

| | |
|-----------|---|
| ITEM: 6.2 | REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A039/25 |
|-----------|---|

Report Date: August 15, 2025

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):

Additional comments from departments and agencies received after the publication of the report will be made available on the City’s [website](#).

| Internal Departments *Comments Received | Conditions Required | | Nature of Comments |
|--|------------------------------|--|----------------------------------|
| Committee of Adjustment | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments |
| Building Standards (Zoning) | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments |
| Development Planning | Yes <input type="checkbox"/> | No <input type="checkbox"/> | Recommend Approval/No Conditions |
| Development Engineering | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments |
| Forestry | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments |
| Development Finance | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments |

| External Agencies *Comments Received | Conditions Required | | Nature of Comments *See Schedule B for full comments |
|---|------------------------------|--|---|
| Alectra | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments |
| Region of York | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments |
| TRCA | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments |

| PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C) | | | | |
|--|------|---------|-------------------------------|---------|
| All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application. | | | | |
| Correspondence Type | Name | Address | Date Received (mm/dd/yyyy) | Summary |
| N/A | | | | |

| BACKGROUND (SCHEDULE D, IF REQUIRED) | |
|---|---|
| * Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive. | |
| Application No. (City File) | Application Description (i.e. Minor Variance Application; Approved by COA / OLT) |
| N/A | N/A |

| ADJOURNMENT HISTORY | |
|--|--|
| * Previous hearing dates where this application was adjourned by the Committee and public notice issued. | |
| Hearing Date | Reason for Adjournment (to be obtained from NOD_ADJ) |
| N/A | N/A |

| SCHEDULES | |
|--------------------------|---|
| Schedule A | Drawings & Plans Submitted with the Application |
| Schedule B | Comments from Agencies, Building Standards & Development Planning |
| Schedule C (if required) | Public & Applicant Correspondence |
| Schedule D (if required) | Background |

| | |
|---|---|
|  | MINOR VARIANCE APPLICATION FILE NUMBER A039/25 |
|---|---|

| | |
|---|--|
| CITY WARD #: | 1 |
| | |
| APPLICANT: | Dore & Salvatore Gironda |
| | |
| AGENT: | Frank Di Roma |
| | |
| PROPERTY: | 11 Springrain Court, Kleinburg |
| | |
| ZONING DESIGNATION: | See below. |
| | |
| VAUGHAN OFFICIAL PLAN (2010) DESIGNATION: | Vaughan Official Plan 2010 ('VOP 2010'): "Low Rise Residential" |
| | |
| RELATED DEVELOPMENT APPLICATIONS: | N/A |
| | |
| PURPOSE OF APPLICATION: | Relief from the Zoning By-law is being requested to permit an existing cabana. |

The following variances have been requested from the City’s Zoning By-law:

The subject lands are zoned **R1B(EN) – First Density Residential Zone (Established Neighbourhood)** and subject to the provisions of **Exception 14.815 under Zoning By-law 001-2021, as amended.**

| # | Zoning By-law 001-2021 | Variance requested |
|---|---|---|
| 1 | A residential accessory structure with a height greater than 2.8 metres shall not be located closer than 2.4 metres to any lot line. [Section 4.1.2 b.] | To permit a residential accessory structure (shed) with a height greater than 2.8 metres to be located 1.21 metres from the rear lot line. |

| HEARING INFORMATION |
|---|
| DATE OF MEETING: Thursday, August 21, 2025 TIME: 6:00 p.m. MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2 nd Floor), 2141 Major Mackenzie Drive LIVE STREAM LINK: Vaughan.ca/LiveCouncil |
| PUBLIC PARTICIPATION |
| <p>If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the Request to Speak Form and submit to cofa@vaughan.ca</p> <p>If you would like to submit written comments, please quote file number above and submit by mail or email to:</p> <p>Email: cofa@vaughan.ca</p> <p>Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1</p> <p>To speak electronically, pre-registration is required by completing the Request to Speak Form on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.</p> <p>THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.</p> |

| INTRODUCTION |
|---|
| <p>Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.</p> <p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:</p> |

| INTRODUCTION | |
|--|--|
| <p>That the general intent and purpose of the by-law will be maintained.</p> <p>That the general intent and purpose of the official plan will be maintained.</p> <p>That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.</p> <p>That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p> | |

