



File: A129/19

Applicant: Daniel Yen-Tzo Pei

Address: 176 Heintzman Cr Maple ON

Agent: Michael Dall'Acqua & Justin Nasello

Please note that comments received after the preparation of this Staff Report (up until 12:00 p.m. on the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment <input checked="" type="checkbox"/> Negative Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection	<input checked="" type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	
Cultural Heritage (Urban Design)	<input checked="" type="checkbox"/>	
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Parks Department		
By-law & Compliance		
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Ministry of Transportation	<input checked="" type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)		

Adjournment History: N/A

Background History: N/A



Minor Variance  
Application

Agenda Item: 25

A129/19

Ward: 4

Staff Report Prepared By: Lenore Providence, Assistant Secretary Treasurer

**Date of Hearing:** Thursday, October 17, 2019

**Applicant:** Daniel Yen-Tzo Pei

**Agent:** Michael Dall'Acqua & Justin Nasello

**Property:** 176 Heintzman Crescent, Maple

**Zoning:** The subject lands are zoned RD2, Residential and subject to the provisions of Exception 9(1205) under By-law 1-88 as amended.

**OP Designation:** Vaughan Official Plan 2010: Low-Rise Residential and Natural Area

**Related Files:** None.

**Purpose:** Relief from the Zoning By-law is being requested to permit the construction of a proposed cabana located in the north-west corner of the rear/side yard.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum interior side yard setback of 1.2 metres is required.	1. To permit a minimum interior side yard setback of 0.61 metres to an accessory structure (44.6 m2 cabana).
2. A minimum rear yard setback of 7.5 metres is required.	2. To permit a minimum rear yard setback of 7.01 metres to an accessory structure (44.6 m2 cabana).
3. A minimum rear yard setback of 5.7 metres is required.	3. To permit a minimum rear yard setback of 3.12 to an exterior stairway and deck.

Background (previous applications approved by the Committee on the subject land): N/A

Adjournment History: N/A

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **4:00 p.m.** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:

Public notice was mailed on October 2, 2019

Applicant confirmed posting of signage on September 27, 2019

Property Information	
Existing Structures	Year Constructed
Dwelling	2015
Cabana	Proposed

Applicant has advised that they cannot comply with By-law for the following reason(s): Grade drop in yard will not allow proposed pool and cabana to fit.

Adjournment Request: N/A

**Building Standards (Zoning Review):** Prepared by: Catherine Saluri

Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file.

A Building Permit has not been issued for the proposed cabana and free standing deck. A building permit may be required for the existing deck. The Ontario Building Code requires a building permit for structures that exceed 10m2.

A permit for the proposed swimming pool shall be obtained from the Engineering Department.

The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

The subject lands may be subject to the Oak Ridges Moraine Conservation Act, RSO 2001.

The subject lands may be subject to section 3.24c) of by-law 1-88 Aquifer Vulnerability Restricted Uses.

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.

**Building Inspections (Septic):**

No comments or concerns

**Development Planning:**

Vaughan Official Plan 2010: Low-Rise Residential and Natural Area

The Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

The Development Planning Department recommends approval of the application.

**Cultural Heritage (Urban Design):**

No response.

**Development Engineering:**

Additional Comments:

The Owner/applicant shall apply for a pool permit with Development Engineering (DE) Department. Please visit or contact Development Engineering's front desk on the 2nd floor of City Hall to apply.

The Development Engineering (DE) Department does not object to variance application A129/19 subject to the following condition:

- 1) The Owner/applicant shall submit the final Lot Grading Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading approval prior to any work being undertaken on the property. Please visit or contact Development Engineering's front desk on the 2nd floor of City Hall to apply for lot grading approval.

**Parks Development:**

No Response.

**By-Law and Compliance, Licensing and Permit Services:**

No Response.

**Financial Planning and Development Finance:**

No concerns.

**Fire Department:**

No concerns.

**Schedule A – Plans & Sketches****Schedule B – Public Correspondence**

None.

**Schedule C - Agency Comments**

TRCA – comments with conditions

Alectra (Formerly PowerStream) – No concerns or objections

Region of York – No concerns or objections

**Schedule D - Previous Approvals (Notice of Decision)**

None.

**Staff Recommendations:**

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	Development Engineering Jason Pham  905-832-8585 x 8716 <a href="mailto:Jason.pham@vaughan.ca">Jason.pham@vaughan.ca</a>	The Owner/applicant shall submit the final Lot Grading Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading approval prior to any work being undertaken on the property. Please visit or contact Development Engineering's front desk on the 2nd floor of City Hall to apply for lot grading approval.
2	TRCA Hamedeh Razavi  416-661-6600 x 5256 <a href="mailto:Hamedeh.Razavi@trca.ca">Hamedeh.Razavi@trca.ca</a>	1) That the applicant provides the required \$580.00 review fee for Minor Variance Application A129/19. 2) The applicant is to note that a permit from TRCA for the proposed cabana and deck may be required before a building permit is issued by the City of Vaughan.

**Please Note:**

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

**Conditions**

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

## Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department;

## Notice to Public

**WRITTEN SUBMISSIONS:** Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Public written submissions on an Application shall only be received by the Secretary Treasurer until **4:00 p.m.** on the last business day **prior** to the day of the scheduled Meeting.

Written submissions can be mailed and/or emailed to:

City of Vaughan  
Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
[CofA@vaughan.ca](mailto:CofA@vaughan.ca)

**ORAL SUBMISSIONS:** If you wish to attend the meeting you will be given an opportunity to make an oral submission. Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings are audio recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

**PUBLIC RECORD:** Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**For further information please contact the City of Vaughan, Committee of Adjustment**

