

ITEM: 6.1	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A029/25
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Report Date: August 15, 2025

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):

Additional comments from departments and agencies received after the publication of the report will be made available on the City’s [website](#).

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Engineering	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies *Comments Received	Conditions Required		Nature of Comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			03/05/2025	Application Cover Letter

BACKGROUND (SCHEDULE D, IF REQUIRED)	
* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.	
Application No. (City File)	Application Description
A055/24	(i.e. Minor Variance Application; Approved by COA / OLT) Approved by COA on June 20, 2024

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



## MINOR VARIANCE APPLICATION FILE NUMBER A029/25

<b>CITY WARD #:</b>	4
<b>APPLICANT:</b>	GB (Maplecrete) Limited Partnership & GB (Maplecrete) Inc.
<b>AGENT:</b>	KLM Planning Partners Inc.
<b>PROPERTY:</b>	185 Doughton Road, Concord
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Neighbourhood Precincts" Vaughan Metropolitan Centre Secondary Plan (VMCSP), Volume 2
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	DA.22.072
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is requested to permit an increase in the height of Tower B from 39 to 43 storeys by redistributing four storeys from the podium, which is proposed to be reduced from 6 to 2 storeys. Variances are also requested to reflect technical updates to the tower's floor plate sizes.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned C9 (H), Corporate Centre Zone with a Holding Provision and subject to the provisions of Exception 9(1567) under Zoning By-law 1-88, as amended.**

#	Zoning By-law 1-88	Variance requested
1	In accordance with Schedule "1716", the maximum building height for Tower B shall be <b>128 m (39 Storeys)</b> . [Exception 9(1567), ii) vii)]	To permit a maximum building height of <b>141 m (43 Storeys)</b> for Tower B and not in accordance with Schedule "1716".
2	The minimum building height shall be <b>10 m</b> [Schedule A2 to By-law 1-88]	To permit a minimum building height of <b>8.0 m</b> (for the 2-storey portion of the podium).
3	In accordance with Schedule "1716" the maximum tower podium height for the Podium (North) shall be <b>5-Storeys</b> . [Exception 9(1567), ii) vii)]	To permit a maximum a maximum tower podium height of <b>6-Storeys</b> for the Podium (north) and not in accordance with Schedule "1716".
4	The maximum gross floor area of any storey within a tower shall be: Tower B - <b>799 m<sup>2</sup></b> - Levels 10 to 37 - <b>776 m<sup>2</sup></b> – Levels 38 to 39. [Exception 9(1567), ii) iii)]	To permit the maximum gross floor area of any storey within a tower for Tower B to be: - <b>799m<sup>2</sup></b> – Levels 8-41 - <b>776 m<sup>2</sup></b> - Levels 42 to 43.

### HEARING INFORMATION

**DATE OF MEETING:** Thursday, August 21, 2025

**TIME:** 6:00 p.m.

**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive

**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

### PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

HEARING INFORMATION	
<b>Mail:</b> City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1	
To speak electronically, pre-registration is required by completing the <a href="#">Request to Speak Form</a> on-line and submitting it to <a href="mailto:cofa@vaughan.ca">cofa@vaughan.ca</a> no later than NOON on the last business day before the meeting.	
<b>THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.</b>	

INTRODUCTION	
Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.	
Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:	
That the general intent and purpose of the by-law will be maintained.	
That the general intent and purpose of the official plan will be maintained.	
That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.	
That the requested variance(s) is/are minor in nature.	
Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.	

COMMITTEE OF ADJUSTMENT	
<b>Date Public Notice Mailed:</b>	August 7, 2025
<b>Date Applicant Confirmed Posting of Sign:</b>	August 6, 2025
<b>Applicant Justification for Variances:</b> <small>*As provided in Application Form</small>	We are proposing an increase in height on the lands.
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b> <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
<b>COMMENTS:</b>	
N/A	
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None

BUILDING STANDARDS (ZONING)	
<b>**See Schedule B for Building Standards (Zoning) Comments</b>	
<b>Building Standards Recommended Conditions of Approval:</b>	None

DEVELOPMENT PLANNING	
<b>**See Schedule B for Development Planning Comments.</b>	
<b>Development Planning Recommended Conditions of Approval:</b>	TBD

DEVELOPMENT ENGINEERING	
<a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>	
Development Engineering does not object to Minor Variance A029/25.	
<b>Development Engineering Recommended Conditions of Approval:</b>	None

PARKS, FORESTRY & HORTICULTURE (PFH)	
No comments received to date.	
<b>PFH Recommended Conditions of Approval:</b>	None

DEVELOPMENT FINANCE	
No comment no concerns.	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES	
No comments received to date.	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC)	
No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT	
No comments received to date.	
Fire Department Recommended Conditions of Approval:	None

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY		
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:		
#	DEPARTMENT / AGENCY	CONDITION
1	Development Planning <a href="mailto:Alyssa.pangilinan@vaughan.ca">Alyssa.pangilinan@vaughan.ca</a>	TBD
2	TRCA <a href="mailto:yorkplan@trca.ca">yorkplan@trca.ca</a>	1. That the applicant provides the required fee amount of \$1,250.00 payable to the Toronto and Region Conservation Authority. 2. That the applicant obtains a permit for the proposed works pursuant to Conservation Authorities Act - Section 28.
<i>All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.</i>		

IMPORTANT INFORMATION
<b>CONDITIONS:</b> It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency ( <b>see condition chart above for contact</b> ). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.



IMPORTANT INFORMATION	
<p><b>APPROVALS:</b> Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>	
<p><b>DEVELOPMENT CHARGES:</b> That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>	
<p><b>NOTICE OF DECISION:</b> If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will <b>not</b> receive notice.</p>	







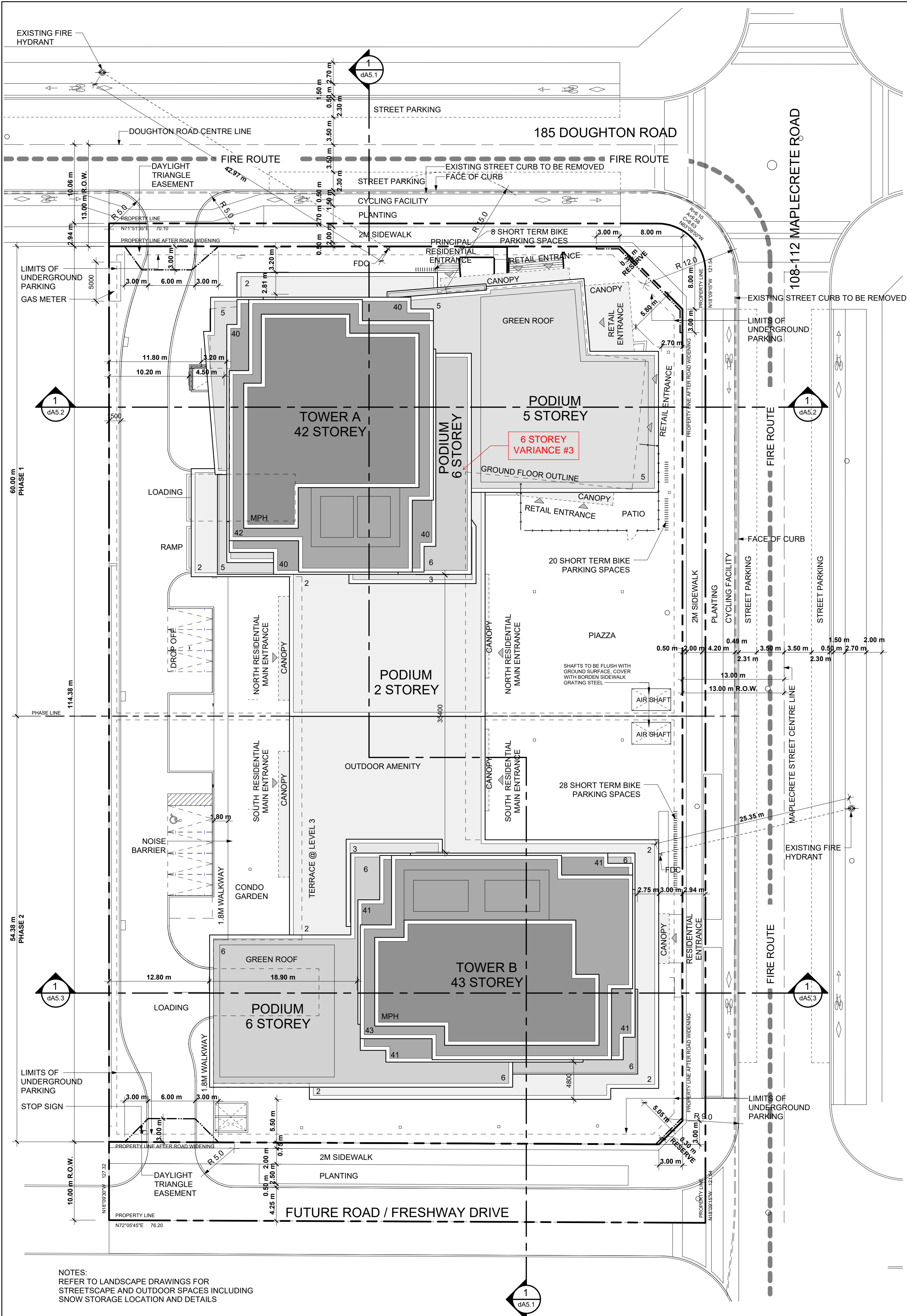
PROJECT STATISTICS

185 Doughton Overall									
Mixed Use Development									
Vaughan, Ontario									
February 26, 2025						Project No. 21-101			

Lot Area																
			hectare	acres		m <sup>2</sup>	ft <sup>2</sup>									
1.1	Net Lot Area		0.84	2.06		8,354.50	89,927									
1.2	Road Widening		0.14	0.33		1,351.76	14,550									
1.3	Gross Lot Area		0.97	2.40		9,706.26	104,477									
2.0 Proposed Gross Floor Area (GFA)																
2.1 Proposed Residential Gross Floor Area (GFA)																
Gross Floor Area Definition: Gross Floor Area means the aggregate of the floor areas of all storeys of a building measured from the outside of the exterior walls, but excluding any basement, attic, mechanical room, electrical room, elevator shaft, refuse chute, escalators, vehicle and bicycle parking areas, loading areas located above or below grade.																
Buildings		Levels					Total Area									
			floors	m <sup>2</sup>		m <sup>2</sup>	ft <sup>2</sup>									
	Podium	Level 1	1 x	3,229.87		3,229.87	34,766									
		Level 2	1 x	2,318.76		2,318.76	24,959									
		Level 3	1 x	2,865.64		2,865.64	30,845									
		Levels 4 to 5	2 x	2,849.30		5,698.59	61,339									
		Level 6	1 x	2,178.63		2,178.63	23,451									
2.1.1 Proposed Podium Residential GFA						16,291.49	175,360									
	Tower A (North)	Level 7	1 x	816.90		816.90	8,793									
		Levels 8 to 40	33 x	798.43		26,348.19	283,610									
		Levels 41 to 42	2 x	775.30		1,550.60	16,691									
		Level MPH	1 x	0.00		0.00	0									
				0.00												
2.1.2 Proposed Tower A Residential GFA						28,715.69	309,094									
	Tower B (South)	Level 7	1 x	824.27		824.27	8,872									
		Levels 8 to 41	34 x	798.43		27,146.62	292,204									
		Levels 42 to 43	2 x	775.30		1,550.60	16,691									
		Level MPH	1 x	0.00		0.00	0									
2.1.3 Proposed Tower B Residential GFA						29,521.49	317,767									
2.2 Total Proposed Residential GFA						74,528.67	802,221									
2.3 Proposed Retail Gross Floor Area (GFA)																
						m <sup>2</sup>	ft <sup>2</sup>									
2.4	Level 1	Retail at Grade	1 x	426.03		426.03	4,586									
		Retail Elevator	1 x	19.56		19.56	211									
		Retail Waste Room	1 x	44.49		44.49	479									
						490.08	5,276									
2.5 Total Gross Floor Area (GFA)																
						m <sup>2</sup>	ft <sup>2</sup>									
2.6	Total Proposed Residential GFA					74,528.67	802,220									
	Total Proposed Retail GFA					490.08	5,275									
	Total Gross Floor Area (GFA)					75,018.75	807,495									
3.0 Floor Space Index (FSI)																
FSI on Gross Lot Area (Item 2.6/Item 1.3)						7.73										
4.0 Proposed Building Area & Lot Coverage																
4.1	Proposed Building Area					4,142.86	44,593									
4.2	Lot Coverage (base on Gross Lot area) - Proposed Building Area / Gross Lot Area (Item 4.1 / Item 1.3)					42.68%										
4.3	Lot Coverage (base on Net Lot area) - Proposed Building Area / Net Lot Area (Item 4.1 / Item 1.1)					49.59%										
5.0 Proposed Landscape Area and Coverage																
5.1	Proposed Landscape Area					3,718.63	40,027									
5.2	Proposed Landscape Coverage (Proposed Landscape Area / Net Lot Area)					44.51%										
7.0 Unit Count																
	Buildings		Floors	Units per Floor	ST	1B	1B+D	2B (s)	2B	3B	TH	LW	Total Units			
	Podium	Level 1	1 x 16		0	0	0	0	0	0	9	7	16			
		Level 2	1 x 7		0	1	6	0	0	0	0	0	7			
		Level 3	1 x 39		5	12	16	4	2	0	0	0	39			
		Levels 4 to 5	2 x 43		4	12	17	5	5	0	0	0	86			
		Level 6	1 x 34		4	9	11	7	3	0	0	0	34			
7.1.1 Podium Total Unit Count													182			
	Tower A (North)	Level 7	1 x 13		0	2	7	3	1	0	0	0	13			
		Levels 8 to 40	33 x 13		0	3	6	3	1	0	0	0	429			
		Levels 41 to 42	2 x 12		0	3	5	1	1	2	0	0	24			
													466			
7.1.2 Tower A Total Unit Count													466			
	Tower B (South)	Level 7	1 x 13		0	2	7	3	1	0	0	0	13			
		Levels 8 to 41	34 x 13		0	3	6	3	1	0	0	0	442			
		Levels 42 to 43	2 x 12		0	3	5	1	1	2	0	0	24			
													479			
7.1.3 Tower B Total Unit Count													479			
7.1	Total Unit Count					17	263	503	232	88	8	9	7	1,127		
7.2	Unit Mix					1.5% 23.3% 44.6% 20.6% 7.8% 0.7% 0.8% 0.6%										
											28.4%		2.1%			
8.0 Amenity Area																
						m <sup>2</sup>	ft <sup>2</sup>									
8.1		Level 1				882.50	9,499									
		Level 3				398.86	4,293									
		Levels 4 to 5				189.79	2,043									
		Level 6				61.66	664									
Total Proposed Indoor Amenity						1,532.81	16,499									
						m <sup>2</sup>	ft <sup>2</sup>									
8.2		Level 1	(Outdoor Amenity)			1,122.44	12,082									
		Level 3	(Outdoor Amenity Terrace)			913.62	9,834									
Total Proposed Outdoor Amenity						2,036.06	21,916									
8.3	Total Proposed Amenity Area (Indoor and Outdoor)					3,568.87	38,415									

Parking										
9.1			Residential		Visitor		Commercial		Spaces	
	Level	1		0		0		0		0
	Level	P1		0		158		3		161
	Level	P2		185		14		0		199
	Level	P3		206		0		0		206
Total Proposed Parking Spaces			391		172		3		566	
to Share 8 with Phase 2										
9.2			Ratio		Number of units / sq.m.		Residential		Visitor	
	Apartment Resident Spaces		0.300	per unit	x	1,111	=	334		= 334
	Apartment Visitor Spaces		0.150	per unit	x	1,111	=		167	= 167
	Podium townhouse		1.000	per unit	x	9	=	9		= 9
	Live-Work Resident Spaces		0.600	per unit	x	7	=	5		= 5
	Live-Work Visitor Spaces		0.400	per unit	x	7	=		3	= 3
	Retail		0.700	per 100 m <sup>2</sup>	x	490	=		4	= 4
	Proposed Parking Ratio and Spaces							348		174
9.3			Ratio		Number of Spaces				Spaces	
	Type A		1 + 3%	x	175	x	50%			4
	Type B		1 + 3%	x	175	x	50%			4
	Total Required Accessible Parking Spaces for Retail and Visitor			1 + 3%		x		175		8
(1 space + 3% of the total number of parking spaces, of which, 50% shall be Type A and 50% shall be Type B)										
9.4			Ratio		Number of Spaces				Spaces	
	Type A		2 + 2%	x	391	x	50%			5
	Type B		2 + 2%	x	391	x	50%			5
	Total Required Accessible Parking Spaces for Residential			2 + 2%		x		391		10
(2 spaces plus 2% of the total number of parking spaces, of which, 50% shall be Type A and 50% shall be Type B)										
9.5			Retail & Visitor		Residential				Total Spaces	
			Type A	Type B	Type A	Type B				
	Level	L1		0	0	0	0			0
	Level	P1		3	3	0	0			6
	Level	P2		1	1	3	2			7
	Level	P3		0	0	4	3			7
	Total Proposed Accessible Parking Spaces			4	4	7	5			20
Bike Parking										
10.1			Rate		Number of units		Short-term		Long-term	
	Residential Short-term		0.20	per unit	x	1,127	226			
	Residential Long-term		0.80	per unit	x	1,127			902	
	Commercial Short-term (Retail area <1,000 m <sup>2</sup> therefore not required)								0	
	Commercial Long-term (Retail area <2,000 m <sup>2</sup> therefore not required)		0.07	per unit	x				0	
	Total Bike Parking Required							226		902
10.2			Indoor Stacked		Vertical		Outdoor		Total Spaces	
	Level	1	0	=	0	+	56		56	
	Level	P1	(86 x 2)	=	172		0		172	
Proposed Short-Term Bicycle Parking			172				56		0	228
10.3			Indoor Stacked		Vertical				Total Spaces	
	Level	2	(284 x 2)	=	568	+			568	
	Level	1	(0 x 2)	=	0				0	
	Level	P1	(24 x 2)	=	48	+			48	
	Level	P2	(144 x 2)	=	288				288	
	Level	P3							0	
Proposed Long-Term Bicycle Parking			904				0		0	904
Total Bike Parking Proposed										
										1,132





NOTES:  
REFER TO LANDSCAPE DRAWINGS FOR  
STREETSCAPE AND OUTDOOR SPACES INCLUDING  
SNOW STORAGE LOCATION AND DETAILS

1 | Site Plan - Ultimate Condition  
1 : 300

All Drawings, Specifications, and Related Documents are the Copyright of the Architect. The Architect retains all rights to control all uses of these documents for the intended issuance/use as identified below. Reproduction of these Documents, without permission from the Architect, is strictly prohibited. The Authorities Having Jurisdiction are permitted to use, distribute, and reproduce these drawings for the intended issuance as noted and dated below, however the extended permission to the Authorities Having Jurisdiction in no way debases or limits the Copyright of the Architect, or control of use of these documents by the Architect.

