

ITEM: 6.4	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A059/25
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Report Date: August 15, 2025

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):

Additional comments from departments and agencies received after the publication of the report will be made available on the City’s [website](#).

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Forestry	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies *Comments Received	Conditions Required		Nature of Comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			07/28/2025	Report for Existing Deck

BACKGROUND (SCHEDULE D, IF REQUIRED)	
* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.	
Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background

	MINOR VARIANCE APPLICATION FILE NUMBER A059/25
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CITY WARD #:	3
APPLICANT:	Manoharan Kasiapillai, Jaya Soundarya Manoharan, Nirmala Manoharan & Sabari Girish Manoharan
AGENT:	Kruti Shah (RJ Cad Solutions Inc.)
PROPERTY:	27 Via Toscana, Woodbridge
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	N/A
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is requested to permit an existing deck (uncovered porch), including access stairs and gazebo in the rear yard.

The following variances have been requested from the City’s Zoning By-law:

The subject lands are zoned **R4A(EN) – Fourth Density Residential Zone (Established Neighbourhood)** and subject to the provisions of **Exception 14.924 under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 001-2021	Variance requested
1	A residential accessory structure (Gazebo) with a height greater than 2.8 m shall not be located closer than 2.4m to any lot line. [Section 4.1.2.1.b]	To permit a residential accessory structure (Gazebo) with a height greater than 2.8 m to be located a minimum of 0.68m to the interior side lot line.
2	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0m . [Section 4.1.4.1]	To permit the height of a residential accessory structure (Gazebo) to be a maximum of 3.68m .
3	An uncovered platform, with a floor height of 1.2 m or less as measured at any point from grade and including access stairs shall be permitted to encroach a maximum of 2.4m into the required rear yard. [Section 4.13, Table 4-1]	To permit an uncovered platform, with a floor height of 1.2 m or less as measured at any point from grade and including access stairs to encroach a maximum of 3.01m into the required rear yard.

The subject lands are zoned **RV4 – Residential Urban Village Zone Four** and subject to the provisions of **Exception 9(1284) under Zoning By-law 1-88, as amended.**

#	Zoning By-law 1-88	Variance requested
4	A minimum rear yard setback of 7.5m is required to the proposed gazebo. [Section 4.1.1.c and Schedule A1]	To permit a minimum rear yard setback of 4.2m to the proposed gazebo.
5	A minimum interior side yard setback of 1.2m is required to the proposed gazebo. [Section 4.1.1.c and Schedule A1]	To permit a minimum interior side yard setback of 0.68m to the proposed gazebo.
6	Porches which are uncovered, unexcavated and unenclosed may encroach into the rear yard to a maximum of 1.8m . [Section 3.14.c]	To permit an uncovered porch to encroach into the required rear yard to a maximum of 4.51m
7	Porches which are uncovered, unexcavated and unenclosed may encroach into the interior side yard to a maximum of 0.3m . [Section 3.14.c]	To permit an uncovered porch to encroach into the required Interior side yard to a maximum of 0.95m

#	Zoning By-law 1-88	Variance requested
8	The nearest part of the roof of an accessory structure shall not be more than three 3.0 metres above finished grade. [Section 4.1.1.b]	To permit the nearest part of the roof of an accessory structure (gazebo) to be 3.02m above finished grade.
9	No encroachment permitted in an interior side yard shall be closer than 1.2 metres to a line except eaves, gutters, external central air conditioner and/or heat pump units. [Section 3.14.i]	To permit an uncovered porch to be located a minimum of 0.25m to the interior side lot line.

HEARING INFORMATION
DATE OF MEETING: Thursday, August 21, 2025 TIME: 6:00 p.m. MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2 nd Floor), 2141 Major Mackenzie Drive LIVE STREAM LINK: Vaughan.ca/LiveCouncil
PUBLIC PARTICIPATION
<p>If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the Request to Speak Form and submit to cofa@vaughan.ca</p> <p>If you would like to submit written comments, please quote file number above and submit by mail or email to:</p> <p>Email: cofa@vaughan.ca</p> <p>Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1</p> <p>To speak electronically, pre-registration is required by completing the Request to Speak Form on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.</p> <p>THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.</p>

INTRODUCTION
<p>Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.</p> <p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:</p> <p>That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p>

COMMITTEE OF ADJUSTMENT	
Date Public Notice Mailed:	August 7, 2025
Date Applicant Confirmed Posting of Sign:	August 6, 2025
Applicant Justification for Variances: *As provided in Application Form	1. The proposed interior side yard setback of 0.0 metres to the proposed residential accessory structure does not meet the requirements of By-law 1-88a.a. A minimum interior side yard setback of 1.2 meters is required (Schedule A1, By-law 1-88a.a.). 2. The proposed rear yard setback of 5.86 metres to the proposed residential accessory structure does not meet the requirements of By-law 1-88a.a. A minimum rear yard setback of 7.5 metres is required (Schedule A1, By-law 1-88a.a.). 3. The proposed height of the accessory structure does not meet the requirements of By-law 1-88a.a. A maximum height of 3.0 metres from finished grade to the nearest part of the roof structure is permitted (Section 4.1, By-law 1-88a.a.).

COMMITTEE OF ADJUSTMENT	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
N/A	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
The Development Engineering Department does not object to the Minor Variance application A059/25, to permit a residential accessory structure (Gazebo) to be located a minimum of 0.68m to the interior side lot line.	
Development Engineering Recommended Conditions of Approval:	None

PARKS, FORESTRY & HORTICULTURE (PFH)	
Forestry has no comment at this time	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE	
No comment no concerns.	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES	
No comments received to date.	
BCLPS Recommended Conditions of Approval:	None

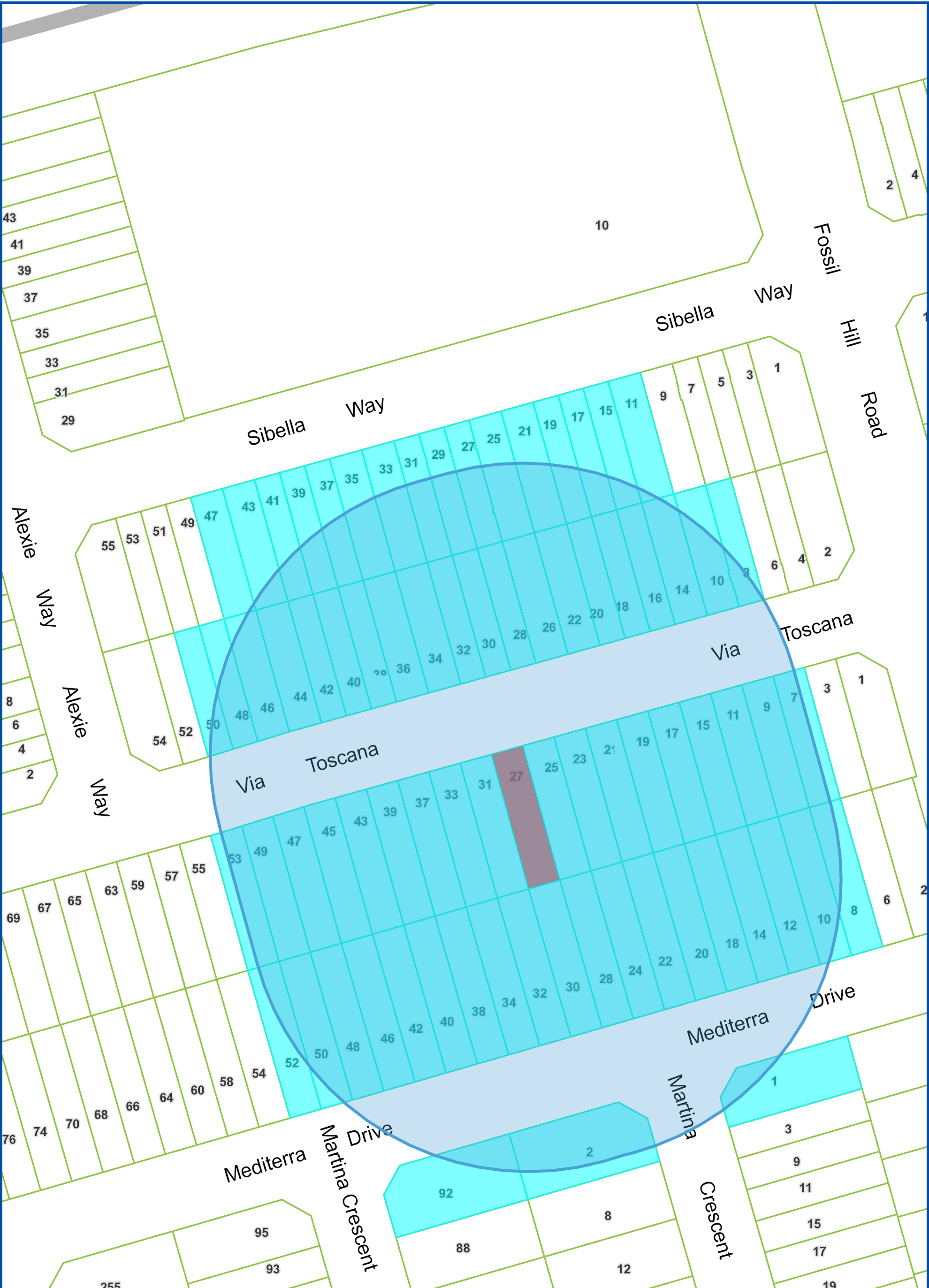
BUILDING INSPECTION (SEPTIC)	
No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT	
No comments received to date.	
Fire Department Recommended Conditions of Approval:	None

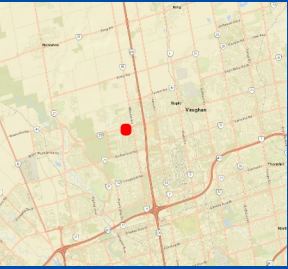
RECOMMENDED CONDITIONS OF APPROVAL SUMMARY		
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:		
#	DEPARTMENT / AGENCY	CONDITION
	None	
<i>All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.</i>		

IMPORTANT INFORMATION
<p>CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p>
<p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>
<p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.</p>

SCHEDULE A: DRAWINGS & PLANS



Map Information:



Title:

Minor Variance Application -A059/25

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



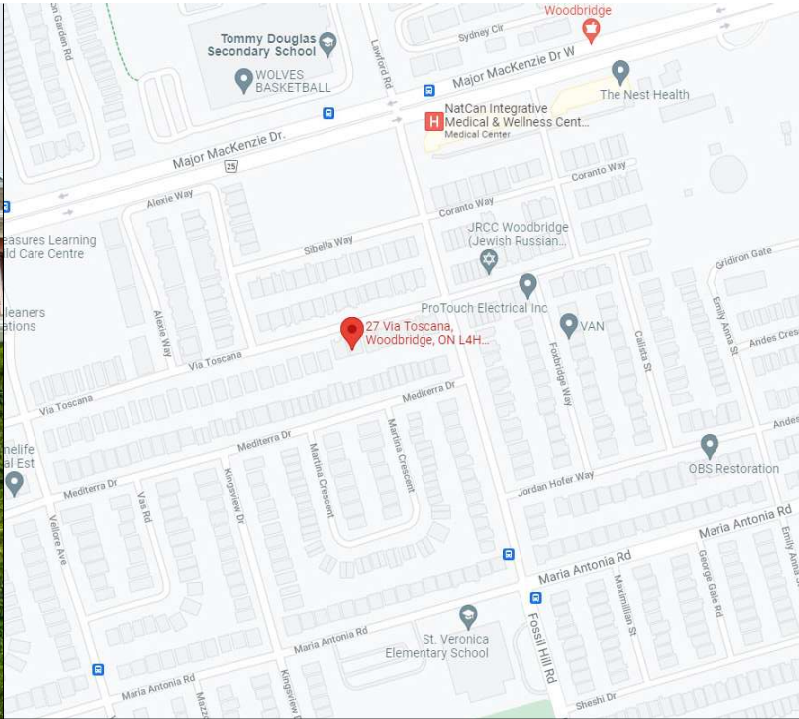
Scale: 1:1,128

0 0.02 km



Created By:
Infrastructure Delivery
Department
May 1, 2025 11:54 AM

Projection:
NAD 83
UTM Zone
17N



INDEX	
Number	Sheet Name
A-00	COVER PAGE
A-01	SITE PLAN
A-02	FOUNDATION PLAN
A-03	PROPOSED FLOOR PLAN
A-04	PROPOSED ROOF PLAN
A-05	ELEVATIONS
A-06	LEFT ELEVATION
A-07	STRUCTURAL DECK PLAN
A-08	STRUCTURAL ROOF PLAN
AN-01	GENERAL NOTES

