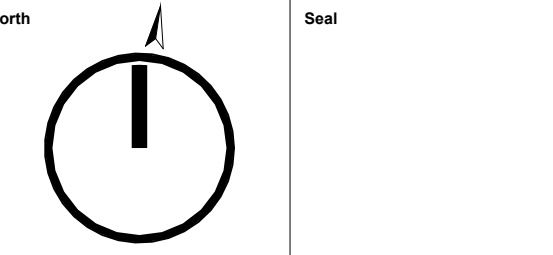
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**HERITAGE VAUGHAN REVIEW & COORD**  
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21 SPRING GATE BLVD,  
THORNHILL, ON L4A 5C6

**ARNOLD HOUSE  
REHABILITATION**



Project Number  
**2412**



**EXISTING FLOOR PLANS**

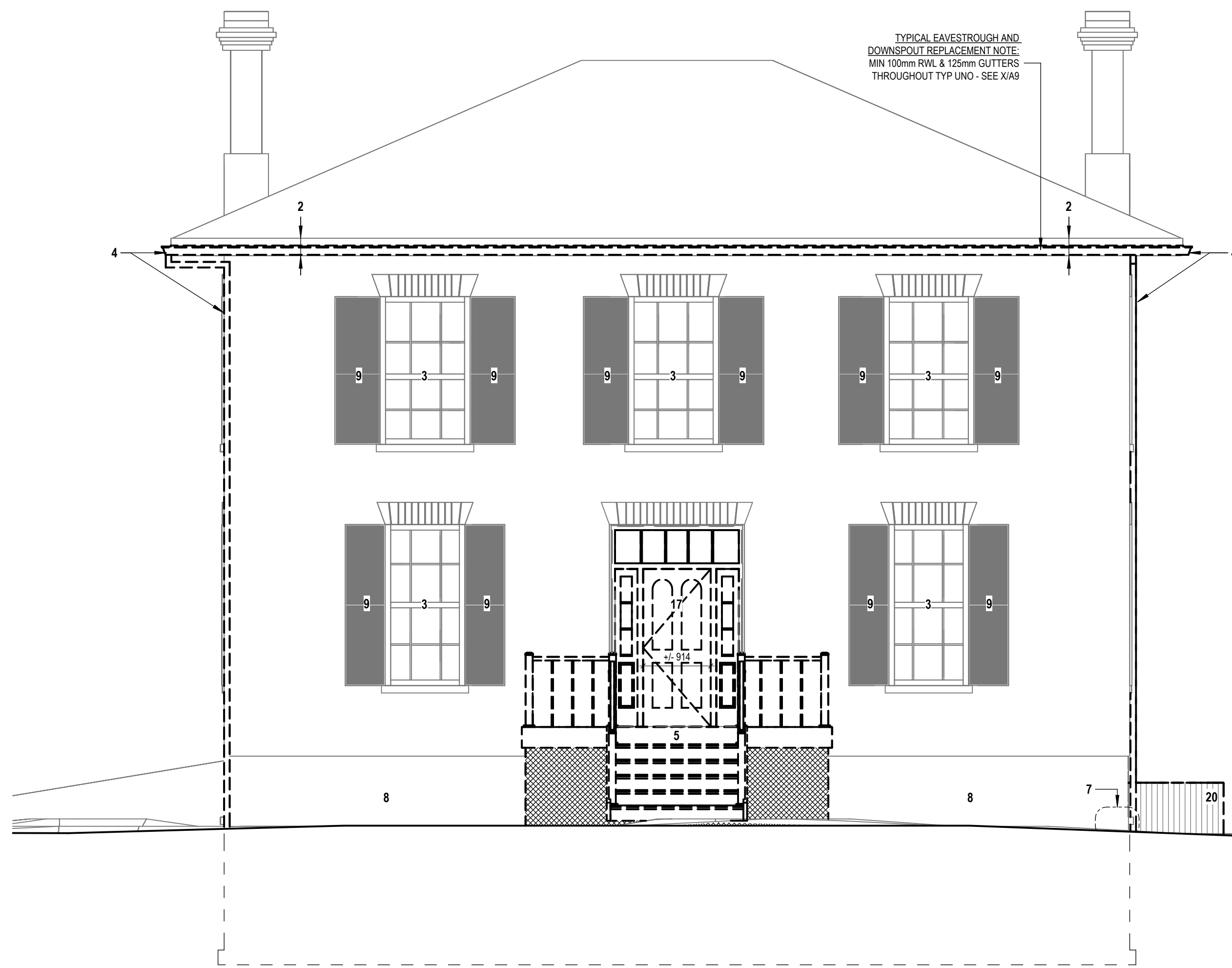
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Scale As Indicated Date 06/28/23  
Number \_\_\_\_\_

**A2**



**PROPOSED WEST ELEVATION**

1:50 **2**



**EXISTING WEST ELEVATION**

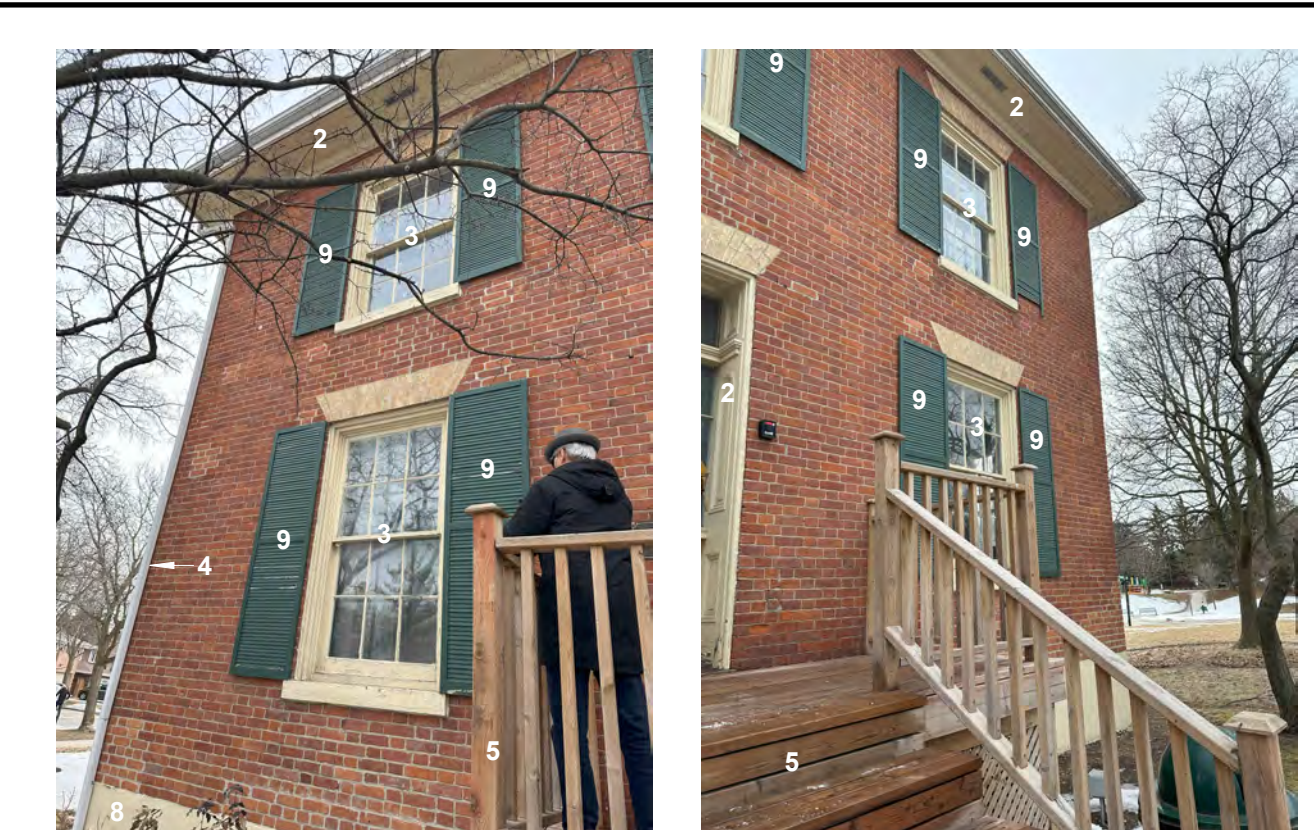
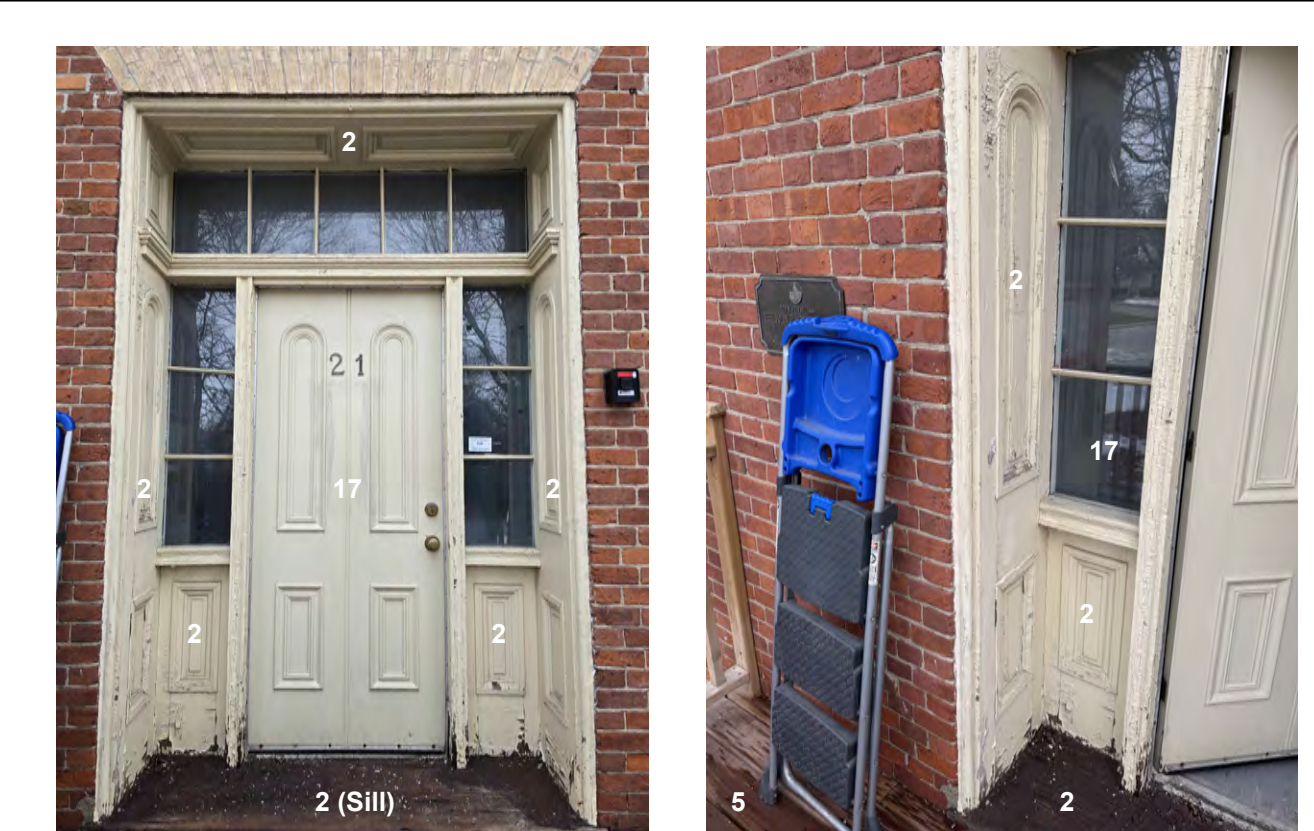
1:50 **1**

**LEGEND**

	EXISTING TO REMAIN
	TO BE DEMOLISHED

- GENERAL NOTES:**
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  - REPLACE ALL SEALANT AT DOOR & WINDOW ASSEMBLIES TYP UNO.
  - ALL EXT WOOD TO BE CLEAR FINE & ALL MTL FASTENERS, CONNECTORS & ANCHORS TO BE GALVANIZED TYP UNO.
  - DO NOT SURFACE MOUNT CABLES OR CONDUIT TYP UNO.
  - RE-POINTING: NHL 3.5 LIME TO BE SART-ASTIER OR APPROVED EQUAL (1 PART LIME TO 2 1/2 PARTS SAND).
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- ALTERNATE PRICE ITEMS:**
- REGARDING SCOPE OF WORK NO. 4 (EAVESTROUGHS & DOWNSPOUTS): PROVIDE AN ALTERNATE PRICE TO REPLACE ALL GALV STL ASSEMBLIES W/ LEAD COATED COPPER (LCC).