Do not scale the drawings.

This Drawing Is Not To Be Used For Construction Until Signed By The Architect.

Date:

**KIRKOR**  
ARCHITECTS AND PLANNERS

20 De Boers Drive Suite 400  
Toronto, ON M3J 0H1

Revisions:		
No.:	Revision:	Date:

8	Minor OPA and Minor Variance	Feb. 27, 2025
7	SPA #3	Apr. 30, 2024
6	Minor Variance	Mar. 13, 2024
5	OPA, ZBA, Subdivision and SPA	May, 26, 2023
4	OPA, ZBA and Subdivision	Mar. 17, 2023
3	OPA, ZBA and Subdivision	Feb. 15, 2023
2	OPA, ZBA, Subdivision and SPA	Dec. 9, 2022
1	OPA, ZBA and Subdivision	Jun. 23, 2022
No.:	Issued For:	Date:

Client:

GB (Maplecrete) Limited Partnership

OP.21.008, Z.21.011 and 19T-21V003  
Maplecrete & Doughton, Vaughan  
Proposed Mixed-use Development

Drawing Title:

**Site Plan - Ultimate Condition**

Scale:

1 : 300

Drawn by:

MZ / TT

Checked by:

DS

Project No.:

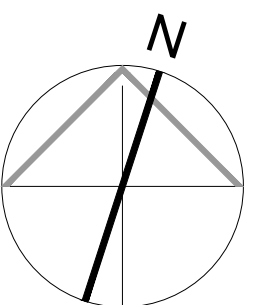
21-101

Date:

April. 23, 2025

Drawing No.:

dA1.3





**1A ARCHITECTURAL PRE-CAST CONCRETE PANEL**  
COLOUR: RES WHITE 2-F-W-S1  
FINISH: SANDBLAST

**1B ARCHITECTURAL PRE-CAST CONCRETE PANEL**  
COLOUR: RES WHITE 2-F-W-S1  
PATTERN: VERTICAL RIBS

**3A1 PRE-FINISHED WINDOW WALL VISION PANEL - 1**  
GLASS:  
GLASS COLOUR: CLEAR  
FRAME TYPE: ALUMINIUM  
FRAME COLOR: DARK GREY

**3A2 PRE-FINISHED WINDOW WALL VISION PANEL - 2**  
GLASS:  
GLASS COLOUR: BLUE TINTED  
FRAME TYPE: ALUMINIUM  
FRAME COLOR: DARK GREY

**3B1 PRE-FINISHED WINDOW WALL GLASS SPANDREL PANEL**  
SPANDREL GLASS:  
GLASS COLOUR: LIGHT BLUE  
FRAME TYPE: ALUMINIUM  
FRAME COLOR: DARK GREY

**3B2 PRE-FINISHED WINDOW WALL GLASS SPANDREL PANEL**  
SPANDREL GLASS:  
GLASS COLOUR: DEEP BLUE  
FRAME TYPE: ALUMINIUM  
FRAME COLOR: DARK GREY

**3C1 PRE-FINISHED WINDOW WALL SYSTEM METAL PANEL / RAISED METAL PANEL**  
METAL TYPE: ALUMINIUM  
COLOUR: WHITE

**3C2 PRE-FINISHED WINDOW WALL SYSTEM METAL PANEL / RAISED METAL PANEL**  
METAL TYPE: ALUMINIUM  
COLOUR: DARK GREY

**3C3 PRE-FINISHED WINDOW WALL SYSTEM METAL PANEL / RAISED METAL PANEL**  
METAL TYPE: ALUMINIUM  
PATTERN: WOOD GRAIN

**4A1 CURTAIN WALL SYSTEM VISION PANEL**  
GLASS:  
GLASS COLOUR: CLEAR

**4B1 CURTAIN WALL SYSTEM WITH SHADOW BOX**

**5A PREFINISHED METAL PANEL**  
METAL TYPE: ALUMINIUM  
COLOUR: WHITE

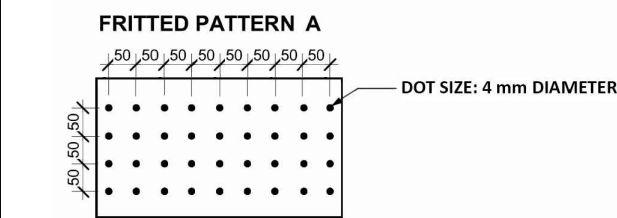
**7A PREFINISHED METAL FIN - MULLION EXTENSION**  
METAL TYPE: ALUMINIUM  
COLOUR: DARK GREY

**8A METAL CANOPY**  
METAL TYPE: ALUMINIUM  
COLOUR: DARK GREY

**9A GLASS WITH DECORATIVE GRAPHICS**  
GRAPHIC: TO BE DETERMINED

**R1 BALCONY GLASS RAILING SYSTEM WITH SLAB EDGE COVER**

**R2 BALCONY GLASS RAILING SYSTEM WITHOUT SLAB EDGE COVER**



**Bird Safe Treatment Elevation Specific Information Checklist**

Applicant to include checklist on Elevation Drawing(s) at first site plan submission.  
Drawing(s) to be stamped and signed by an OAK member.

**Mandatory Primary Treatments for all site and draft plan applications.**

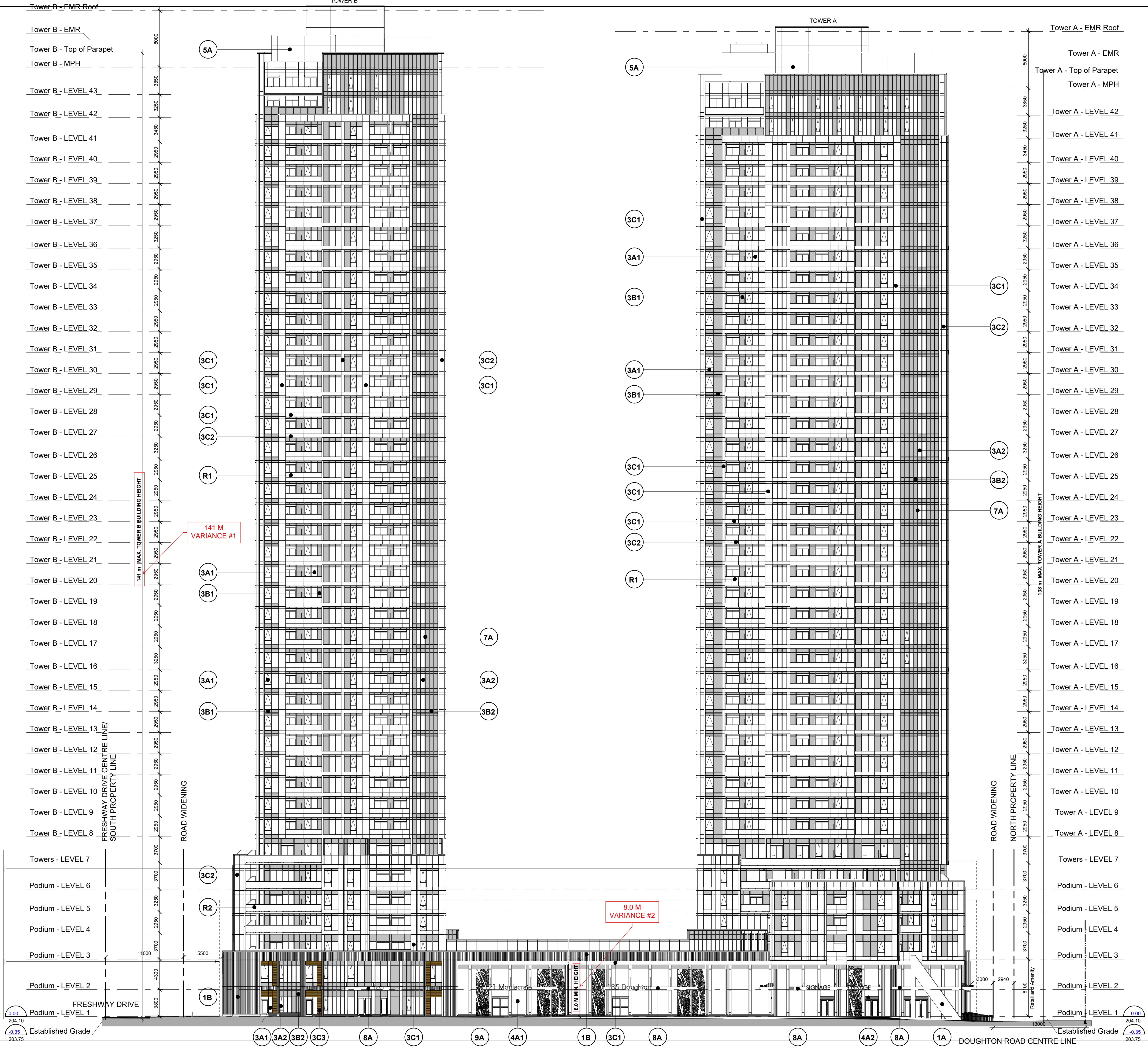
**At Grade Condition (check to confirm the below is applied)**

- ☒ Bird safe treatment (s) are applied on minimum 90% of contiguous glass panel area, and within five foot radius of grade or to the height of the adjacent mature tree canopy, whichever is greater.
- ☒ Treatments are applied to all glass panel areas that creates fly-through conditions and are adjacent to natural heritage features.
- ☒ Treatments are identified and redlined on the elevation drawing(s)

**Roof Landscape Conditions (check to confirm the below is applied)**

☐ Development contains no glass panel within 16m from roof level finished grade

☒ If glazing is adjacent to green roofs and/or rooftop vegetation, bird safe treatment is applied at a height of 4m from the surface of the green roof or the height of the adjacent mature vegetation, whichever is greater.



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Toronto, ON M3J 0H1

No.:	Revision:	Date:
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7	SPA #3	Apr. 30, 2024
6	Minor Variance	Mar. 13, 2024
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2	OPA, ZBA, Subdivision and SPA	Dec. 9, 2022
1	OPA, ZBA and Subdivision	Jun. 23, 2022
No.:	Issued For:	Date:

Client:  
**GB (Maplecrete) Limited Partnership**

**OP.21.008, Z.21.011 and 19T-21V003**  
**Maplecrete & Doughton, Vaughan**  
Proposed Mixed-use Development

Drawing Title:

**East Elevation**

Scale: 1 : 250  
 Drawn by: MZ / TT  
 Checked by: DS  
 Project No.: 21-101  
 Date: April. 16, 2025  
 Drawing No.:

## dA4.1



**1A**     **ARCHITECTURAL PRE-CAST CONCRETE PANEL**  
COLOUR: RES WHITE 2-F-W-S1  
FINISH: SANDBLAST

**1B**     **ARCHITECTURAL PRE-CAST CONCRETE PANEL**  
COLOUR: RES WHITE 2-F-W-S1  
PATTERN: VERTICAL RIBS

**3A1**    **PRE-FINISHED WINDOW WALL VISION PANEL - 1**  
GLASS:  
GLASS COLOUR: CLEAR  
FRAME TYPE: ALUMINIUM  
FRAME COLOR: DARK GREY

**3A2**    **PRE-FINISHED WINDOW WALL VISION PANEL - 2**  
GLASS:  
GLASS COLOUR: BLUE TINTED  
FRAME TYPE: ALUMINIUM  
FRAME COLOR: DARK GREY

**3B1**    **PRE-FINISHED WINDOW WALL  
GLASS SPANDREL PANEL**  
SPANDREL GLASS:  
GLASS COLOUR: LIGHT BLUE  
FRAME TYPE: ALUMINIUM  
FRAME COLOR: DARK GREY

**3B2**    **PRE-FINISHED WINDOW WALL  
GLASS SPANDREL PANEL**  
SPANDREL GLASS:  
GLASS COLOUR: DEEP BLUE  
FRAME TYPE: ALUMINIUM  
FRAME COLOR: DARK GREY

**3C1**    **PRE-FINISHED WINDOW WALL SYSTEM  
METAL PANEL / RAISED METAL PANEL**  
METAL TYPE: ALUMINIUM  
COLOUR: WHITE

**3C2**    **PRE-FINISHED WINDOW WALL SYSTEM  
METAL PANEL / RAISED METAL PANEL**  
METAL TYPE: ALUMINIUM  
COLOUR: DARK GREY

**3C3**    **PRE-FINISHED WINDOW WALL SYSTEM  
METAL PANEL / RAISED METAL PANEL**  
METAL TYPE: ALUMINIUM  
PATTERN: WOOD GRAIN

**4A1**    **CURTAIN WALL SYSTEM VISION PANEL**  
GLASS:  
GLASS COLOUR: CLEAR

**4B1**    **CURTAIN WALL SYSTEM WITH SHADOW BOX**

**5A**     **PREFINISHED METAL PANEL**  
METAL TYPE: ALUMINIUM  
COLOUR: WHITE

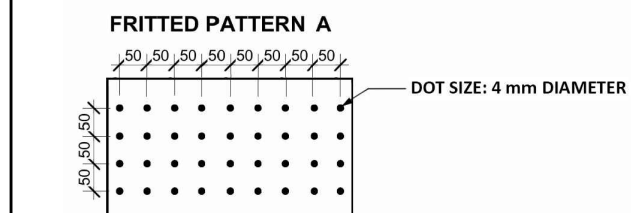
**7A**     **PREFINISHED METAL FIN - MULLION EXTENSION**  
METAL TYPE: ALUMINIUM  
COLOUR: DARK GREY

**8A**     **METAL CANOPY**  
METAL TYPE: ALUMINIUM  
COLOUR: DARK GREY

**9A**     **GLASS WITH DECORATIVE GRAPHICS**  
GRAPHIC: TO BE DETERMINED

**R1**     **BALCONY GLASS RAILING SYSTEM WITH  
SLAB EDGE COVER**

**R2**     **BALCONY GLASS RAILING SYSTEM WITHOUT  
SLAB EDGE COVER**



**Bird Safe Treatment Exterior Specification Checklist**

Applicant to include checklist on Elevation  
(Drawing(s)) at first site plan submission.  
Drawing(s) to be stamped and signed by an  
OAA member.