DECK / SUNROOM / PORCH

MANOHARAN KASIAPILLAI

27 VIA TOSCANA, WOODBRIDGE,
ON, L4H 3V7

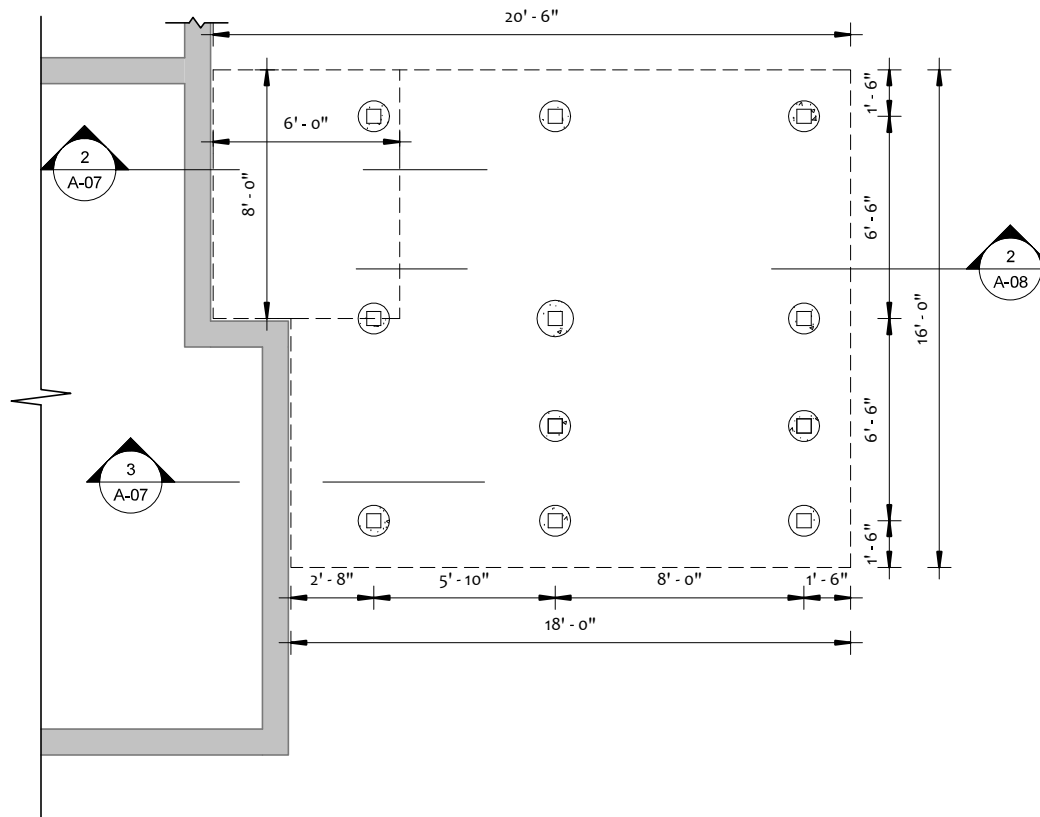
By russog at 2:37 pm, Jul 16, 2025

LOT AREA	2607.95 SF (242.28 SQM)
BUILDING AREA	1182.57 SF (109.86 SQM)
LOT COVERAGE	45.34%
PROPOSED LOT COVERAGE	87.89 SF (8.16 SQM)



RJ CAD SOLUTIONS

Date 2025-07-08	Scale 1 : 100
Drawn By KD	Checked By KS
Project Number 0001	
SHEET NUMBER A1	

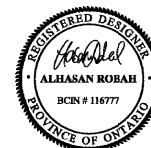


888.236.9958 | 416.483.5393 | 905.821.0728
 INFO@YEJSTUDIO.COM
 WWW.YEJSTUDIO.COM

DECK /SUNROOM /PORCH

27 VIA TOSCANA, WOODBRIDGE, ON,
 L4H 3V7

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE BUILDING CODE TO BE A DESIGNER.	
QUALIFICATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5 OF THE BUILDING CODE	
ALHASAN ROBAH	116777
NAME	BCIN



FOUNDATION PLAN

Project number

Date

21 RE700-346

2021.12.09

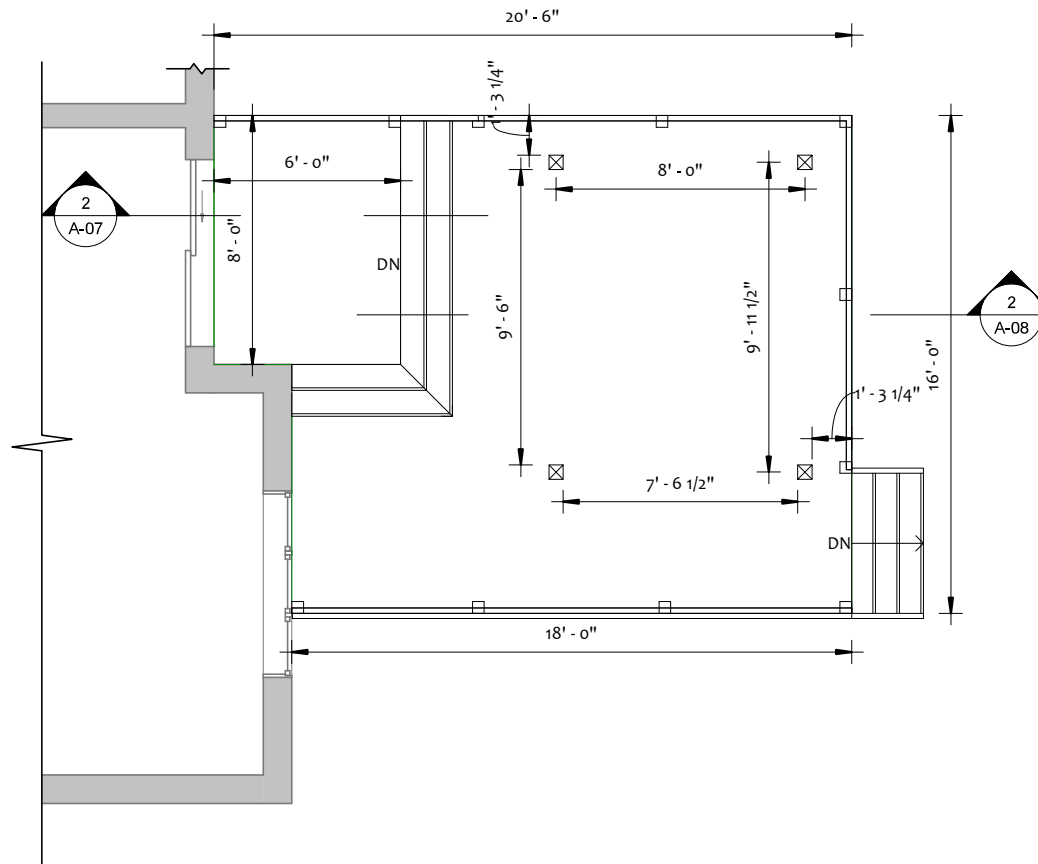
A-02

Drawn by

Scale

A.H.

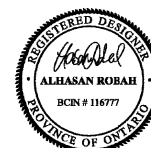
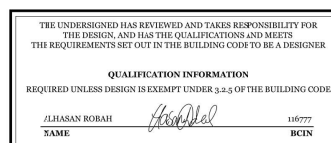
1/4" = 1'-0"



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27 VIA TOSCANA, WOODBRIDGE, ON,
 L4H 3V7



PROPOSED FLOOR PLAN

Project number

21 RE700-346

Date

2021.12.09

A-03

Drawn by

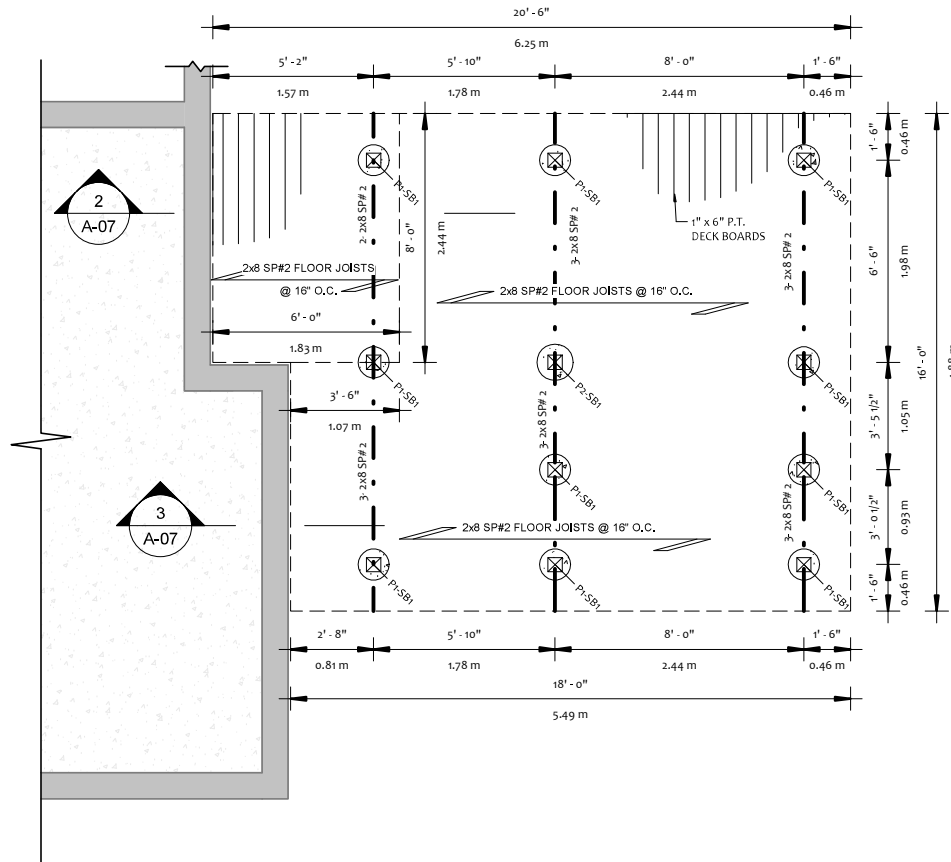
A.H.

Scale

1/4" = 1'-0"

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By russog at 8:40 am, May 29, 2025



1
A-07
BASEMENT
1/4" = 1'-0"

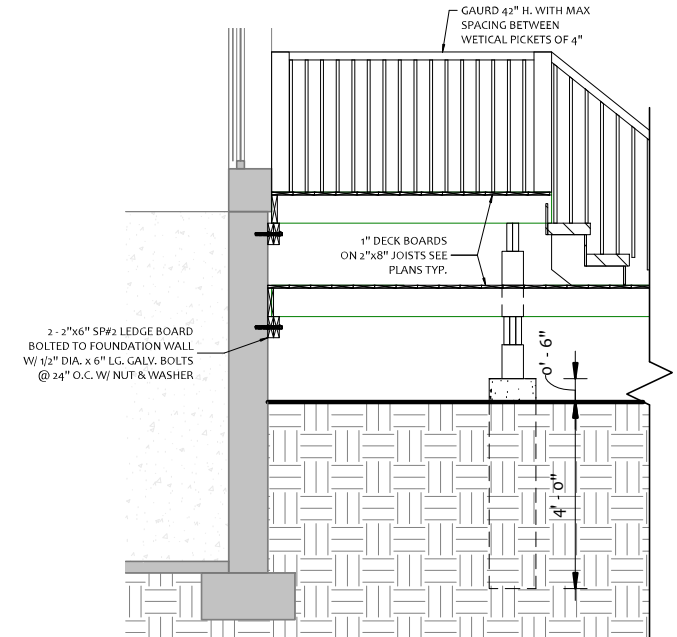
STRUC. ELEMENTS

POST SCHEDULE

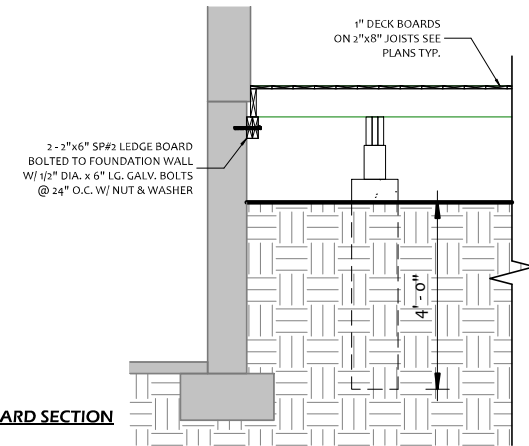
NO.	DESCRIPTION
SB1	6"X6"

PIER SCHEDULE

NO.	DESCRIPTION
P1	12"
P2	14"



2
A-07
LANDING & DECK SECTION
3/8" = 1'-0"



3
A-07
LEDGER BOARD SECTION
3/8" = 1'-0"



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INFO@YEJSTUDIO.COM
WWW.YEJSTUDIO.COM

DECK /SUNROOM /PORCH

27 VIA TOSCANA, WOODBRIDGE, ON,
L4H 3V7

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR
THE DESIGN, AND HAS THE QUALIFICATIONS AND MEETS
THE REQUIREMENTS SET OUT IN THE BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5 OF THE BUILDING CODE