ITEM	SCOPE OF WORK
1	Re-point cracks or large joints in brick mortar. Remove hard replacement mortar (light gray in colour) and re-point with colour matched Natural Hydraulic Lime 3.5 (NHL 3.5) typ uno - see General Notes for additional info. Note: Extent of re-pointing shown dotted on images)
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N/A

Landscape Architect  
N/A

Civil Engineering  
N/A

Interior Design  
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Metric Scale

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2	50% CD COORDINATION	2025-09-30
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4	HERITAGE VAUGHAN REVIEW & COORD	2026-01-29

Last Issued For  
**HERITAGE VAUGHAN REVIEW & COORD**  
2026-01-29

**ARNOLD HOUSE REHABILITATION**



Project Number  
**2412**

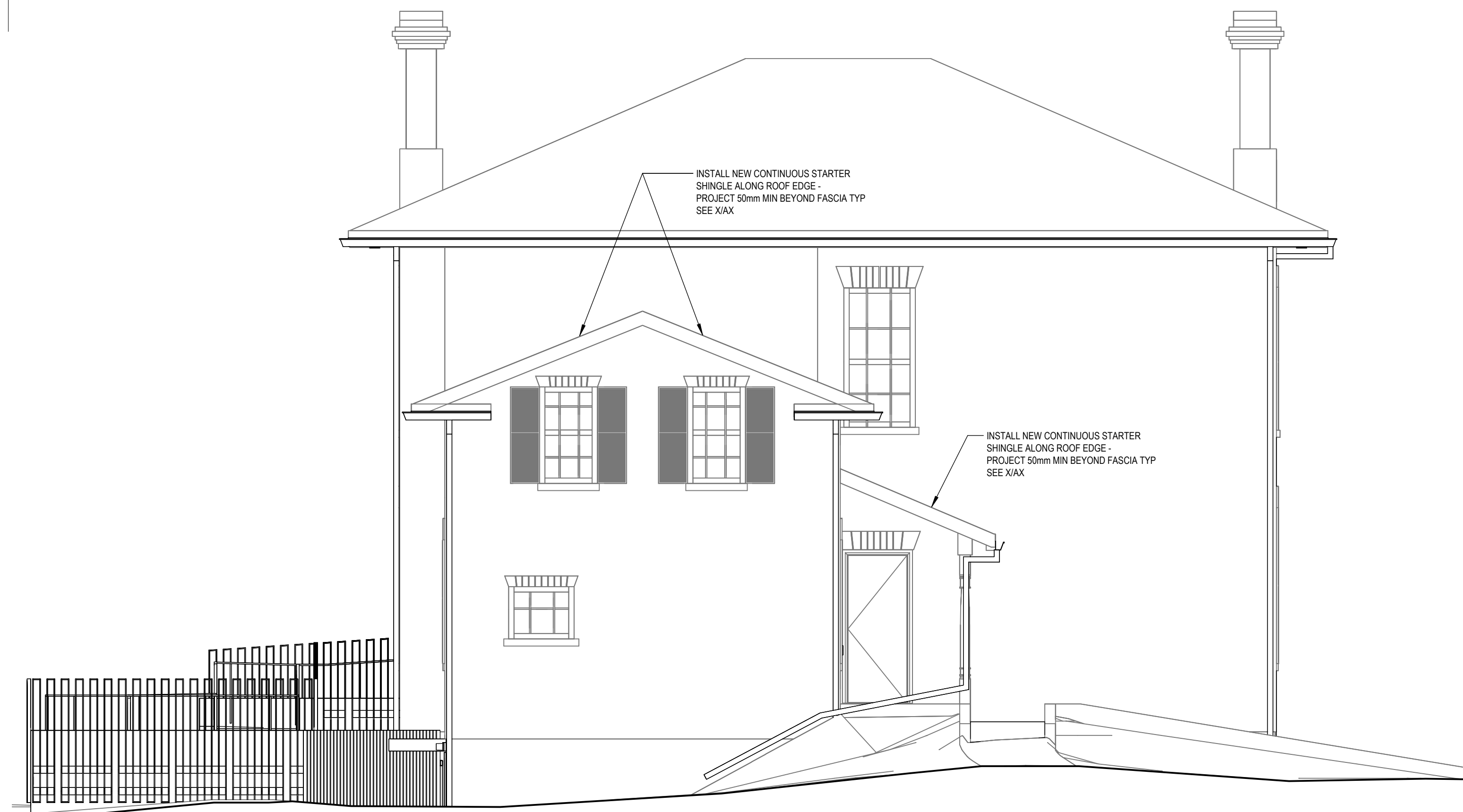
North Seal

**EXISTING & PROPOSED WEST ELEVATION**

Drawn By Author Reviewed By Checker  
Scale As Indicated Date 06/28/23  
Number

**A3**





**PROPOSED EAST ELEVATION**

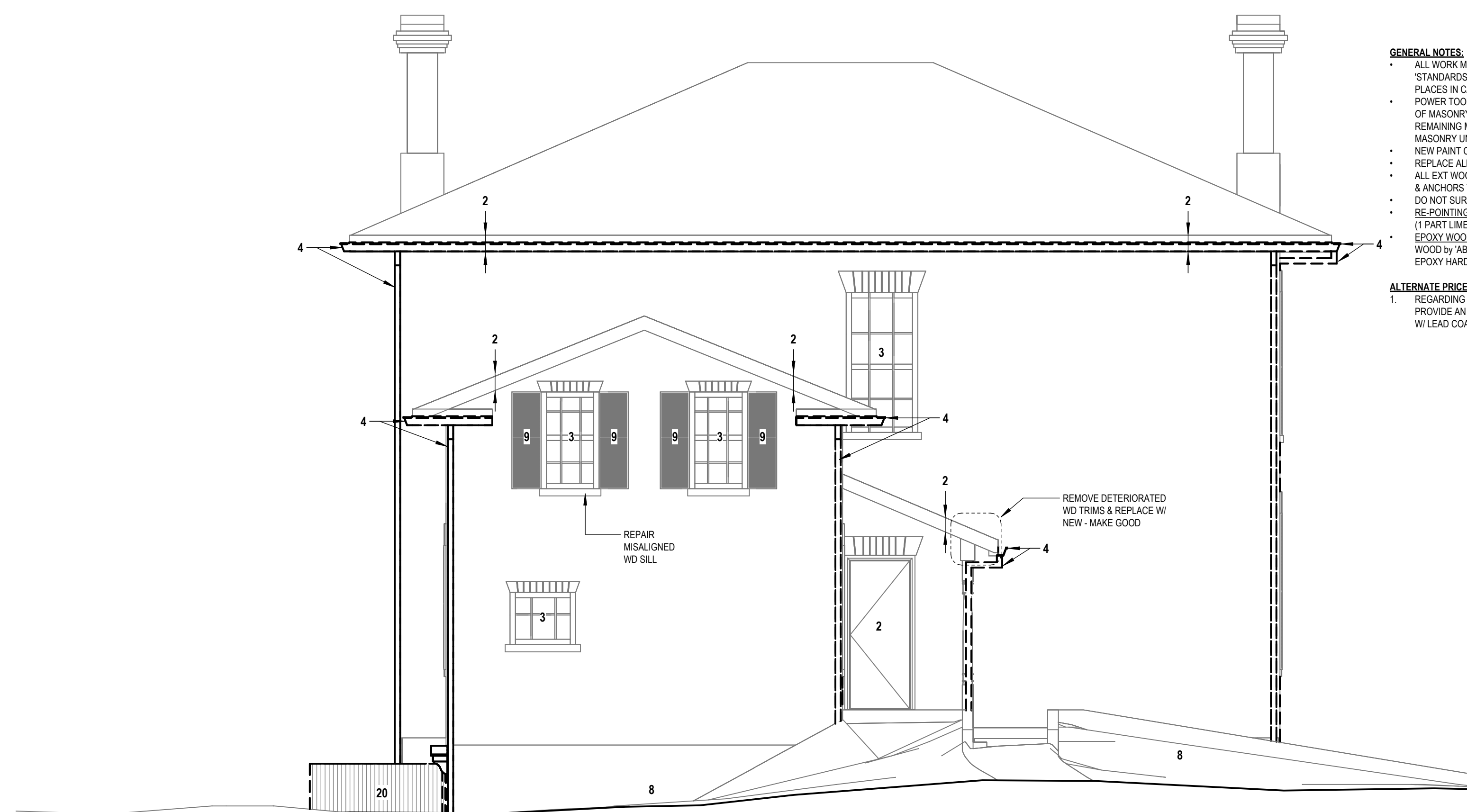
1:50 **2**

**LEGEND**

	EXISTING TO REMAIN
	TO BE DEMOLISHED

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- REGARDING SCOPE OF WORK NO. 4 (EAVESTROUPTS & DOWNSPOUTS), PROVIDE AN ALTERNATE PRICE TO REPLACE ALL GALV STL ASSEMBLIES W/ LEAD COATED COPPER (LCC).



**EXISTING EAST ELEVATION**

1:50 **1**



ITEM	SCOPE OF WORK
1	Re-point cracks or large joints in brick mortar. Remove hard replacement mortar (light gray in colour) and re-point with colour matched Natural Hydraulic Lime 3.5 (NHL 3.5) typ uno - see General Notes for additional info. Note: Extent of re-pointing shown dotted on images
2	Remove existing (ex) paint on all wood surfaces (frames, sills, soffits, friezes, fascias, cornices, sashes, muntins, shutters, trims, structure...). Fill small voids w/ wood epoxy filler & fill large voids w/ a solid wood patch (Dutchmen) - see General Notes for additional info. Sand, prep, & repaint all surfaces with soft coat paint (Sage Restoration linseed oil paint or approved equal) & make good.
3	<b>Window Rehabilitation - Off Site:</b> Remove ex glazed sash assemblies from frames, temporarily board-up openings, strip ex glazing compound & replace all with new, clean glass, restore all wood components, & make good (also see Item 2 for additional restoration scope). <b>Window Rehabilitation - On Site:</b> Restore frames & sill (also see Item 2 for additional restoration scope), install restored sashes, replace all sealant, & make good. At sills: seal perimeter at top & sides, restore drip, and point bottom joint (see Item 1).
4	Replace all eavestroughs and downspouts with galv steel w/ paint finish. Provide a 38mm offset between the existing facade and downspouts. Fully flash and seal gutter end dams. Provide inspection holes top & bottom in all vertical pipes, leaf interceptors 600 mm above bottom of downpipes, and leaf guards at gutters near trees. See Detail 1A9
5	Remove existing verandah assembly.
6	Remove ex sloped plywd surf & replace w/ new. Provide 5% max slopes to landing aligned with u/s of new door threshold.
7	Parge exposed concrete block foundation w/ Keim Universal Putz or equivalent. Paint w/ Keim Granital, Exterior Mineral Silicate Finish' (colour to consultants selection) & make good. Review Item 8 below.
8	Remove ex foundation paint, prep, and re-paint all w/ 'Keim Granital, Exterior Mineral Silicate Finish' (colour to consultants selection).
9	Remove existing shutter assembly and replace w/ new custom sized to fit windows as manufactured by 'Amazing Window Fashions' (tel: (905) 660-1127) or approved equal cedar, louvered wood shutters w/ functional metal hinges and 'S' holdbacks to be permanently secured in the open position. Apply Linseed oil paint fin to match ex. (see Item 2 for additional info) - GC to submit drawdowns of available greens for final selection.
10	Apply biodegradable efflorescence remover similar to 'WhiteAway' efflorescence remover by Industrial Plastic & Paints, or equivalent. Scrub w/ a stiff synthetic bristle brush and wash away w/ water (see manufacturers recommendations).
11	Remove damaged brick and replace w/ a heritage brick to match existing (see Item 1 for re-pointing scope).
12	Confirm wiring is redundant, where reqd, remove ferrous metal anchors from masonry & patch with mortar (see Item 1).
13	Reserved
14	Arrest animal infiltration: remove resident animals/insects, repair soffit & trim, and make good (see Item 2 for finishing notes).
15	Reserved
16	At mechanical penetrations through brick, remove hard replacement mortar (light gray in colour) & replace w/ appropriate mortar (see item 1), seal penetrations, & make good.
17	<b>Barrier-Free Door, Sidelights &amp; Transom Assembly</b> Remove ex door & relocate ex wd jambs to accommodate a new 965mm wide solid wood door - details & hardware to match ex uno. Replace sidelight glass w/ new & provide auto swing door opener w/ electric strike & barrier-free wave operators inside & out (see Item 2 for wd resto & fin notes) - make good.
18	<b>Barrier-Free Basement Door Assembly</b> Remove ex door & frame. Widen ex door opening by saw cutting foundation to accommodate a new 965mm wide insulated metal door c/w thermally broken frame - details & hardware to match ex uno. Provide a new sill lintel, auto swing door opener w/ electric strike, & barrier-free wave operators inside & out - make good.
19	<b>Barrier-Free Door w/ Transom</b> Remove ex door, transom, & frame assembly. Saw cut ex opening in wall to accommodate a wider new door, frame and transom assembly (sim to ex) c/w a 965mm wide door - details & hardware to match ex uno. Provide a new sill lintel, auto swing door opener w/ electric strike, & barrier-free wave operators inside & out - make good.
20	Remove deteriorated wd fence & gate assembly and replace w/ new galv stl screen/fence assembly. See A7 & A9
21	Patch, repair and make good damaged segments of wood cornice and soffit. Fill gaps between brick and wood cornice with mineral wool and stainless steel mesh to deter animal and insect infiltration. See Detail X1A9
22	Reserved
23	Reserved



**Baron Nelson Architects Inc.**  
304 - 67 Mowat Avenue, Toronto, Ontario, M6K 3E3  
info@bnarch.ca www.bnarch.ca

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**Heritage Specialist / Architect**  
Larkin Architect Limited  
43 Dineen Avenue, Second Floor, Toronto, Ontario M4M 2A6

**Structural Engineering**  
TDMT and Associates  
207-42 Industrial Street, East York, Ontario M4G 1Y9

**Electrical Engineering**  
N/A

**Landscape Architect**  
N/A

**Civil Engineering**  
N/A

**Interior Design**  
N/A

**Metric Scale**

Drawing No.	Issued for:	Date:
1	COORDINATION	2025-08-29
2	50% CD COORDINATION	2025-09-30
3	75% CD COORDINATION	2025-12-04
4	HERITAGE VAUGHAN REVIEW & COORD	2026-01-29

Last Issued For  
**HERITAGE VAUGHAN REVIEW & COORD**  
2026-01-29

21 SPRING GATE BLVD,  
THORNHILL, ON L4A 5C6  
**ARNOLD HOUSE  
REHABILITATION**



Project Number  
**2412**

North Seal

Title  
**EXISTING & PROPOSED  
EAST ELEVATION**

Drawn By Author Reviewed By Checker

Scale As Indicated Date 06/20/23

Number

**A5**

- SIDE DOOR HARDWARE NOTES:**
- REPLACE EX BRONZE LOCK AND KNOB ASSEMBLY W/ NEW TO MATCH EX - ENSURE COMPATIBILITY W/ NEW ELECTRIC STRIKE.
  - PROVIDE NEW PERIMETER DOOR SEAL SIM TO PEMKO'S 285 SERIES OR APPROVED EQUAL.
  - PROVIDE NEW THERMALLY BROKEN THRESHOLD SIM TO PEMKO'S 275 FG SERIES OR APPROVED EQUAL (MAX HEIGHT 6mm).
  - PROVIDE NEW DOOR SWEEP SIM TO PEMKO'S 308 PR SERIES OR APPROVED EQUAL.