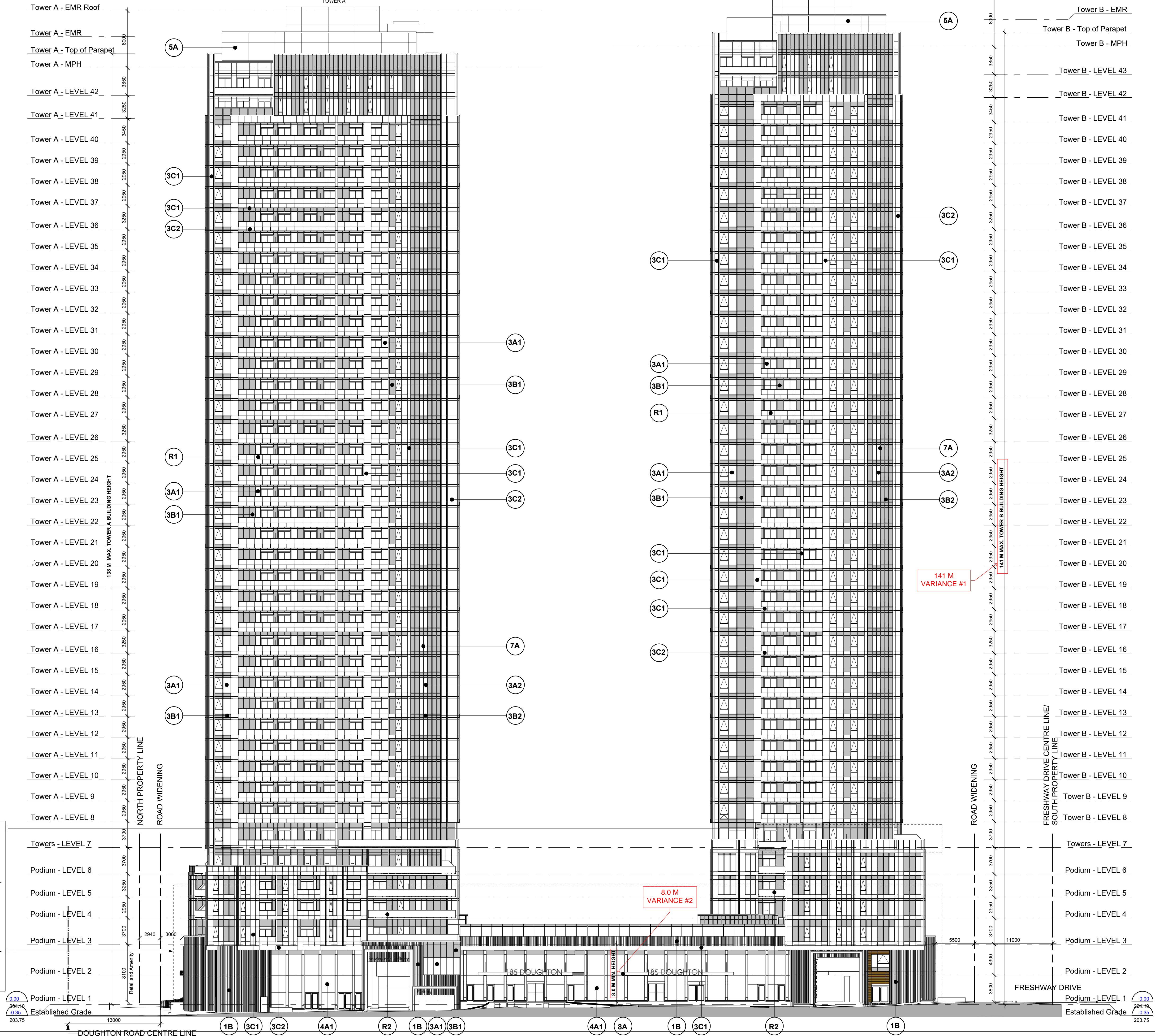
**Mandatory Primary Treatments for all site and draft plan applications.**

**At Grade Condition (check to confirm the below is applied)**

- ☒ Bird safe treatment(s) are applied on minimum 90% of contiguous glass panel area, and within 16m from finished grade or to the height of the adjacent mature tree canopy, whichever is greater.
- ☒ Treatments are applied to all glass panel areas that creates fly-through conditions and are adjacent to natural heritage features.
- ☒ Treatments are identified and redlined on the elevation drawing(s)

**Roof Landscape Condition (check to confirm the below is applied)**

- ☐ Development contains no glass panel within 16m from roof level finished grade.
- ☒ If glazing is adjacent to green roofs and/or rooftop vegetation, bird safe treatment is applied at a height of 4m from the surface of the green roof or the height of the adjacent mature vegetation, whichever is greater



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ARCHITECTS AND PLANNERS

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Revisions:		
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8	Minor OPA and Minor Variance	Feb. 27, 2025
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No.:	Issued For:	Date:

Client:  
**GB (Maplecrete) Limited Partnership**

**OP.21.008, Z.21.011 and 19T-21V003**  
**Maplecrete & Doughton, Vaughan**  
 Proposed Mixed-use Development

Drawing Title:  
**West Elevation**

Scale:  
1 : 250

---

Drawn by:  
MZ / TT

---

Checked by:  
DS

---

Project No.:  
21-101

---

Date:  
April. 16, 2025

---

Drawing No.:

## 4.2



**1A** **ARCHITECTURAL PRE-CAST CONCRETE PANEL**  
COLOUR: RES WHITE 2-F-W-S1  
FINISH: SANDBLAST

**3A1** **PRE-FINISHED WINDOW WALL VISION PANEL - 1**  
GLASS:  
GLASS COLOUR: CLEAR  
FRAME TYPE: ALUMINIUM  
FRAME COLOR: DARK GREY

**3A2** **PRE-FINISHED WINDOW WALL VISION PANEL - 2**  
GLASS:  
GLASS COLOUR: BLUE TINTED  
FRAME TYPE: ALUMINIUM  
FRAME COLOR: DARK GREY

**3B1** **PRE-FINISHED WINDOW WALL  
GLASS SPANDREL PANEL**  
SPANDREL GLASS:  
GLASS COLOUR: LIGHT BLUE  
FRAME TYPE: ALUMINIUM  
FRAME COLOR: DARK GREY

**3B2** **PRE-FINISHED WINDOW WALL**  
**GLASS SPANDREL PANEL**  
SPANDREL GLASS:  
GLASS COLOUR: DEEP BLUE  
FRAME TYPE: ALUMINIUM  
FRAME COLOUR: DARK GREY

**3C1** **PRE-FINISHED WINDOW WALL SYSTEM**  
**METAL PANEL / RAISED METAL PANEL**  
METAL TYPE: ALUMINIUM  
COLOUR: WHITE

**3C2** **PRE-FINISHED WINDOW WALL SYSTEM**  
**METAL PANEL / RAISED METAL PANEL**  
 METAL TYPE: ALUMINIUM  
 COLOUR: DARK GREY

**3C3** **PRE-FINISHED WINDOW WALL SYSTEM**  
**METAL PANEL / RAISED METAL PANEL**  
 METAL TYPE: ALUMINIUM  
 PATTERN: WOOD GRAIN

**4A1 CURTAIN WALL SYSTEM VISION PANEL**  
GLASS:  
GLASS COLOUR: CLEAR

**(4B1) CURTAIN WALL SYSTEM WITH SHADOW BOX**

**5A** **PREFINISHED METAL PANEL**  
METAL TYPE: ALUMINIUM  
COLOUR: WHITE

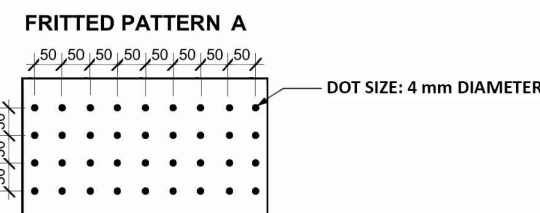
**7A** **PREFINISHED METAL FIN - MULLION EXTENSION**  
METAL TYPE: ALUMINIUM  
COLOUR: DARK GREY

**8A** **METAL CANOPY**  
METAL TYPE: ALUMINIUM  
COLOUR: DARK GREY

**9A GLASS WITH DECORATIVE GRAPHICS**  
GRAPHIC: TO BE DETERMINED

**R1 BALCONY GLASS RAILING SYSTEM WITH  
SLAB EDGE COVER**

**R2 BALCONY GLASS RAILING SYSTEM WITHOUT  
SLAB EDGE COVER**



**Bird Safe Treatment Exterior Specification Checklist**

Applicant to include checklist on Elevation  
Drawing(s) at first site plan submission.  
Drawing(s) to be stamped and signed by an  
OAA member.

**Mandatory Primary Treatments for all site and draft plan applications.**

**At Grade Condition (check to confirm the below is applied)**

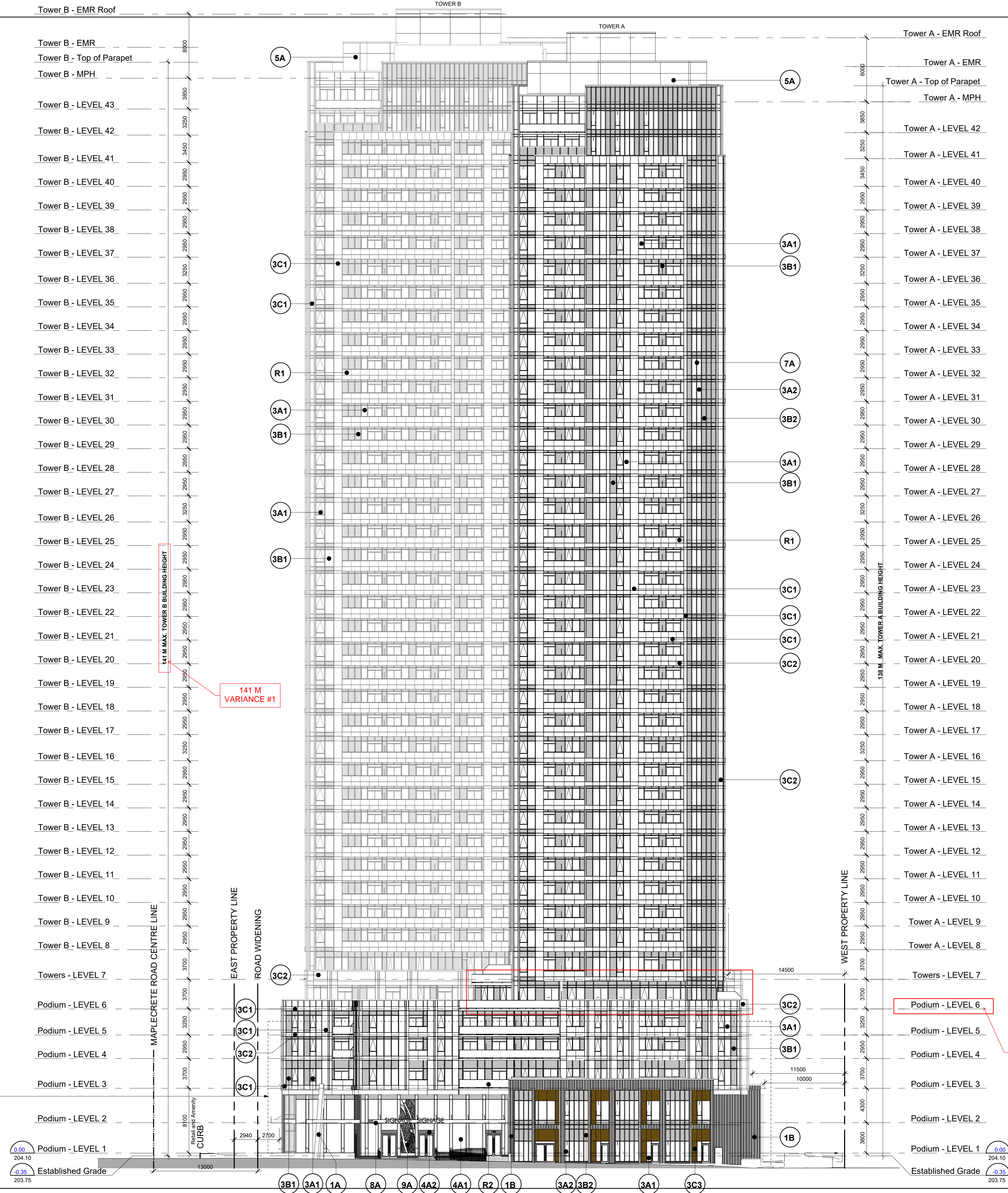
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- ☒ Bird safe treatment(s) are applied on minimum 90% of contiguous glass panel area, and within 16m from finished grade or to the height of the adjacent mature tree canopy, whichever is greater.
- ☒ Treatments are applied to all glass panel areas that creates fly through conditions and are adjacent to natural heritage features.
- ☒ Treatments are identified and redlined on the elevation drawing(s)

**Roof Landscape Conditions (check to confirm the below is applied)**

---

- ☐ Development contains no glass panel within 16m from roof level finished grade.
- ☒ If glazing is adjacent to green roofs and/or rooftop vegetation, bird safe treatment is applied at a height of 4m from the surface of the green roof or the height of the adjacent mature vegetation, whichever is greater.



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Client:  
**GB (Maplecrete) Limited Partnership**

**OP.21.008, Z.21.011 and 19T-21V003**  
**Maplecrete & Doughton, Vaughan**  
Proposed Mixed-use Development

Drawing Title:

**North Elevation**

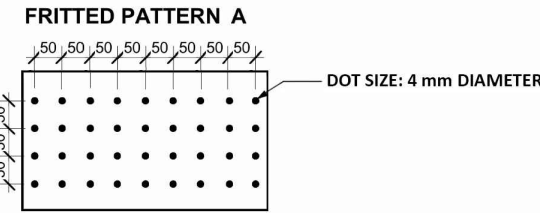
Scale: 1 : 250  
 Drawn by: \_\_\_\_\_  
 MZ / TT  
 Checked by: \_\_\_\_\_  
 DS  
 Project No.: \_\_\_\_\_  
 21-101  
 Date: \_\_\_\_\_  
 April. 16, 2025  
 Drawing No.: \_\_\_\_\_

## dA4.3

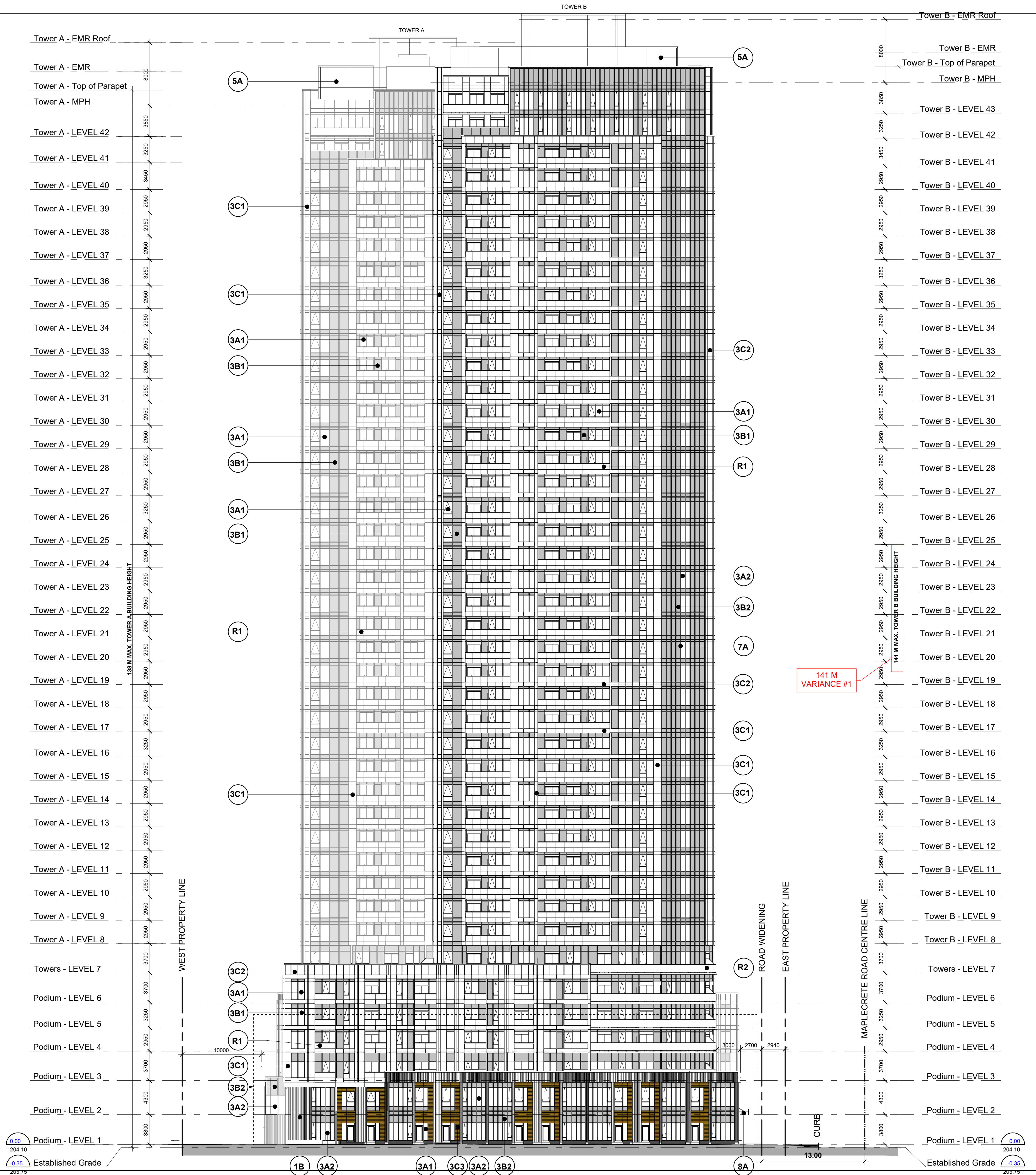


EXTERIOR FINISH LEGEND

- 1A ARCHITECTURAL PRE-CAST CONCRETE PANEL**  
COLOUR: RES WHITE 2-F-W-S1  
FINISH: SANDBLAST
- 1B ARCHITECTURAL PRE-CAST CONCRETE PANEL**  
COLOUR: RES WHITE 2-F-W-S1  
PATTERN: VERTICAL RIBS
- 3A1 PRE-FINISHED WINDOW WALL VISION PANEL - 1**  
GLASS:  
GLASS COLOUR: CLEAR  
FRAME TYPE: ALUMINIUM  
FRAME COLOR: DARK GREY
- 3A2 PRE-FINISHED WINDOW WALL VISION PANEL - 2**  
GLASS:  
GLASS COLOUR: BLUE TINTED  
FRAME TYPE: ALUMINIUM  
FRAME COLOR: DARK GREY
- 3B1 PRE-FINISHED WINDOW WALL GLASS SPANDREL PANEL**  
SPANDREL GLASS:  
GLASS COLOUR: LIGHT BLUE  
FRAME TYPE: ALUMINIUM  
FRAME COLOR: DARK GREY
- 3B2 PRE-FINISHED WINDOW WALL GLASS SPANDREL PANEL**  
SPANDREL GLASS:  
GLASS COLOUR: DEEP BLUE  
FRAME TYPE: ALUMINIUM  
FRAME COLOR: DARK GREY
- 3C1 PRE-FINISHED WINDOW WALL SYSTEM METAL PANEL / RAISED METAL PANEL**  
METAL TYPE: ALUMINIUM  
COLOUR: WHITE
- 3C2 PRE-FINISHED WINDOW WALL SYSTEM METAL PANEL / RAISED METAL PANEL**  
METAL TYPE: ALUMINIUM  
COLOUR: DARK GREY
- 3C3 PRE-FINISHED WINDOW WALL SYSTEM METAL PANEL / RAISED METAL PANEL**  
METAL TYPE: ALUMINIUM  
PATTERN: WOOD GRAIN
- 4A1 CURTAIN WALL SYSTEM VISION PANEL**  
GLASS:  
GLASS COLOUR: CLEAR
- 4B1 CURTAIN WALL SYSTEM WITH SHADOW BOX**
- 5A PREFINISHED METAL PANEL**  
METAL TYPE: ALUMINIUM  
COLOUR: WHITE
- 7A PREFINISHED METAL FIN - MULLION EXTENSION**  
METAL TYPE: ALUMINIUM  
COLOUR: DARK GREY
- 8A METAL CANOPY**  
METAL TYPE: ALUMINIUM  
COLOUR: DARK GREY
- 9A GLASS WITH DECORATIVE GRAPHICS**  
GRAPHIC: TO BE DETERMINED
- R1 BALCONY GLASS RAILING SYSTEM WITH SLAB EDGE COVER**
- R2 BALCONY GLASS RAILING SYSTEM WITHOUT SLAB EDGE COVER**