ALHASAN ROBAH 116777
NAME BCIN



STRUCTURAL DECK PLAN

Project number

21 RE700-346

Date

2021.12.09

A-07

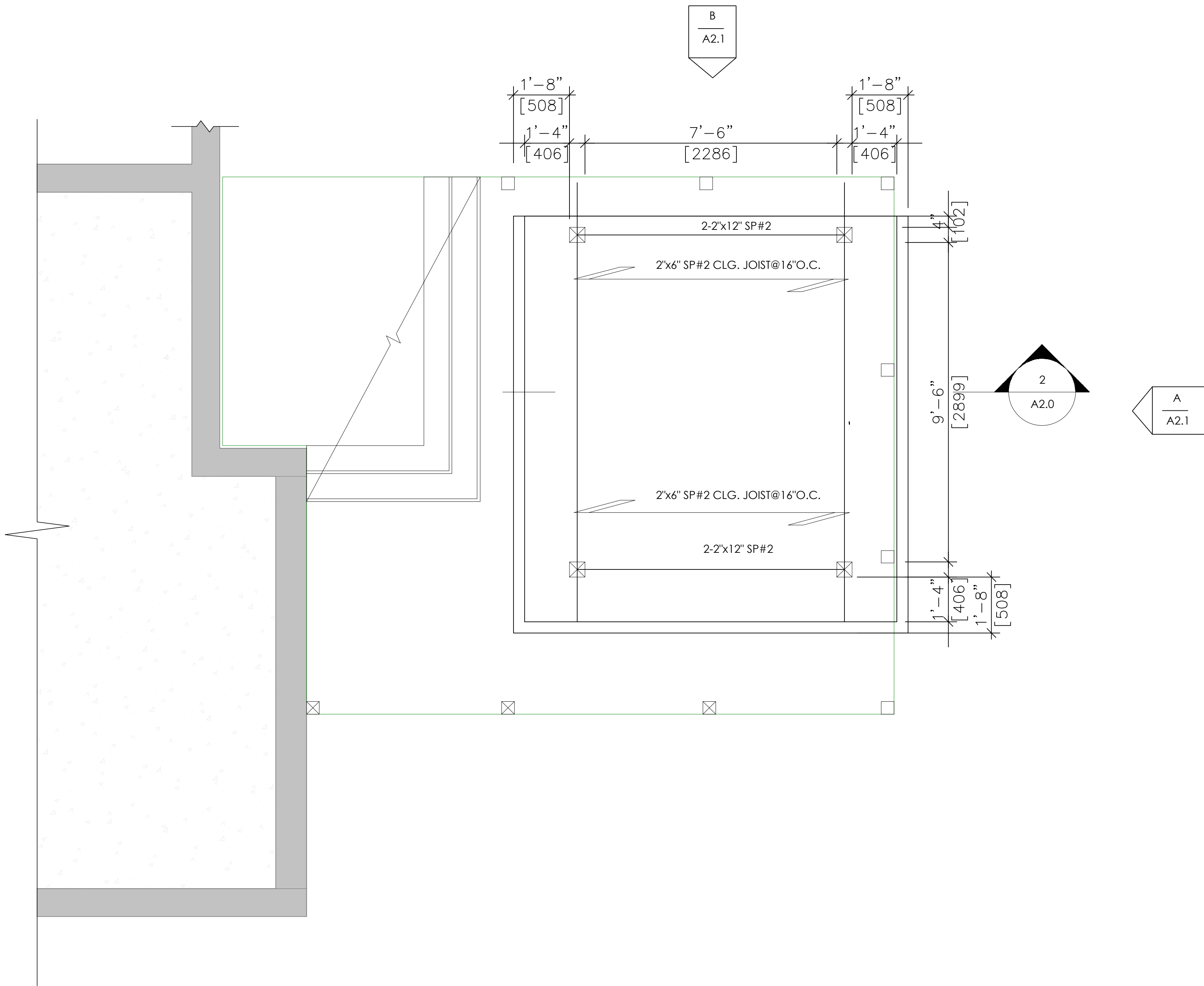
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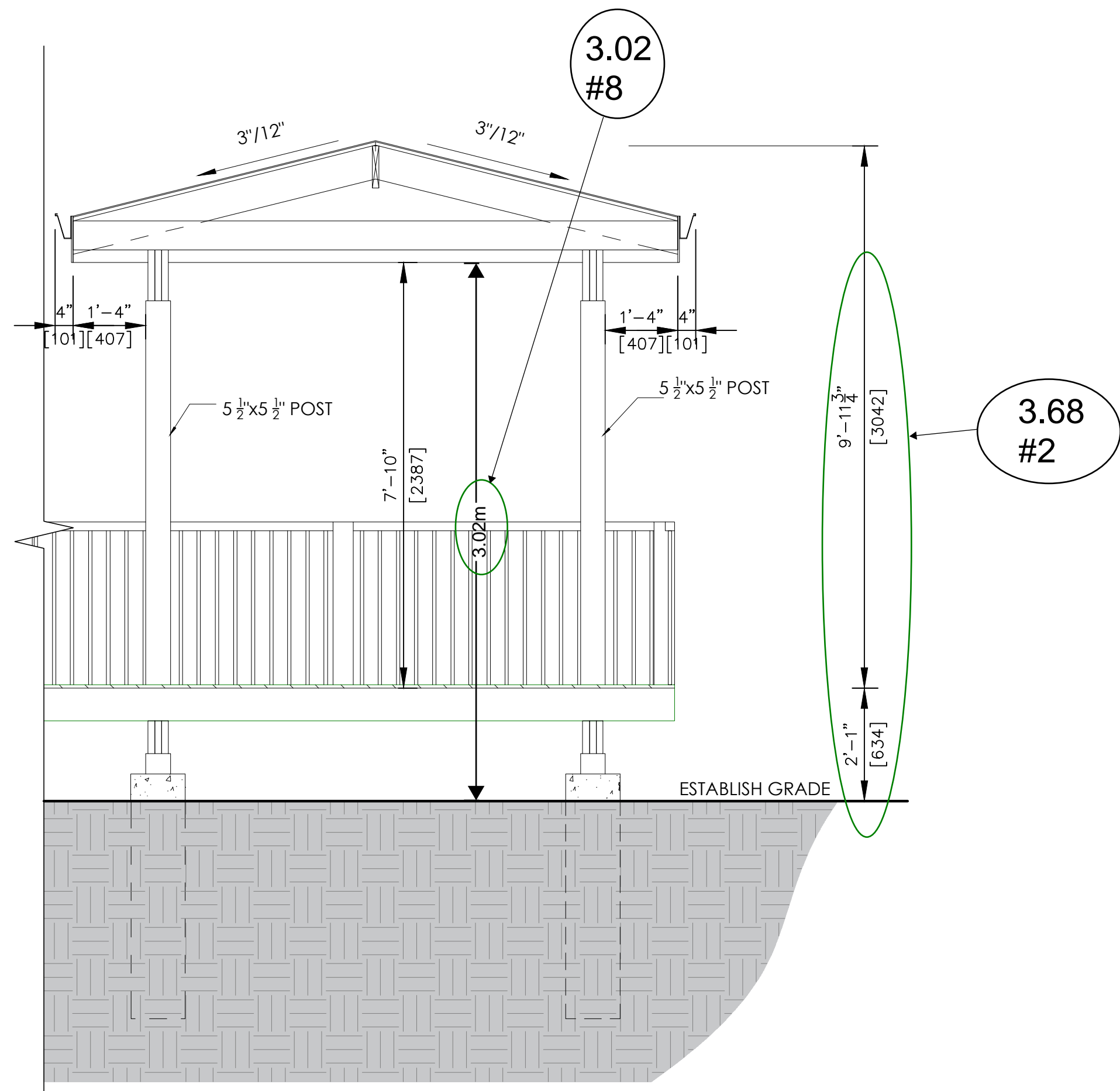
Scale

As indicated


RECEIVED
By andrea buchanan at 8:39 am, Jul 18, 2025



ROOF STRUCTURE PLAN



ROOF SECTION

1.	ISSUED FOR APPROVAL	02/04/2025
No.	REVISION	DATE
		

CONSULTANT:
RJ CAD SOLUTIONS INC
Kruti Shah, P.Eng.
Cell:647-532-3593
Office:905-913-5200
4 Abacus Road, Unit # 12
Brampton, ON L6T 5J6
www.rjcad solutions.com

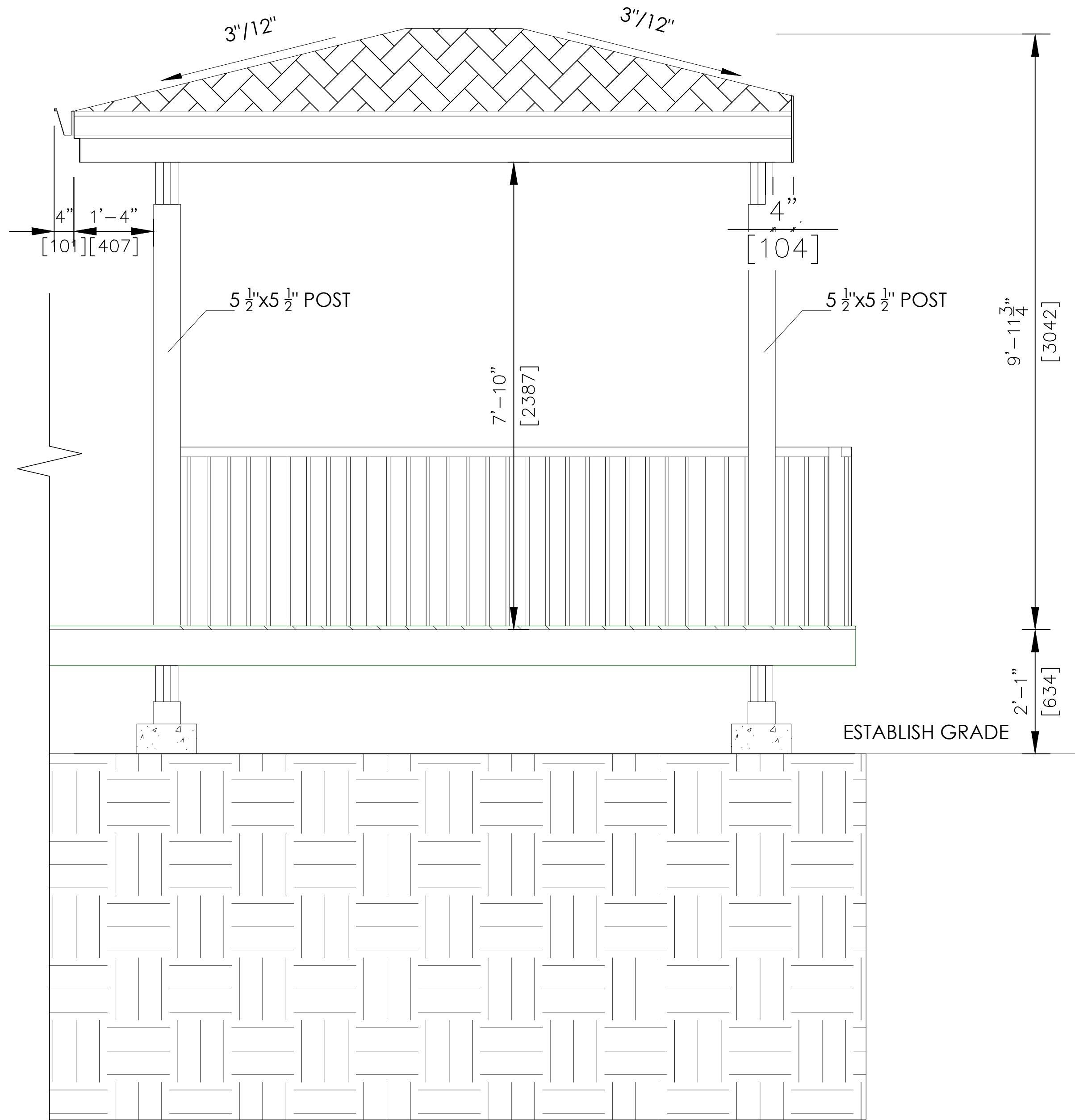
- DRAWING NOTES:
- GENERAL CONTRACTOR SHALL CHECK AND VERIFY DIMENSIONS ON SITE AND REPORT ERRORS AND OMISSIONS.
 - CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR CONSISTENCY WITH THE INTENT OF THE DRAWINGS AND SPECIFICATIONS.
 - DRAWINGS ARE NOT TO BE SCALED. WORK TO DIMENSIONS ONLY.
 - THE DRAWINGS IS THE PROPERTY OF THE DESIGNER AND MAY NOT BE REPRODUCED OR USED WITHOUT THE EXPRESS OF THE DESIGNER.

OWNER:

PROJECT TITLE:
27 VIA TOSCANA VAUGHAN ON

DRAWING TITLE:
EXISTING FLOOR PLAN & SECTION

DRAWN BY: KD	DRAWING NO: A2.0
CHECKED BY: KS	
SCALE: NTS	
DATE: 16/07/2025	
PROJECT NO:	032024



1.	ISSUED FOR APPROVAL	02/04/2025	
No.	REVISION	DATE	



032024

A2.1

GENERAL NOTES :

I. ALL CONSTRUCTION SHALL MEET WITH THE LATEST REQUIREMENTS OF:

- AUTHORITIES HAVING JURISDICTION.
- ZONING RESTRICTIONS AND COMMITTEE OF ADJUSTMENT DECISIONS.
- ONTARIO BUILDING CODE
- ONTARIO REGULATIONS UNDER THE HEALTH AND PROMOTION ACT.
- ONTARIO FIRE CODE
- ALL SUPPLIERS SPECIFICATIONS RE: THE TECHNICAL METHODS TO USE MATERIALS AND THE SAFEST SYSTEM TO INSTALL BREAKABLE OR HANGING MATERIALS SUCH AS GLASS OR LIGHT FIXTURES ETC.

II. CONTRACTOR SHALL:

- CONFIRM ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES OR ERRORS TO THE ARCHITECT AND THE PARTIES INVOLVED.
- WORK ONLY FROM THE APPROVED PERMIT DRAWINGS AND SPECIFICATIONS THAT ARE STAMPED AND SIGNED BY THE ARCHITECT.
- RETAIN A CERTIFIED SURVEYOR TO CHALK OUT ALL PROPERTY LINES, BUILDING BOUNDARIES AND LIMITATIONS AND CONFIRM GRADES OF THE LOT.
- PRIOR TO EXCAVATION, TAKE PRECAUTION IN SUCH A MANNER TO PREVENT DAMAGE TO ADJACENT PROPERTIES, EXISTING STRUCTURE, UTILITIES, ROADS AND SIDEWALKS.
- PRIOR TO CONSTRUCTION CHECK WITH ALL INSPECTORS OF ALL AUTHORITIES HAVING JURISDICTION ON THE PROJECT REGARDING SCHEDULES OF INSPECTIONS AND ARRANGE FOR THEIR SITE VISITS AND CALL ALL UTILITY COMPANIES (GAS, HYDRO, CABLE, WORKS DEPT., etc.) TO CHECK ALL EXISTING LINES, PIPES, TREES,
- PROVIDE ALL REQUIRED LATERAL FRAMING SUPPORTS (TO ENSURE RIGIDITY AND STURDINESS) THAT DO NOT SHOW ON DRAWINGS
- NOT PLACE MATERIALS NOR PLACE OR OPERATE EQUIPMENT IN OR ADJACENT TO AN EXCAVATION IN A MANNER THAT MAY ENDANGER THE INTEGRITY OF THE EXCAVATION OR ITS SUPPORTS.
- NOT SCALE DRAWINGS UNLESS OTHERWISE MENTIONED
- COMPLY BY SOIL REPORT WHENEVER APPLICABLE.
- USE ONLY APPROVED SUPPLIERS & INSTALLERS

III. SHOP DRAWINGS:

- THE REVIEW OF SHOP DRAWINGS IS FOR THE SOLE PURPOSE OF ASCERTAINING CONFORMANCE WITH THE GENERAL DESIGN CONCEPT. IT SHALL NOT MEAN APPROVAL OF THE DETAIL DESIGN INHERENT IN THE SHOP DRAWING, RESPONSIBILITY FOR WHICH SHALL REMAIN WITH THE CONTRACTOR SUBMITTING SAME, AND SUCH REVIEW SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY FOR MEETING ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE FOR DIMENSIONS TO BE CONFIRMED AND CORRECTED AT THE JOB SITE, FOR INFORMATION THAT PERTAINS SOLELY TO FABRICATION, PROCESSES OR TO TECHNIQUES OF CONSTRUCTION AND INSTALLATION AND OR COORDINATION OF THE WORK OF ALL SUB-TRADES.
- ALL SHOP DRAWINGS SHALL BE STAMPED BY THE MANUFACTURER'S STRUCTURAL ENGINEER PRIOR TO SUBMITTING FOR REVIEW BY ARCHITECT.
- SEQUENCE OF SHOP DRAWINGS REVIEW: - CONTRACTOR - STRUCTURAL ENGINEER - ALL OTHER INVOLVED CONSULTANTS - ARCHITECT
- SHOP DRAWINGS SHALL BE PROVIDED FOR: - STEEL - PREFAB. CONG. - CANOPIES - WINDOWS - DOORS

GENERAL NOTES :

IV. RENOVATION AND ADDITION CONSTRUCTION:

- REPAIR ALL DEFECTIVE OR DAMAGED CONDITIONS IN BUILDING AND SITE THEN FINISH THEM TO MATCH
- ALL EXISTING CONSTRUCTION SHALL BE ALL FINISHED UNLESS OTHERWISE MENTIONED, CHECK WITH ARCHITECT.