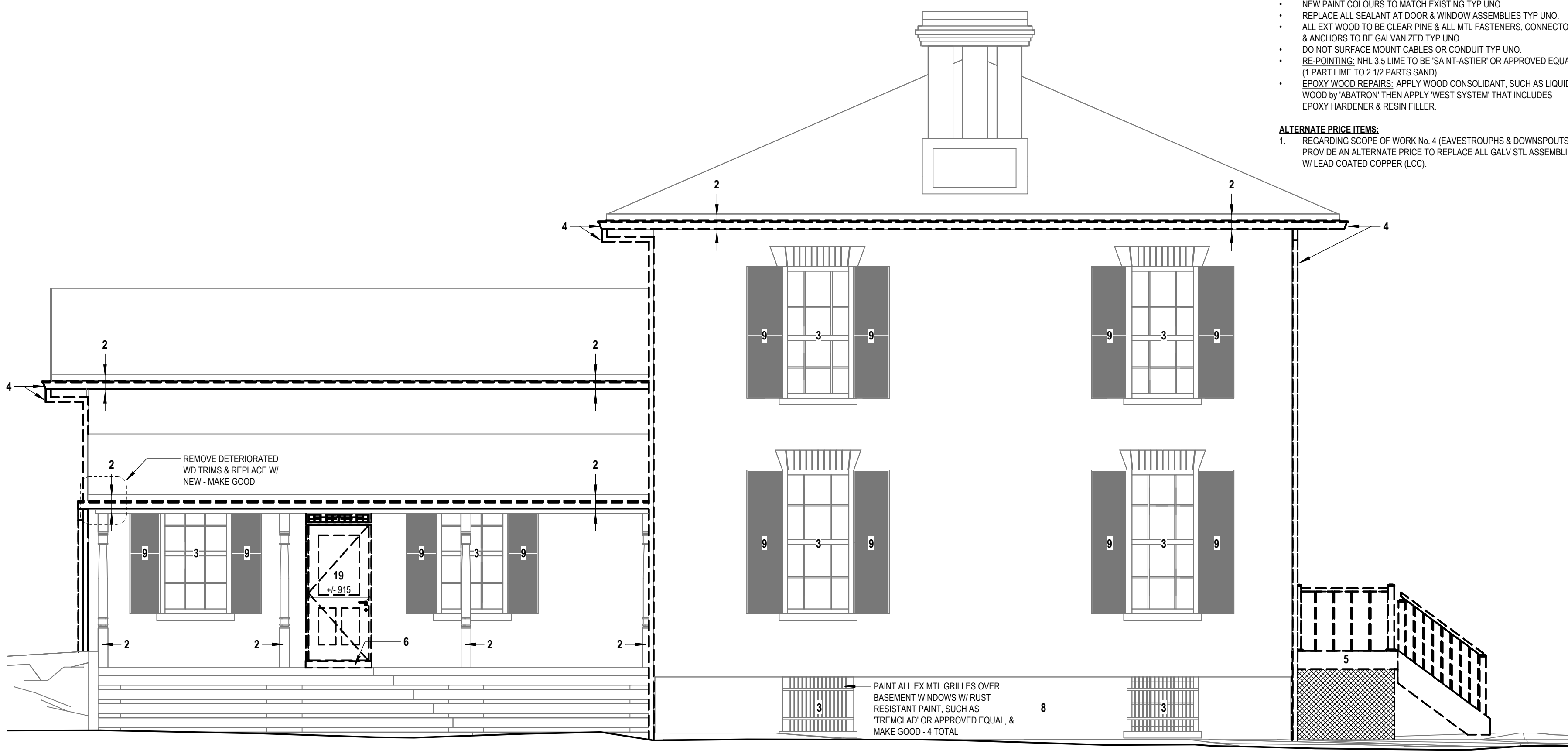
CEN NEW WIDER DOOR ASSEMBLY ON EX DOOR OPENING - FLIP DOOR SWING

**PROPOSED NORTH ELEVATION** 2  
1:50

- LEGEND**
- EXISTING TO REMAIN
  - TO BE DEMOLISHED

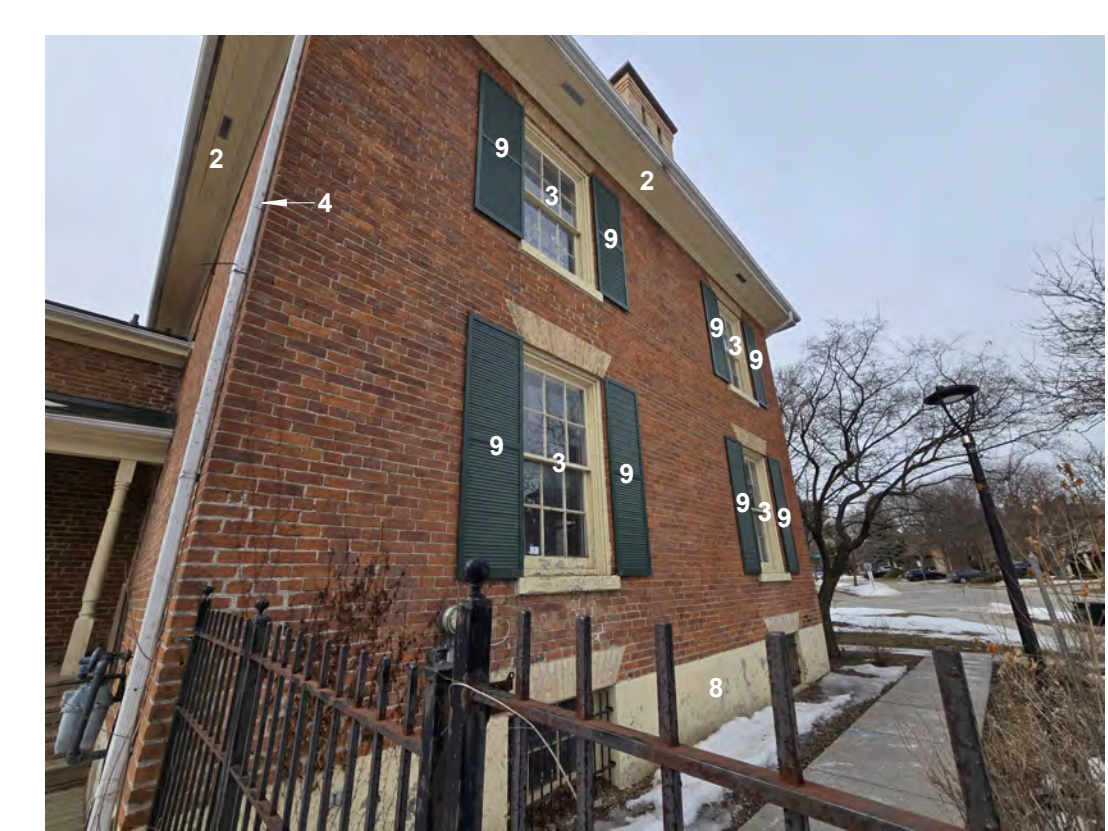
- GENERAL NOTES:**
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  - POWER TOOLS CAN ONLY BE USED TO REMOVE MORTAR IN THE CENTRE OF MASONRY JOINTS. HAND TOOLS MUST BE USED TO REMOVE THE REMAINING MORTAR WITH CARE TAKEN TO NOT DAMAGE ADJACENT MASONRY UNITS.
  - NEW PAINT COLOURS TO MATCH EXISTING TYP UNO.
  - REPLACE ALL SEALANT AT DOOR & WINDOW ASSEMBLIES TYP UNO.
  - ALL EXT WOOD TO BE CLEAR PINE & ALL MTL FASTENERS, CONNECTORS & ANCHORS TO BE GALVANIZED TYP UNO.
  - DO NOT SURFACE MOUNT CABLES OR CONDUIT TYP UNO.
  - RE-POINTING NHL 3.5 LIME TO BE SAINT-ASTIER OR APPROVED EQUAL (1 PART LIME TO 2 1/2 PARTS SAND).
  - EPOXY WOOD REPAIRS: APPLY WOOD CONSOLIDANT, SUCH AS LIQUID WOOD BY ABATRON THEN APPLY WEST SYSTEM THAT INCLUDES EPOXY HARDENER & RESIN FILLER.

- ALTERNATE PRICE ITEMS:**
- REGARDING SCOPE OF WORK NO. 4 (EAVESTROUPTS & DOWNSPOUTS), PROVIDE AN ALTERNATE PRICE TO REPLACE ALL GALV STL ASSEMBLIES W/ LEAD COATED COPPER (LCC).



PAINT ALL EX MTL GRILLES OVER BASEMENT WINDOWS W/ RUST RESISTANT PAINT, SUCH AS TREMCLAD OR APPROVED EQUAL, & MAKE GOOD - 4 TOTAL

**EXISTING NORTH ELEVATION** 1  
1:50



ITEM	SCOPE OF WORK
1	Re-point cracks or large joints in brick mortar. Remove hard replacement mortar (light gray in colour) and re-point with colour matched Natural Hydraulic Lime 3.5 (NHL 3.5) typ uno - see General Notes for additional info. Note: Extent of re-pointing shown dotted on images)
2	Remove existing (ex) paint on all wood surfaces (frames, sills, soffits, friezes, fascias, cornices, sashes, muntins, shutters, trims, structure...). Fill small voids w/ wood epoxy filler & fill large voids w/ a solid wood patch (Dutchmen) - see General Notes for additional info. Sand, prep, & repaint all surfaces with soft coat paint (Sage Restoration Inseed oil paint or approved equal) & make good.
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5	Remove existing verandah assembly.
6	Remove ex sloped plywd surf & replace w/ new. Provide 5% max slopes to landing aligned with u/s of new door threshold.
7	Parge exposed concrete block foundation w/ Keim Universal Putz or equivalent. Paint w/ Keim Granital, Exterior Mineral Silicate Finish' (colour to consultants selection) & make good. Review Item 8 below.
8	Remove ex foundation paint, prep, and re-paint all w/ 'Keim Granital, Exterior Mineral Silicate Finish' (colour to consultants selection).
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10	Apply biodegradable efflorescence remover similar to 'WhiteAway' efflorescence remover by Industrial Plastic & Paints, or equivalent. Scrub w/ a stiff synthetic bristle brush and wash away w/ water (see manufacturers recommendations).
11	Remove damaged brick and replace w/ a heritage brick to match existing (see Item 1 for re-pointing scope).
12	Confirm wiring is redundant, where reqd, remove ferrous metal anchors from masonry & patch with mortar (see Item 1).
13	Reserved
14	Arrest animal infiltration: remove resident animals/insects, repair soffit & trim, and make good (see Item 2 for finishing notes).
15	Reserved
16	At mechanical penetrations through brick, remove hard replacement mortar (light gray in colour) & replace w/ appropriate mortar (see item 1), seal penetrations, & make good.
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22	Reserved
23	Reserved

**bna**

**Baron Nelson Architects Inc.**  
304 - 67 Mowat Avenue, Toronto, Ontario, M6K 3E3  
info@bnarch.ca www.bnarch.ca

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**Landscape Architect**  
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**Civil Engineering**  
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**Interior Design**  
N/A

**Metric Scale**

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Last Issued For  
**HERITAGE VAUGHAN REVIEW & COORD**  
2026-01-29

21 SPRING GATE BLVD,  
THORNHILL, ON L4A 1S3

**ARNOLD HOUSE  
REHABILITATION**

CITY OF VAUGHAN

**VAUGHAN**

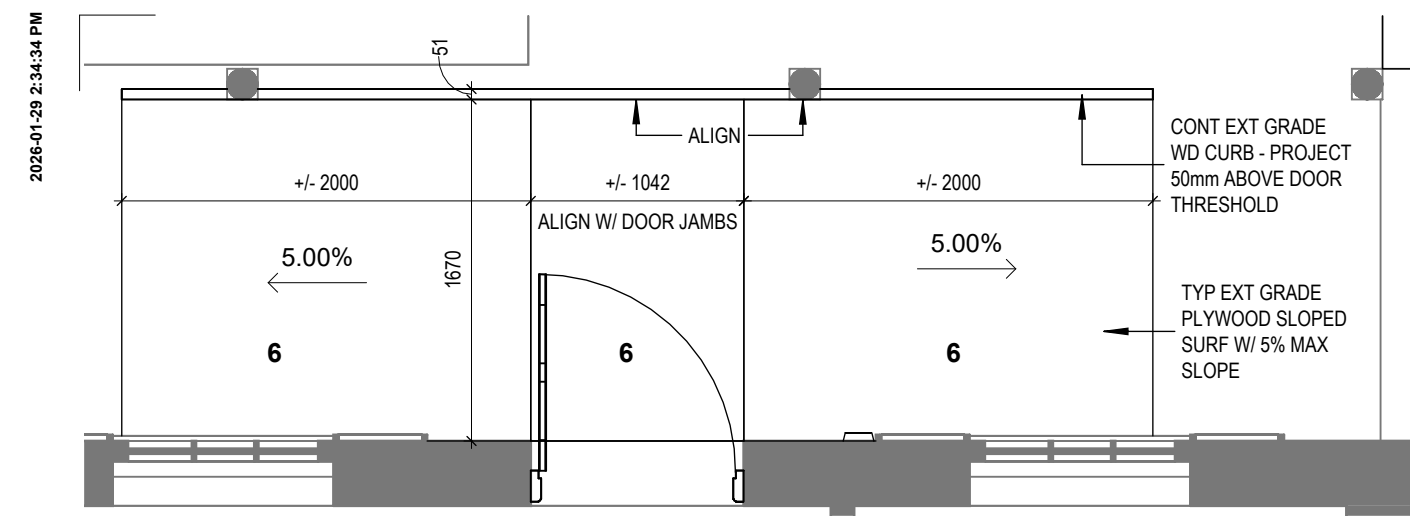
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**2412**