Bird Safe Treatment Exterior Specification Checklist	
Applicant to include checklist on Elevation Drawing(s) at first site plan submission. Drawing(s) to be stamped and signed by an OAA member.	
Mandatory Primary Treatments for all site and draft plan applications.	
At Grade Condition (check to confirm the below is applied)	
<input checked="" type="checkbox"/>	Bird safe treatment (s) are applied on minimum 90% of contiguous glass panel area, and within 16m from finished grade or to the height of the adjacent mature tree canopy, whichever is greater.
<input checked="" type="checkbox"/>	Treatments are applied to all glass panel areas that creates fly-through conditions and are adjacent to natural heritage features.
<input checked="" type="checkbox"/>	Treatments are identified and redlined on the elevation drawing(s)
Roof Landscape Conditions (check to confirm the below is applied)	
<input type="checkbox"/>	Development contains no glass panel within 16m from roof level finished grade.
<input checked="" type="checkbox"/>	If glazing is adjacent to green roofs and/or rooftop vegetation, bird safe treatment is applied at a height of 4m from the surface of the green roof or the height of the adjacent mature vegetation, whichever is greater



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No.:	Issued For:	Date:

Client:

**GB (Maplecrete) Limited Partnership**

**OP.21.008, Z.21.011 and 19T-21V003**  
**Maplecrete & Doughton, Vaughan**  
Proposed Mixed-use Development

Drawing Title:

**South Elevation**

Scale:  
1 : 250

Drawn by:  
MZ / TT

Checked by:  
DS

Project No.:  
21-101

Date:  
April. 16, 2025

Drawing No.:

dA4.4

SCHEDULE B:  
COMMENTS FROM AGENCIES, BUILDING STANDARDS &  
DEVELOPMENT PLANNING

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

**Date:** July 23<sup>rd</sup> 2025

**Attention:** **Gregory Seganfreddo**

**RE:** Request for Comments

**File No.:** **A029-25**

**Related Files:**

**Applicant:** KLM Planning Partners Inc

**Location** 185 Doughton Road



**COMMENTS:**

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

**References:**

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

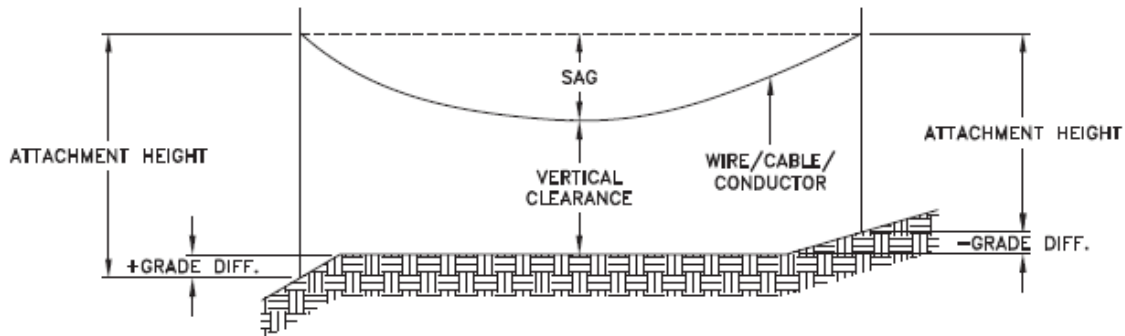
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alecrautilities.com](mailto:stephen.cranley@alecrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alecrautilities.com](mailto:Mitchell.Penner@alecrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 + GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

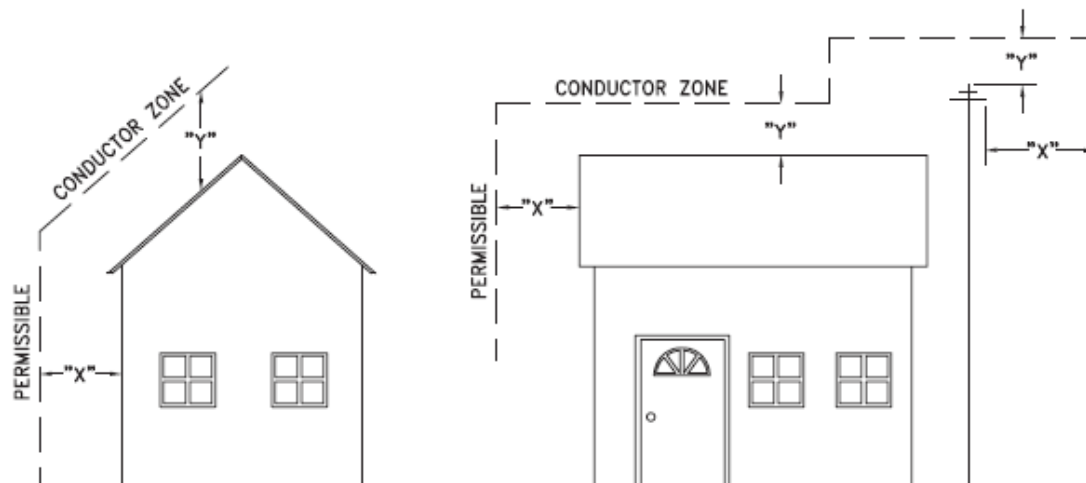
**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

### NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

## MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P.Eng. Approval By: D. Dadwani



**To:** Committee of Adjustment

**From:** Gregory Seganfreddo, Building Standards Department

**Date:** July 25th, 2025, Revised

**Applicant:** KLM Planning Partners Inc.

**Location:** 185 Doughton Road  
PLAN RP7977 Lot 23

**File No.(s):** A029/25

**Zoning Classification:**

The subject lands are zoned C9 (H), Corporate Centre Zone with a Holding Provision and subject to the provisions of Exception 9(1567) under Zoning By-law 1-88, as amended.

<b>Zoning By-law 1-88</b>		<b>Variance requested</b>
1	In accordance with Schedule "1716", the maximum building height for Tower B shall be <b>128 m (39 Storeys)</b> . [Exception 9(1567), ii) vii)]	To permit a maximum building height of <b>141 m (43 Storeys)</b> for Tower B and not in accordance with Schedule "1716".
2	The minimum building height shall be <b>10 m</b> [Schedule A2 to By-law 1-88]	To permit a minimum building height of <b>8.0 m</b> (for the 2-storey portion of the podium).
3	In accordance with Schedule "1716" the maximum tower podium height for the Podium (North) shall be <b>5-Storeys</b> . [Exception 9(1567), ii) vii)]	To permit a maximum a maximum tower podium height of <b>6-Storeys</b> for the Podium (north) and not in accordance with Schedule "1716".
4	The maximum gross floor area of any storey within a tower shall be: Tower B - <b>799 m<sup>2</sup></b> - Levels 10 to 37 - <b>776 m<sup>2</sup></b> – Levels 38 to 39. [Exception 9(1567), ii) iii)]	To permit the maximum gross floor area of any storey within a tower for Tower B to be: - <b>799m<sup>2</sup></b> – Levels 8-41 - <b>776 m<sup>2</sup></b> - Levels 42 to 43.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2

**Other Comments:**

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

### **Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

August 6, 2025.

PAR-DPP-2025-00869

**SENT BY E-MAIL: Christine.Vigneault@vaughan.ca**

Christine Vigneault  
Secretary Treasurer  
Committee of Adjustment  
City of Vaughan  
2141 Major Mackenzie Drive  
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A029/25  
Part of Lot 5, Concession 4  
185 Doughton and 108 – 112 Maplecrete Road  
City of Vaughan, Regional Municipality of York  
Applicant: KLM Planning Partners Inc.**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on July 23, 2025. TRCA staff have reviewed the application and offer the following comments for the consideration of the Committee of Adjustment.

### **Purpose of the Application**

It is our understanding that the purpose of the above noted application is to request the following variance under By-law 1-88, as amended:

By-Law 1-88:

- To permit a maximum building height of 138.0 m (43 storeys) for Tower B and not in accordance with Schedule “1716”, and;
- To permit a minimum building height of **8.0 m** (for the 2-storey portion of the podium).

It is the understanding of TRCA staff that the noted variances are required to facilitate design changes associated with application, including a reduction in the proposed podium height from 6-storeys to 2-storeys and an increase in Tower B height from 39-storeys to 43-storeys.

### **Conservation Authorities Act – Section 28**

A small portion of the site is within TRCA’s Regulated Area due to a Regional Storm Floodplain associated with Black Creek which is located to the west of the subject property. As such, a TRCA permit pursuant to Section 28 of the Conservation Authorities Act is required for any development and site alteration within TRCA’s Regulated Area. Further details regarding TRCA’s permitting requirements have been provided in Appendix A for the proponent’s reference.

### **Application-Specific Comments**

TRCA staff were involved in the review of Draft Plan of Subdivision 19T-21V003, Official Plan Amendment Application OP.21.008, Zoning By-law Amendment Application Z.21.011, Site Development Application DA.22.072, and Minor Variance Application A055/24. Through TRCA's review of the above noted applications, TRCA provided a no objection correspondence to the approval of the Draft Plan of Subdivision, Official Plan Amendment, and Zoning By-law Amendment on March 3, 2023, to the approval of Site Development Application on June 30, 2023 and to the approval of Minor Variance Application A055/24 on May 22, 2024.

The materials submitted as part of this application propose changes in design from the originally submitted materials associated with the above noted planning applications. Design changes associated with application include a reduction in the proposed podium height from 6-storeys to 2-storeys, an increase in Tower B height from 39-storeys to 43-storeys, and the reconfiguration of the existing towers. TRCA staff are cognizant of the fact that the previously approved development limits and setbacks remain, and no additional site alteration is proposed.

Given the above, TRCA staff have no objection to the requested variance.

### **Fees**

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$1,250.00 (Minor Variance – Industrial / Commercial / Subdivision / Institutional - Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

### **Recommendations**

Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A029/25 subject to the following conditions:

1. That the applicant provides the required fee amount of \$1,250.00 payable to the Toronto and Region Conservation Authority.
2. That the applicant obtains a permit for the proposed works pursuant to Conservation Authorities Act - Section 28.

We trust these comments are of assistance. Should you have any questions, please contact Cameron McDonald, Planner I at 437-880-1925 or at [cameron.mcdonald@trca.ca](mailto:cameron.mcdonald@trca.ca).

Sincerely,

*Cameron McDonald*

Cameron McDonald  
Planner I

Development Planning and Permits | Development and Engineering Services  
[cameron.mcdonald@trca.ca](mailto:cameron.mcdonald@trca.ca), 437-880-1925

## **Appendix 'A': TRCA Permit Application Requirements**

In order to initiate the permit review process, the following materials must be provided to TRCA:

1. Complete Permit Application pursuant to Section 28.1 of the Conservation Authorities Act. The application can be downloaded from the following website: <https://trcaca.s3.ca-central-1.amazonaws.com/app/uploads/2024/05/13102126/FA-TRCA-Development-Permit-Application-Form-UPDATED-May8-2024.pdf>
2. A digital copy of the following finalized plans/drawings are required:
  - Updated SWM report with cooling tower reuse details.
  - Civil Engineering Drawings – Site grading, site servicing, erosion and sediment controls, associated details.
3. Permit review fee of \$7,380 (Works on Subdivision Lands, Commercial, Industrial and Institutional Properties – Minor Projects).

**From:** [Development Services](#)  
**To:** [Committee of Adjustment Mailbox](#)  
**Subject:** [External] RE: A029/25 - 185 DOUGHTON ROAD - REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** July-24-25 3:54:03 PM  
**Attachments:** [image001.png](#)

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**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good afternoon,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Regards,

**Gabrielle Hurst MCIP, RPP**

Associate Planner, Development Planning, Economic and Development Services Branch  
Corporate Services Department

---

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 8V3

**O:** 905-830-4444 ext. 71538 | [developmentservices@york.ca](mailto:developmentservices@york.ca) |

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For more information check us out at [www.york.ca/developmentservices](http://www.york.ca/developmentservices)

**SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE**

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			03/05/2025	Application Cover Letter





64 JARDIN DRIVE, UNIT 1B  
CONCORD, ONTARIO L4K 3P3

T 905.669.4055  
KLMPLANNING.COM

KLM file: P-3298

March 5, 2025

City of Vaughan - City Hall  
Office of the City Clerk – Committee of Adjustment  
2141 Major Mackenzie Dr.  
Vaughan, ON  
L6A 1T1

**Attention: Christine Vigneault, Secretary Treasurer**

**Re: Application for Minor Variance**  
**Applicant: GB (Maplecrete) Limited Partnership**  
**Address: 185 Doughton Road and 108-112 Maplecrete Road**  
**Location: Southwest Corner of Maplecrete Road and Doughton Road**  
**Vaughan Metropolitan Centre, City of Vaughan, Region of York**  
**Related Files: DA.22.072, OP.21.008, Z.21.011, 19T-21V003**

Dear Ms. Vigneault,

KLM Planning Partners Inc. is the land use planning firm retained on behalf of our client, GB (Maplecrete) Limited Partnership, owner of the 0.83 ha (2 ac) lands located at the southwest corner of Doughton Road and Maplecrete Road and municipally known as 185 Doughton Road and 108-112 Maplecrete Road in the Vaughan Metropolitan Centre ("VMC"), City of Vaughan, Region of York. On behalf of our client, we are pleased to submit the enclosed materials in support of a Minor Variance Application to the Committee of Adjustment to amend site-specific zoning Exception 9(1567) of the former City-wide Zoning By-law 1-88, specifically the C9 ("H") Corporate Centre Zone with the Holding Symbol "H" as amended by By-law's 097-2023 and 129-2023, and subject to the transition provisions contained in Comprehensive Zoning By-law 001-2021.

OPA #103 was adopted by City of Vaughan Council on June 20, 2023, and is in full force and effect. The purpose of the OPA was to amend the Neighbourhood Precinct provisions of the Official Plan of the Vaughan Planning Area, specifically Volume 2, Section 11.12 Vaughan Metropolitan Centre Secondary Plan to facilitate a residential mixed-use development on the Subject Lands. In addition, Council enacted By-law 097-2023, which is in full force and effect, and rezoned the Subject Lands to "C9 ("H") Corporate Centre Zone" with the Holding Symbol ("H") with site-specific provisions under Exception 9(1567). The City later enacted an administrative correction By-law 129-2023 on September 26, 2023 to correct an inadvertent reference to the Exception Schedule from E-1699 to E-1716, which is also in full force and effect. The Official Plan and Zoning By-law Amendments would permit a northerly 42-storey (Tower A) and southerly 39-storey (Tower B) residential towers and a 6-storey mixed-use podium having a total maximum Floor Space Index (FSI) of 7.73 times the area of the lot.