| COMMITTEE OF ADJUSTMENT | |
|---|---|
| Date Public Notice Mailed: | August 7, 2025 |
| Date Applicant Confirmed Posting of Sign: | July 31, 2025 |
| Applicant Justification for Variances: <small>*As provided in Application Form</small> | Cabana is built on the property |
| Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small> | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> |
| COMMENTS: | |
| N/A | |
| Committee of Adjustment Recommended Conditions of Approval: | None |

| BUILDING STANDARDS (ZONING) | |
|---|------|
| **See Schedule B for Building Standards (Zoning) Comments | |
| Building Standards Recommended Conditions of Approval: | None |

| DEVELOPMENT PLANNING | |
|--|------|
| **See Schedule B for Development Planning Comments. | |
| Development Planning Recommended Conditions of Approval: | None |

| DEVELOPMENT ENGINEERING | |
|--|------|
| Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation | |
| The Development Engineering Department does not object to the Minor Variance application A039/25, to permit a residential accessory structure (shed) to be located 1.21m from the rear lot line. | |
| Development Engineering Recommended Conditions of Approval: | None |

| PARKS, FORESTRY & HORTICULTURE (PFH) | |
|---|------|
| Forestry has no comment. | |
| PFH Recommended Conditions of Approval: | None |

| DEVELOPMENT FINANCE | |
|---|------|
| No comment no concerns | |
| Development Finance Recommended Conditions of Approval: | None |

| BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES | |
|--|------|
| No comments received to date. | |
| BCLPS Recommended Conditions of Approval: | None |

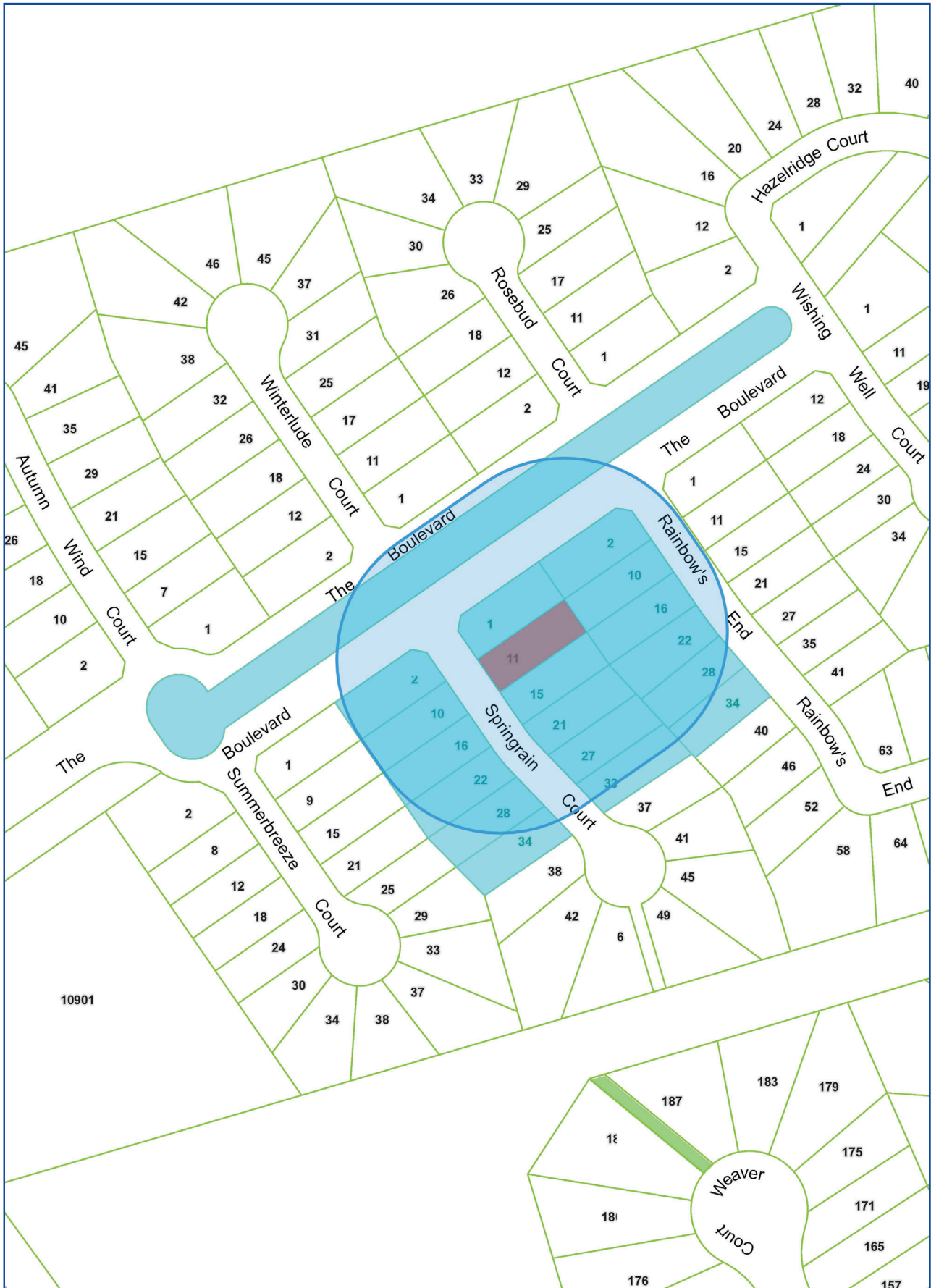
| BUILDING INSPECTION (SEPTIC) | |
|---|------|
| No comments received to date. | |
| Building Inspection Recommended Conditions of Approval: | None |