North

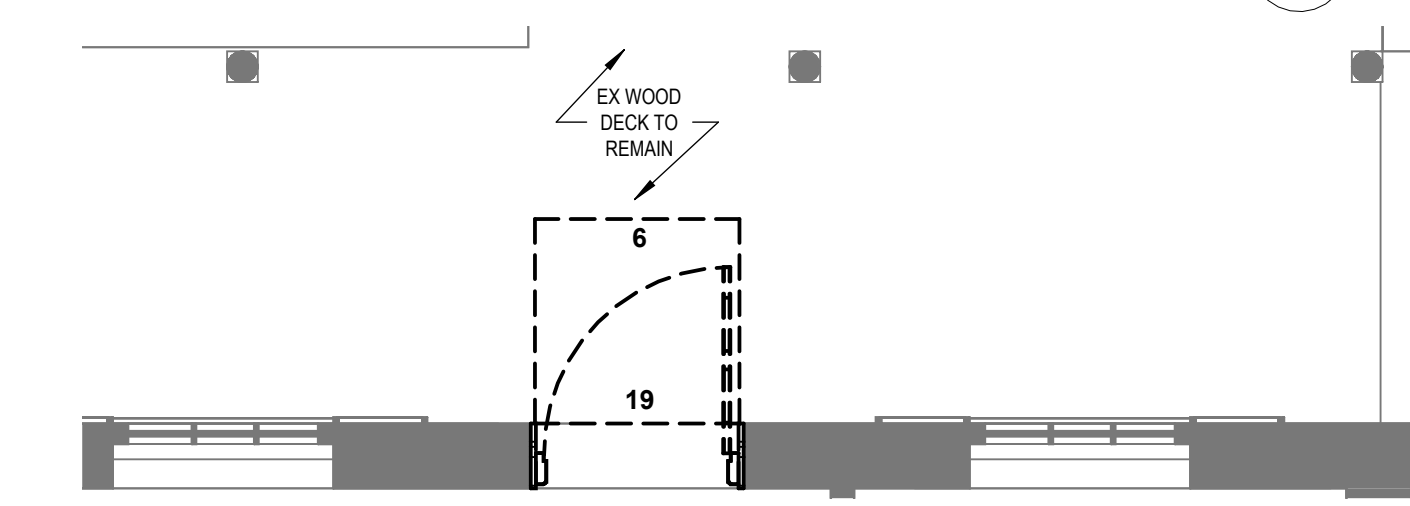
Seal

Title  
**EXISTING & PROPOSED  
NORTH ELEVATION**

Drawn By \_\_\_\_\_ Author \_\_\_\_\_ Reviewed By \_\_\_\_\_ Checker \_\_\_\_\_  
Scale \_\_\_\_\_ As Indicated \_\_\_\_\_ Date \_\_\_\_\_ 06/26/23  
Number  
**A6**



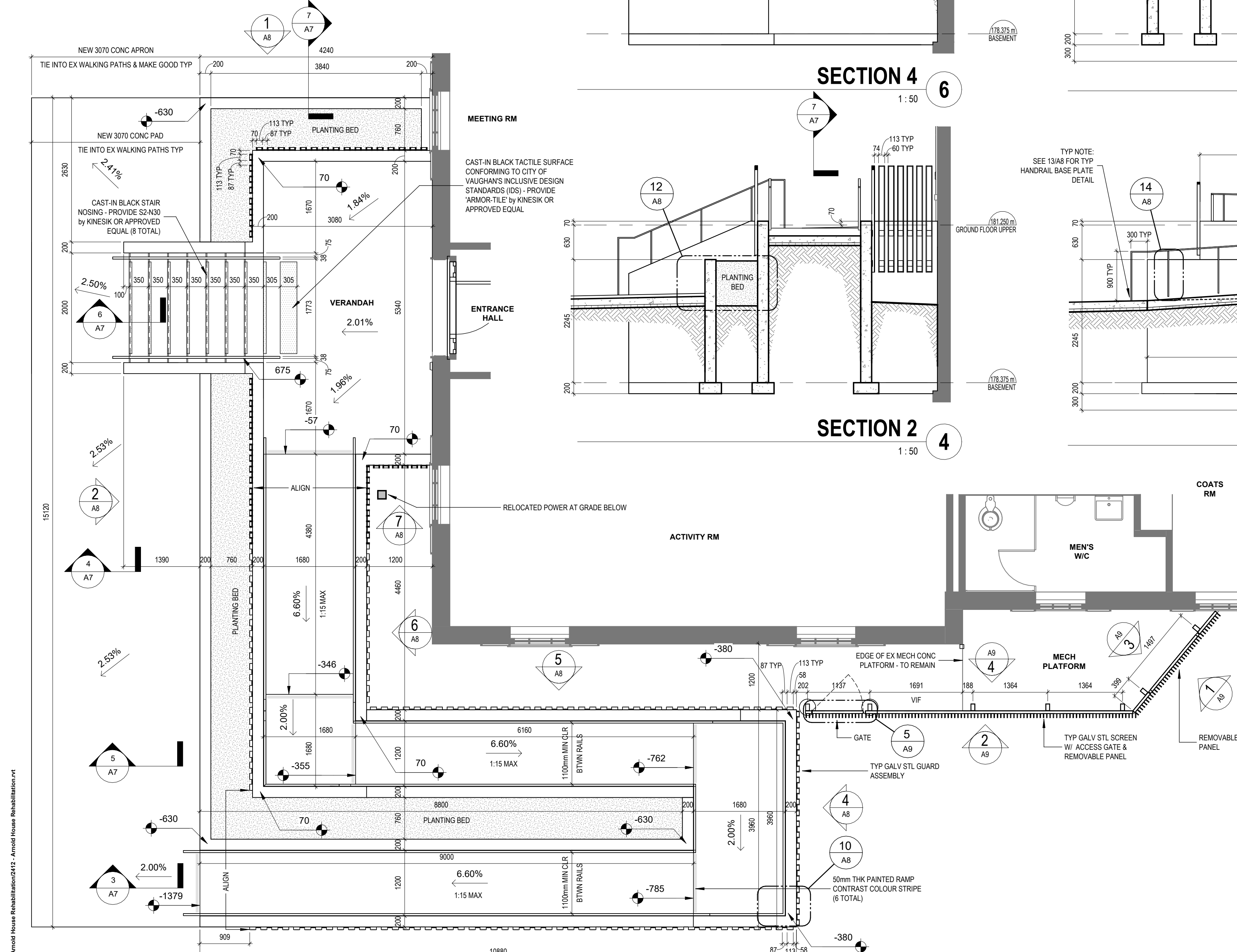
**NEW NORTH ENTRY - PARTIAL PLAN VIEW** 9



**EX NORTH ENTRY - PARTIAL PLAN VIEW** 8

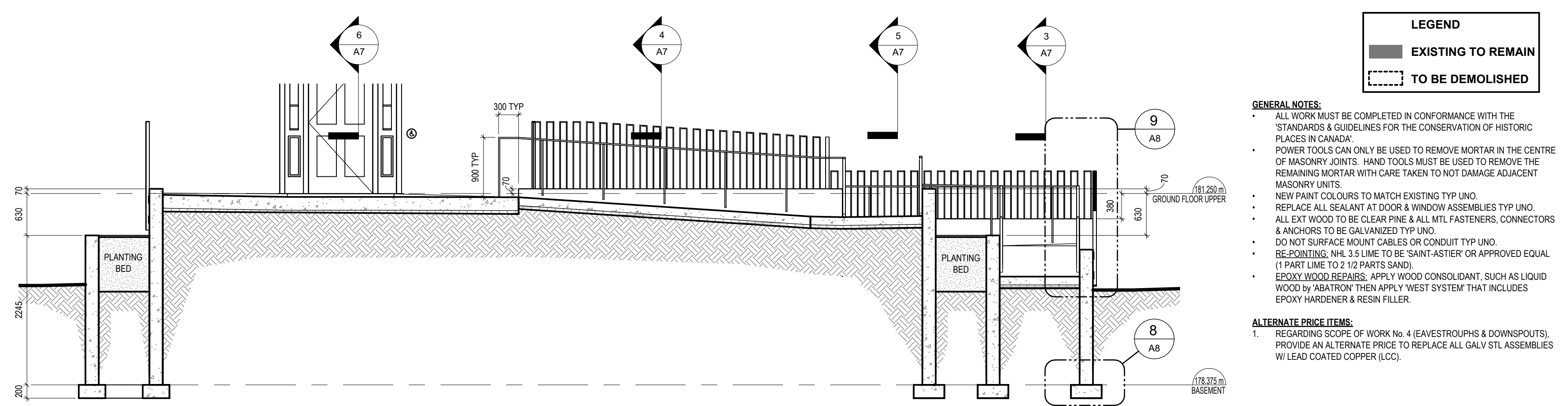
**GENERAL CONCRETE & REINFORCING NOTES:**

- THE COMPRESSIVE STRENGTH OF ALL EXPOSED CONCRETE TO BE NOT LESS THAN 35 MPA (TYPE C1) AND AIR ENTRAINMENT OF 5% TO 8%. PROVIDE CORROSION INHIBITORS IN ALL EXPOSED REINFORCED CONCRETE.
- A THIRD PARTY COMPANY SHALL BE USED TO PROVIDE SAMPLES AND TEST THE CONCRETE DURING POURS.
- REINFORCING STEEL - CANICA G30.19M-GRADE 400R.
- PROVIDE SAW CUTS FOR CONCRETE SLABS TYP.
- USE HILTI HIT-RE100 ANCHORS OR SIM FOR EPOXY DOWELS TO CONCRETE.
- USE HILTI HIT-HY270 ANCHORS OR SIM FOR EPOXY DOWELS INTO MASONRY WALL.