Given the current market conditions, our client is required to make minor design changes to the proposed development through creating a two-phased development. The intent is to ensure that the amenity and parking requirements can be satisfied on a per phase basis, with the overall site GFA and

FSI to remain the same in accordance with the zoning permissions on the site. We are proposing lowering the podium height from 6-storeys to 2-storeys and redistributing the four storeys from the podium to Tower 'B' to facilitate an increase from the approved 39-storeys to the proposed 43-storeys. The Owner has also submitted a related Site Plan Application (File DA.22.072) which is in progress and will be revised to reflect the revisions proposed through this Minor Variance application and the concurrent Minor Official Plan Amendment. A revised site plan and site statistics are being provided with the Minor Variance Application identifying the revised site development details in support of this application.

## **1.0 Requested Relief**

The requested variances are as follows:

1. To permit a maximum tower height of 43-storeys for Tower 'B' whereas the approved zoning under Zoning By-law 097-2023 permits a maximum tower height of 39-storeys; and,
2. To permit a maximum residential tower floor plate size for Tower 'B' of 799 m<sup>2</sup> for Levels 10 to 41, and 776 m<sup>2</sup> for Levels 42 to 43, whereas the approved zoning under Zoning By-law 097-2023 only prescribes maximum heights for Tower 'B' for up to 39-storeys.

## **2.0 Minor Variance Test Discussion**

This section will summarize how the requested variance meets the four tests of a Minor Variance, set out by Section 45(1) of the Planning Act.

### **1. Is the Application consistent with the general intent and purpose of the Official Plan?**

The Official Plan policies manage how the City grows and develops. The Official Plan guides where and how housing, industry, offices and shops are located and developed, as well as the infrastructure required to support a growing City. The Subject Lands are located within the Vaughan Metropolitan Centre Secondary Plan ("VMCSP") within the City of Vaughan Official Plan. As *per Schedule F - Land Use Precincts*, the Subject Lands are designated '*Neighbourhood Precincts*'. The intent of the '*Neighbourhood Precincts*' designation is development with primarily residential uses, complemented by community amenities such as schools, parks, community centres and daycare facilities as required, and retail and service commercial uses. The proposed development provides retail and residential uses on the lands with indoor and outdoor amenity space. An application for a Minor Official Plan Amendment is concurrently being submitted to permit a maximum height of 43-storeys for Tower 'B'. The proposed increase in tower height for Tower 'B' is in keeping with the intent and purpose of the Official Plan and VMCSP by supplying housing to a growing City within an area where Vaughan Council has made a decision that the next VMC Secondary Plan Update does not include prescribed maximum heights and densities. Furthermore, approval of the requested variance will facilitate the efficient delivery of housing units on lands that are currently contemplated for residential development by the Official Plan. Therefore, the proposed variance is consistent with the general intent and purpose of the proposed site-specific minor amendment to the City of Vaughan Official Plan should it be approved by Vaughan Council and come into full force and effect.

### **2. Is the Application consistent with the general intent and purpose of the Zoning By-law?**

The City of Vaughan Zoning By-law regulates what land uses and building types are permitted on properties within the City. The intent of the provision in the site-specific Zoning By-law is to permit the development of two residential mixed-use towers with a regulated permitted height. Amending the Zoning By-law through this Minor Variance Application to introduce a new maximum permitted

height for Tower 'B' of 43-storeys is consistent with the general intent and purpose of the approved Zoning By-law 097-2023 as it is a minor change which does not impact the overall FSI as the 4-storeys added to Tower 'B' are transferred from the lowering of the podium. Allowing for the minor increase in permitted height for Tower 'B' would support the City in providing housing to a growing population, particularly in the downtown core through facilitating development in the VMC.

### **3. Is the Application an appropriate and desirable use of the land?**

The requested Minor Variance is an appropriate and desirable use of land as it does not change the approved maximum FSI, the existing approved land use, or the site statistics for the overall building design. Only the heights of the podium and Tower 'B' are proposed to be changed to facilitate a development that can be phased due to the market conditions. The approved zoning has been supported by various technical reports submitted under approved File Z.21.011 as well as through a detailed review and analysis of Provincial and Municipal land use policies. The lands are located within the Vaughan Metropolitan Centre which is the City's downtown core. The City's vision for this downtown is that it continues to grow as a vibrant, modern urban centre for residents and businesses. The variance to the approved zoning with an increase in Tower 'B' height by 4-storeys supports the City's goals by providing additional housing to facilitate a growing and vibrant downtown.

### **4. Is the Application minor in nature?**

The requested variance is minor in nature and will make only minor adjustments to the development standards of the current approved zoning on the Subject Lands. There will be no change to the approved FSI of 7.73. The redistribution of the 4-storeys from the podium to Tower 'B' is a minor revision to the overall development and will not have a negative impact on the proposal. The variance to permit a maximum residential tower floor plate size for Tower 'B' of 799 m<sup>2</sup> for Levels 10 to 41, and 776 m<sup>2</sup> for Levels 42 to 43, does not change the permitted floor plate size under the approved zoning, the amendment is simply technical to capture the additional storeys within the permissions. Allowing for the minor alterations to the zoning would facilitate the build out of a quality residential mixed-use development that functions properly and will not cause any undo impacts on adjacent lands or associated public realm.

## **3.0 Conclusion**

It is for the above reasons that KLM Planning Partners Inc. is of the professional planning opinion that the requested variance is consistent with the general intent and purpose of the Official Plan and the Zoning By-law, is desirable for the appropriate development of the lands, and is minor in nature. Furthermore, it is not anticipated that the proposed Minor Variance will have any adverse impacts to municipal servicing, traffic, parking, amenity space, or upon any abutting lands and will assist with providing housing in a growing City and downtown core. It is for these reasons that we believe the proposed minor variance represents good land use planning in the public interest.

In support of this Minor Variance Application, please find enclosed:

1. Cover Letter prepared by KLM Planning Partners Inc. dated March 5, 2025;
2. Authorization Form;
3. Authorizing Statements;
4. Sworn Declaration Form;
5. Tree Declaration Form;

6. Variance Chart;
7. Structure Size Chart;
8. Structure Setback Chart;
9. Site Statistics prepared by Kirkor Architects and Planners dated February 27, 2025;
10. DA 1-3 Site Plan prepared by Kirkor Architects and Planners dated February 27, 2025;
11. DA 4-1 East Elevation prepared by Kirkor Architects and Planners dated February 27, 2025;
12. DA 4-2 West Elevation prepared by Kirkor Architects and Planners dated February 27, 2025;
13. DA 4-3 North Elevation prepared by Kirkor Architects and Planners dated February 27, 2025;
14. DA 4-4 South Elevation prepared by Kirkor Architects and Planners dated February 27, 2025; and,
15. Scan of the Minor Variance Submission Cheque.

We trust that the above materials are in order. Should you have any questions with respect to the enclosed, please do not hesitate to contact the undersigned. We look forward to working with the City of Vaughan and all other applicable external public agencies with regard to the processing and approval of the Minor Variance Application.

Yours truly,

**KLM PLANNING PARTNERS INC.**



Lauren Dynes, BURPI  
Senior Planner

Copy to: Alireza Khosrowshahi, Melrose Investments Inc.  
Kirill Blotskii, Melrose Investments Inc.  
Billy Tung, Partner, KLM Planning Partners Inc.

SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
A055/24	Approved by COA on June 20, 2024

**NOTICE OF DECISION**  
**MINOR VARIANCE APPLICATION A055/24**  
Section 45 of the Planning Act, R.S.O. 1990, c.P.13

<b>DATE OF HEARING:</b>	Thursday, June 20, 2024
<b>APPLICANT:</b>	GB (Maplecrete) Limited Partnership
<b>AGENT:</b>	KLM Planning Partners Inc.
<b>PROPERTY:</b>	185 Doughton Road & 108, 110 & 112 Maplecrete Road
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010, Volume 2, VM CSP: "Neighbourhood Precinct"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	DA.22.072
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit a maximum of 1127 dwelling units including 7 live-work units and 9 podium townhouse units on the subject lands and to facilitate related Site Plan Application DA.22.072.

The following variances are being requested from the City's Zoning By-law:

The subject lands are zoned **C9 (H), Corporate Centre Zone with a Holding Provision** and subject to the provisions of **Exception 9(1567) under Zoning By-law 1-88, as amended.**

Zoning By-law 1-88	Variance requested
The maximum number of dwelling units shall not exceed 1082 units, including 7 live-work units and 9 podium townhouse units. [Exception 9(1567) v.]	To permit a maximum of 1127 dwelling units including 7 live-work units and 9 podium townhouse units.

Having regard to the requirements of **Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended**, including the written and oral submissions related to the application, it is the **decision of the Committee:**

THAT Application No. **A055/24** for 185 Doughton Rd Concord ON be **APPROVED**, in accordance with the drawings and plans submitted with the application and subject to the following conditions:

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval " <b>if required</b> ". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency ( <b>see condition chart below for contact</b> ). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.		
1	TRCA <a href="mailto:Kristen.Regier@trca.ca">Kristen.Regier@trca.ca</a>	1. That the applicant provides the required fee amount of \$1,250.00 payable to the Toronto and Region Conservation Authority. 2. That the applicant obtains a permit for the proposed works pursuant to Conservation Authorities Act - Section 28.

**REASONS:**

This application is approved, as it is the opinion of the Committee that, with the above noted conditions of approval, this application meets all four tests under Section 45(1) of the Planning Act:

- 1. The general intent and purpose of the by-law will be maintained.
- 2. The general intent and purpose of the official plan will be maintained.
- 3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- 4. The requested variance(s) is/are minor in nature.

**PUBLIC WRITTEN & ORAL SUBMISSIONS**

Public correspondence considered by the Committee of Adjustment in the making of this decision.

**WRITTEN SUBMISSIONS:**

Name	Address	Date Received (mm/dd/yyyy)	Summary
None			

**ORAL SUBMISSIONS:**

Name	Address	Submission (Hearing) Date (mm/dd/yyyy)	Summary
None			

In accordance with Procedural By-law 069-2019, public written submissions on an Application shall only be received by the Secretary Treasurer until **noon** on the last business day prior to the day of the scheduled Meeting.

**WRITTEN SUBMISSIONS RECEIVED PAST DEADLINE:**

Name	Address	Date Received (mm/dd/yyyy)	Summary
None			

IMPORTANT INFORMATION
<p>Making any changes to your proposal/development after a decision has been made may impact the validity of the Committee's decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings attached to this decision.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.</p>



MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

<i>J. Kalpin</i>	<i>A. Perrella</i>	<i>M. Milunsky</i>
J. Kalpin Member	A. Perrella Chair	M. Milunsky Member
<i>S. Kerwin</i>		<i>B. Bell</i>
S. Kerwin Vice Chair		B. Bell Member

DATE OF HEARING:	June 20, 2024
DATE OF NOTICE:	June 27, 2024
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	July 10, 2024 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan’s Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.  <i>Christine Vigneault</i> Christine Vigneault Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

Appealing to The Ontario Land Tribunal  
The Planning Act, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or a **specified person** or public body that has an interest in the matter may within 20 days of the making of the decision appeal to the Tribunal against the decision of the committee by filing with the secretary-treasurer of the committee a notice of appeal setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the secretary-treasurer of the fee charged by the Tribunal as payable on an appeal from a committee of adjustment to the Tribunal.

When **no appeal is lodged** within twenty days after the giving of notice the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

Please email and courier all appeals and prescribed fees to:

Office of the City Clerk - Committee of Adjustment  
2141 Major Mackenzie Drive  
Vaughan Ontario, L6A 1T1  
[cofa@vaughan.ca](mailto:cofa@vaughan.ca)

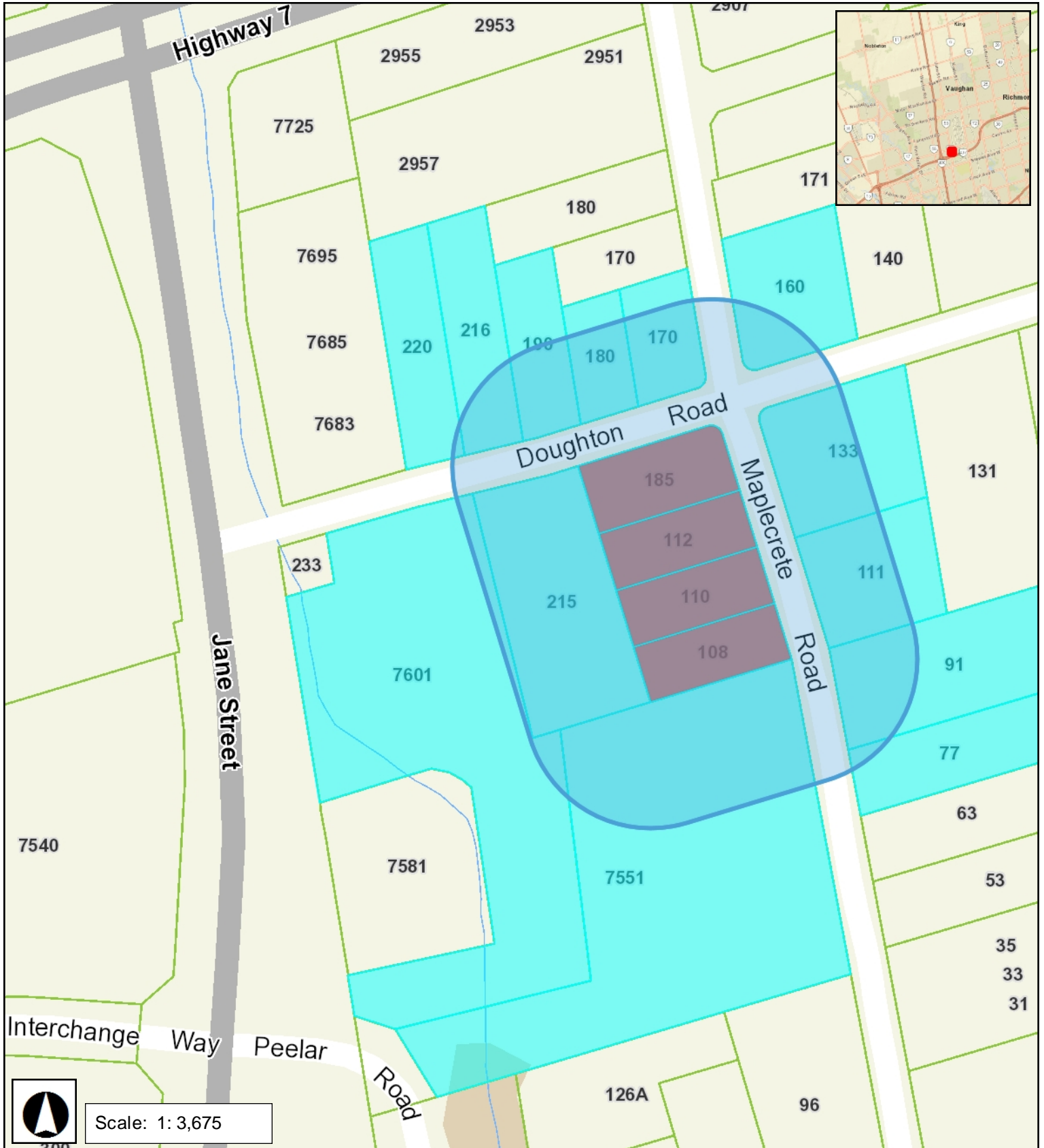
If you have questions regarding the appeal process, please email [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

Appeal Fees & Forms

**ONTARIO LAND TRIBUNAL (OLT):** The OLT appeal fee is \$400 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The OLT Appeal Fee must be paid by certified cheque or money order payable to the “Minister of Finance”. OLT appeals must be filed with the Secretary Treasurer, City of Vaughan.

**City of Vaughan OLT Processing Fee:** [See Fee Schedule](#)

\*Please note that all fees are subject to change.