V. BONDING EXISTING TO NEW CONSTRUCTION:

- PROVIDE 1/2" DIA. X 6" LONG ANCHOR BOLTS SPACED 3'-0" O/C VERTICALLY OR HORIZONTALLY BETWEEN EXISTING AND NEW STUDS AND ROOF FRAMINGS.
- PROVIDE OVERLAPPED VERTICAL JOINTS BETWEEN EXISTING AND NEW MASONRY VENEERS, WALLS AND FOUNDATION.
- SAND BLASTED AREA SHALL BE FINISHED WITH A CLEAR SEALANT.

CONSTRUCTION SPECIFICATIONS

1. WOOD

- ALL WOOD CONSTRUCTION SHALL BE IN ACCORDANCE WITH CSA 086
- BEAMS AND LINTELS & JOISTS SHALL BE KILN DRIED, STAMPED SPRUCE #2, UNLESS OTHERWISE MENTIONED.
- ALL WOOD MEMBERS WHICH ARE PLACED IN SOIL SHOULD BE PRESSURE TREATED WITH A WOOD PRESERVATIVE.
- ALL EXTERIOR WOOD SHALL BE STAINED OR PAINTED.

2. CONCRETE

- SHALL COMPLY WITH CSA A23 SERIES INCL. COLD WEATHER CONCRETING.
- MINIMUM COMPRESSIVE STRENGTH OF UNREINFORCED CONCRETE: 25 MPa AND 35 MPa FOR LOADING DOCK AND FOR ALL EXPOSED CONCRETE AFTER 28 DAYS WITH AIR ENTRAINMENT 6 %
- MAXIMUM SLUMP 3"
- PROVIDE SEALANT-TOPPED EXPANSION JOINT BETWEEN EXISTING AND NEW CONCRETE FLOORS.
- REINFORCEMENT SHALL CONFORM CSA 30.12 GRADE 58

3. STEEL

- SHALL CONFORM TO CSA STANDARDS & CAN 3-G40.21 (STRUCTURAL STEEL QUALITY)
- SHALL BE TREATED ON THE OUTSIDE SURFACE WITH AT LEAST ONE COAT OF RUST INHIBIT PAINT.
- ALL EXPOSED STEEL SHALL BE GALVANIZED.
- STEEL GRADE
 - I) HOLLOW SECTION: G 40.21-M 350W
 - II) I BEAMS & COLUMNS: G 40.21-M 350W
- O.W.S.J. : LIVE LOAD DEFLECTION SHALL NOT EXCEED 1/360 OF SPAN, TOTAL LOAD DEFLECTION SHALL NOT EXCEED 1/300 OF SPAN.
- WELDING SHALL COMPLY WITH CSA W59 AND EXECUTED BY CERTIFIED WELDER.
- ALL BOLTS A 325 BOLTS.
- FOR ALL STEEL FABRICATION, PROVIDE SHOP DRAWINGS AND CALCULATIONS STAMPED BY P. ENG.

CONSTRUCTION SPECIFICATIONS

4. MINIMUM STRUCTURAL BEARING

(PROVIDE 2 SOLID MASONRY BLOCKS BELOW BEARING)

- WOOD JOIST: 2"
- WOOD BEAMS: 4"
- STEEL BEAM: 8"
- STEEL LINTEL: 8"
- O.W.S.J. : 6" ON MASONRY & 2 1/2" ON STEEL & SHALL HAVE 4" DEEP SHOES

5. MASONRY

- SHALL HAVE 1000 PSI MIN. CRUSHING STRENGTH.
- PROVIDE GALVANIZED STANDARD BLOCK-LOK EACH 2ND COURSE.
- VERTICAL JOINTS SHALL BE STAGGERED & CORNERS INTERLOCKED.
- PROVIDE SHOP DRAWINGS STAMPED BY P. ENG. FOR STONE VENEER & PREFAB PANELS.
- VERTICAL CRACK CONTROL JOINTS (DESIGNED TO RESIST MOISTURE PENETRATION AND KEYED TO PREVENT RELATIVE DISPLACEMENT OF THE WALL PORTIONS ADJACENT TO THE JOINT) SHALL BE PROVIDED IN FOUNDATION WALLS MORE THAN 82'-0" LONG AT INTERVALS OF 50'-0" MAX. AND FLUSH WITH OPENING JAMBS.

6. FOUNDATION

- FOOTING AND SONO TUBE FOUNDATION SHALL BEAR ON UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL (TO 98 % STANDARD PROCTOR DENSITY) CAPABLE OF A BEARING OF 3000 PSF, SOIL SHALL BE CHECKED BY SOIL ENGINEER
- DEPTH OF FOOTING ARE PROVISIONAL & SUBJECT TO VERIFICATION ON SITE BY A SOIL ENGINEER.
- ALL EXTERIOR (OR EXPOSED TO EXTERIOR) WALLS, PARTITION, COLUMNS SHALL BE PROVIDED WITH 4'-0" DEEP FOUNDATION.
- PROVIDE 5/8" DIA. X 16" LONG ANCHOR TIES (8" IN NEW CONSTRUCTION).
- TOP TWO COURSES OF CONCRETE BLOCKS SHALL BE FILLED WITH CONCRETE.
- PROVIDE MIN 8"x2'-0" WIDE STRIP FOOTING BELOW ANY INTERIOR LOAD BEARING WALL

7. COLUMNS

- SHALL BE SECURELY FASTENED TO CENTER OF FOUNDATIONS AND TO THE SUPPORTED MEMBERS TO PREVENT LATERAL MOVEMENT.

8. DESIGN LOADS

UN FACTORED DESIGN LOADS

1. SNOW LOAD = kPa (PART 4 DESIGN, Ss = 2.0 kPa, Sr = 0.4 kPa)
2. ROOF DEAD LOAD = 0.75 kPa
3. SECOND FLOOR DEAD LOAD = 0.75 kPa
4. MAIN FLOOR DEAD LOAD = 1.0 kPa
5. OCCUPANCY LIVE LOAD = 1.9 kPa
6. WIND PRESSURE q(1/50) = 0.44 Kpa
7. ASSUMED SOIL BEARING CAPACITY = 75 kPa
8. GUARDS TO BE BUILT ACCORDING TO OBC 2012 SB-7



888.236.9958 | 416.483.5393 | 905.821.0728
INFO@YEJSTUDIO.COM
WWW.YEJSTUDIO.COM

DECK /SUNROOM /PORCH

27 VIA TOSCANA, WOODBRIDGE, ON,
L4H 3V7



GENERAL NOTES

Project number 21 RE700-346
Date 2021.12.09

AN-01

Drawn by

A.R

Scale

SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: June 24th 2025

Attention: **Sareh Daneshian**

RE: Request for Comments

File No.:

Related Files: **A059-25**

Applicant: RJ CAD SOLUTIONS INC.

Location 27 Via Toscana

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

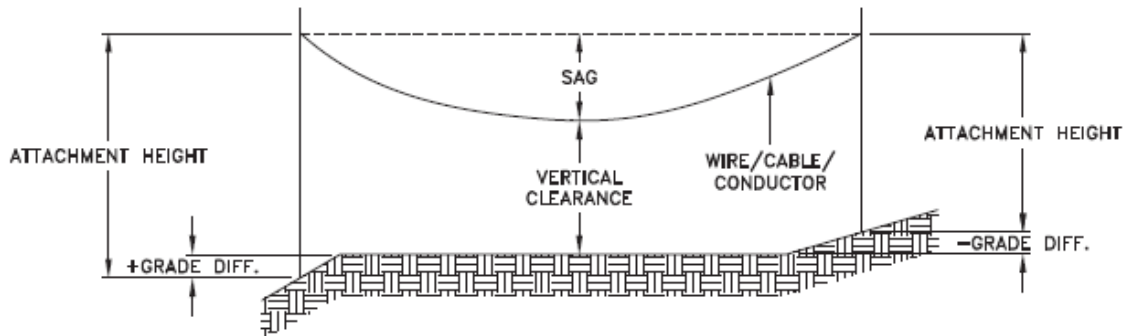
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS</u> AND <u>BICYCLES</u> ONLY	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 + GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

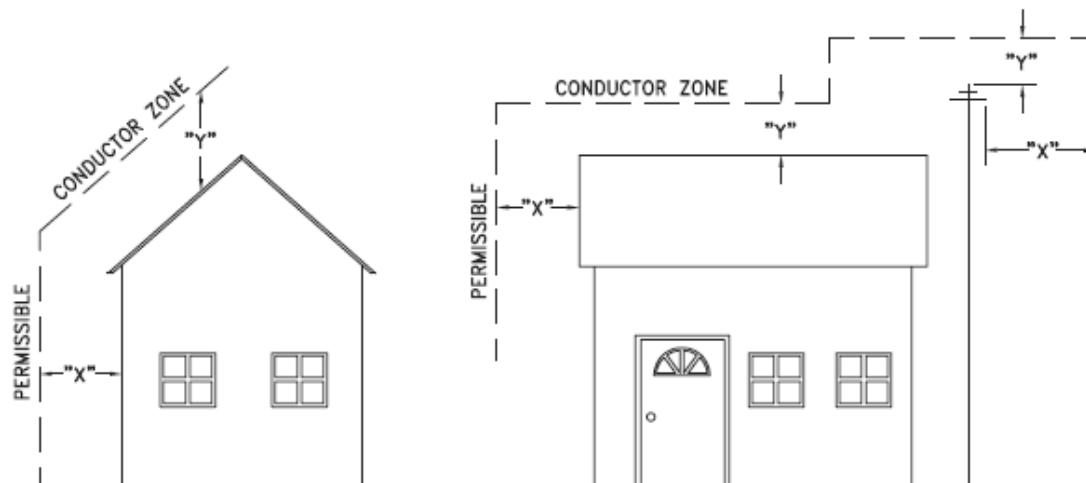
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P.Eng. Approval By: D. Dadwani

To: Committee of Adjustment

From: Sareh Daneshian, Building Standards Department

Date: August 6, 2025

Applicant: RJ CAD SOLUTIONS INC.

Location: 27 Via Toscana
PLAN 65M4313 Lot 6R

File No.(s): A059/25

Zoning Classification:

The subject lands are zoned R4A(EN) – Fourth Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.924 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A residential accessory structure (Gazebo) with a height greater than 2.8 m shall not be located closer than 2.4m to any lot line. [Section 4.1.2.1.b]	To permit a residential accessory structure (Gazebo) with a height greater than 2.8 m to be located a minimum of 0.68m to the interior side lot line.
2	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0m . [Section 4.1.4.1]	To permit the height of a residential accessory structure (Gazebo) to be a maximum of 3.68m .
3	An uncovered platform, with a floor height of 1.2 m or less as measured at any point from grade and including access stairs shall be permitted to encroach a maximum of 2.4m into the required rear yard. [Section 4.13, Table 4-1]	To permit an uncovered platform, with a floor height of 1.2 m or less as measured at any point from grade and including access stairs to encroach a maximum of 3.01m into the required rear yard.

The subject lands are zoned RV4 – Residential Urban Village Zone Four and subject to the provisions of Exception 9(1284) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
4	A minimum rear yard setback of 7.5m is required to the proposed gazebo. [Section 4.1.1.c and Schedule A1]	To permit a minimum rear yard setback of 4.2m to the proposed gazebo.
5	A minimum interior side yard setback of 1.2m is required to the proposed gazebo. [Section 4.1.1.c and Schedule A1]	To permit a minimum interior side yard setback of 0.68m to the proposed gazebo.
6	Porches which are uncovered, unexcavated and unenclosed may encroach into the rear yard to a maximum of 1.8m . [Section 3.14.c]	To permit an uncovered porch to encroach into the required rear yard to a maximum of 4.51m
7	Porches which are uncovered, unexcavated and unenclosed may encroach into the interior side yard to a maximum of 0.3m . [Section 3.14.c]	To permit an uncovered porch to encroach into the required Interior side yard to a maximum of 0.95m
8	The nearest part of the roof of an accessory structure shall not be more than three 3.0 metres above finished grade. [Section 4.1.1.b]	To permit the nearest part of the roof of an accessory structure (gazebo) to be 3.02m above finished grade.
9	No encroachment permitted in an interior side yard shall be closer than 1.2 metres to a line except eaves, gutters, external central air conditioner and/or heat pump units. [Section 3.14.i]	To permit an uncovered porch to be located a minimum of 0.25m to the interior side lot line.