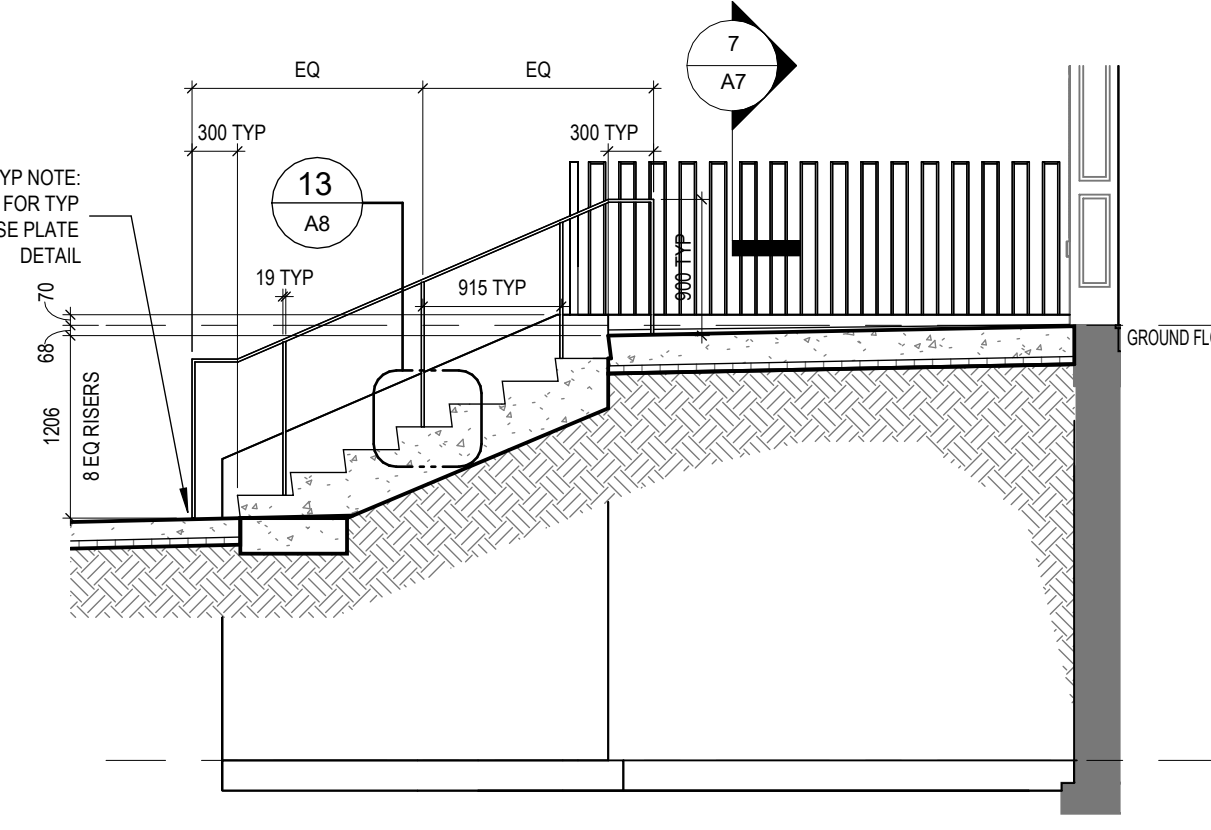


**NEW VERANDAH, STAIR, & RAMP - PARTIAL PLAN VIEW** 2

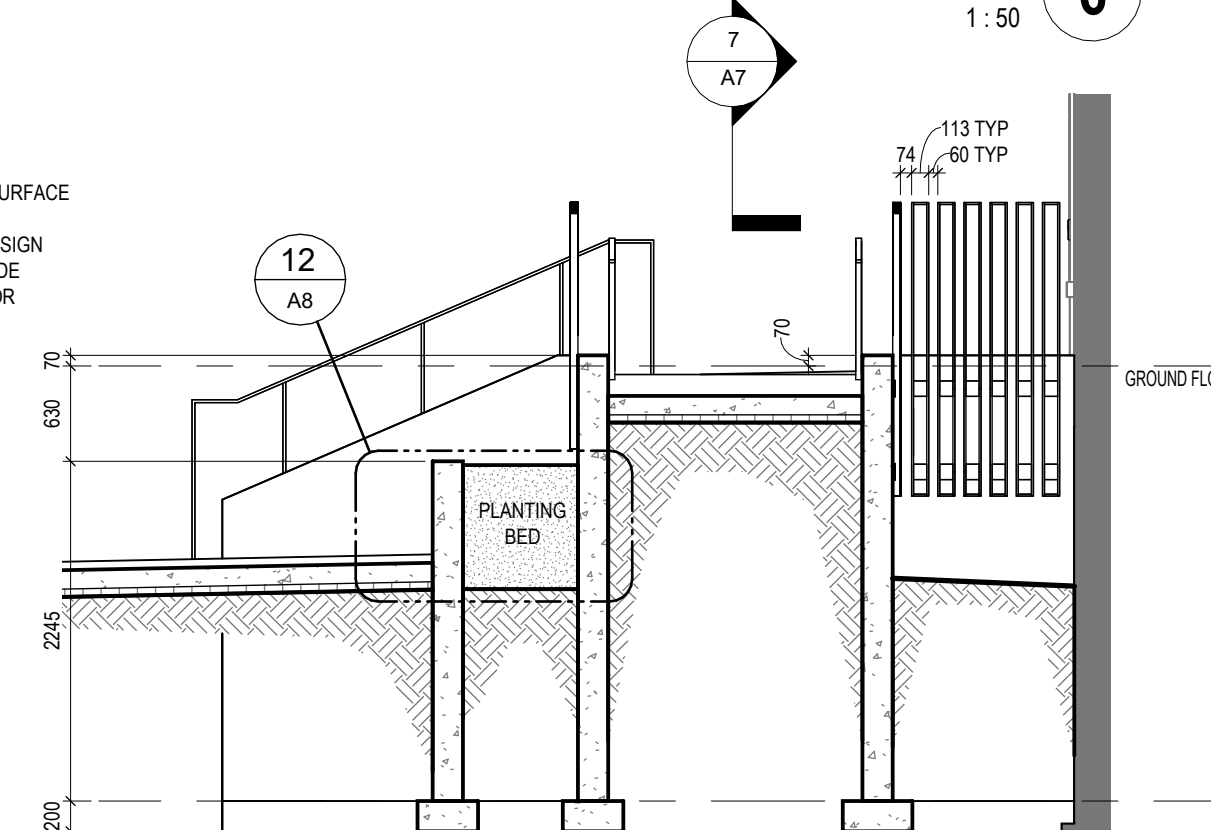
Architect: Baron Nelson Architects Inc. (BNA) 304 - 67 Mowat Avenue, Toronto, Ontario, M6K 3E3 info@bnarch.ca www.bnarch.ca



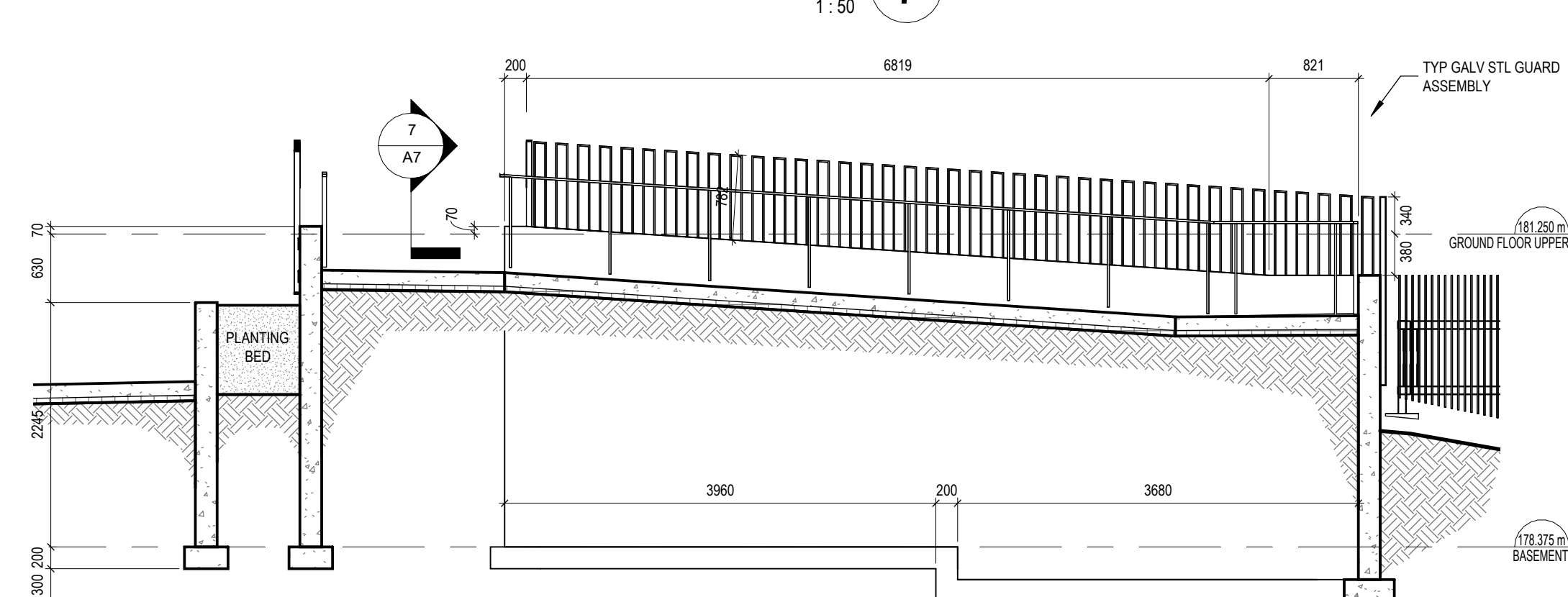
**SECTION 5** 7



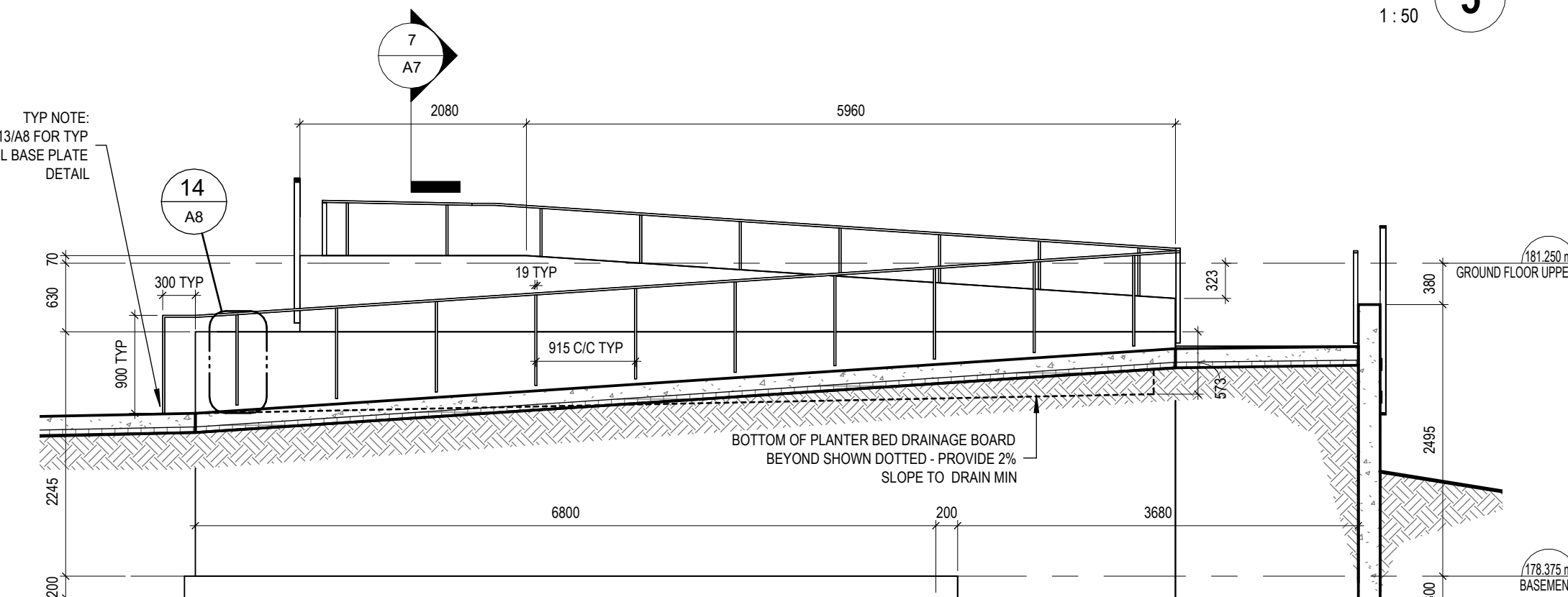
**SECTION 4** 6



**SECTION 2** 4



**SECTION 3** 5



**SECTION 1** 3

**LEGEND**

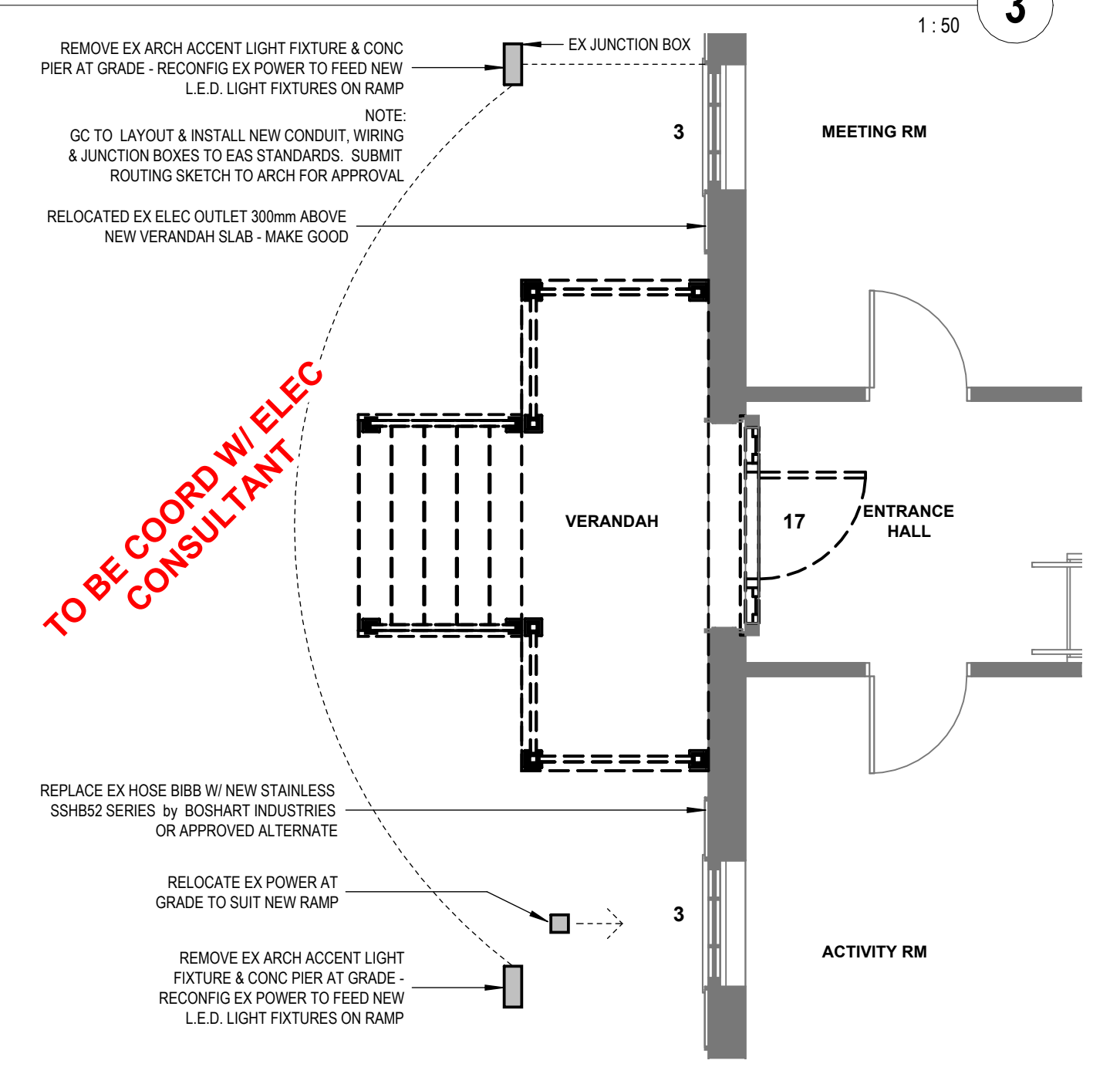
	EXISTING TO REMAIN
	TO BE DEMOLISHED

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- NEW PAINT COLOURS TO MATCH EXISTING TYP UNO.
- REPLACE ALL SEALANT AT DOOR & WINDOW ASSEMBLIES TYP UNO.
- ALL EXT WOOD TO BE CLEAR PINE & ALL MTL FASTENERS, CONNECTORS & ANCHORS TO BE GALVANIZED TYP UNO.
- DO NOT SURFACE MOUNT CABLES OR CONDUIT TYP UNO.
- REPOINTING: N/A. 3.5 LINE TO BE 'SAINT-ASTIER' OR APPROVED EQUAL (1 PART LIME TO 2 1/2 PARTS SAND).
- EPOXY WOOD REPAIRS: APPLY WOOD CONSOLIDANT, SUCH AS LIQUID WOOD BY ABATRON THEN APPLY 'WEST SYSTEM' THAT INCLUDES EPOXY HARDENER & RESIN FILLER.