RECEIVED  
By Prabhdeep Kaur at 2:25 pm, Apr 02, 2024

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Toronto, ON M3J 0H1

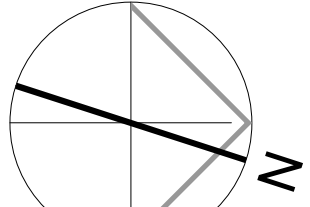
No.:	Revision:	Date:

6	Minor Variance	Mar. 13, 2024
5	OPA, ZBA, Subdivision and SPA	May. 26, 2023
4	OPA, ZBA and Subdivision	Mar. 17, 2023
3	OPA, ZBA and Subdivision	Feb. 16, 2023
2	OPA, ZBA, Subdivision and SPA	Dec. 9, 2022
1	OPA, ZBA and Subdivision	Jun. 23, 2022
No.:	Issued For:	Date:

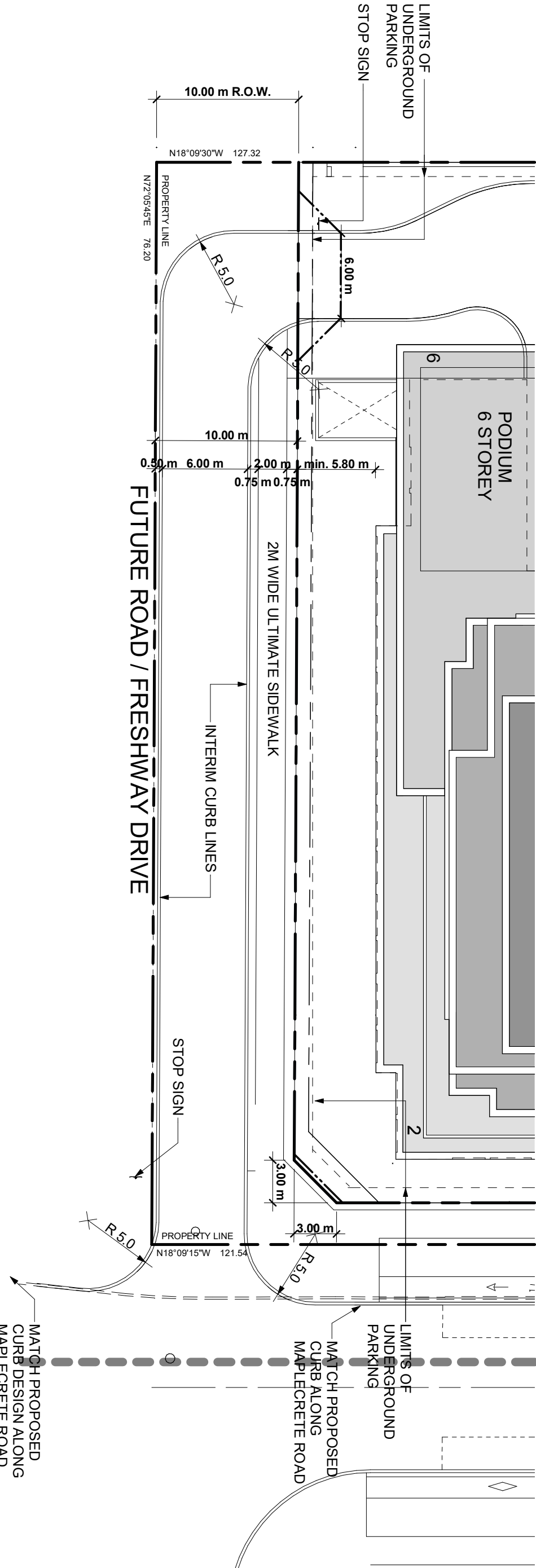
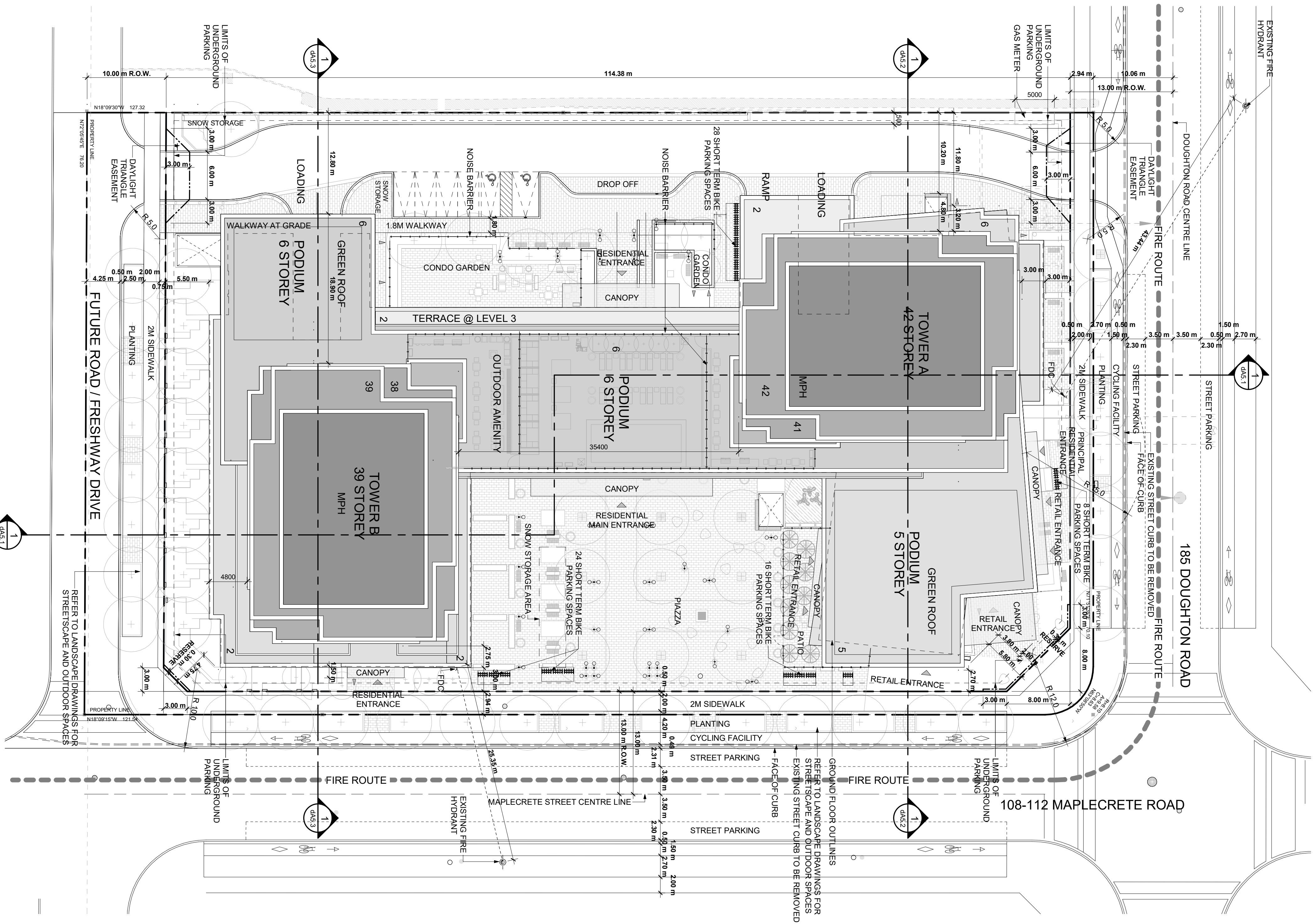
Client:  
**GB (Maplecrore) Limited Partnership**  
**OP 21.008, Z.21.011 and 19T-21V003**  
**Maplecrore & Doughton, Vaughan**  
Proposed Mass-Use Development

## Site Plan

Scale: 1 : 300  
Drawn by: MZ/JH  
Checked by: DS  
Project No.: 21-101  
Date: Mar. 13, 2024  
Drawing No.: daA1.3



Zoning By-law 1-88	Variance requested
The maximum number of dwelling units shall not exceed 1082 units, including 7 live-work units and 9 podium townhouse units. [Exception 9(1567) v.]	To permit a maximum of 1127 dwelling units including 7 live-work units and 9 podium townhouse units.



## 1 Site Plan - Ultimate Condition

Scale: 1 : 300

## 2 Site Plan - Interim Condition

Scale: 1 : 300



EXTERIOR FINISH LEGEND

- 1A

ARCHITECTURAL PRE-CAST CONCRETE PANEL  
COLOUR: RES WHITE 2-F-W-S1  
FINISH: SANDBLAST
- 1B

ARCHITECTURAL PRE-CAST CONCRETE PANEL  
COLOUR: RES WHITE 2-F-W-S1  
PATTERN: VERTICAL RIBS
- 3A1

PRE-FINISHED WINDOW WALL VISION PANEL - 1  
GLASS  
FRAME TYPE: ALUMINIUM  
COATING:
- 3A2

PRE-FINISHED WINDOW WALL VISION PANEL - 2  
GLASS COLOUR: BLUE TINTED  
FRAME TYPE: ALUMINIUM  
COATING:
- 3B1

PRE-FINISHED WINDOW WALL  
GLASS SPANDREL PANEL  
SPANDREL GLASS:  
GLASS COLOUR: CLEAR  
FRAME TYPE: ALUMINIUM  
COATING: A
- 3B2

PRE-FINISHED WINDOW WALL  
GLASS SPANDREL PANEL  
SPANDREL GLASS:  
GLASS COLOUR: CLEAR  
FRAME TYPE: ALUMINIUM  
COATING: B
- 3C1

PRE-FINISHED WINDOW WALL SYSTEM  
METAL PANEL / RAISED METAL PANEL  
METAL TYPE: ALUMINIUM  
COLOUR: DARK GREY
- 3C2

PRE-FINISHED WINDOW WALL SYSTEM  
METAL PANEL / RAISED METAL PANEL  
METAL TYPE: ALUMINIUM  
COLOUR: DARK GREY
- 3C3

PRE-FINISHED WINDOW WALL SYSTEM  
METAL PANEL / RAISED METAL PANEL  
METAL TYPE: ALUMINIUM  
PATTERN: WOOD GRAIN
- 4A1

CURTAIN WALL SYSTEM VISION PANEL  
GLASS COLOUR: CLEAR
- 4B1

CURTAIN WALL SYSTEM WITH SHADOW BOX
- 5A

PRE-FINISHED METAL PANEL  
METAL TYPE: ALUMINIUM  
COLOUR: WHITE
- 5B

PRE-FINISHED METAL PANEL  
METAL TYPE: ALUMINIUM  
COLOUR: DARK GREY
- 6A

PREFABRICATE CLADDING  
COLOUR: WHITE  
PATTERN:
- 7A

PREFINISHED METAL FIN - MULLION EXTENSION  
METAL TYPE: ALUMINIUM  
COLOUR: DARK GREY
- 8A

METAL CANOPY  
METAL TYPE: ALUMINIUM  
COLOUR: DARK GREY
- 9A

GLASS WITH DECORATIVE GRAPHICS  
GRAPHIC: TO BE DETERMINED
- R1

BALCONY GLASS RAILING SYSTEM WITH  
SLAB EDGE COVER
- R2

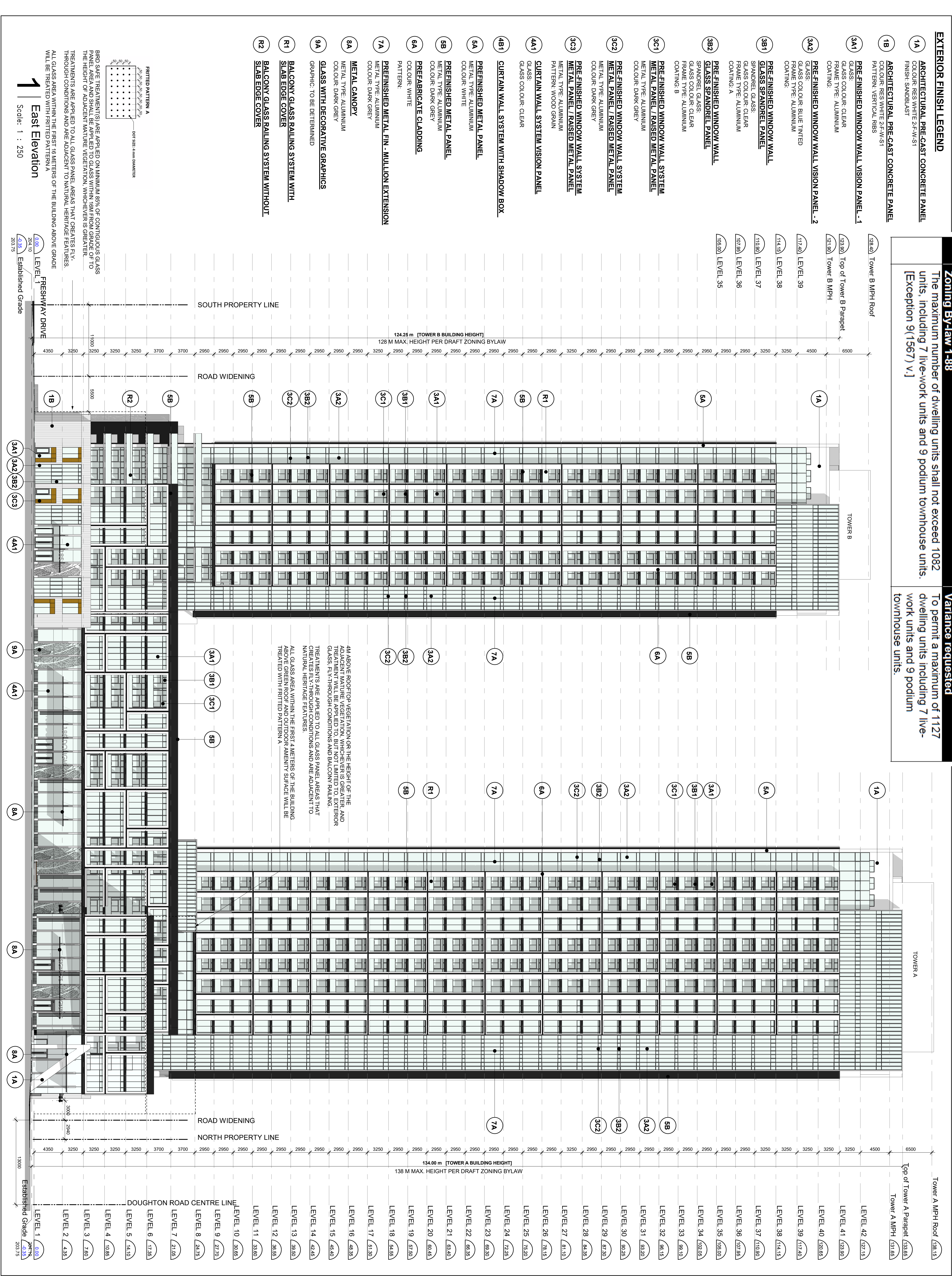
BALCONY GLASS RAILING SYSTEM WITHOUT  
SLAB EDGE COVER

Zoning By-law 1-88

The maximum number of dwelling units shall not exceed 1082 units, including 7 live-work units and 9 podium townhouse units. [Exception 9(1567) v.]

Variance requested

To permit a maximum of 1127 dwelling units including 7 live-work units and 9 podium townhouse units.



Authorizes Having Jurisdiction

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No.	Revision	Date
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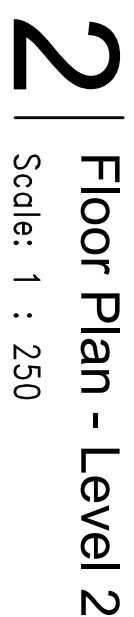
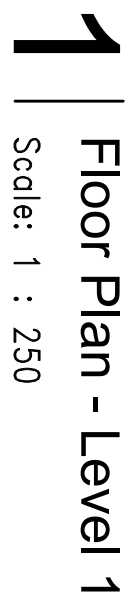
Client  
GB (Maplecrete) Limited Partnership  
OP 21.008, Z 21.011 and 197-21V003  
Maplecrete & Doughton, Vaughan  
Proposed Maplecrete Development

East Elevation

Scale:	1 : 250
Drawn by:	MZ / JH / HN
Checked by:	DS
Project No.:	21-101
Date:	Mar. 14, 2024
Drawing No.:	dA4.1

dA4.1





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ARCHITECTS AND PLANNERS

Date: \_\_\_\_\_

Client

Proposed Mixed-use Development

**Drawing Title:**

Drawing No.:

## da2.3



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By Christine Vigneault at 4:48 pm, Apr 17, 2024

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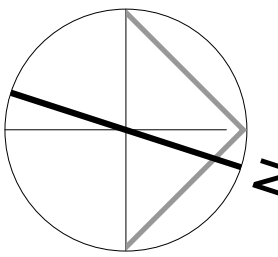
No.:	Revision:	Date:	Revisions:

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No.:	Issued For:	Date:

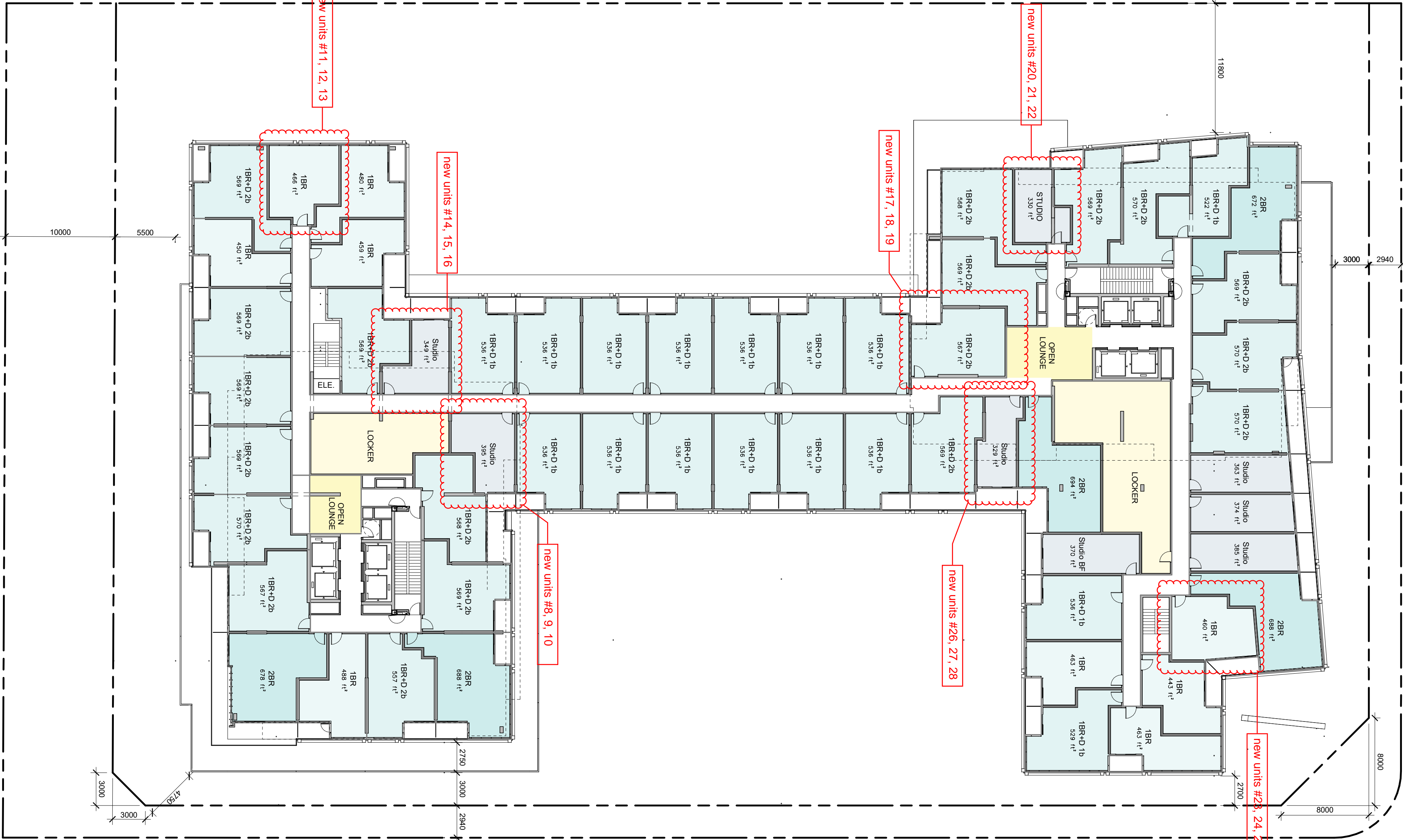
Client:  
GB (Maplecre) Limited Partnership  
OP 21.008, Z.21.011 and 191-21V003  
Maplecre & Doughton, Vaughan  
Proposed Macleodside Development

Drawing Title:  
Level 3 - 5 and Level 6  
Floor Plans

Scale:	1 : 250
Drawn by:	MZ / JH
Checked by:	DS
Project No.:	21-101
Date:	Mar. 29, 2024
Drawing No.:	

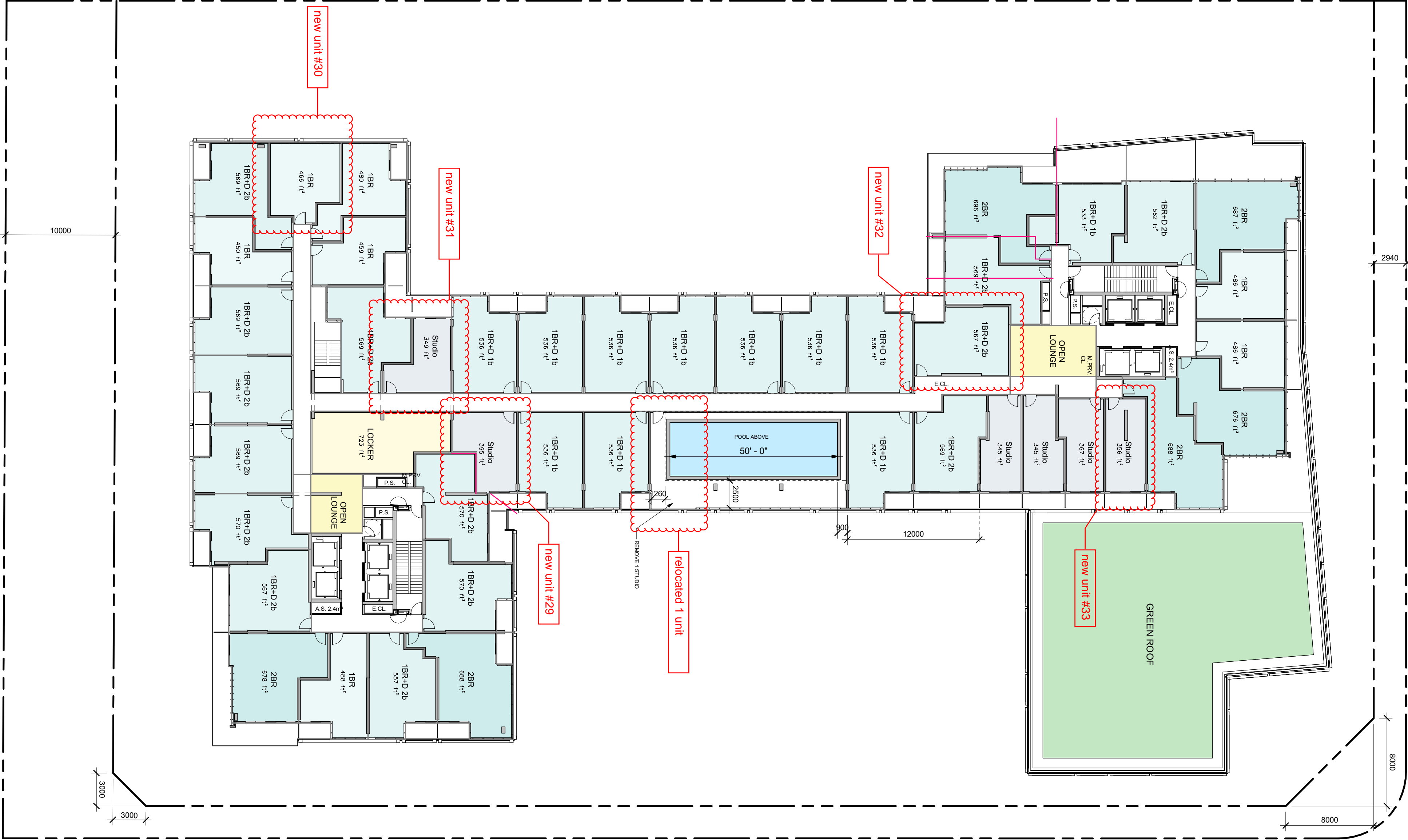


da2.4



1 Floor Plan - Level 3 - 5

Scale: 1 : 250



2 Floor Plan - Level 6

Scale: 1 : 250

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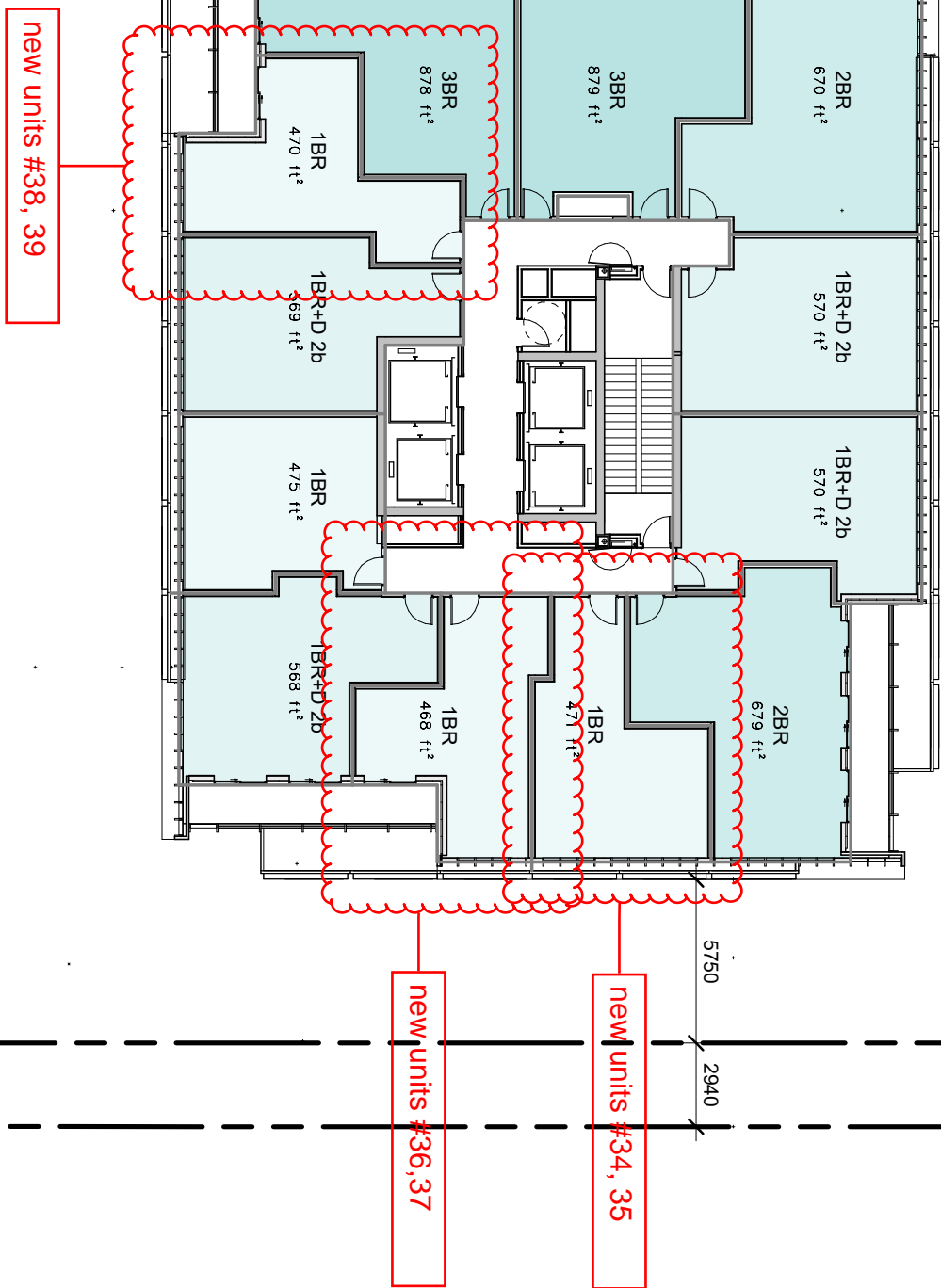
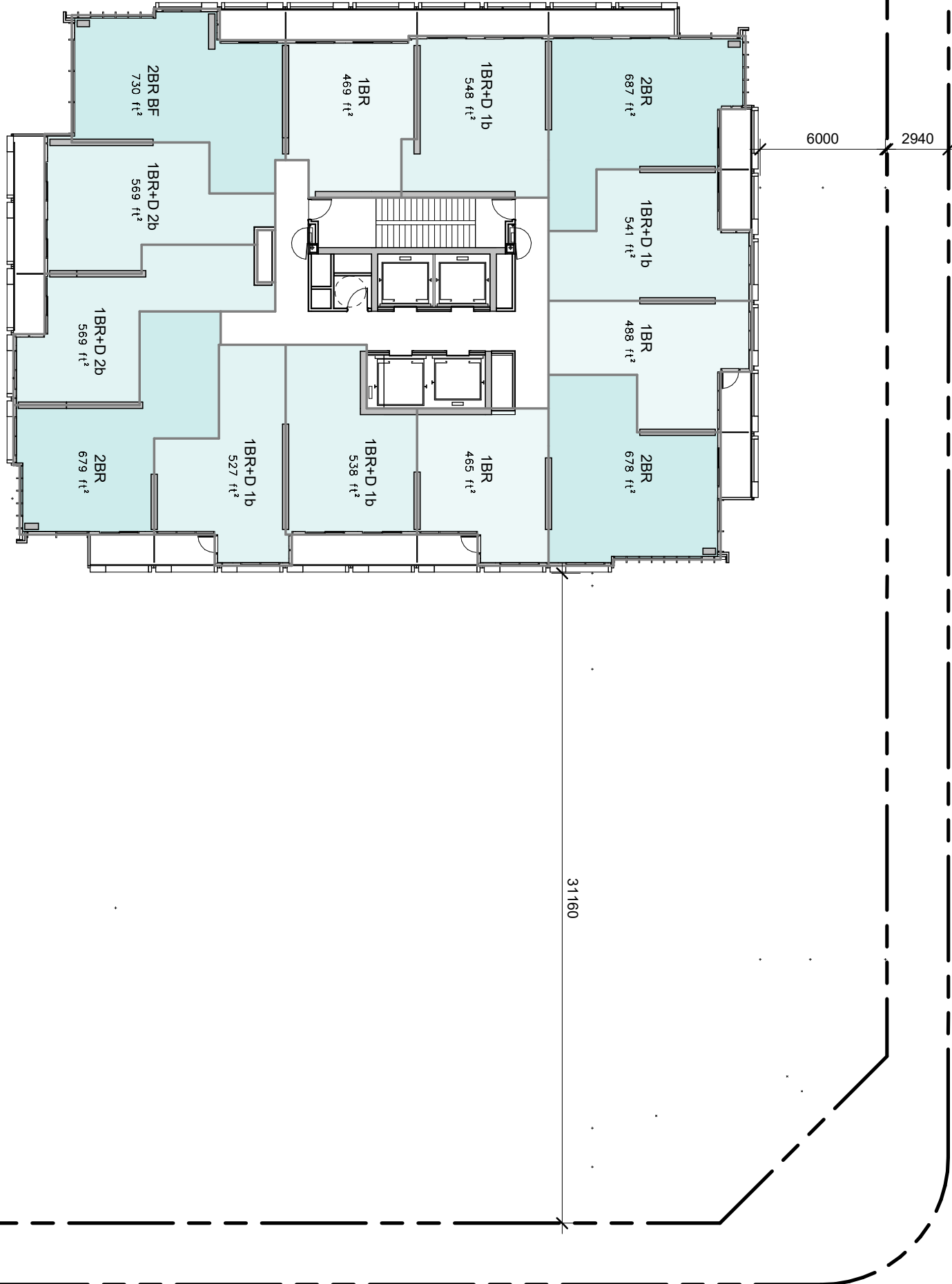
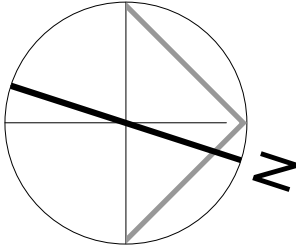
Revisions:	
No.:	Revision:

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1	OPA, ZBA and Subdivision	Jun. 23, 2022
No.:	Issued For:	Date:

Client:  
GB (Maplecre) Limited Partnership  
OP 21.008, Z 21.011 and 19T-21V003  
Maplecrete & Doughton, Vaughan  
Proposed Maplecre Development