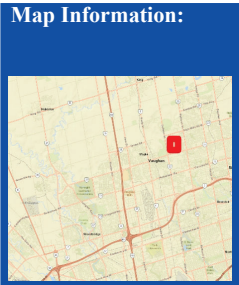
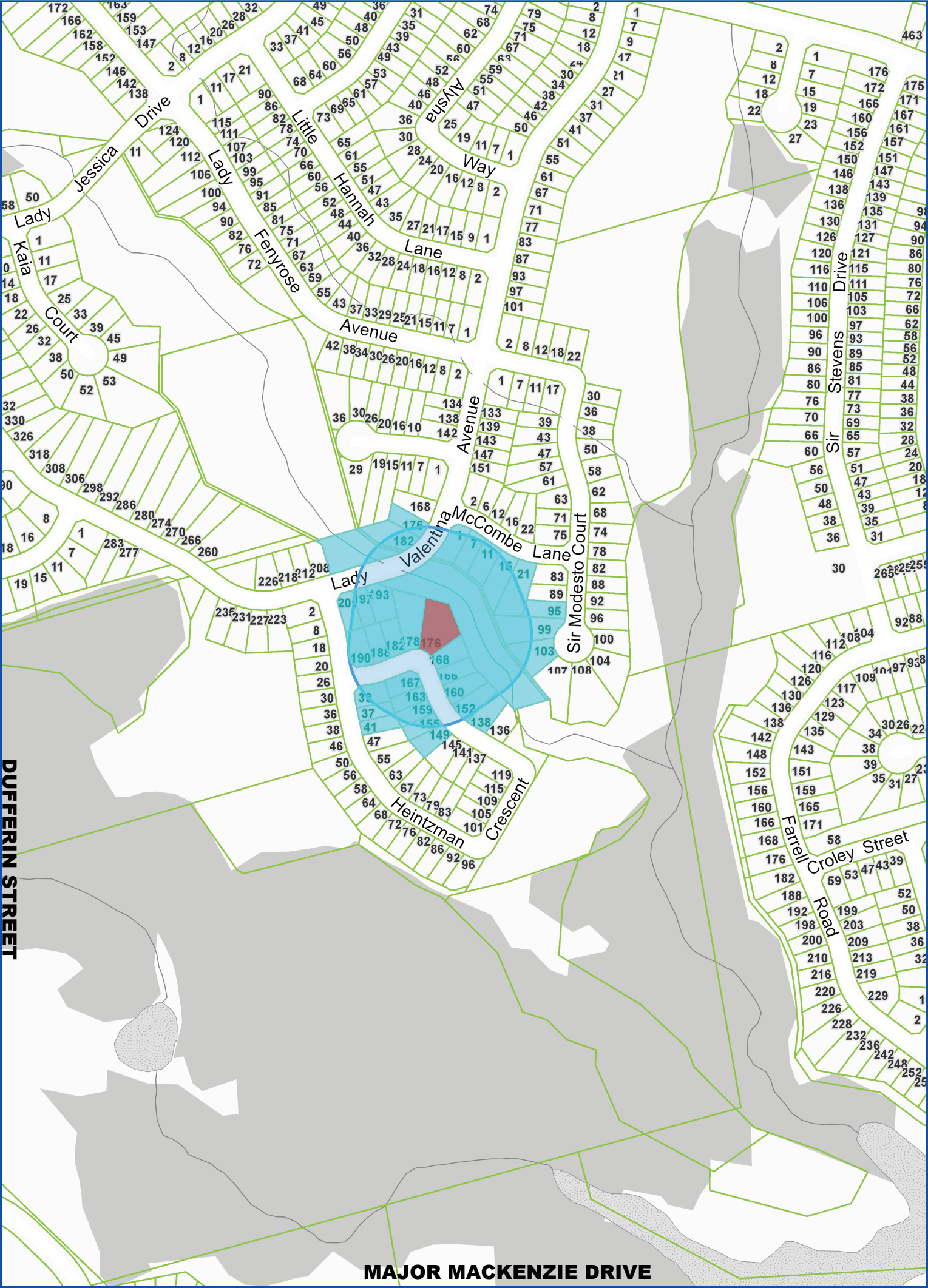
T 905 832 8585 Extension 8394  
E [CofA@vaughan.ca](mailto:CofA@vaughan.ca)

Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum. Correspondence will only be accepted until 12:00 p.m. on the date of the scheduled hearing.

Location Map  
Sketches






Title:

# LOCATION MAP - A129/19


## 176 Heintzman Crescent, Maple

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.

 **VAUGHAN**

Scale: 1:4,514

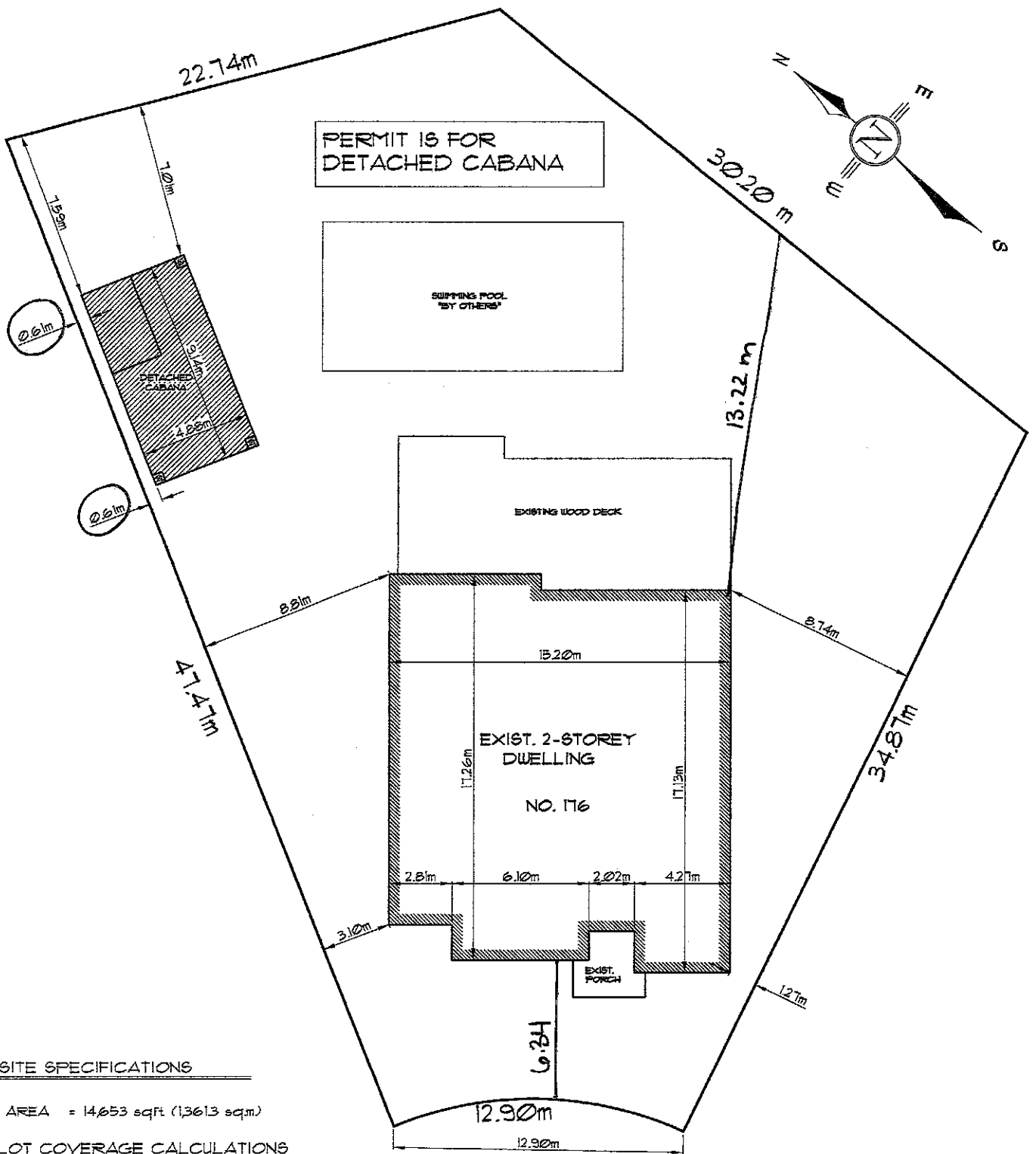
0 0.07 km 

Created By:  
Infrastructure Delivery  
Department  
September 23, 2019 4:55 PM

Projection:  
NAD 83  
UTM Zone  
17N







- SITE SPECIFICATIONS

LOT AREA = 14,653 sq.ft. (1,361.3 sq.m)