Staff Comments:**Other Comments:**

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development and Parks Planning

Date: August 13, 2025

Name of Owners: Manoharan Kasiapillai, Nirmala Manoharan

Location: 27 Via Toscana

File No.(s): A059/25

Proposed By-law 001-2021 Variance(s):

1. To permit a residential accessory structure (Gazebo) with a height greater than 2.8 m to be located a minimum of **0.68 m** to the interior side lot line.
2. To permit the height of a residential accessory structure (Gazebo) to be a maximum of **3.68 m**.
3. To permit an uncovered platform, with a floor height of 1.2 m or less as measured at any point from grade and including access stairs to encroach a maximum of **3.01 m** into the required rear yard.

Proposed By-law 1-88 Variance(s):

4. To permit a minimum rear yard setback of **4.2 m** to the proposed gazebo.
5. To permit a minimum interior side yard setback of **0.68 m** to the proposed gazebo.
6. To permit an uncovered porch to encroach into the required rear yard to a maximum of **4.51 m**.
7. To permit an uncovered porch to encroach into the required Interior side yard to a maximum of **0.95 m**.
8. To permit the nearest part of the roof of an accessory structure (gazebo) to be **3.02 m** above finished grade.
9. To permit an uncovered porch to be located a minimum of **0.25 m** to the interior side lot line.

By-Law 001-2021 Requirement(s):

1. A residential accessory structure (Gazebo) with a height greater than 2.8 m shall not be located closer than **2.4 m** to any lot line.
2. In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be **3.0 m**.
3. An uncovered platform, with a floor height of 1.2 m or less as measured at any point from grade and including access stairs shall be permitted to encroach a maximum of **2.4 m** into the required rear yard.

By-Law 1-88 Requirement(s):

4. A minimum rear yard setback of **7.5 m** is required to the proposed gazebo.
5. A minimum interior side yard setback of **1.2 m** is required to the proposed gazebo.
6. Porches which are uncovered, unexcavated and unenclosed may encroach into the rear yard to a maximum of **1.8 m**.
7. Porches which are uncovered, unexcavated and unenclosed may encroach into the interior side yard to a maximum of **0.3 m**.
8. The nearest part of the roof of an accessory structure shall not be more than three **3.0 m** above finished grade.
9. No encroachment permitted in an interior side yard shall be closer than **1.2 m** to a line except eaves, gutters, external central air conditioner and/or heat pump units.

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Low Rise Residential".

Comments:

The Owners are seeking relief to permit an existing gazebo located on top of an existing deck in the rear yard with the above noted variances.

The Development and Parks Planning Department has no objections to Variances 1 and 5 to reduce the minimum setback of the gazebo to the eastern interior side yard. The existing gazebo is located in the rear yard of a semi-detached dwelling and is abutting the

eastern interior lot line. The proposed setback of the gazebo is sufficient for any necessary access and maintenance. The overhang of the proposed gazebo will maintain a compliant setback from the eastern side lot line to minimize massing impacts on the adjacent neighbour. Development Engineering staff have reviewed the proposed setback reduction of the gazebo and do not anticipate any adverse stormwater runoff impacts.

The Development and Parks Planning Department has no objections to Variances 2 and 8 to increase the maximum permitted height of the gazebo and the lowest point of its roof structure to 3.68 m and 3.02 m. The proposed gazebo has a hipped roof, is unwallled on all sides, and is compliant with maximum lot coverage provisions. The proposed gazebo has a modest mass and the proposed height increase is not anticipated to incur negative visual impacts on neighbouring properties.

The Development and Parks Planning Department has no objections to Variances 3, 4, 6, 7, and 9 to permit a 0.25 m side yard setback and a 2.99 m rear yard setback to accommodate the footprint of the existing deck and access stairs. The existing deck consists of steps providing access to and from the rear yard and an upper-level landing area providing access to and from the dwelling. The majority of the deck is setback 3.79 m from the rear lot line, which provides sufficient space for landscaping and open space amenities. As the deck is located in the rear yard of a semi-detached dwelling abutting the mutual lot line, the proposed side yard setback of 0.25 m is sufficient for access. The majority of the deck is 0.63 m in height, and the side yard setback reduction is not anticipated to be visible from the adjacent property.

Accordingly, the Development and Parks Planning Department supports the requested variance and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development and Parks Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Harry Zhao, Planner

Janany Nagulan, Senior Planner

From: [Cameron McDonald](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A059/25 - 27 VIA TOSCANA - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Tuesday, June 24, 2025 9:17:32 AM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from the TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:(437)880-1925)

E: cameron.mcdonald@trca.ca

A: [5 Shoreham Drive, Toronto, ON, M3N 1S4](#) | trca.ca



From: [Development Services](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A059/25 - 27 VIA TOSCANA - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Thursday, June 26, 2025 11:06:20 AM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good morning,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Regards,

Gabrielle Hurst MCIP, RPP

Associate Planner, Development Planning, Economic and Development Services Branch
Corporate Services Department

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 8V3

O: 905-830-4444 ext. 71538 | developmentservices@york.ca |

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			07/28/2025	Report for Existing Deck

Inspection Report

Project Ref. No.: FE25-11253R1
July 28, 2025

Address: 27 Via Toscana,
Woodbridge, Ontario

Report for existing deck

Prepared by: Frame Engineering Inc.

Project Name: 27 Via Toscana,
Woodbridge, Ontario

Project Ref. No.: FE25-11253R1

Dear Sir/Madam,

As requested, representatives from Frame Engineering Inc. visited the above-referenced site on April 3, 2025, and conducted a visual inspection of the existing deck in accordance with the requirements of the Ontario Building Code (OBC) and Ontario Regulation 260 under the Professional Engineers Act.

Based on our on-site visual inspection, we believe the existing deck is in general conformity with the drawings prepared by YEJ Studio.

Overall, the deck construction is acceptable and meets the requirements of the OBC.

Also, some modifications have been made in the drawings by RJC SOLUTIONS to meet the setback requirements. These modifications should be applied after the permit is issued.

The reference drawings and some photos are attached for your review.

We trust this information meets your requirements. Should you have any further questions, please do not hesitate to contact us.

Yours truly,

Frame Engineering Inc.

Hashem Rasoulzadeh Darabad
Structural Engineer



Photo 1:



Photo 2:



Photo 3 :

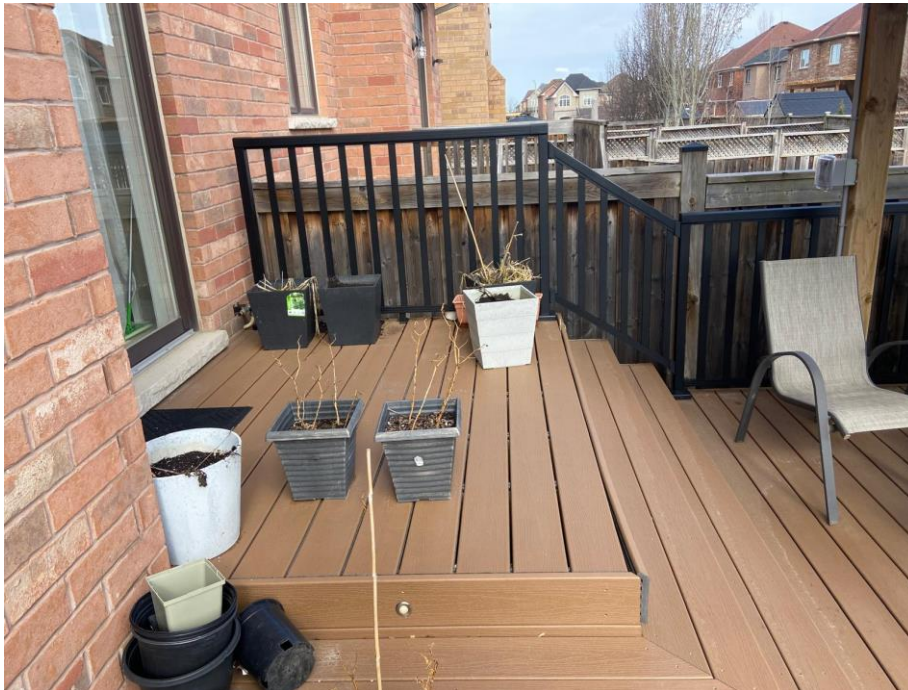
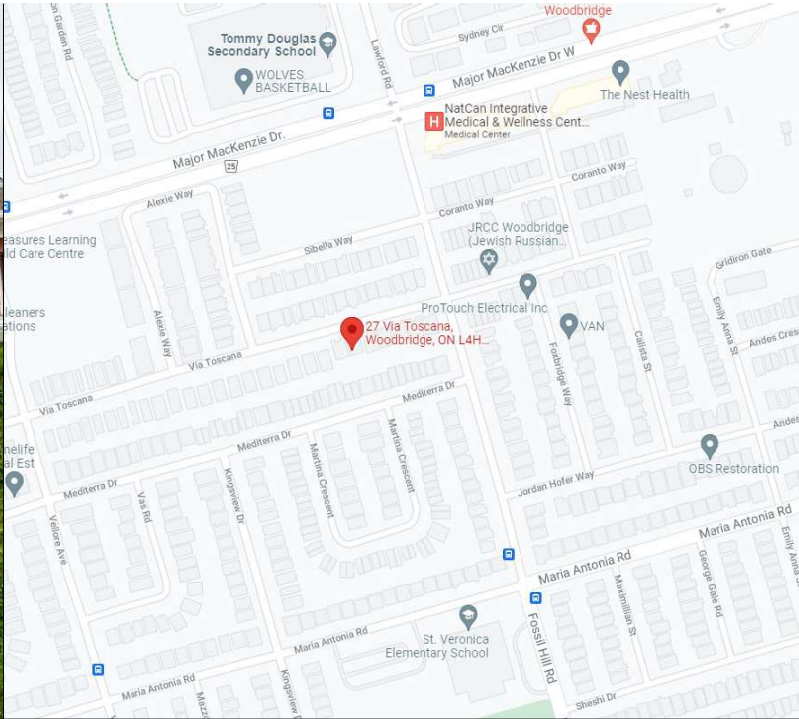


Photo 4





INDEX	
Number	Sheet Name
A-00	COVER PAGE
A-01	SITE PLAN
A-02	FOUNDATION PLAN
A-03	PROPOSED FLOOR PLAN
A-04	PROPOSED ROOF PLAN
A-05	ELEVATIONS
A-06	LEFT ELEVATION
A-07	STRUCTURAL DECK PLAN
A-08	STRUCTURAL ROOF PLAN
AN-01	GENERAL NOTES

DECK / SUNROOM / PORCH

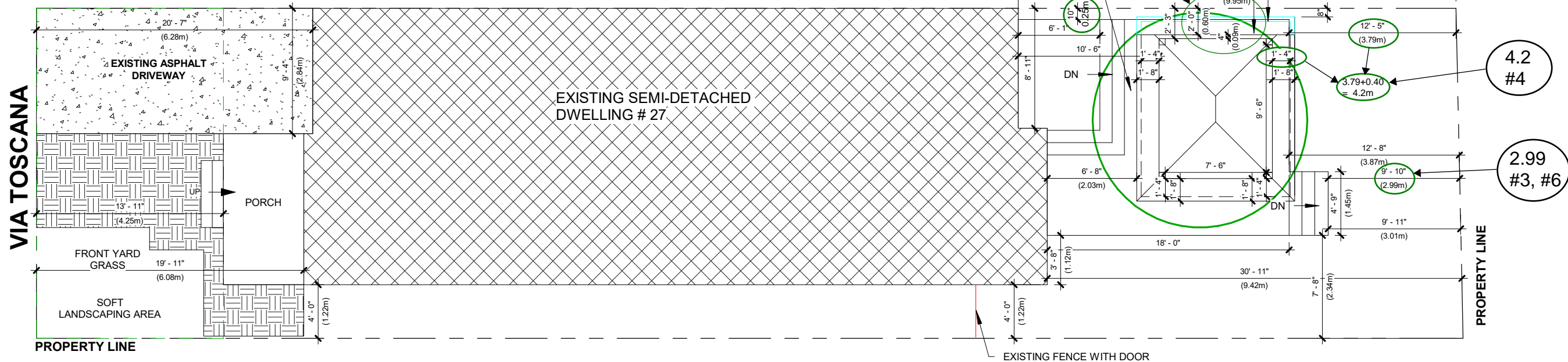
MANOHARAN KASIAPILLAI

27 VIA TOSCANA, WOODBRIDGE,
ON, L4H 3V7

RECEIVED
By russog at 2:37 pm, Jul 16, 2025

FLOOR AREA	TOTAL AREA	HARD LANDSCAPED AREA	SOFT LANDSCAPED AREA	DRIVEWAY AREA
FRONT SIDE	342.49 SF(31.82 SQM)	116.42 SF(10.82 SQM)	96.04 SF(8.92 SQM) (44.62%)	130.03 SF(12.08 SQM)
LEGEND	---			