| FIRE DEPARTMENT | |
|---|------|
| No comments received to date. | |
| Fire Department Recommended Conditions of Approval: | None |

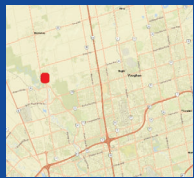
| RECOMMENDED CONDITIONS OF APPROVAL SUMMARY | | |
|--|---------------------|-----------|
| Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended: | | |
| # | DEPARTMENT / AGENCY | CONDITION |
| | None | |
| <i>All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.</i> | | |

| IMPORTANT INFORMATION |
|--|
| CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit. |
| APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision. An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval. A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law. Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application. Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision. |
| DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment. That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment. That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department. |
| NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice. |

SCHEDULE A: DRAWINGS & PLANS



Map Information:



Title:

Minor Variance Application - A039/25

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:2,257
0 0.04 km



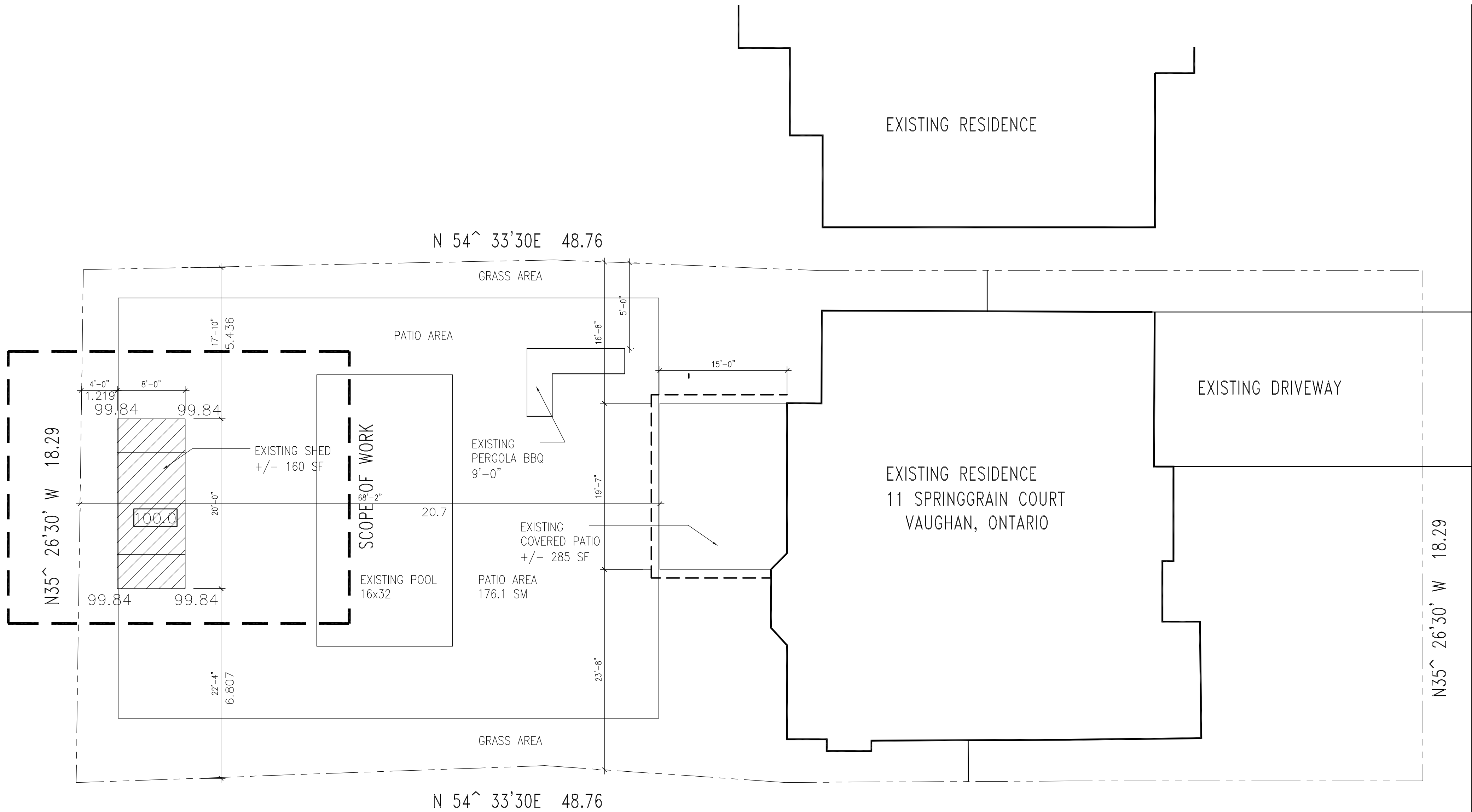
Created By:

Infrastructure Delivery
Department
August 5, 2025 11:17 AM

Projection:

NAD 83
UTM Zone
17N

RECEIVED
By russog at 8:39 am, Jun 24, 2025



SITE PLAN

SCALE: 3/16"=1'-0"

SITE STATISTICS

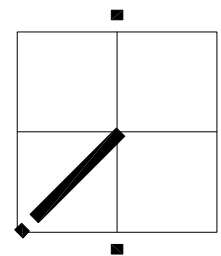
| | |
|---------------------------|----------------|
| LOT AREA | +/- 9,505 S.F. |
| EXISTING DWELLING -G.F.A. | +/- 2271 S.F. |
| EXISTING SHED | +/- 160 S.F. |
| EXISTING COVERED PORCH | +/- 285 S.F. |

COVERAGE----- 2716 S.F./9505 S.F.=29.00%

REAR YARD LANDSCAPING CALCULATION

| | | |
|-------------------------------|-----------|--------|
| REAR YARD | 381.46 SM | 100% |
| SUBTRACT APPROVED | 135.00 SM | |
| TOTAL REAR YARD | 245.00 SM | 100% |
| EXISTING STRUCTURE (SHED) | 14.8 SM | 16.55% |
| HARD LANDSCAPE (POOL,WALKWAY) | 176.1 SM | 71.80% |
| GRASS/ SOFT LANDSCAPING | 170.0 SM | 69.38% |

NORTH



CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.
ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE DESIGNER WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK.
ONLY BUILDING PERMIT ISSUED DRAWINGS SHALL BE USED FOR FABRICATION AND CONSTRUCTION PURPOSES.

8 FRIMETTE CRESCENT
Toronto, On
L4K 3S4
647.278.5800

DIGITECH DESIGNS INC

REVISIONS

| No. | Description | Date |
|-----|--------------------------------|-------------|
| 1 | ISSUED FOR PERMIT | MAY 7 2013 |
| 2 | GRADING PERMIT | SEP 30 2024 |
| 3 | ISSUED FOR VARIANCE | APRIL 2025 |
| 4 | UPDATED BASED ON CITY COMMENTS | MAY 2025 |

Refer to Approved Building Permit Drawings for construction purposes.
Drawings are NOT to be scaled.
Contractors must verify all dimensions on the job and report any discrepancies before proceeding with the work.
All drawings and specifications are instruments of service and the property of THE DESIGNER which must be returned at the completion of the work.
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION (required unless design is exempt under 2.17.5.1. of the building code.)
Name ANTHONY STANISCIA BCIN 14750
Signature
REGISTRATION INFORMATION (required unless design is exempt under 2.17.4.1. of the building code.)