- LOT COVERAGE CALCULATIONS

EXIST. DWELLING = 2,708.5 sq.ft. (251.63 sq.m)

EXIST. FRONT PORCH = 83.7 sq.ft. (7.8 sq.m)

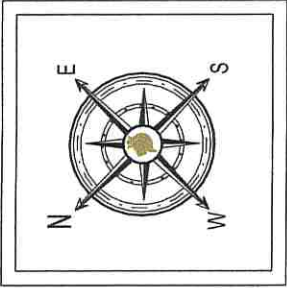
CABANA = 480.0 sq.ft. (44.60 sq.m)

TOTAL COVERAGE = 3,272.2 sq.ft. (304.0 sq.m)

@ 22.33%

HEINTZMAN CRESCENT

DATE: JAN 2008		CHECKED BY: [Signature]		SHEET: 6/6	
PROPOSED CABANA AT: 116 HEINTZMAN CRESCENT, VAUGHAN, ONTARIO					
THE UNDERSIGNED HAS REVIEWED AND APPROVED THE DESIGN AND CONSTRUCTION OF THE PROPOSED CABANA AND HAS AGREED TO PROVIDE A LETTER OF SUPPORT FOR THE CABANA TO THE CITY OF VAUGHAN FOR ITS CONSIDERATION.					
ON ALL APPLICATIONS, THE CITY OF VAUGHAN WILL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE BUILDING.					
BARRY HINMAN, [Signature], 3445 KEELE STREET, SCARBOROUGH, ONTARIO M1V 1A7					
YOUR VISION, OUR EXPERIENCE. DESIGN, CONSTRUCTION, RENOVATIONS, ADDITIONS & RENOVATIONS. BARRY HINMAN, 3445 KEELE STREET, SCARBOROUGH, ONTARIO M1V 1A7. CALL: (416) 491-5116. EMAIL: bhinman@hinman.com					
REVISIONS					
NO.	DATE	DESCRIPTION	BY	DATE	DESCRIPTION
1		AS PER CITY & TOWN OF VAUGHAN			
2					
3					
4					
5					
6					
7					
8					
9					
10					

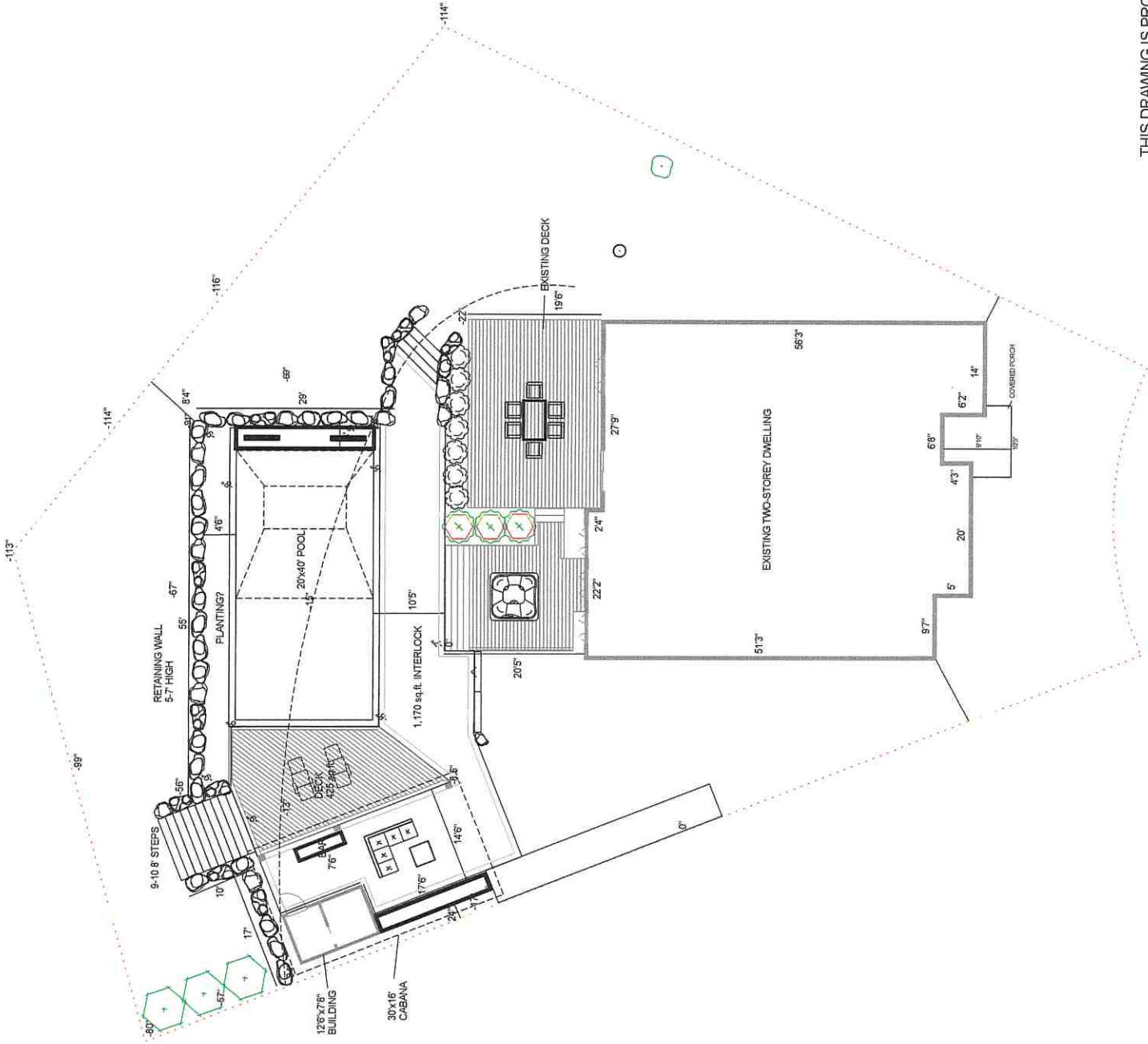


KINGSCAPE LANDSCAPE  
CONSTRUCTION GROUP  
13085 YONGE STREET, UNIT 19  
RICHMOND HILL, ON L4E 0K2  
P 905-414-1750  
F 905-833-2153  
www.kingscape.ca

PROJECT ADDRESS:  
176 HEINTZMAN CRESCENT  
VAUGHAN, ON

PROJECT		
PEI RESIDENCE		
DATE	REV.	
01-JAN-2019		
SCALE	SHEET	L-1

- XX" EXISTING GRADES
- PROPOSED GRADES
- NATURAL GRADE OF LAND
- NOTE:  
- ALL GRADE VALUES ARE IN RELATION TO  
BACK DOOR SILL HEIGHT  
- ALL MEASUREMENTS ARE APPROXIMATE AND  
ARE SUBJECT TO CHANGE  
- DRAWING IS NOT TO SCALE