**ALTERNATE PRICE ITEMS:**

- REGARDING SCOPE OF WORK NO. 4 (EAVESTROUHS & DOWNSPOUTS), PROVIDE AN ALTERNATE PRICE TO REPLACE ALL GALV STL ASSEMBLIES W/ LEAD COATED COPPER (LCC).



**EXISTING VERANDAH - PARTIAL PLAN VIEW** 1

**TO BE COORD W/ ELEC CONSULTANT**

ITEM	SCOPE OF WORK
1	Re-point cracks or large joints in brick mortar. Remove hard replacement mortar (light gray in colour) and re-point with colour matched Natural Hydraulic Lime 3.5 (NHL 3.5) typ un - see General Notes for additional info. Note: Extent of re-pointing shown dotted on images)
2	Remove existing (ex) paint on all wood surfaces (frames, sills, soffits, friezes, fascias, cornices, sashes, muntins, shutters, trims, structure...). Fill small voids w/ wood epoxy filler & fill large voids w/ a solid wood patch (Dutchmen) - see General Notes for additional info. Sand, prep & repaint all surfaces with soft coat paint (Sage Restoration Inseed oil paint or approved equal) & make good.
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7	Parge exposed concrete block foundation w/ Keim Universal Putz or equivalent. Paint w/ Keim Granital, Exterior Mineral Silicate Finish" (colour to consultants selection) & make good. Review Item 8 below.
8	Remove ex foundation paint, prep, and re-paint all w/ Keim Granital, Exterior Mineral Silicate Finish" (colour to consultants selection).
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12	Confirm wiring is redundant, where reqd, remove ferrous metal anchors from masonry & patch with mortar (see Item 1).
13	Reserved
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43 Dineen Avenue, Second Floor, Toronto, Ontario M4M 2A6

**Structural Engineering**  
TCM and Associates  
297 - 42 Industrial Street, East York, Ontario M4G 1Y9

**Electrical Engineering**  
N/A

**Landscape Architect**  
N/A

**Civil Engineering**  
N/A

**Interior Design**  
N/A

**Metric Scale**

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**HERITAGE VAUGHAN REVIEW & COORD**  
2026-01-29

21 SPRING GATE BLVD.  
THORNHILL, ON L4A 5C6

**ARNOLD HOUSE REHABILITATION**

CITY OF VAUGHAN

Project Number: **2412**

North

Seal

**NEW VERANDAH & RAMP ASSEMBLY - PLANS & SECTIONS**

Drawn By	Author	Reviewed By	Checker
Scale	As Indicated	Date	07/03/23
Number	<b>A7</b>		



LEGEND	
	EXISTING TO REMAIN
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  - NEW PAINT COLOURS TO MATCH EXISTING TYP UNO.
  - REPLACE ALL SEALANT AT DOOR & WINDOW ASSEMBLIES TYP UNO.
  - ALL EXT WOOD TO BE CLEAR PINE & ALL MTL FASTENERS, CONNECTORS & ANCHORS TO BE GALVANIZED TYP UNO.
  - DO NOT SURFACE MOUNT CABLES OR CONDUIT TYP UNO.
  - BE POINTING NHL 3.5 LIME TO BE 'SAINT-ASTER' OR APPROVED EQUAL (1 PART LIME TO 2 1/2 PARTS SAND).
  - EPOXY WOOD REPAIRS: APPLY WOOD CONSOLIDANT, SUCH AS LIQUID WOOD by ABATRON THEN APPLY 'MEST SYSTEM' THAT INCLUDES EPOXY HARDENER & RESIN FILLER.

- ALTERNATE PRICE ITEMS:**
- REGARDING SCOPE OF WORK No. 4 (EAVESTROUGHS & DOWNSPOUTS), PROVIDE AN ALTERNATE PRICE TO REPLACE ALL GALV STL ASSEMBLIES W/ LEAD COATED COPPER (LCC).

ITEM	SCOPE OF WORK
1	Re-point cracks or large joints in brick mortar. Remove hard replacement mortar (light gray in colour) and re-point with colour matched Natural Hydraulic Lime 3.5 (NHL 3.5) typ uno - see General Notes for additional info. Note: Extent of re-pointing shown dotted on images)
2	Remove existing (ex) paint on all wood surfaces (frames, sills, soffits, friezes, fascias, cornices, sashes, muntins, shutters, trims, structure...). Fill small voids w/ wood epoxy filler & fill large voids w/ a solid wood patch (Dutchmen) - see General Notes for additional info. Sand, prep, & repaint all surfaces with soft coat paint (Sage Restoration linseed oil paint or approved equal) & make good.
3	<b>Window Rehabilitation - Off Site:</b> Remove ex glazed sash assemblies from frames, temporarily board-up openings, strip ex glazing compound & replace all with new, clean glass, restore all wood components, & make good (also see Item 2 for additional restoration scope). <b>Window Rehabilitation - On Site:</b> Restore frames & sill (also see Item 2 for additional restoration scope), install restored sashes, replace all sealant, & make good. At sills: seal perimeter at top & sides, restore drip, and point bottom joint (see Item 1).
4	Replace all eavestroughs and downspouts with galv steel w/ paint finish. Provide a 38mm offset between the existing facade and downspouts. Fully flash and seal gutter end dams. Provide inspection holes top & bottom in all vertical pipes, leaf interceptors 600 mm above bottom of downpipes, and leaf guards at gutters near trees. See Detail 1/A9
5	Remove existing verandah assembly.
6	Remove ex sloped plywd surf & replace w/ new. Provide 5% max slopes to landing aligned with u/s of new door threshold.
7	Parge exposed concrete block foundation w/ Keim Universal Putz or equivalent. Paint w/ Keim Granital, Exterior Mineral Silicate Finish' (colour to consultants selection) & make good. Review Item 8 below.
8	Remove ex foundation paint, prep, and re-paint all w/ 'Keim Granital, Exterior Mineral Silicate Finish' (colour to consultants selection).
9	Remove existing shutter assembly and replace w/ new custom sized to fit windows as manufactured by 'Amazing Window Fashions' (tel: (905) 660-1127) or approved equal cedar, louvered wood shutters w/ functional metal hinges and 'S' holdbacks to be permanently secured in the open position. Apply Linseed oil paint fin to match ex. (see Item 2 for additional info) - GC to submit drawdowns of available greens for final selection.
10	Apply biodegradable efflorescence remover similar to 'WhiteAway' efflorescence remover by Industrial Plastic & Paints, or equivalent. Scrub w/ a stiff synthetic bristle brush and wash away w/ water (see manufacturers recommendations).
11	Remove damaged brick and replace w/ a heritage brick to match existing (see Item 1 for re-pointing scope).
12	Confirm wiring is redundant, where reqd, remove ferrous metal anchors from masonry & patch with mortar (see Item 1).
13	Reserved
14	Arrest animal infiltration: remove resident animals/insects, repair soffit & trim, and make good (see Item 2 for finishing scope).
15	Reserved
16	At mechanical penetrations through brick, remove hard replacement mortar (light gray in colour) & replace w/ appropriate mortar (see item 1), seal penetrations, & make good.
17	<b>Barrier-Free Door, Sidelights &amp; Transom Assembly</b> Remove ex door & relocate ex wd jambs to accommodate a new 965mm wide solid wood door - details & hardware to match ex uno. Replace sidelight glass w/ new & provide auto swing door opener w/ electric strike & barrier-free wave operators inside & out (see Item 2 for wd resto & fin notes) - make good.
18	<b>Barrier-Free Basement Door Assembly</b> Remove ex door & frame. Widen ex door opening by saw cutting foundation to accommodate a new 965mm wide insulated metal door c/w thermally broken frame - details & hardware to match ex uno. Provide a new sill lintel, auto swing door opener w/ electric strike, & barrier-free wave operators inside & out - make good.
19	<b>Barrier-Free Door w/ Transom</b> Remove ex door, transom, & frame assembly. Saw cut ex opening in wall to accommodate a wider new door, frame and transom assembly (sim to ex) c/w a 965mm wide door - details & hardware to match ex uno. Provide a new sill lintel, auto swing door opener w/ electric strike, & barrier-free wave operators inside & out - make good.
20	Remove deteriorated wd fence & gate assembly and replace w/ new galv stl screen/fence assembly. See A7 & A9
21	Patch, repair and make good damaged segments of wood cornice and soffit. Fill gaps between brick and wood cornice with mineral wool and stainless steel mesh to deter animal and insect infiltration. See Detail X/A9
22	Reserved
23	Reserved



**Baron Nelson Architects Inc.**  
304 - 67 Mowat Avenue, Toronto, Ontario, M6K 3E3  
info@bnarch.ca www.bnarch.ca

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**Heritage Specialist / Architect**  
Larkin Architect Limited  
43 Dineen Avenue, Second Floor, Toronto, Ontario M6M 2A9

**Structural Engineering**  
TDMT and Associates  
207-42 Industrial Street, East York, Ontario M4G 1Y9

**Electrical Engineering**  
N/A

**Landscape Architect**  
N/A

**Civil Engineering**  
N/A

**Interior Design**  
N/A

**Metric Scale**

Drawing No.	Issued for:	Date:
1	75% CD COORDINATION	2025-12-04
2	HERITAGE VAUGHAN REVIEW & COORD	2026-01-29