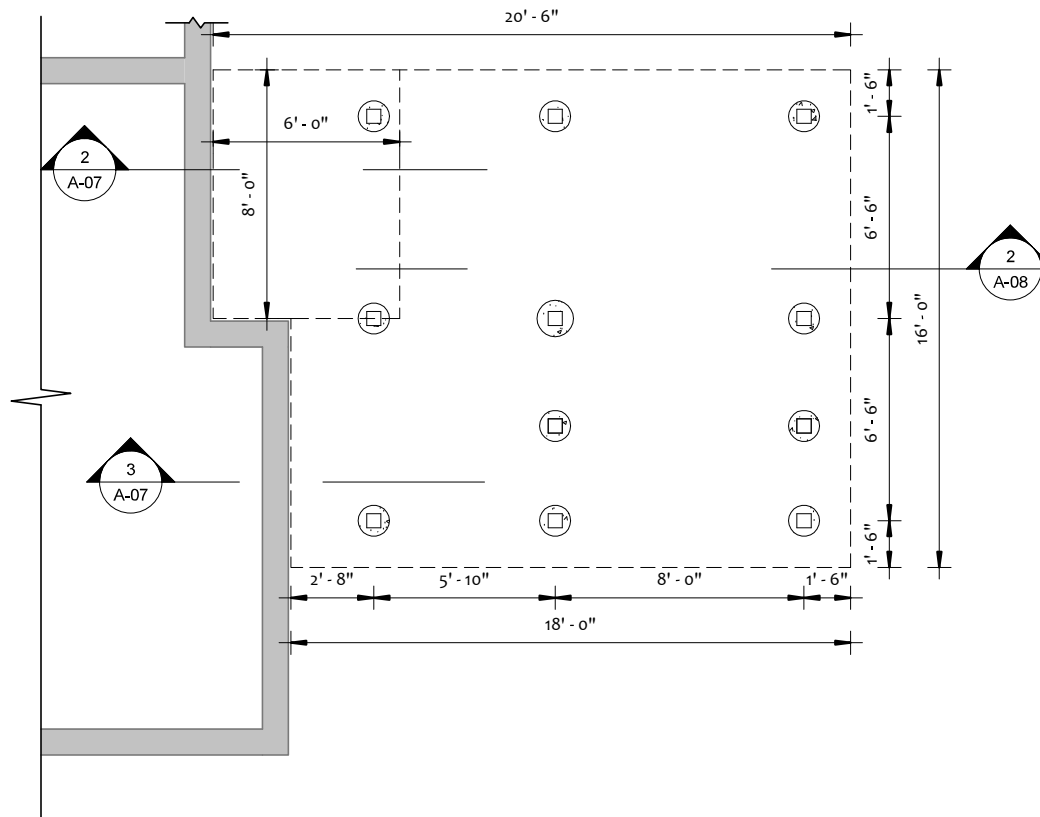
LOT AREA	2607.95 SF (242.28 SQM)
BUILDING AREA	1182.57 SF (109.86 SQM)
LOT COVERAGE	45.34%
PROPOSED LOT COVERAGE	87.89 SF (8.16 SQM)



2.		
1.	ISSUED FOR PERMIT	2025-07-08
No.	REVISION	DATE



27 VIA TOSCANA, WOODBIDGE, ON	Date	Scale
	2025-07-08	1 : 100
	Drawn By	Checked By
	KD	KS
SITE PLAN	Project Number	
	0001	
RJ CAD SOLUTIONS	SHEET NUMBER	
	A1	

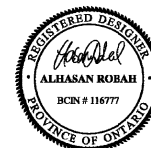


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 WWW.YEJSTUDIO.COM

DECK /SUNROOM /PORCH

27 VIA TOSCANA, WOODBRIDGE, ON,
 L4H 3V7

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE BUILDING CODE TO BE A DESIGNER.	
QUALIFICATION INFORMATION	
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5 OF THE BUILDING CODE	
ALHASAN ROBAH	116777
NAME	BCIN



FOUNDATION PLAN

Project number

Date

21 RE700-346

2021.12.09

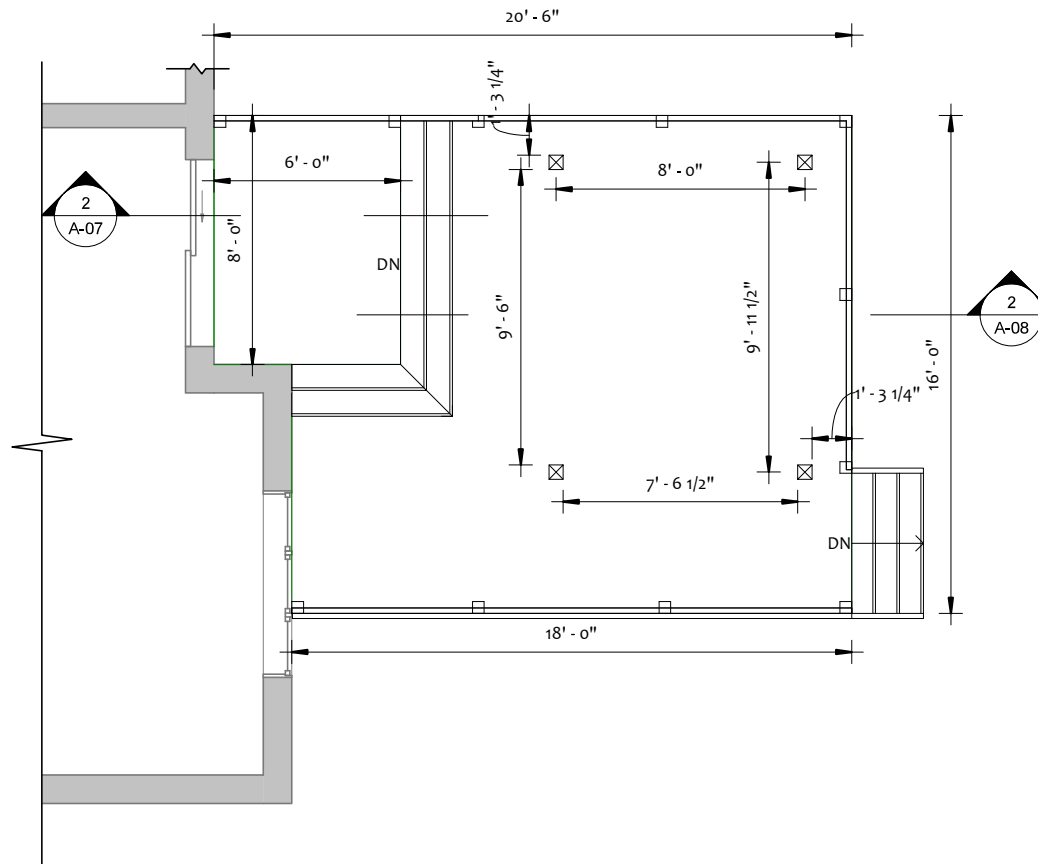
A-02

Drawn by

Scale

A.H.

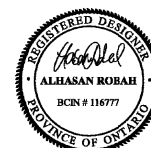
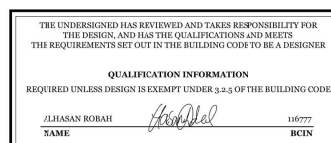
1/4" = 1'-0"



888.236.9958 | 416.483.5393 | 905.821.0728
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 WWW.YEJSTUDIO.COM

DECK /SUNROOM /PORCH

27 VIA TOSCANA, WOODBRIDGE, ON,
 L4H 3V7



PROPOSED FLOOR PLAN

Project number

21 RE700-346

Date

2021.12.09

A-03

Drawn by

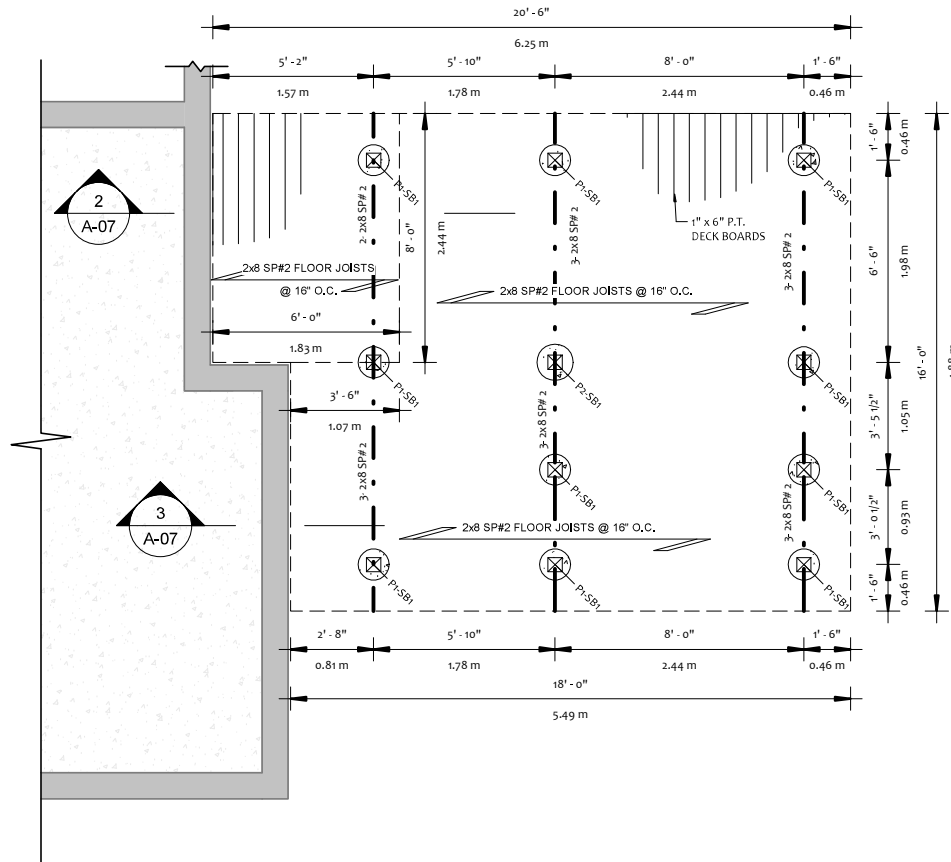
A.H.

Scale

1/4" = 1'-0"

RECEIVED

By russog at 8:40 am, May 29, 2025



1
A-07
BASEMENT
1/4" = 1'-0"

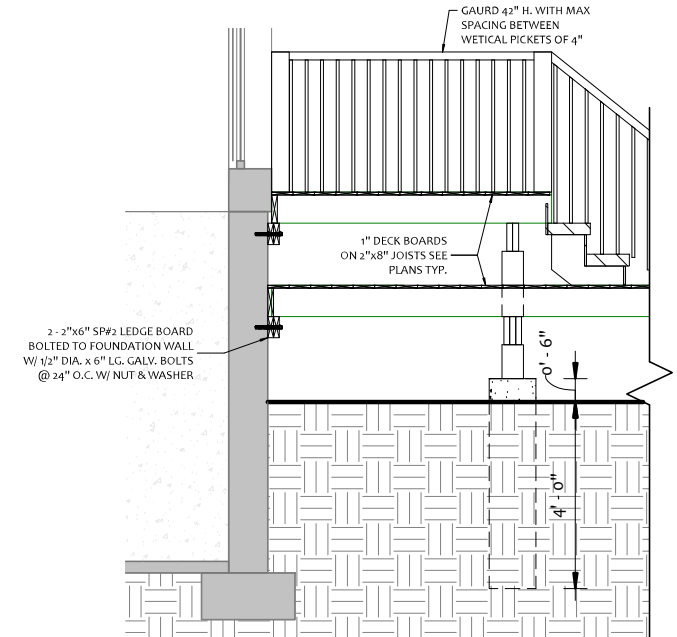
STRUC. ELEMENTS

POST SCHEDULE

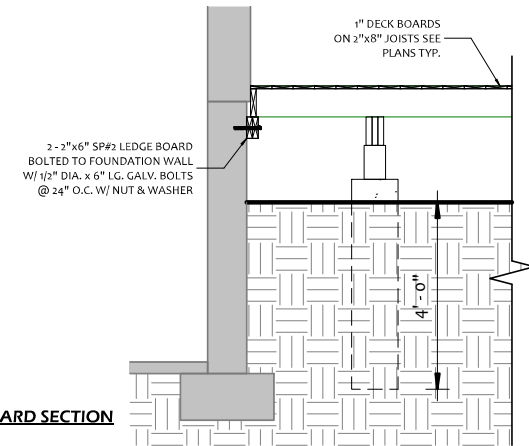
NO.	DESCRIPTION
SB1	6"X6"

PIER SCHEDULE

NO.	DESCRIPTION
P1	12"
P2	14"



2
A-07
LANDING & DECK SECTION
3/8" = 1'-0"



3
A-07
LEDGER BOARD SECTION
3/8" = 1'-0"



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27 VIA TOSCANA, WOODBRIDGE, ON,
L4H 3V7

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR
THE DESIGN, AND HAS THE QUALIFICATIONS AND MEETS
THE REQUIREMENTS SET OUT IN THE BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5 OF THE BUILDING CODE