THIS DRAWING IS PROPERTY OF KINGSCAPE LANDSCAPE CONSTRUCTION GROUP, AND MAY NOT BE COPIED, IN PART OR IN WHOLE, WITHOUT WRITTEN PERMISSION FROM KINGSCAPE LANDSCAPE CONSTRUCTION GROUP

## LANDSCAPE PLAN

**PROVIDE 8" WIDE CONCRETE BLOCK FOUNDATION WALL SYSTEM @ MIN. 48" BELOW GRADE & MIN. 6" ABOVE GRADE (TYP.) C/W 16"x16" FOURED CONC FOOTINGS**

**MIN. 4" FOURED CONC SLAB**  
32MPa @ 28 DAYS  
5% - 8% AIR ENTRAINMENT  
C/W URM REINFORCING IN CENTER OF SLAB  
4" COMPACTED GRANULAR FILL

**PROVIDE 42"x42"x16" PAD @ U/S OF COLUMN @ CORNERS (AS INDICATED)**

**PROVIDE 34"x34"x12" PAD @ U/S OF COLUMN @ CORNERS (AS INDICATED)**

**PROVIDE 34"x34"x12" PAD @ U/S OF COLUMN @ CORNERS (AS INDICATED)**

**CROSS SECTION A-A-4**

**DIMENSIONS:**  
Overall width: 30'-0" (9.14m)  
Overall length: 30'-0" (9.14m)  
Internal width segments: 16'-0" (4.88m), 12'-6"  
Internal length segments: 16'-0" (4.88m), 7'-6"

# "CABANA"

PROPOSED  
CABANA PLANS

PROJECT	CLASSIFIED BY	CLASS
DATE	SCALE	FILE
MAY 2013	1/4" = 1'-0"	A-1

THE INFORMATION HAS BEEN REVIEWED AND FOUNDS  
THE QUALIFICATION AND MEETS THE  
THE QUALIFICATION AND MEETS THE  
REQUIREMENTS SET OUT IN THE CONCORD  
BUILDING CODE TO BE A DESIGNER.

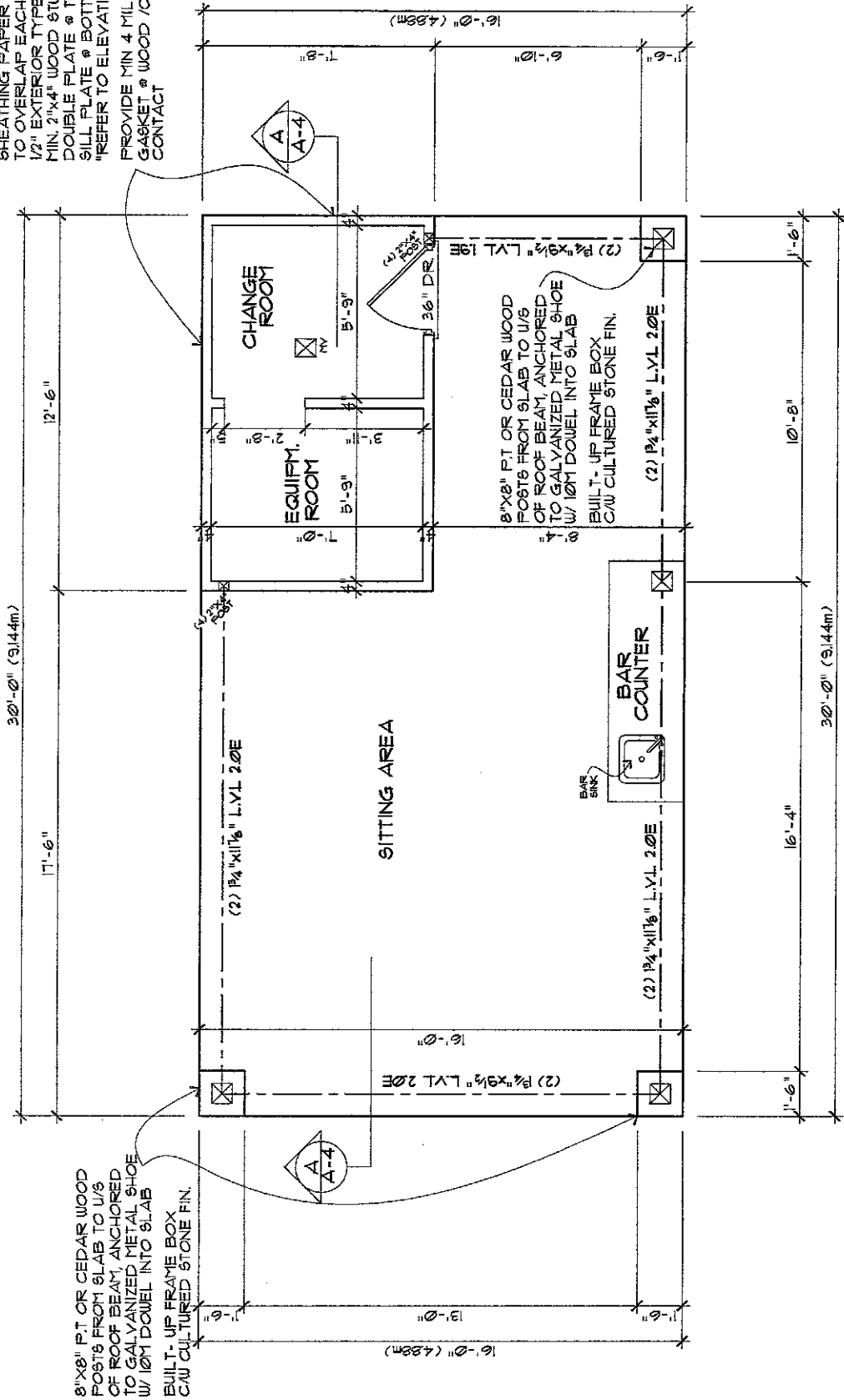
QUALIFICATION INFORMATION  
REQUIRED UNLESS DESIGN EXEMPT UNDER 215.1,  
OF THE BUILDING CODE

SEATTLE HINNAI Smart Home 24165  
2000 2000

**SH DESIGN**  
OUR VISION, OUR EXPERTISE  
CONSULTATIONS • DESIGN • CO-ORDINATING

SAMIR HINNANI  
Cell: (416) 414-9176  
Email: shdesign@rogers.com

VINYL SIDING FINISH "OR"  
STUCCO FINISH OVER  
SHEATHING PAPER LAYERS  
TO OVERLAP EACH OTHER  
1/2" EXTERIOR TYPE SHEATHING  
MIN. 2"x4" WOOD STUDS @ 16" O.C.  
DOUBLE PLATE @ TOP  
SILL PLATE @ BOTTOM  
"REFER TO ELEVATIONS FOR FIN."  
PROVIDE MIN 4 MIL POLY OR  
GASKET @ WOOD / CONCRETE  
CONTACT