Last Issued For  
**HERITAGE VAUGHAN REVIEW & COORD**  
2026-01-29

21 SPRING GATE BLVD,  
THORNHILL, ON L4A 1S3

**ARNOLD HOUSE REHABILITATION**



Project Number  
**2412**

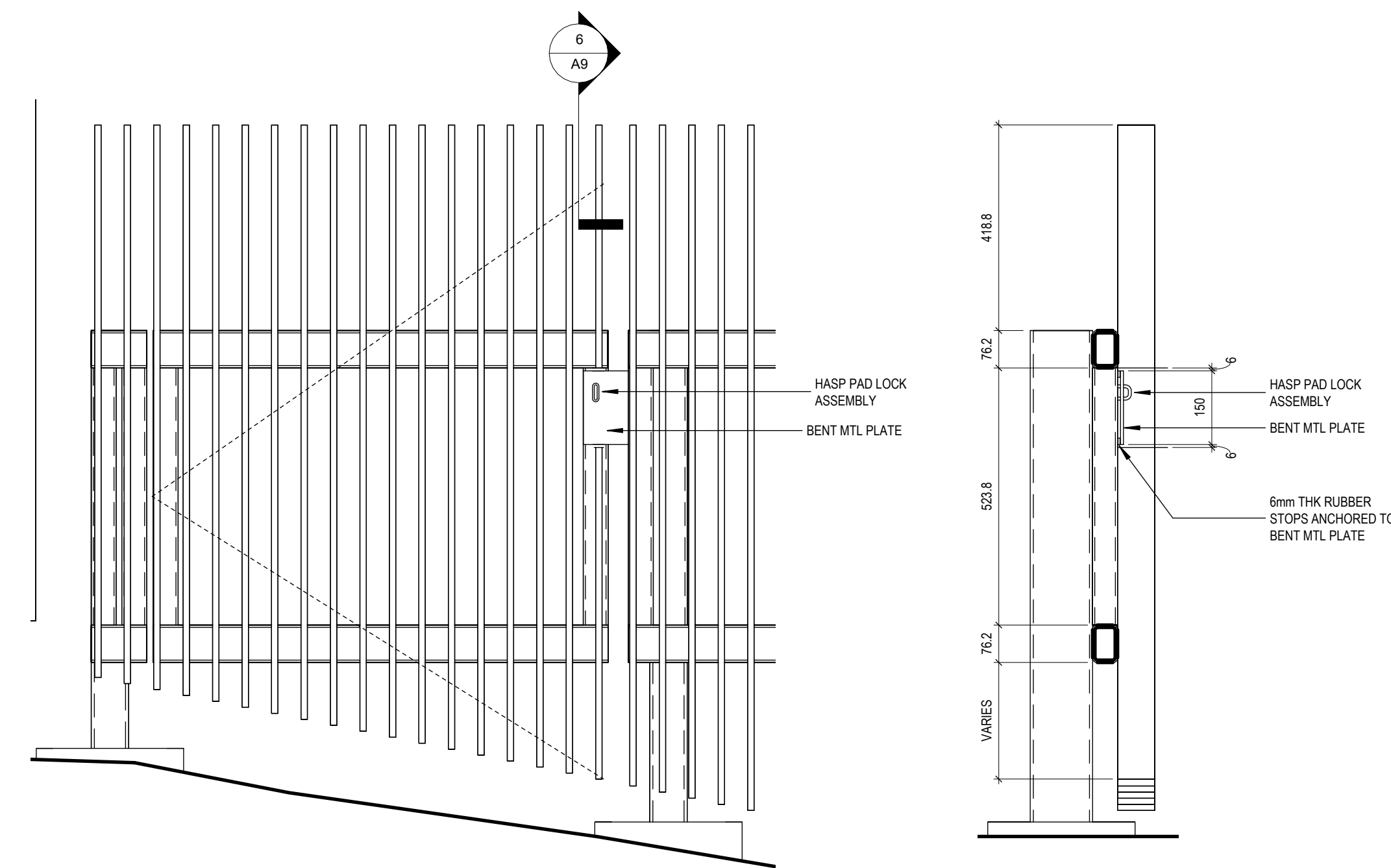
North Seal

**MISCELLANEOUS DETAILS & SOFFIT LIGHTING**

Drawn By	Author	Reviewed By	Checker

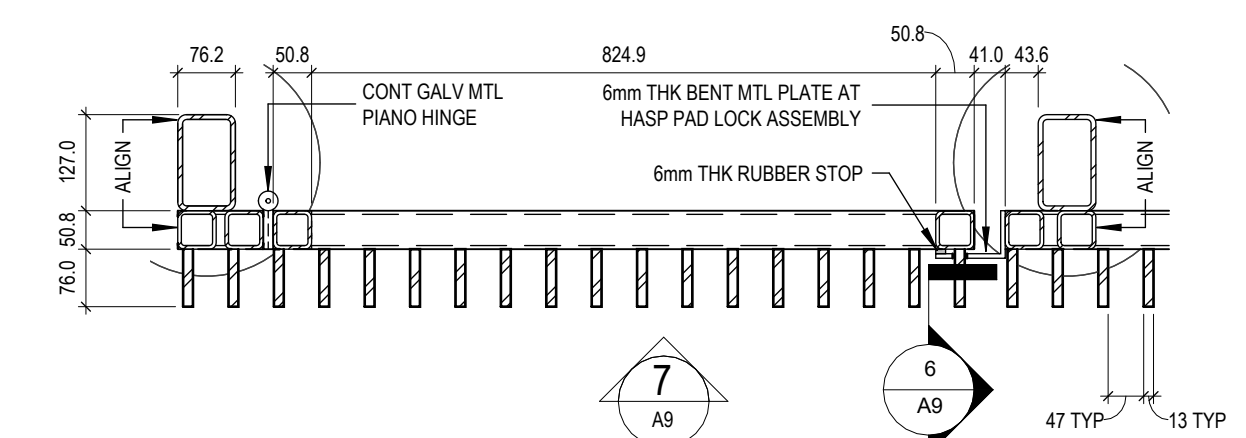
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Number  
**A9**

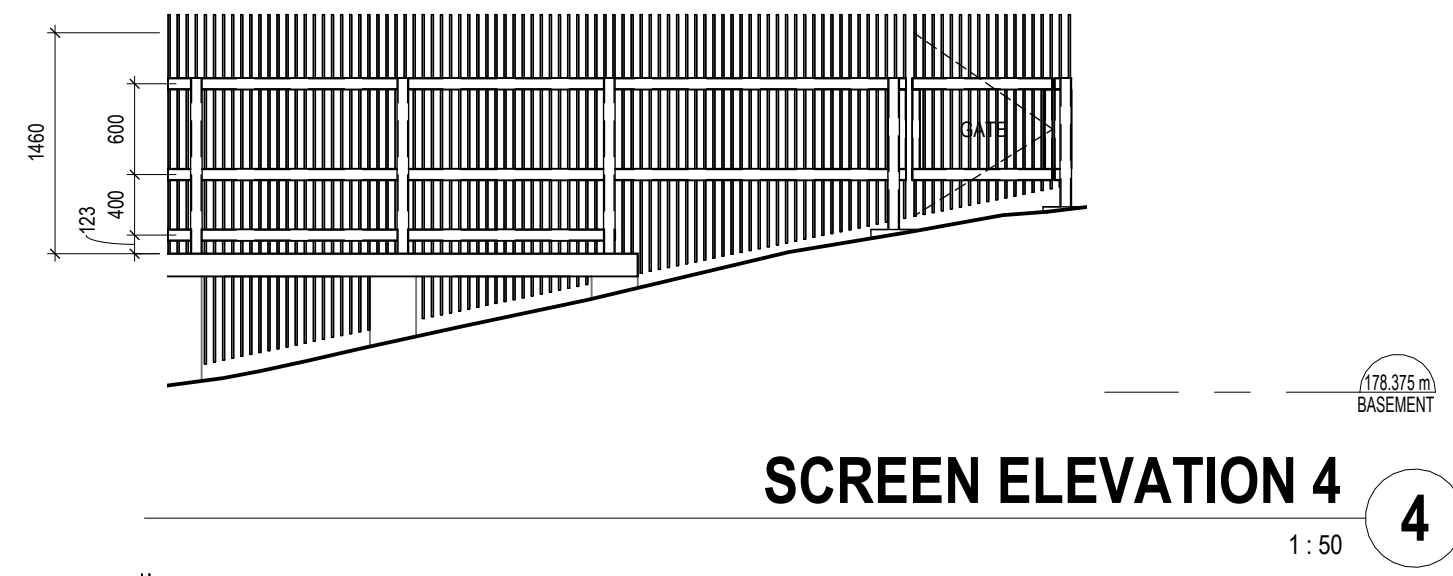


**SCREEN GATE - ELEVATION 7**  
1:10

**SCREEN GATE - SECTION 6**  
1:10

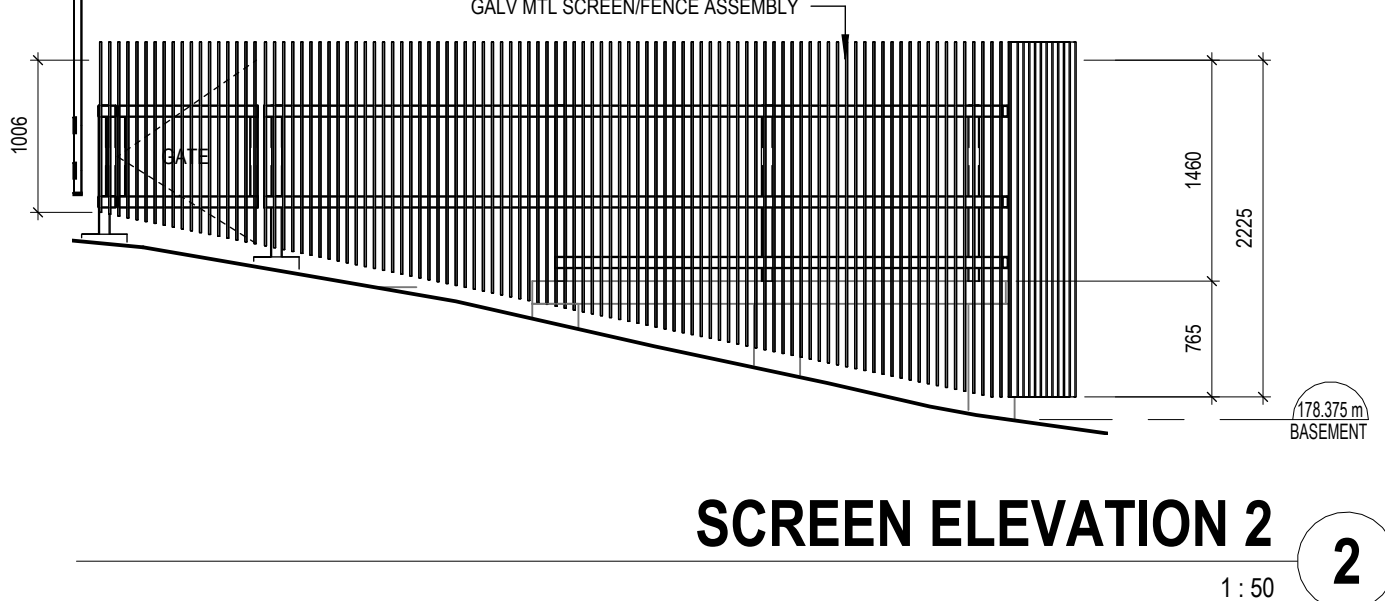


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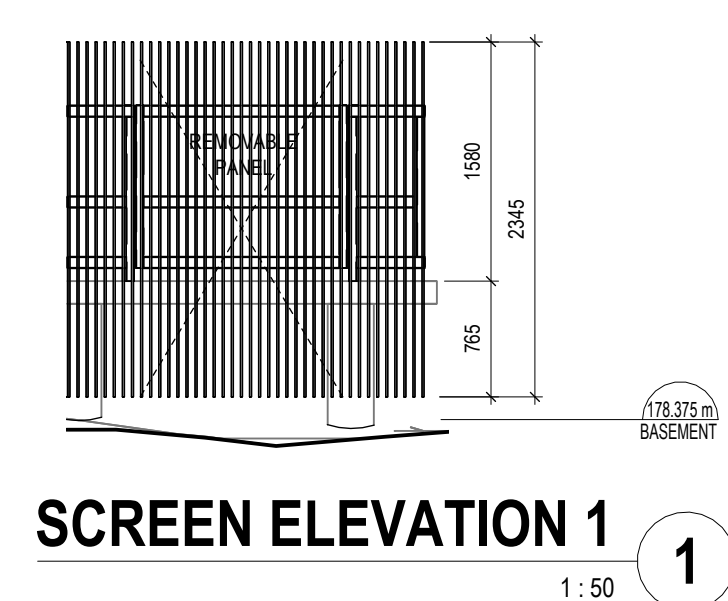