ALHASAN ROBAH
NAME BCIN # 116777



STRUCTURAL DECK PLAN

Project number

21 RE700-346

Date

2021.12.09

A-07

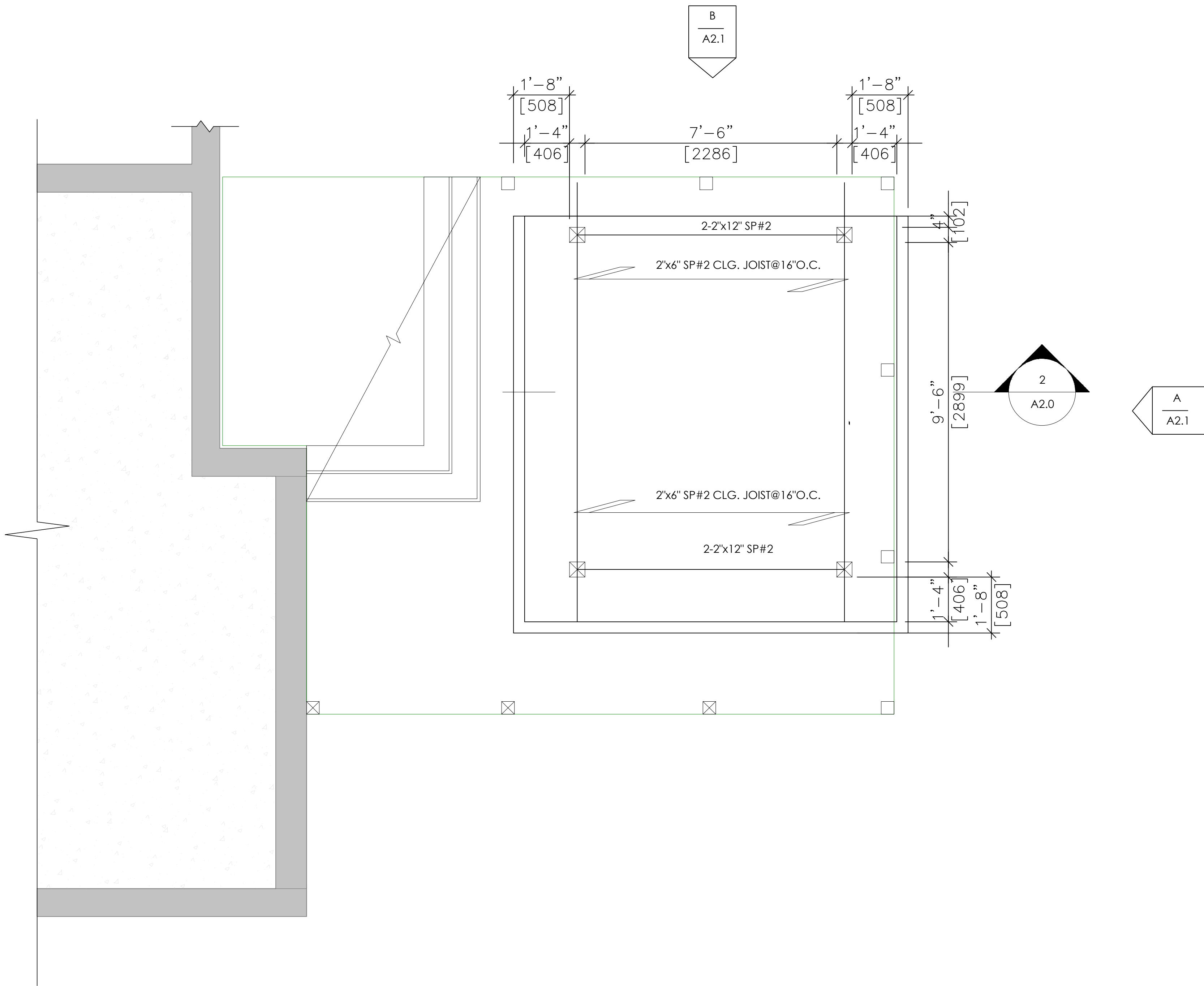
Drawn by

A.H.

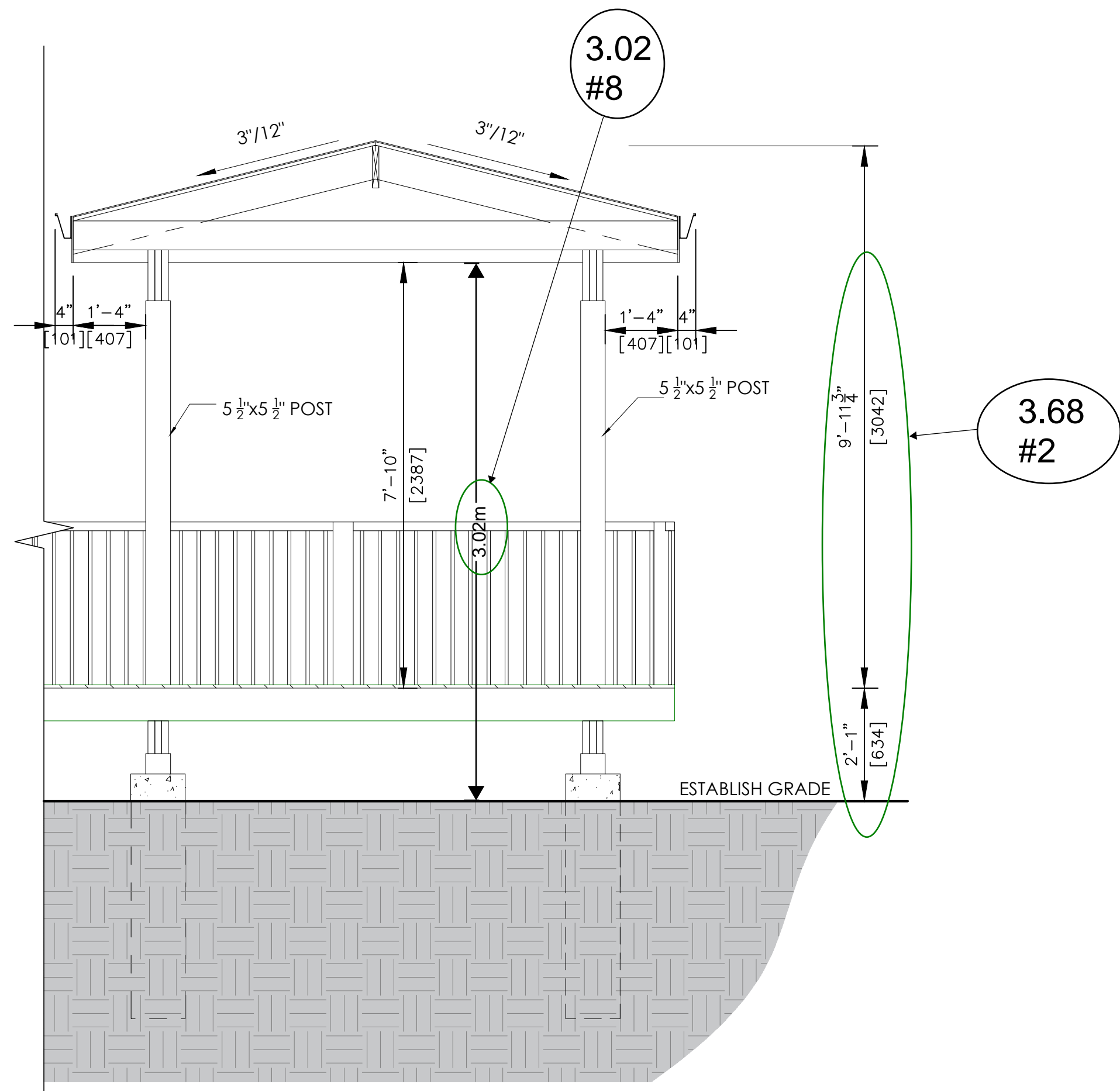
Scale

As indicated

RECEIVED
By andrea buchanan at 8:39 am, Jul 18, 2025



ROOF STRUCTURE PLAN



ROOF SECTION

1.	ISSUED FOR APPROVAL	02/04/2025
No.	REVISION	DATE
<div><div><div>17/07/2025</div><div>K. H. SHAH</div><div>109525840</div><div>PROVINCE OF ONTARIO</div></div><div><div>REGISTERED PROFESSIONAL ENGINEER</div><div>REGISTERED</div></div></div>		

CONSULTANT:
RJ CAD SOLUTIONS INC
Kruti Shah, P.Eng.
Cell: 647-532-3593
Office: 905-913-5200
4 Abacus Road, Unit # 12
Brampton, ON L6T 5J6
www.rjcad solutions.com

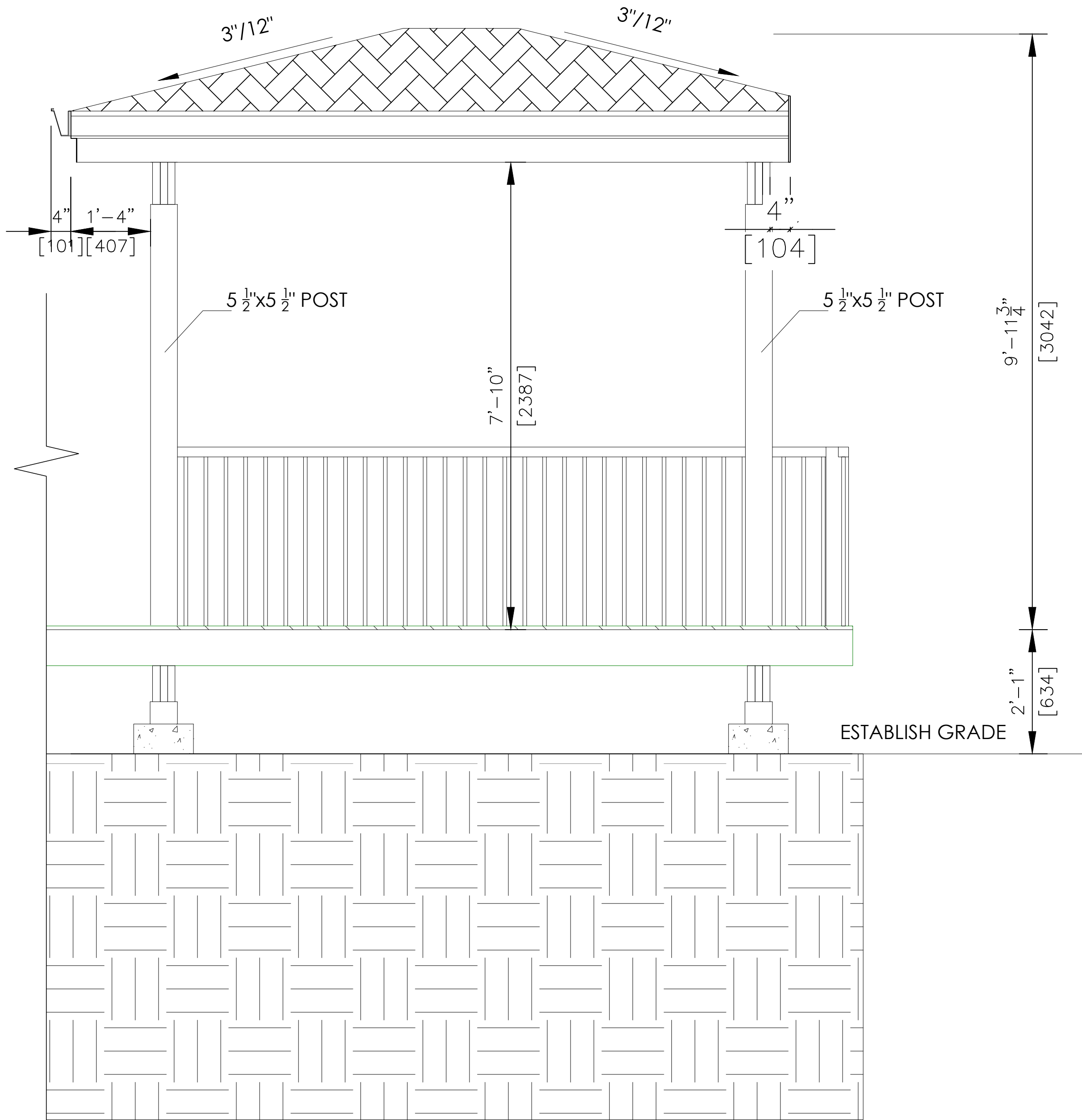
- DRAWING NOTES:
- GENERAL CONTRACTOR SHALL CHECK AND VERIFY DIMENSIONS ON SITE AND REPORT ERRORS AND OMISSIONS.
 - CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR CONSISTENCY WITH THE INTENT OF THE DRAWINGS AND SPECIFICATIONS.
 - DRAWINGS ARE NOT TO BE SCALED. WORK TO DIMENSIONS ONLY.
 - THE DRAWINGS IS THE PROPERTY OF THE DESIGNER AND MAY NOT BE REPRODUCED OR USED WITHOUT THE EXPRESS OF THE DESIGNER.

OWNER:

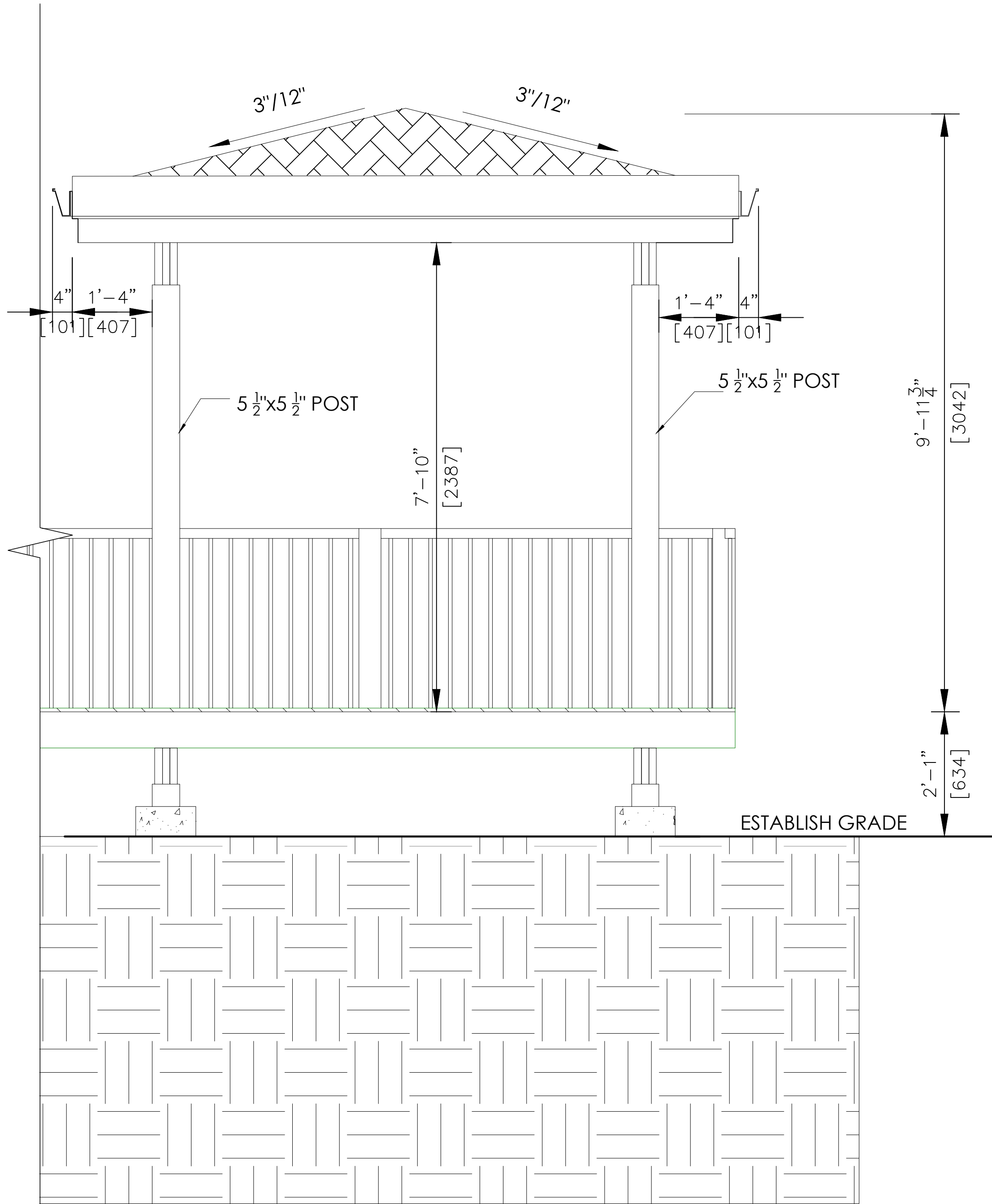
PROJECT TITLE:
27 VIA TOSCANA VAUGHAN ON

DRAWING TITLE:
EXISTING FLOOR PLAN & SECTION

DRAWN BY: KD	DRAWING NO: A2.0
CHECKED BY: KS	
SCALE: NTS	
DATE: 16/07/2025	
PROJECT NO:	032024



ELEVATION A



ELEVATION B

1.	ISSUED FOR APPROVAL	02/04/2025
No.	REVISION	DATE
<div><div><div>1707/2025</div><div>K. H. Shah</div><div>10052840</div><div>Professional Engineer</div><div>Province of Ontario</div></div></div>		

CONSULTANT:

RJ CAD

SOLUTIONS INC

Kruti Shah, P.Eng.