NOTE:-

LUMBER EXPOSED TO WEATHER  
SHALL BE PRESSURE TREATED  
L.V.L'S SHALL BE PROTECTED  
BY METAL FLASHING OR CEDAR  
FIN. CLADDING (AS REQUIRED)

## FLOOR PLAN

PROPOSED CABANA AT:-  
# 116 HENTZMAN CRES  
VAUGHAN, ONTARIO

PROPOSED  
CABANA PLAN

DATE	CHECKED BY	DATE
MAY 2023	A-2	
SCALE	FILE	
1/4" = 1'-0"		

SH DESIGN

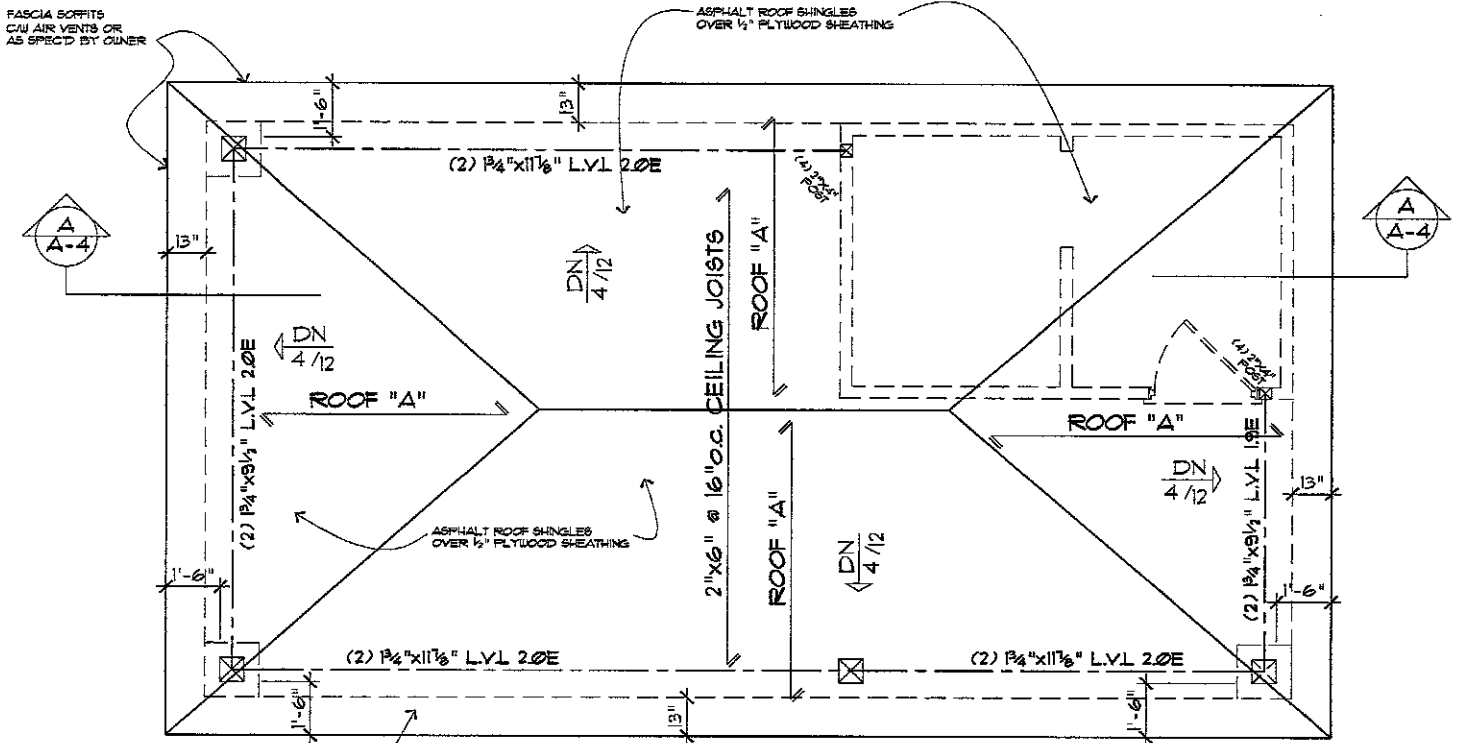
YOUR VISION OUR EXPERTISE  
CONSULTATIONS-DESIGN-DRAWINGS

SAMIR HINNAJI  
Cell: (416) 414-9116  
Email: shdesign@shdesign.com

THE UNDERSIGNED HAS REVIEWED AND TAKES  
RESPONSIBILITY FOR THIS DRAWING, AND HAS  
VERIFIED THAT THE DESIGN COMPLIES WITH THE  
REQUIREMENTS SET OUT IN THE ONTARIO  
BUILDING CODE TO BE A DRAINAGE

QUALIFICATION INFORMATION  
REQUIRED UNDER DESIGN EXEMPT UNDER 216A  
OF THE BUILDING CODE

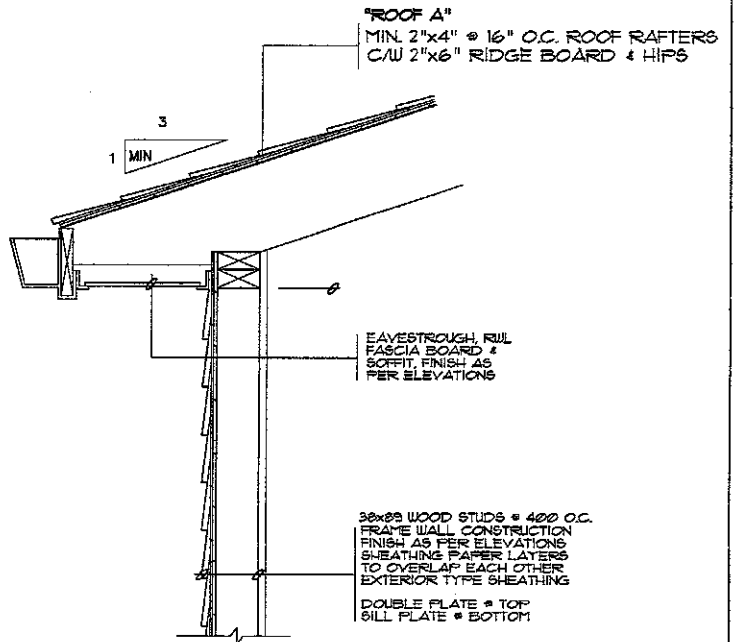
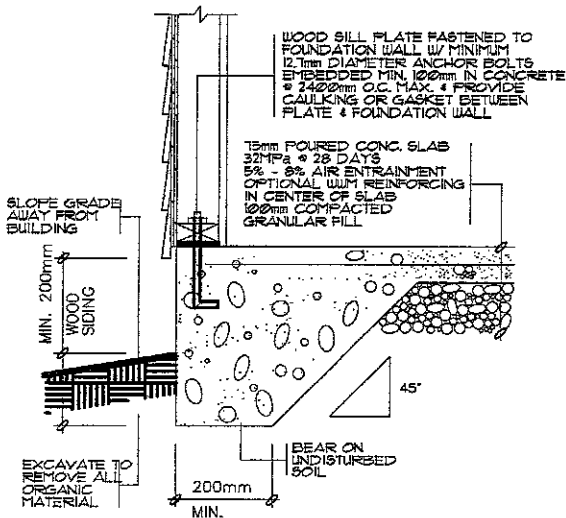
SAMIR HINNAJI  
NAME  
3465  
SIGNATURE