**SCREEN ELEVATION 4**  
1:50

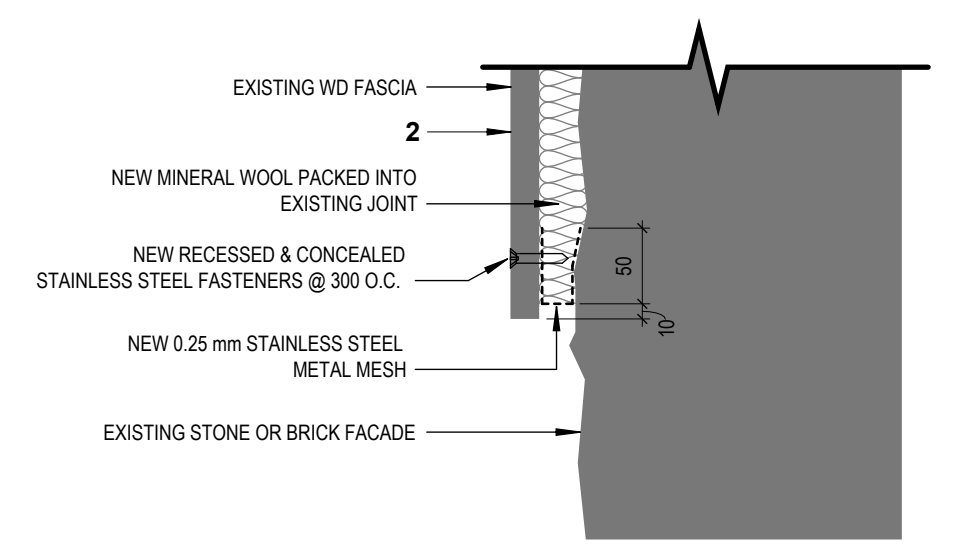
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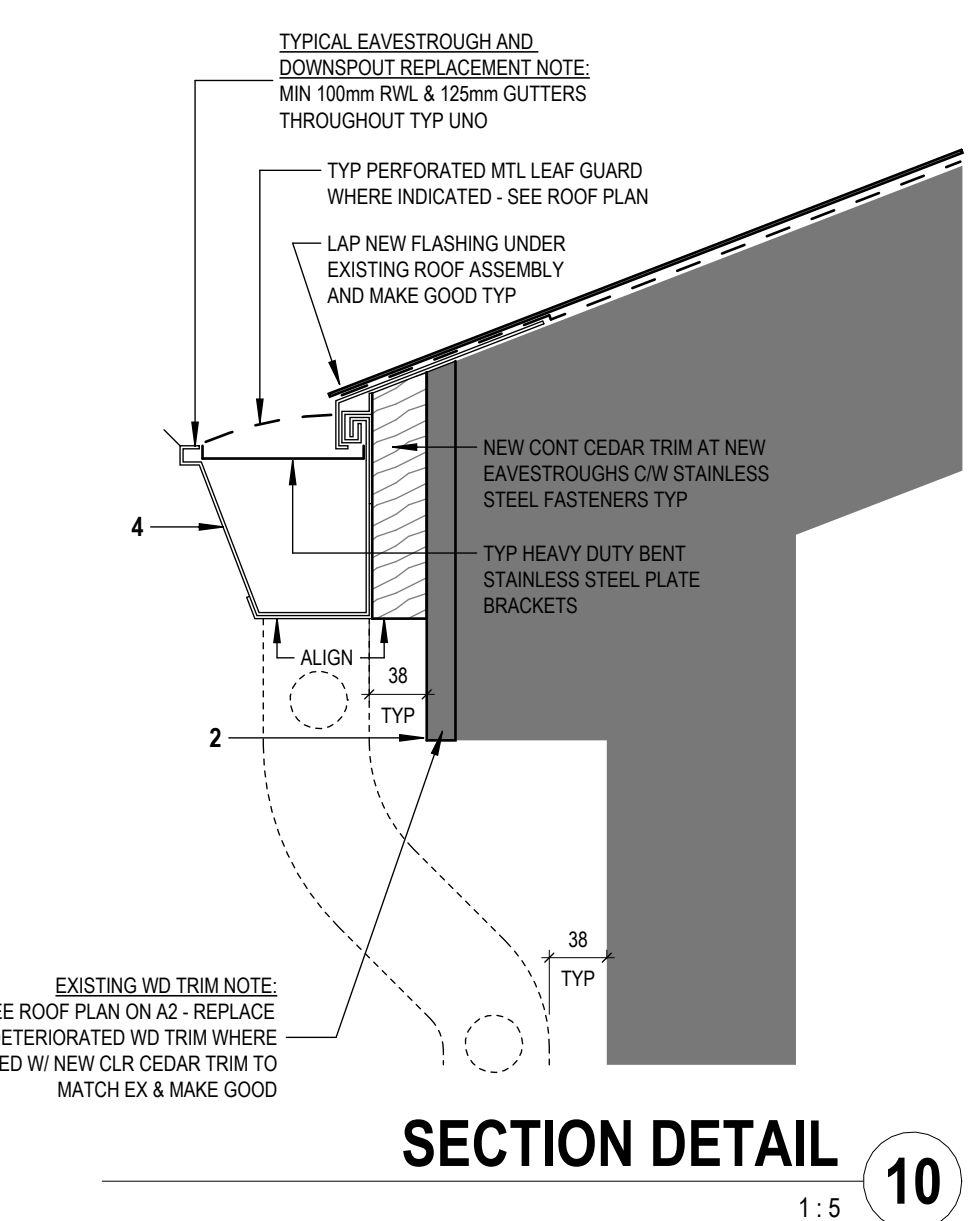
**SCREEN ELEVATION 2**  
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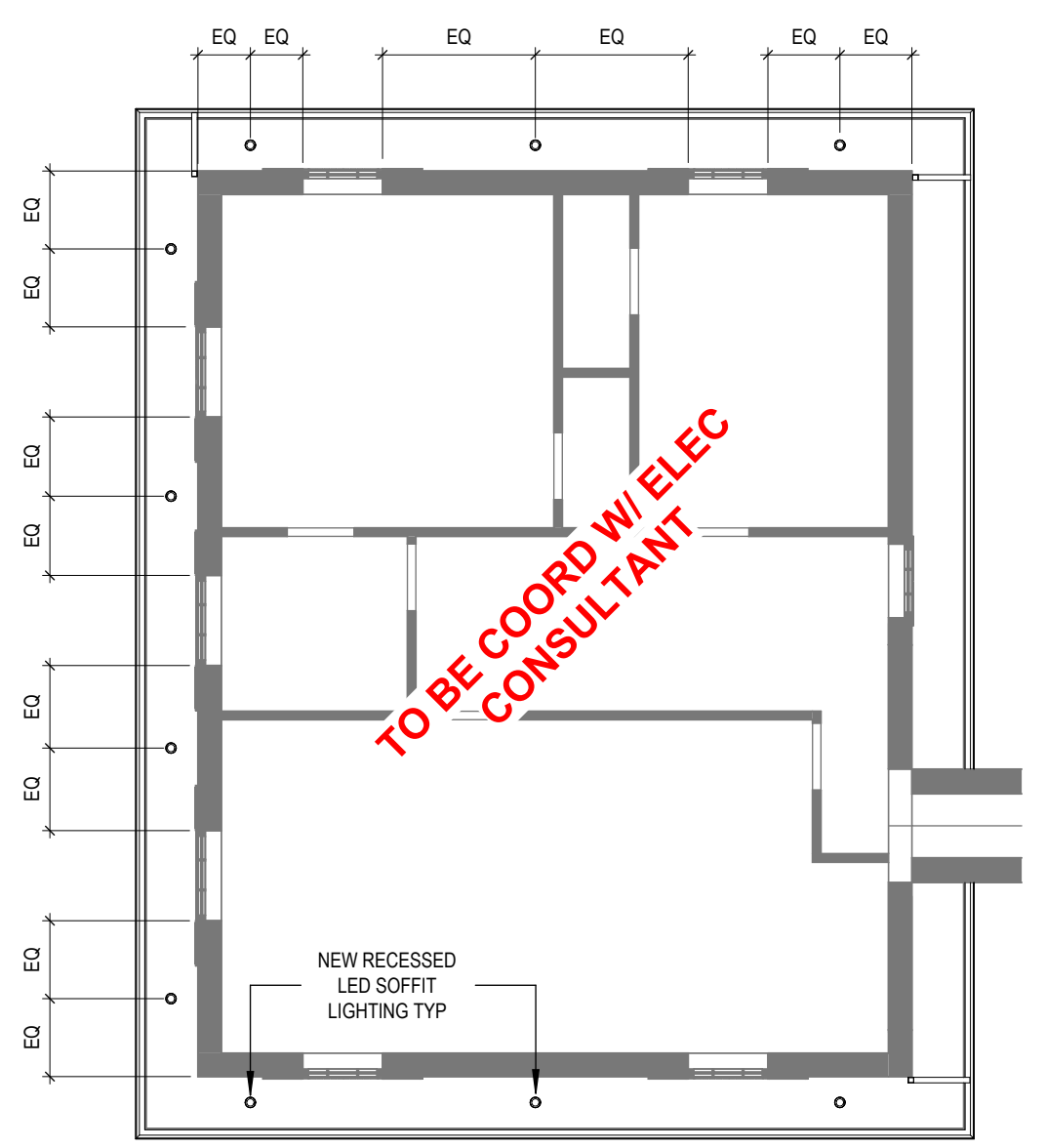
**SCREEN ELEVATION 1**  
1:50



**SECTION DETAIL 11**  
1:5



**SECTION DETAIL 10**  
1:5



**NEW SOFFIT LIGHTING - PARTIAL RCP 8**  
1:100

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**Heritage Specialist / Architect**  
Larkin Architect Limited  
43 Dineen Avenue, Second Floor, Toronto, Ontario M4M 2A9

**Structural Engineering**  
TDMT and Associates  
207 - 42 Industrial Street, East York, Ontario M4G 1Y9

**Electrical Engineering**  
N/A

**Landscape Architect**  
N/A

**Civil Engineering**  
N/A

**Interior Design**  
N/A

**Metric Scale**  
Drawing No. Issued for: Date:

Last Issued For

21 SPRING GATE BLVD,  
THORNHILL, ON L4A 5C8  
**ARNOLD HOUSE  
REHABILITATION**

CITY OF VAUGHAN

Project Number  
**2412**

North Seal

Title  
**ELEVATIONS FOR HV  
REVIEW**

Drawn By Author Reviewed By Checker  
Scale 1:75 Date 03/01/24  
Number

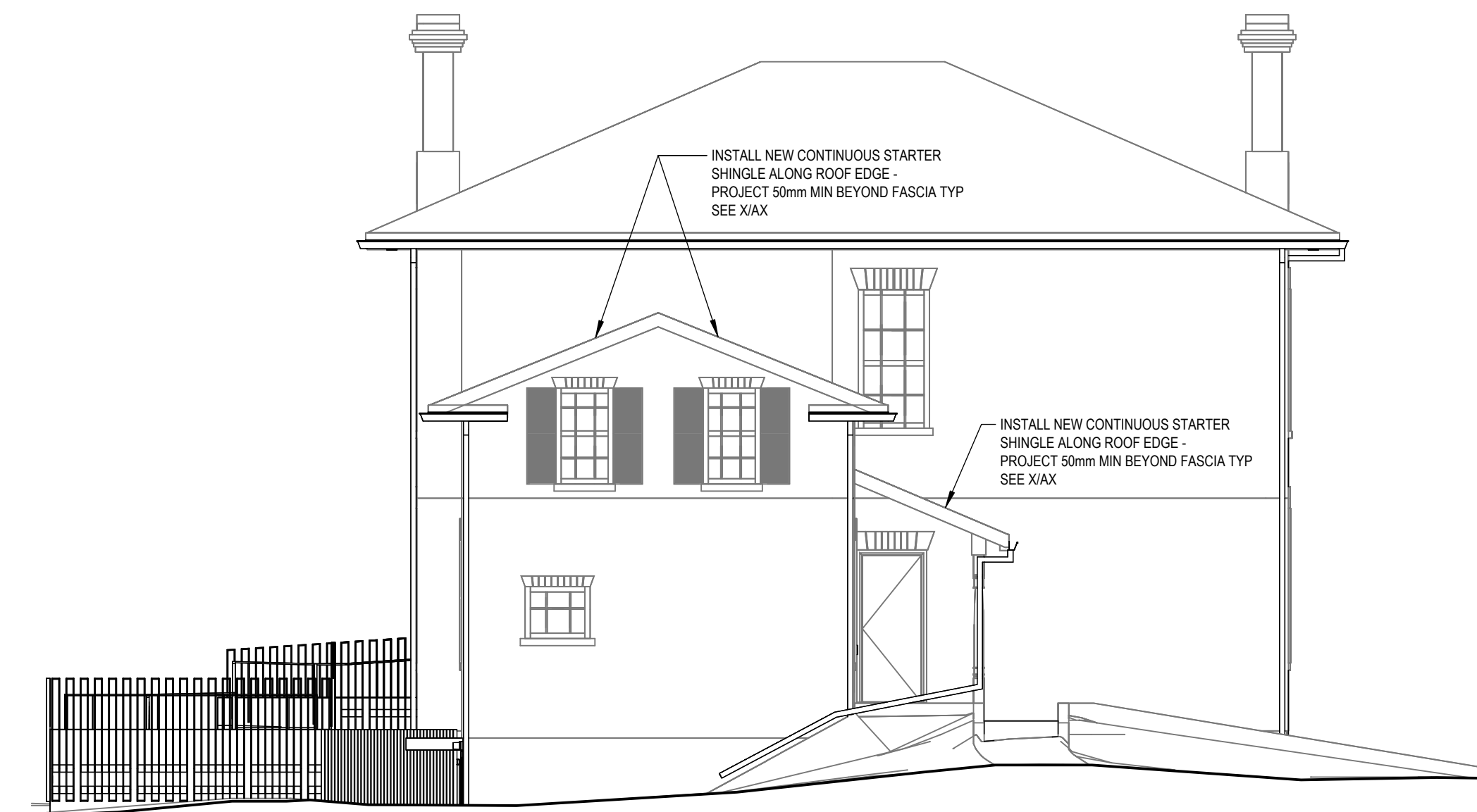
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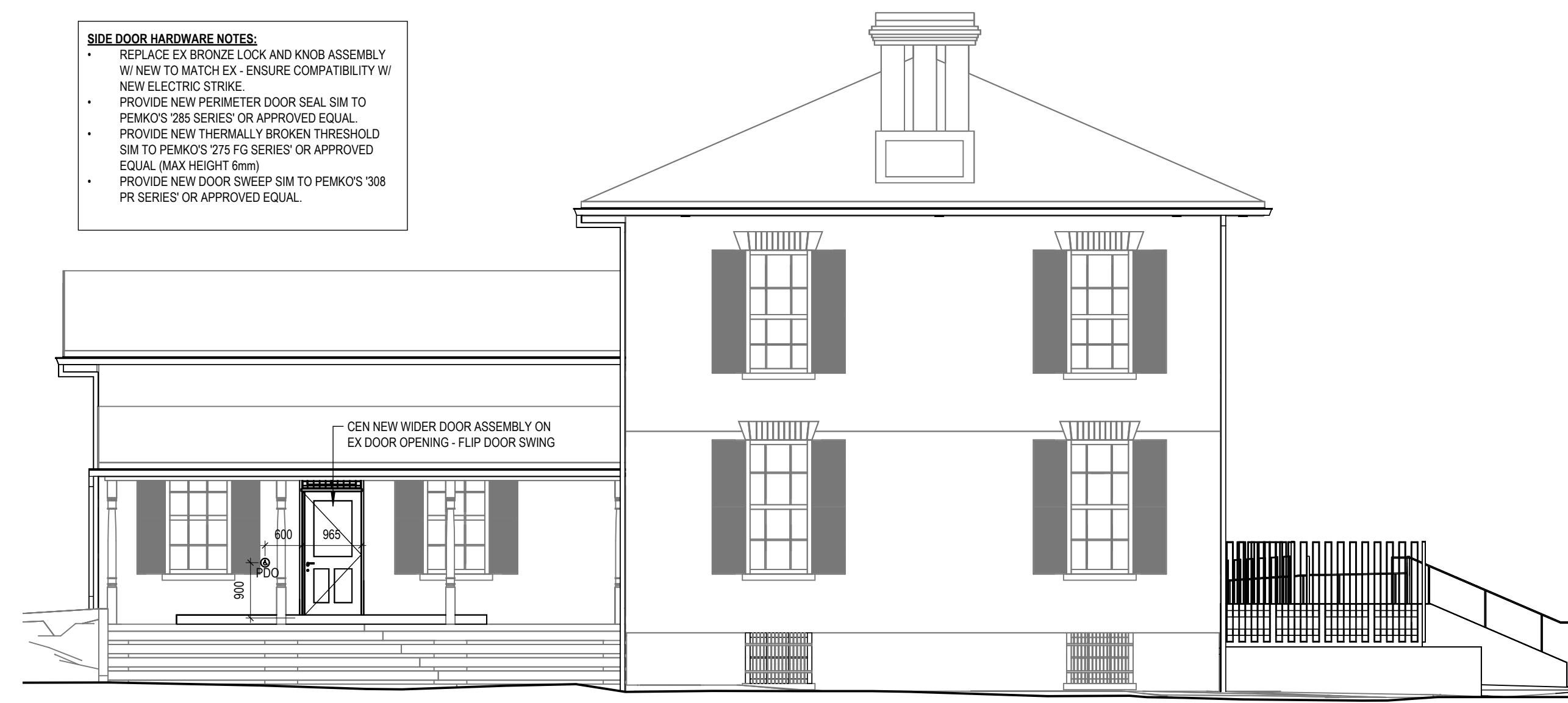
**PROPOSED WEST ELEVATION** 1  
1:75



**PROPOSED SOUTH ELEVATION** 2  
1:75



**PROPOSED EAST ELEVATION** 3  
1:75



**PROPOSED NORTH ELEVATION** 4  
1:75