DIGITECH DESIGNS 31397
Firm Name BCIN

Project Name
GIRONDA RESIDENCE
11 SPRINGGRAIN COURT
VAUGHAN, ONTARIO

Sheet Title
SITE PLAN

DRAWN BY:
ANDRE GRISOLIA

1
2

CONSTRUCTION NOTES

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE, ULC LISTINGS AND ALL OTHER APPLICABLE CODES, REGULATIONS AND STANDARDS AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 350/06

NOTES:

- 1) CONCRETE MIN. 25 MPa - WITH 6% AIR ENTRAINMENT
- 2) CONCRETE COVER = 3" FOR BOTTOM REINF. 1.5" FOR TOP
- 3) REBAR - GRADE 400
- 4) REBAR TO HAVE 16" SPLICES
- 5) SLOPE GRADE TO DRAIN AWAY FROM BUILDING
- 6) BEAR SLAB ON CLEAN COMPACT GRANULAR MATERIAL.
- 7) INSTALL SAWCUTS OR CONTROL JOINTS AT MAX. 25'-0" O.C.

GENERAL

- 1) ALL DOWNSPOUTS TO DRAIN AWAY FROM THE BUILDING AS PER OBC 9.26.18.2 AND MUNICIPAL STANDARDS.
- 2) ALL ELECTRICAL SERVICES, LIGHTS, OUTLETS, ETC. SHALL BE DESIGNED BY OTHERS AND SHALL BE IN ACCORDANCE WITH THE MUNICIPAL ELECTRICAL SAFETY STANDARDS AND OTHER GOVERNING AUTHORITIES.