EAVER PROTECTION TO EXTEND FROM THE EDGE OF THE ROOF 300mm UP THE SLOPE BUT NOT LESS THAN 300mm BEYOND THE INT. FACE OF THE EXTERIOR WALL (TYPICAL)

## ROOF PLAN "CABANA"

**ROOF "A"**  
ASPHALT SHINGLES ON MIN. 9.5mm PLYWOOD SHEATHING OVER MIN 2"x4" @ 16" O.C. ROOF RAFTERS & MIN. 2"x6" RIDGE BOARD & HIPS



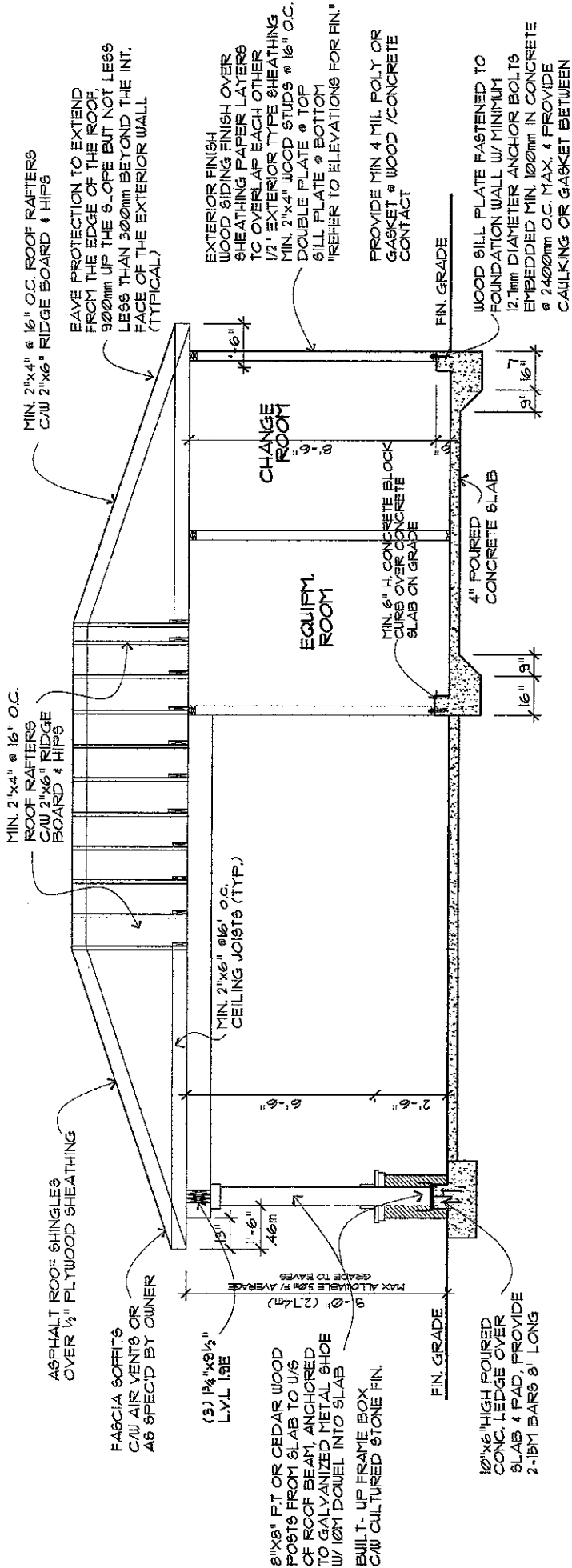
### GENERAL NOTES

- ALL LUMBER TO BE NO. 12 SPRUCE OR BETTER
- ALL PLYWOOD SHALL BE STAMPED EXTERIOR GRADE
- ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL
- IF STRUCTURE WALL IS LESS THAN 1200mm TO THE PROPERTY LINE PROVIDE 15.9mm TYPE 'X' DRYWALL INTERIOR SHEATHING. NO WINDOWS ARE PERMITTED.
- CLADDING OR VINYL SIDING W/ GYPSUM SHEATHING IS REQUIRED.
- SLAB SHALL BE SLOPED TO DRAIN TO THE OUTSIDE. CONCRETE SHALL BE MIN. 32MPa W/ 5% - 8% AIR ENTRAINMENT.
- ALL ROOF SHEATHING TO BE 9.5mm PLYWOOD OR 11mm OSB, FOR ROOF RAFTERS @ 300mm OR 400mm O.C. USE "H" CLIPS FOR ROOF RAFTERS @ 600mm O.C.
- STEPPED FOOTINGS, IF REQUIRED, SHALL HAVE A MAXIMUM RISE OF 600mm & A MINIMUM RUN OF 600mm.
- PROVIDE A LIGHT FIXTURE

1 ALTERNATE FOR FRAME DETACHED STRUCTURE  
MAXIMUM 35M2, ONE STOREY WOOD FRAME ONLY

<b>PROPOSED CABANA PLAN</b> 116 HEINTZMAN CREB VALHALLA, ONTARIO		<b>5H DESIGN</b> YOUR VISION OUR EXPERIENCE CONSULTATION - DESIGN - CONSTRUCTION 5400 HUNNALL 1000 HUNNALL RD E. #100 E. #100 E. #100		THE UNDERSIGNED HAS REVIEWED AND ISSUED THIS PLAN FOR THE CONSTRUCTION OF THE CABANA AND HAS REVIEWED THE SETTING OF THE CABANA IN THE OUTLINE OF THE BUILDING CODE TO BE A RESIDENTIAL BUILDING. QUALIFICATION INFORMATION OF THE BUILDING CODE 5400 HUNNALL 1000 HUNNALL RD E. #100 E. #100 E. #100		116 HEINTZMAN CREB VALHALLA, ONTARIO 116 HEINTZMAN CREB VALHALLA, ONTARIO 116 HEINTZMAN CREB VALHALLA, ONTARIO	
DATE	1/1/2018	SCALE	1/4" = 1'-0"	DATE	1/1/2018	SCALE	1/4" = 1'-0"
DESIGNED BY	116 HEINTZMAN CREB	CHECKED BY	116 HEINTZMAN CREB	DATE	1/1/2018	SCALE	1/4" = 1'-0"





## CROSS SECTION

A  
A-3

ASSUMED SOIL BEARING  
CAPACITY 75 KPA (1560 PSF)