Cell: 647-532-3593

Office: 905-913-5200

4 Abacus Road, Unit # 12

Brampton, ON L6T 5J6

www.rjcad solutions.com

- DRAWING NOTES:
- GENERAL CONTRACTOR SHALL CHECK AND VERIFY DIMENSIONS ON SITE AND REPORT ERRORS AND OMISSIONS.
 - CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR CONSISTENCY WITH THE INTENT OF THE DRAWINGS AND SPECIFICATIONS.
 - DRAWINGS ARE NOT TO BE SCALED. WORK TO DIMENSIONS ONLY.
 - THE DRAWINGS IS THE PROPERTY OF THE DESIGNER AND MAY NOT BE REPRODUCED OR USED WITHOUT THE EXPRESS OF THE DESIGNER.

OWNER:

PROJECT TITLE:
27 VIA TOSCANA VAUGHAN ON

DRAWING TITLE:
ELEVATIONS

DRAWN BY: KD	DRAWING NO: <div>A2.1</div>
CHECKED BY: KS	
SCALE: NTS	
DATE: 16/07/2025	

PROJECT NO: 032024

GENERAL NOTES :

I. ALL CONSTRUCTION SHALL MEET WITH THE LATEST REQUIREMENTS OF:

- AUTHORITIES HAVING JURISDICTION.
- ZONING RESTRICTIONS AND COMMITTEE OF ADJUSTMENT DECISIONS.
- ONTARIO BUILDING CODE
- ONTARIO REGULATIONS UNDER THE HEALTH AND PROMOTION ACT.
- ONTARIO FIRE CODE
- ALL SUPPLIERS SPECIFICATIONS RE: THE TECHNICAL METHODS TO USE MATERIALS AND THE SAFEST SYSTEM TO INSTALL BREAKABLE OR HANGING MATERIALS SUCH AS GLASS OR LIGHT FIXTURES ETC.

II. CONTRACTOR SHALL:

- CONFIRM ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES OR ERRORS TO THE ARCHITECT AND THE PARTIES INVOLVED.
- WORK ONLY FROM THE APPROVED PERMIT DRAWINGS AND SPECIFICATIONS THAT ARE STAMPED AND SIGNED BY THE ARCHITECT.
- RETAIN A CERTIFIED SURVEYOR TO CHALK OUT ALL PROPERTY LINES, BUILDING BOUNDARIES AND LIMITATIONS AND CONFIRM GRADES OF THE LOT.
- PRIOR TO EXCAVATION, TAKE PRECAUTION IN SUCH A MANNER TO PREVENT DAMAGE TO ADJACENT PROPERTIES, EXISTING STRUCTURE, UTILITIES, ROADS AND SIDEWALKS.
- PRIOR TO CONSTRUCTION CHECK WITH ALL INSPECTORS OF ALL AUTHORITIES HAVING JURISDICTION ON THE PROJECT REGARDING SCHEDULES OF INSPECTIONS AND ARRANGE FOR THEIR SITE VISITS AND CALL ALL UTILITY COMPANIES (GAS, HYDRO, CABLE, WORKS DEPT., etc.) TO CHECK ALL EXISTING LINES, PIPES, TREES,
- PROVIDE ALL REQUIRED LATERAL FRAMING SUPPORTS (TO ENSURE RIGIDITY AND STURDINESS) THAT DO NOT SHOW ON DRAWINGS
- NOT PLACE MATERIALS NOR PLACE OR OPERATE EQUIPMENT IN OR ADJACENT TO AN EXCAVATION IN A MANNER THAT MAY ENDANGER THE INTEGRITY OF THE EXCAVATION OR ITS SUPPORTS.
- NOT SCALE DRAWINGS UNLESS OTHERWISE MENTIONED
- COMPLY BY SOIL REPORT WHENEVER APPLICABLE.
- USE ONLY APPROVED SUPPLIERS & INSTALLERS

III. SHOP DRAWINGS:

- THE REVIEW OF SHOP DRAWINGS IS FOR THE SOLE PURPOSE OF ASCERTAINING CONFORMANCE WITH THE GENERAL DESIGN CONCEPT. IT SHALL NOT MEAN APPROVAL OF THE DETAIL DESIGN INHERENT IN THE SHOP DRAWING, RESPONSIBILITY FOR WHICH SHALL REMAIN WITH THE CONTRACTOR SUBMITTING SAME, AND SUCH REVIEW SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY FOR MEETING ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE FOR DIMENSIONS TO BE CONFIRMED AND CORRECTED AT THE JOB SITE, FOR INFORMATION THAT PERTAINS SOLELY TO FABRICATION, PROCESSES OR TO TECHNIQUES OF CONSTRUCTION AND INSTALLATION AND OR COORDINATION OF THE WORK OF ALL SUB-TRADES.
- ALL SHOP DRAWINGS SHALL BE STAMPED BY THE MANUFACTURER'S STRUCTURAL ENGINEER PRIOR TO SUBMITTING FOR REVIEW BY ARCHITECT.
- SEQUENCE OF SHOP DRAWINGS REVIEW: - CONTRACTOR - STRUCTURAL ENGINEER - ALL OTHER INVOLVED CONSULTANTS - ARCHITECT
- SHOP DRAWINGS SHALL BE PROVIDED FOR: - STEEL - PREFAB. CONG. - CANOPIES - WINDOWS - DOORS

GENERAL NOTES :

IV. RENOVATION AND ADDITION CONSTRUCTION:

- REPAIR ALL DEFECTIVE OR DAMAGED CONDITIONS IN BUILDING AND SITE THEN FINISH THEM TO MATCH
- ALL EXISTING CONSTRUCTION SHALL BE ALL FINISHED UNLESS OTHERWISE MENTIONED, CHECK WITH ARCHITECT.

V. BONDING EXISTING TO NEW CONSTRUCTION:

- PROVIDE 1/2" DIA. X 6" LONG ANCHOR BOLTS SPACED 3'-0" O/C VERTICALLY OR HORIZONTALLY BETWEEN EXISTING AND NEW STUDS AND ROOF FRAMINGS.
- PROVIDE OVERLAPPED VERTICAL JOINTS BETWEEN EXISTING AND NEW MASONRY VENEERS, WALLS AND FOUNDATION.
- SAND BLASTED AREA SHALL BE FINISHED WITH A CLEAR SEALANT.

CONSTRUCTION SPECIFICATIONS

1. WOOD

- ALL WOOD CONSTRUCTION SHALL BE IN ACCORDANCE WITH CSA 086
- BEAMS AND LINTELS & JOISTS SHALL BE KILN DRIED, STAMPED SPRUCE #2, UNLESS OTHERWISE MENTIONED.
- ALL WOOD MEMBERS WHICH ARE PLACED IN SOIL SHOULD BE PRESSURE TREATED WITH A WOOD PRESERVATIVE.
- ALL EXTERIOR WOOD SHALL BE STAINED OR PAINTED.

2. CONCRETE

- SHALL COMPLY WITH CSA A23 SERIES INCL. COLD WEATHER CONCRETING.
- MINIMUM COMPRESSIVE STRENGTH OF UNREINFORCED CONCRETE: 25 MPa AND 35 MPa FOR LOADING DOCK AND FOR ALL EXPOSED CONCRETE AFTER 28 DAYS WITH AIR ENTRAINMENT 6 %
- MAXIMUM SLUMP 3"
- PROVIDE SEALANT-TOPPED EXPANSION JOINT BETWEEN EXISTING AND NEW CONCRETE FLOORS.
- REINFORCEMENT SHALL CONFORM CSA 30.12 GRADE 58

3. STEEL

- SHALL CONFORM TO CSA STANDARDS & CAN 3-G40.21 (STRUCTURAL STEEL QUALITY)
- SHALL BE TREATED ON THE OUTSIDE SURFACE WITH AT LEAST ONE COAT OF RUST INHIBIT PAINT.
- ALL EXPOSED STEEL SHALL BE GALVANIZED.
- STEEL GRADE
 - I) HOLLOW SECTION: G 40.21-M 350W
 - II) I BEAMS & COLUMNS: G 40.21-M 350W
- O.W.S.J. : LIVE LOAD DEFLECTION SHALL NOT EXCEED 1/360 OF SPAN, TOTAL LOAD DEFLECTION SHALL NOT EXCEED 1/300 OF SPAN.
- WELDING SHALL COMPLY WITH CSA W59 AND EXECUTED BY CERTIFIED WELDER.
- ALL BOLTS A 325 BOLTS.
- FOR ALL STEEL FABRICATION, PROVIDE SHOP DRAWINGS AND CALCULATIONS STAMPED BY P. ENG.

CONSTRUCTION SPECIFICATIONS

4. MINIMUM STRUCTURAL BEARING

(PROVIDE 2 SOLID MASONRY BLOCKS BELOW BEARING)

- WOOD JOIST: 2"
- WOOD BEAMS: 4"
- STEEL BEAM: 8"
- STEEL LINTEL: 8"
- O.W.S.J. : 6" ON MASONRY & 2 1/2" ON STEEL & SHALL HAVE 4" DEEP SHOES

5. MASONRY

- SHALL HAVE 1000 PSI MIN. CRUSHING STRENGTH.
- PROVIDE GALVANIZED STANDARD BLOCK-LOK EACH 2ND COURSE.
- VERTICAL JOINTS SHALL BE STAGGERED & CORNERS INTERLOCKED.
- PROVIDE SHOP DRAWINGS STAMPED BY P. ENG. FOR STONE VENEER & PREFAB PANELS.
- VERTICAL CRACK CONTROL JOINTS (DESIGNED TO RESIST MOISTURE PENETRATION AND KEYED TO PREVENT RELATIVE DISPLACEMENT OF THE WALL PORTIONS ADJACENT TO THE JOINT) SHALL BE PROVIDED IN FOUNDATION WALLS MORE THAN 82'-0" LONG AT INTERVALS OF 50'-0" MAX. AND FLUSH WITH OPENING JAMBS.

6. FOUNDATION

- FOOTING AND SONO TUBE FOUNDATION SHALL BEAR ON UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL (TO 98 % STANDARD PROCTOR DENSITY) CAPABLE OF A BEARING OF 3000 PSF, SOIL SHALL BE CHECKED BY SOIL ENGINEER
- DEPTH OF FOOTING ARE PROVISIONAL & SUBJECT TO VERIFICATION ON SITE BY A SOIL ENGINEER.
- ALL EXTERIOR (OR EXPOSED TO EXTERIOR) WALLS, PARTITION, COLUMNS SHALL BE PROVIDED WITH 4'-0" DEEP FOUNDATION.
- PROVIDE 5/8" DIA. X 16" LONG ANCHOR TIES (8" IN NEW CONSTRUCTION).
- TOP TWO COURSES OF CONCRETE BLOCKS SHALL BE FILLED WITH CONCRETE.
- PROVIDE MIN 8"x2'-0" WIDE STRIP FOOTING BELOW ANY INTERIOR LOAD BEARING WALL

7. COLUMNS

- SHALL BE SECURELY FASTENED TO CENTER OF FOUNDATIONS AND TO THE SUPPORTED MEMBERS TO PREVENT LATERAL MOVEMENT.

8. DESIGN LOADS

UN FACTORED DESIGN LOADS

1. SNOW LOAD = kPa (PART 4 DESIGN, Ss = 2.0 kPa, Sr = 0.4 kPa)
2. ROOF DEAD LOAD = 0.75 kPa
3. SECOND FLOOR DEAD LOAD = 0.75 kPa
4. MAIN FLOOR DEAD LOAD = 1.0 kPa
5. OCCUPANCY LIVE LOAD = 1.9 kPa
6. WIND PRESSURE q(1/50) = 0.44 Kpa
7. ASSUMED SOIL BEARING CAPACITY = 75 kPa
8. GUARDS TO BE BUILT ACCORDING TO OBC 2012 SB-7



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DECK /SUNROOM /PORCH

27 VIA TOSCANA, WOODBRIDGE, ON,
L4H 3V7



GENERAL NOTES

Project number 21 RE700-346
Date 2021.12.09

AN-01

Drawn by

A.R

Scale

SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A