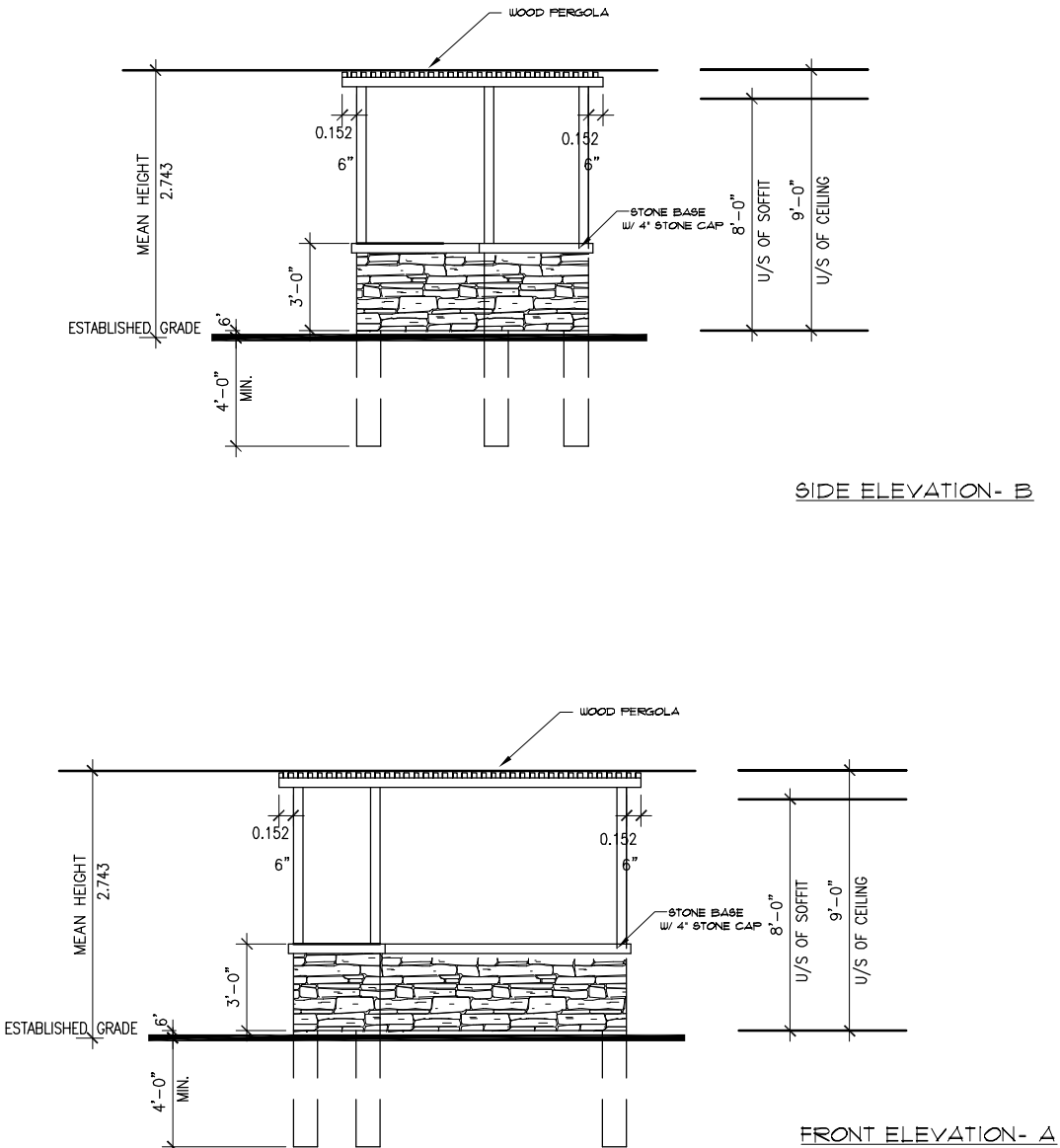
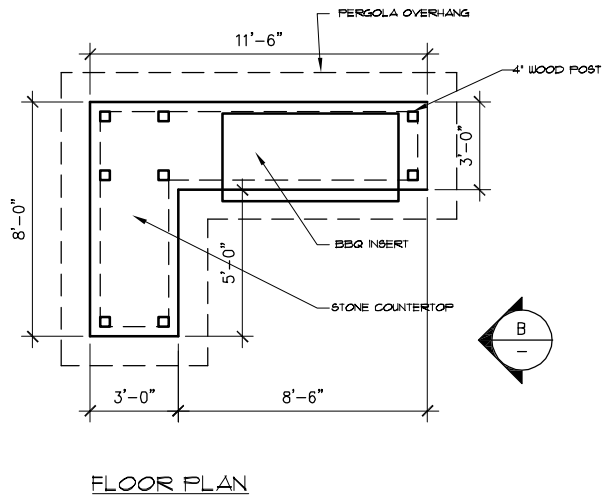
STEEL:

- 1) REINFORCING STEEL SHALL CONFORM TO CSA G30-18M GRADE 400R AND SHALL BE TREATED WITH RUST INHIBITIVE PAINT COATING.

LUMBER:

- 1) ALL LUMBER SHALL CONFORM TO OBC SECTION 9.23 - WOOD FRAME CONSTRUCTION
- 2) UNLESS OTHERWISE SPECIFIED.
LUMBER TO BE DRIED TO A MOISTURE CONTENT OF 19% OR LESS (S-DRY).
- 3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No. 2 GRADE PRESSURE TREATED TO CSA 080 WITH ACA OR CCA, UNLESS NOTED OTHERWISE.

RECEIVED
By andrea buchanan at 4:08 pm, Jul 18, 2025



NOTE: OUTDOOR SHED NON HEATED. PROVIDE SHUT OFF VALVES AT ALL PLUMBING FIXTURES FOR WINTER SHUT OFF.

GIRONDA RESIDENCE
11 SPRINGGRAIN COURT

TITLE: OUTDOOR SHED

DATE: JULY 17, 2025

DRAWN BY: FDR

SCALE: AS SHOWN

DRAWING NUMBER:

A-2

SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING

| Internal Departments *Comments Received | Conditions Required | | Nature of Comments |
|--|------------------------------|--|----------------------------------|
| Building Standards (Zoning) | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments |
| Development Planning | Yes <input type="checkbox"/> | No <input type="checkbox"/> | Recommend Approval/No Conditions |

| External Agencies *Comments Received | Conditions Required | | Nature of Comments *See Schedule B for full comments |
|---|------------------------------|--|---|
| Alectra | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments |
| Region of York | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments |
| TRCA | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments |

Date: April 15th 2025

Attention: **Christine Vigneault**

RE: Request for Comments

File No.:

Related Files: **A039-25**

Applicant: Frank Di Roma

Location 11 Springrain Court

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

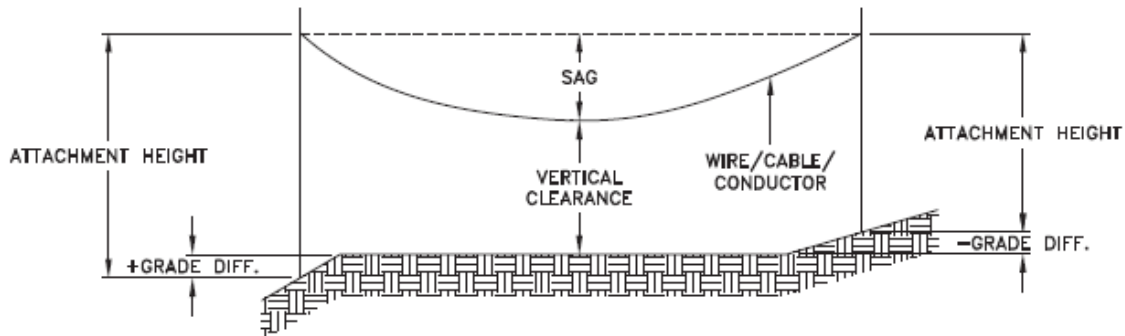
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

| LOCATION OF WIRES, CABLES OR CONDUCTORS | SYSTEM VOLTAGE | | | |
|---|--|------------------------|--------------------------------------|-------|
| | SPAN GUYS AND COMMUNICATIONS WIRES | UP TO 600V AND NEUTRAL | 4.16/2.4kV TO 27.6/16kV (SEE NOTE 1) | 44kV |
| | MINIMUM VERTICAL CLEARANCES (SEE NOTE 2) | | | |
| OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u> | 442cm | 442cm | 480cm | 520cm |
| OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u> | 250cm | 310cm | 340cm | 370cm |
| ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u> | 730cm | 730cm | 760cm | 810cm |



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 + GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

| METRIC | IMPERIAL (APPROX) |
|--------|-------------------|
| 810cm | 27'-0" |
| 760cm | 25'-4" |
| 730cm | 24'-4" |
| 520cm | 17'-4" |
| 480cm | 16'-0" |
| 442cm | 15'-5" |
| 370cm | 12'-4" |
| 340cm | 11'-4" |
| 310cm | 10'-4" |
| 250cm | 8'-4" |

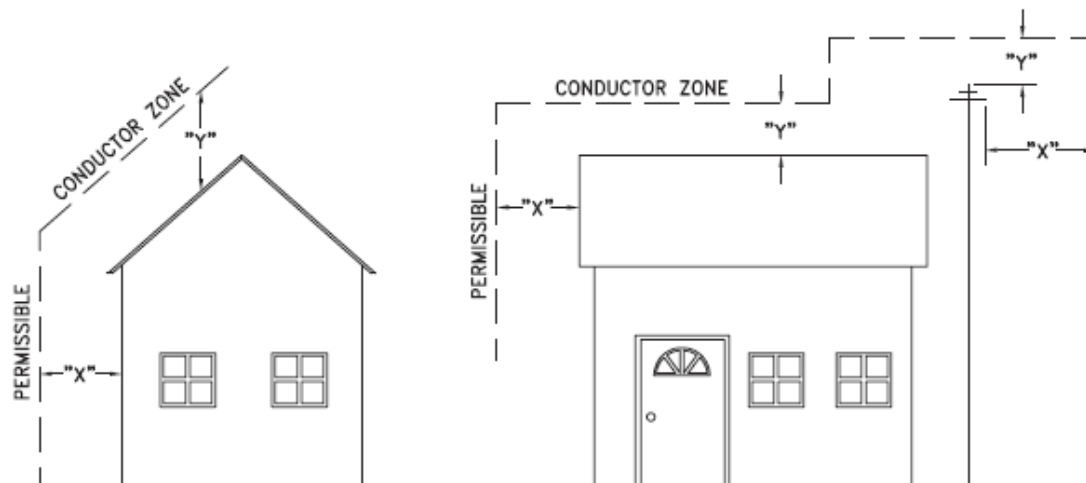
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