**ROOF "A"**  
ASPHALT SHINGLES ON MIN.  
9.5mm PLYWOOD SHEATHING  
OVER MIN 2"x4" @ 16" O.C. ROOF  
RAFTERS & MIN. 2"x6" RIDGE  
BOARD & HIPS

**NOTE:-**  
LUMBER EXPOSED TO WEATHER  
SHALL BE PRESSURE TREATED  
LVL'S SHALL BE PROTECTED  
BY METAL FLASHING OR CEDAR  
FIN. CLADDING (AS REQUIRED)

## CONNECTOR SPECIFICATIONS

- CONNECT PERIMETER LVL BEAMS TO WOOD COLUMNS W/ 2-3 1/2"x3 1/2"x1/4" STEEL ANGLES x 8" LONG CAU 2-1/2" DIA THRU BOLTS
- CONNECT ROOF RAFTER TO FRAME WALL TOP PLATE W/ SIMPSON STRONG TIE "H2A" HURRICANE & SEISMIC TIES
- CONNECT ROOF RAFTERS PERIMETER LVL BEAMS SIMPSON STRONG TIE "H1" HURRICANE & SEISMIC TIES
- CONNECT WOOD STUDS TO SILL PLATE W/ SIMPSON STRONG TIE "H3" HURRICANE & SEISMIC TIES

<p>NO. 1</p> <p>DATE</p> <p>REVISIONS</p>		<p>NO. 2</p> <p>DATE</p> <p>REVISIONS</p>	
<p>NO. 3</p> <p>DATE</p> <p>REVISIONS</p>		<p>NO. 4</p> <p>DATE</p> <p>REVISIONS</p>	

THE UNDERSIGNED HAS REVIEWED AND I AM RESPONSIBLE FOR THE DESIGN, AND I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY REGARDING THE DESIGN OR THE BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

REGISTERED IN THE DESIGN PROFESSION UNDER THE BUILDING CODE

SAMIR HINNAULI

DATE

SCALE

**SH DESIGN**

YOUR VISION. OUR EXPERTISE

CONSULTATION - DESIGN - CONSTRUCTION

SAMIR HINNAULI

Cell: (416) 414-9116

Email: shdesign@shdesign.com

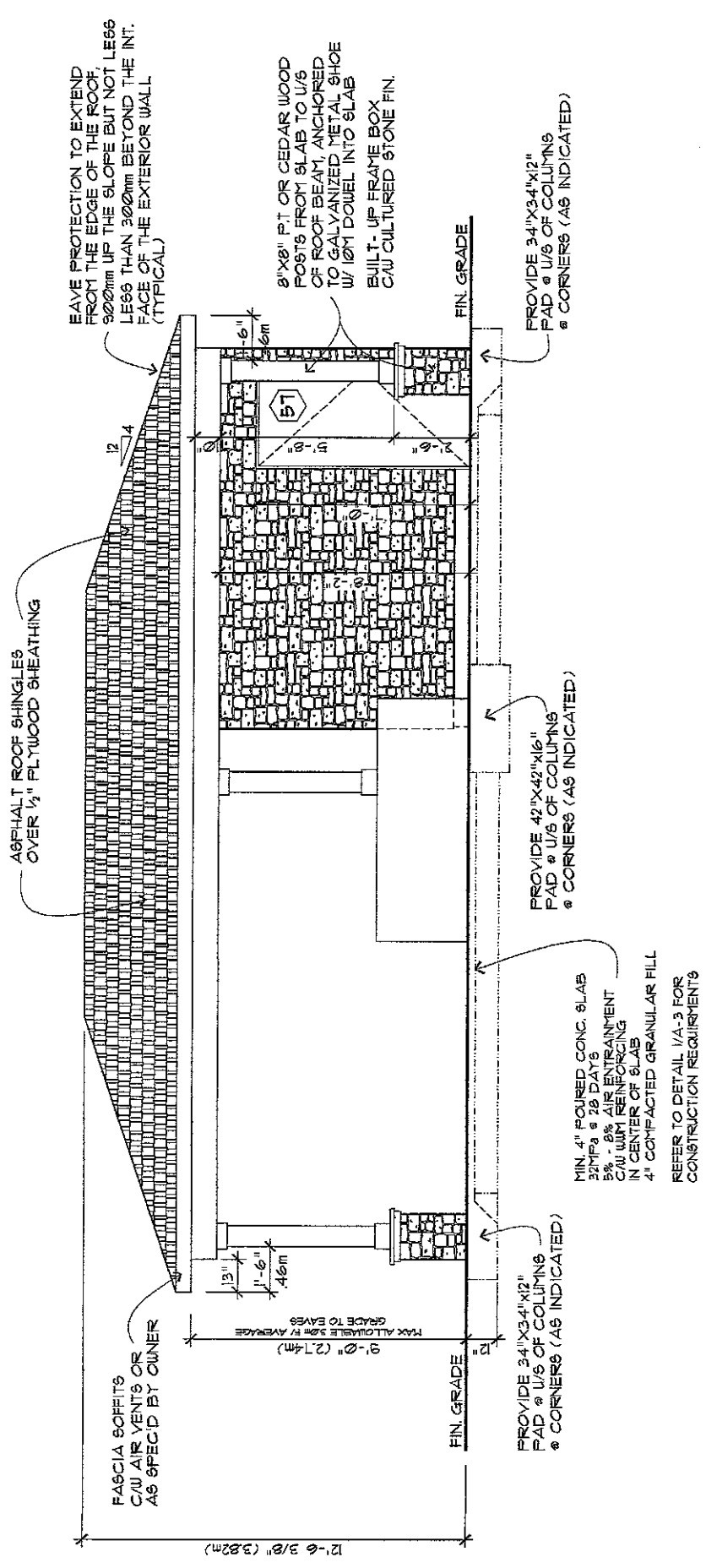
PROPOSED CABANA AT:

116 HEINTZMAN CRES

VAN HOUTEN, ONTARIO

PROPOSED CABANA PLANS

DESIGN	CHECKED BY	DATE	SCALE
DATE	DATE	DATE	DATE



# FRONT ELEVATION

## "CABANA"

REVISIONS	
NO.	DATE
1	1/16/2016

THIS DOCUMENT IS THE PROPERTY OF SH DESIGN. IT IS TO BE USED FOR THE PROJECT AND NOT BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF SH DESIGN. THE USER AGREES TO HOLD SH DESIGN HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST SH DESIGN BY ANY THIRD PARTY AS A RESULT OF THE USER'S USE OF THIS DOCUMENT.

SH DESIGN

YOUR VISION. OUR EXPERTISE.

CONSULTATION - DESIGN - DRAWING

6471R HUNNILL

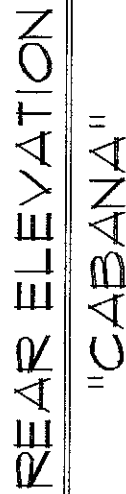
Cell: (416) 414-9116

Email: shdesign@rogers.com

PROPOSED CABANA AT:  
116 HENTZMAN CRES  
VAUGHAN, ONTARIO

PROPOSED  
CABANA PLANS

PROJ.	CHECKED BY	DATE	SCALE	SHEET
1/16/2016	1/16/2016	1/16/2016	1/4" = 1'-0"	A-5



REVIEWS

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION  
REGARDED UNLESS DESIGN EXEMPT UNDER 21CFR  
§ 314.105 CODE

AMIR HINVALE 24165

NAME \_\_\_\_\_

YOUR INSTITUTION \_\_\_\_\_

ADDRESS \_\_\_\_\_

CITY \_\_\_\_\_

STATE \_\_\_\_\_

ZIP \_\_\_\_\_

6  
7  
8  
9  
10

# SHEDS

**YOUR VISION, OUR EXPERTISE**

# CONSTITUTIONALITY

SAFIRE LINN  
COL: (416) 414-9176

Email: [ahdoo@gnorogers.com](mailto:ahdoo@gnorogers.com)

(b) (7)(C), (b) (7)(D)

Figure 1 is a line graph illustrating the percentage of the total sample for various age groups across different years. The y-axis represents the percentage of the total sample, ranging from 0 to 100. The x-axis represents the years, with labels for 1970, 1980, 1990, 2000, 2010, and 2020. The age groups are categorized as 0-14, 15-24, 25-34, 35-44, 45-54, 55-64, 65-74, and 75+. The graph shows a general trend of decreasing percentages for younger age groups and increasing percentages for older age groups over time.

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FORNARD CARANA AT:

IT'S HEINTZMAN CRES

ALGHAM, ONTARIO

100

**PROPOSED**

CABANA PLANS

DATE	CHECKED BY:	ON REEF
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A-6

10-1 • 10/1  
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**Schedule B: Public Correspondence Received**

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum. Written submissions from the public will only be accepted / processed until 12:00 p.m. on the date of the scheduled hearing.

**None.**



Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum. Correspondence will only be accepted until 12:00 p.m. on the date of the scheduled hearing.

- TRCA – comments with conditions
- Alectra (Formerly PowerStream) – No concerns or objections
- Region of York – No concerns or objections

October 1, 2019

CFN: 60819.23

**BY E-MAIL: Christine.Vigneault@vaughan.ca**

Ms. Christine Vigneault  
Secretary Treasurer  
Committee of Adjustment  
City of Vaughan  
2141 Major Mackenzie Drive  
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A129/19  
176 Heintzman Crescent  
Part lot 23, Concession 2  
City of Vaughan  
Owner: Daniel Yen-Tzo Pei**

This letter acknowledges receipt of the above noted application, received by Toronto and Region Conservation Authority (TRCA) on September 17, 2019. TRCA staff has reviewed the application and offers the following comments:

**Background**

The purpose of Application A129/19 is to request the following:

1. To permit a minimum interior side yard setback of 0.61 metres to an accessory structure (44.6 m2 cabana).
1. To permit a minimum rear yard setback of 7.01 metres to an accessory structure (44.6 m2 cabana).
3. To permit a minimum rear yard setback of 3.12 to an exterior stairway and deck.

It is TRCA's understanding that the purpose of the above variance is to permit construction of Detached Cabana on the subject property.

**Applicable TRCA Policies and Regulations**

**Living City Policies (LCP):**

The Living City Policies for Planning and Development in the Watersheds of the Toronto and Region Conservation Authority (LCP) describes a 'Natural System' made up of natural features and areas, water resources, natural hazards, potential natural cover and/or buffers. The LCP recommends that development not be permitted within the Natural System and that it be conveyed into public ownership for its long term protection and enhancement. The LCP also provides policies for developing adjacent to, and in, the Natural System (where permitted), while meeting natural hazard management requirements, and maintaining and enhancing the functions of the protected Natural System. These policies also seek to integrate the natural and built environments, maximizing opportunities for ecosystem services from across the entire landscape. It is these policies that guide TRCA's review of the subject application, along with those found in other Provincial and municipal plans, documents and guidelines.

**Ontario Regulation 166/06:**

The subject lands are located partially within the TRCA's Regulated Area of the Don River Watershed due to the presence of a watercourse with associated flood plain to the west of the subject property. In accordance with the *Ontario Regulation 166/06 (Regulation of Development, interference with Wetlands and Alterations to Shorelines and Watercourses)*, development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, pollution, or the conservation of land will not be affected. From our review of the submitted materials, TRCA staff have no further concerns with the proposed development.

**Application-Specific Comments**

As noted above, a portion of the subject property is located within TRCA's Regulated Area of the Don River Watershed due to the proximity to a wetland under Oak Ridge Moraine at the rear of the lot. TRCA has reviewed the materials and has no concerns with the proposed variances.

**Fees**

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$580.00 Variance – Residential – Minor review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

**Recommendations**

From our review of the submitted materials TRCA has **no objection** to the approval of Minor Variance A129/19 subject to the following condition:

- 1) That the applicant provides the required \$580.00 review fee for Minor Variance Application A129/19.
- 2) The applicant is to note that a permit from TRCA for the proposed cabana and deck may be required before a building permit is issued by the City of Vaughan.

**Conclusion**

We thank you for the opportunity to review the subject application and provide our comments as per our commenting and regulatory role. Further, we trust these comments are of assistance.

TRCA will continue to work closely with the City of Vaughan, the applicant, and their consultants to ensure that TRCA's expectations for meeting our requirements are met. Should you have any additional questions or comments, please do not hesitate to contact the undersigned.

Sincerely,



Hamedeh Razavi  
Planner I  
Planning and Development  
Extension 5256

HR/cb



## COMMENTS:

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We have reviewed the proposed Variance Application and have no comments or objections to its approval.

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We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).

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We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream(Construction Standard 03-1, 03-4, 03-9), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI  
**Phone:** 1-877-963-6900 ext. 31297  
**Fax:** 905-532-4401  
**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mr. Tony D'Onofrio  
Supervisor, Subdivisions & New Services  
**Phone:** 1-877-963-6900 ext. 24419  
**Fax:** 905-532-4401  
**Email:** [tony.donofrio@alectrautilities.com](mailto:tony.donofrio@alectrautilities.com)

## Providence, Lenore

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**Subject:** FW: (A129/19) MVAR.19.V.0382 - 176 Heintzman Crescent

**From:** Skouros, Julia <Julia.Skouros@york.ca>

**Sent:** September-26-19 8:48 AM

**To:** Providence, Lenore <Lenore.Providence@vaughan.ca>

**Cc:** Vigneault, Christine <Christine.Vigneault@vaughan.ca>; Attwala, Pravina <Pravina.Attwala@vaughan.ca>

**Subject:** (A129/19) MVAR.19.V.0382 - 176 Heintzman Crescent

Hi Lenore,

The Regional Municipality of York has completed its review of the above mentioned Minor Variance Application and has no comment.

Should you have any questions or concerns, please contact Joseph McMakin, Associate Planner at ext. 71516 or by email at [joseph.mcmackin@york.ca](mailto:joseph.mcmackin@york.ca)

Best,