| Certificate of Approval | |
|---|-------------|
| This construction Standard meets the safety requirements of Section 4 of Regulation 22/04 | |
| Joe Crozier, P.Eng. | 2012-JAN-09 |
| Name | Date |
| P.Eng. Approval By: | Joe Crozier |



| VOLTAGE | MINIMUM HORIZONTAL CLEARNACE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4) | MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5) |
|--------------------|---|---|
| 0-600V AND NEUTRAL | 100cm | 250cm |
| 4.16/2.4 TO 44kV | 300cm | 480cm |

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

| CONVERSION TABLE | |
|------------------|-------------------|
| METRIC | IMPERIAL (APPROX) |
| 480cm | 16'-0" |
| 300cm | 10'-0" |
| 250cm | 8'-4" |
| 100cm | 3'-4" |

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P.Eng. Approval By: D. Dadwani

To: Committee of Adjustment

From: Christian Tinney, Building Standards Department

Date: July 21, 2025

Applicant: Frank Di Roma

Location: 11 Springrain Court
PLAN 65M3895 Lot 134

File No.(s): A039/25

Zoning Classification:

The subject lands are zoned R1B(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.815 under Zoning By-law 001-2021, as amended.

| # | Zoning By-law 001-2021 | Variance requested |
|---|---|---|
| 1 | A residential accessory structure with a height greater than 2.8 metres shall not be located closer than 2.4 metres to any lot line. [Section 4.1.2 b.] | To permit a residential accessory structure (shed) with a height greater than 2.8 metres to be located 1.21 metres from the rear lot line. |

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

Order No. 24-120980, Order to Comply for, Issue Date: Jul 03, 2024

Building Permit(s) Issued:

Building Permit No. 24-121183 for Shed/Gazebo - New, Issue Date: (Not Yet Issued)

Other Comments:

| General Comments | |
|------------------|--|
| 1 | The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval. |

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development and Parks Planning

Date: August 12, 2025

Name of Owners: Salvatore Girona, Dora Girona

Location: 11 Springrain Court

File No.(s): A039/25

Proposed Variance(s):

1. To permit a residential accessory structure with a height greater than 2.8 m to be located 1.21 m from the rear lot line.

By-Law 001-2021 Requirement(s):

1. A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line.

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Low Rise Residential".

Comments:

The Owners are seeking relief to permit a residential accessory structure in the rear yard with the above noted variance.

The Development and Parks Planning Department has no objections to Variance 1 to reduce the setback of the accessory structure to the rear lot line to 1.21 m. The proposed accessory structure has a hipped roof and is compliant with maximum height and coverage requirements. The proposed setback of 1.21 m is sufficient to allow for access and maintenance. Metal fencing exists along the rear lot line to discourage trespassing. The proposed accessory structure is not anticipated to incur any negative impacts on neighbouring properties.

Accordingly, the Development and Parks Planning Department supports the requested variance and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development and Parks Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Harry Zhao, Planner
Janany Nagulan, Senior Planner

From: [Joshua Lacaria](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A039/25 (11 Springrain Court) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Monday, April 14, 2025 12:57:56 PM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good afternoon,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from TRCA.

Based on the above, we have no comments/requirements.

Regards,

Joshua Lacaria

Planner

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-2347](tel:437-880-2347)

E: joshua.lacaria@trca.ca

A: [5 Shoreham Drive, Toronto, ON, M3N 1S4](#) | trca.ca



From: [Development Services](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A039/25 (11 Springrain Court) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Tuesday, April 15, 2025 12:04:34 PM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good afternoon,

The Regional Municipality of York has complete its review of the above minor variance and has no comment.

Regards,

Gabrielle

Gabrielle Hurst MCIP, RPP | Associate Planner, Development Planning, Economic and Development Services Branch | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

| Correspondence Type | Name | Address | Date Received (mm/dd/yyyy) | Summary |
|---------------------|------|---------|-------------------------------|---------|
| N/A | | | | |

SCHEDULE D: BACKGROUND

| Application No. (City File) | Application Description (i.e. Minor Variance Application; Approved by COA / OLT) |
|-----------------------------|---|
| N/A | N/A |