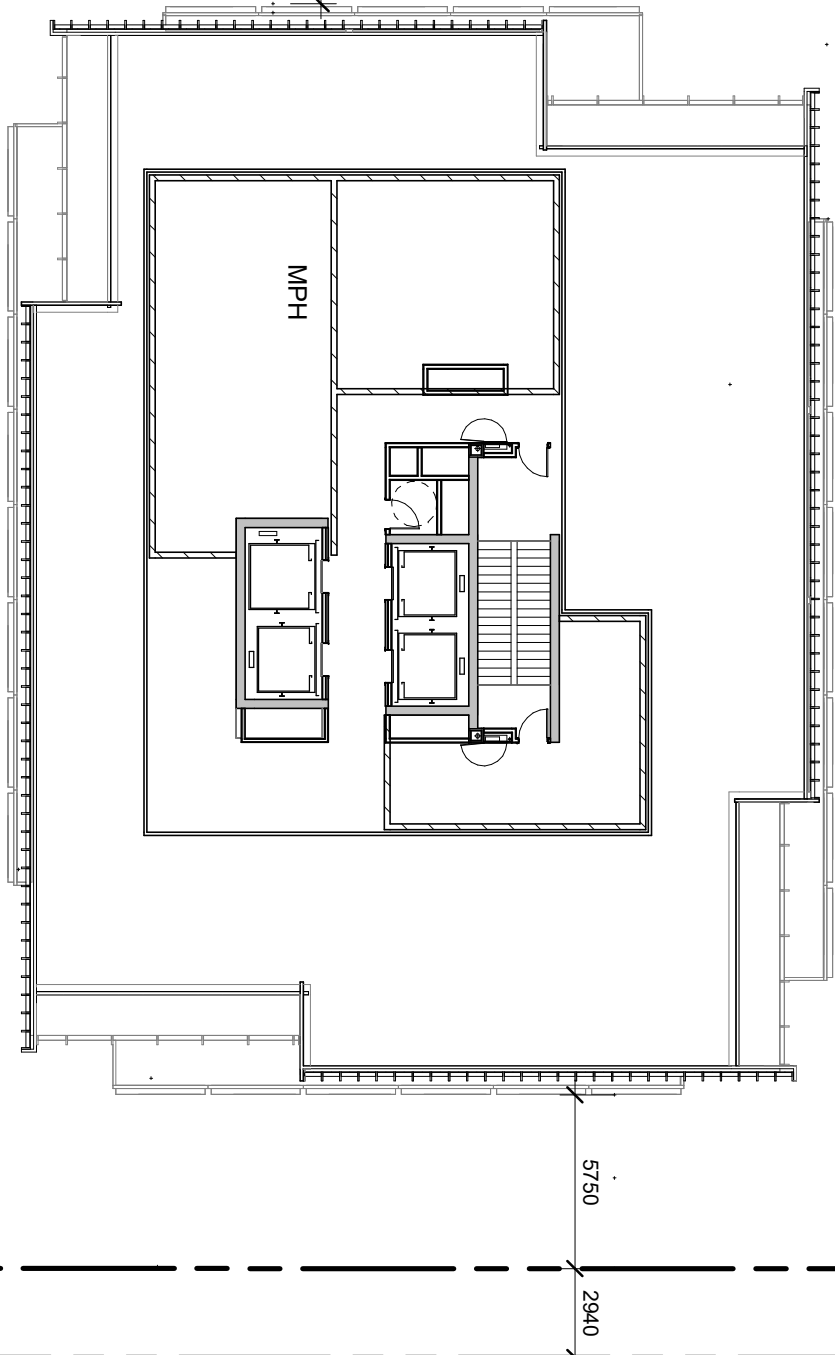
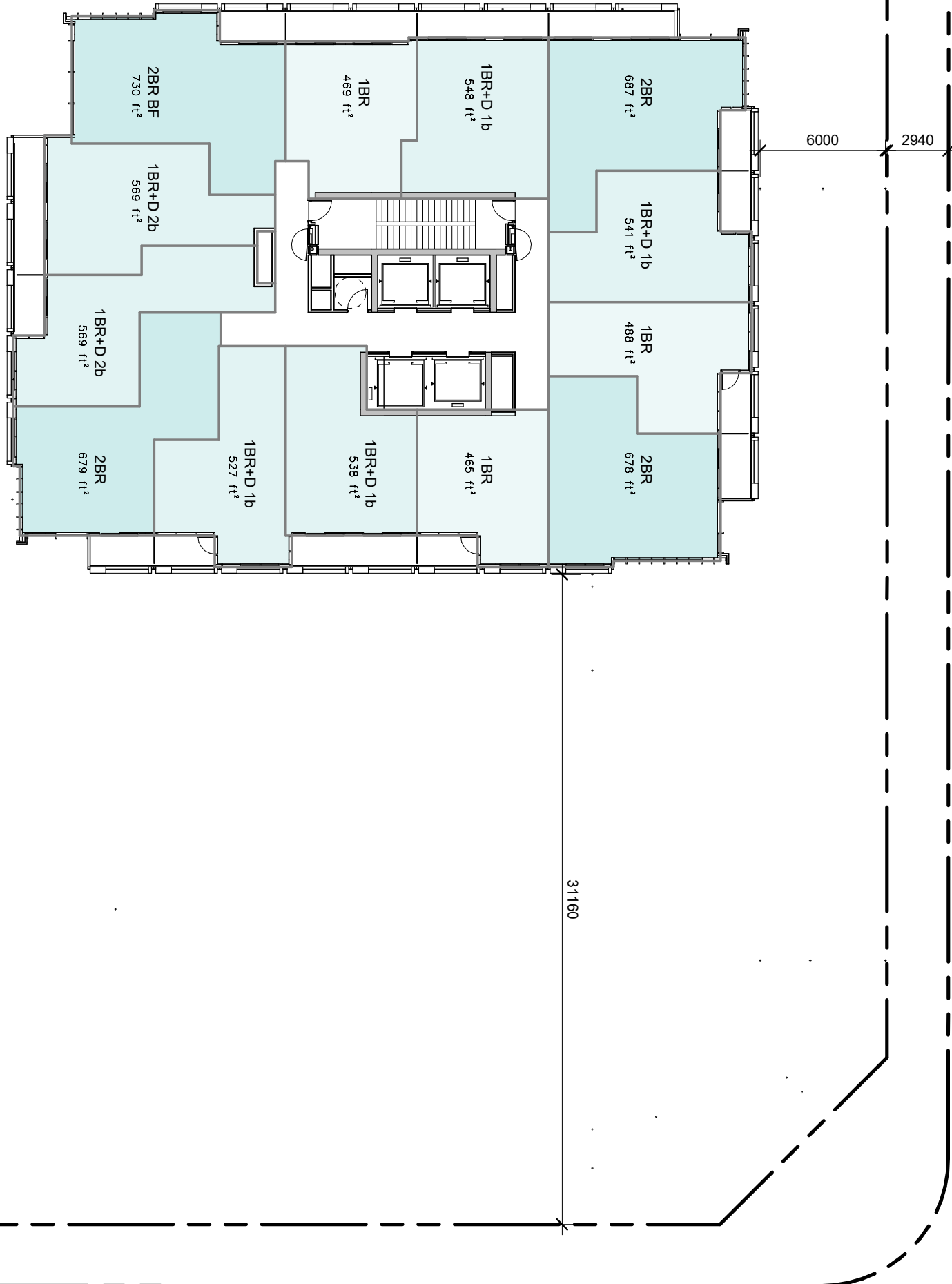
Drawing Title:  
Level 38-39 and 40  
Floor Plans

Scale:	1 : 250
Drawn by:	MZ / JH
Checked by:	DS
Project No.:	21-101
Date:	Mar. 29, 2024
Drawing No.:	da2.7



1 Floor Plan - Level 38-39

Scale: 1 : 250



2 Floor Plan - Level 40, Tower B MPH

Scale: 1 : 250



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1	OPR, ZBA and Subdivision	Jun. 23, 2022
No. :	Issued For:	Date:

Client

GB (Maplecrete) Limited Partnership

OP 21.008, Z 21.011 and 19T-21V003

Maplecrete & Doughton, Vaughan

Proposed Mixed-Use Development

Drawing Title:

Level 41-42 and MPH

Floor Plans

Scale:

1 : 250

Drawn by:

MZ / JH

Checked by:

DS

Project No.:

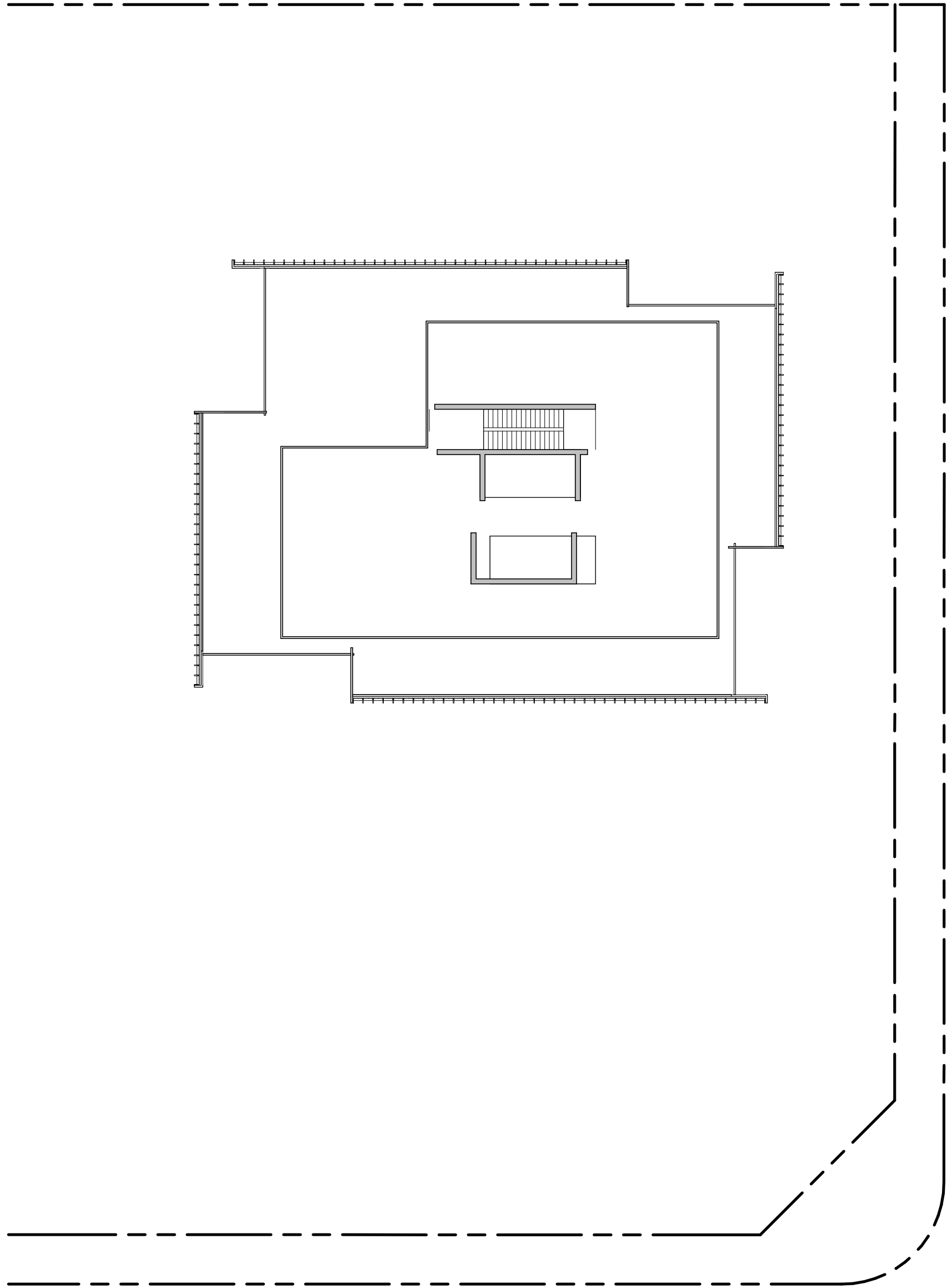
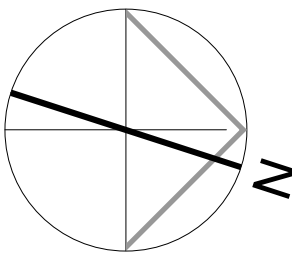
21-101

Date:

Mar. 29, 2024

Drawing No.:

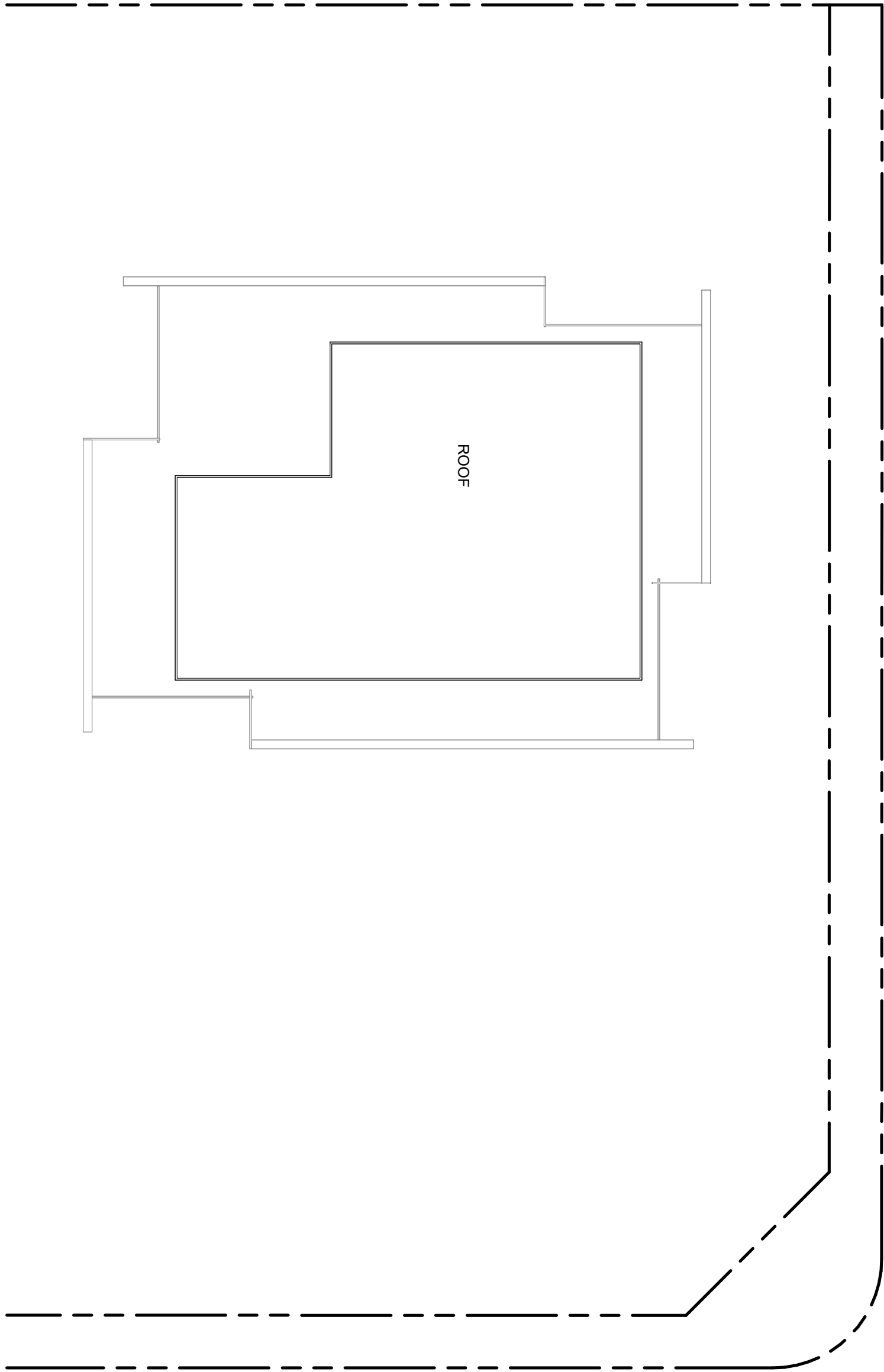
da2.8



2

Floor Plan -Tower A MPH

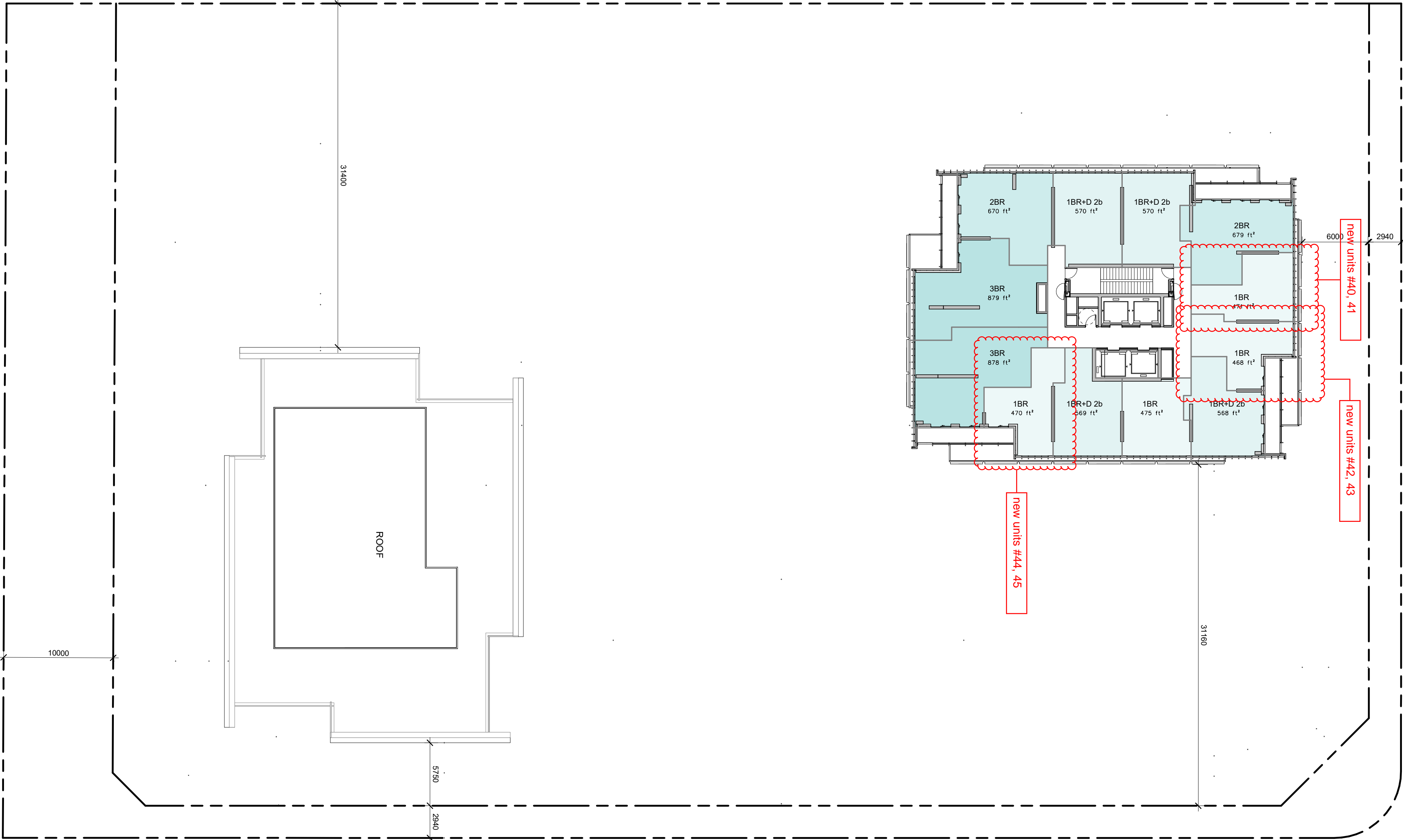
Scale: 1 : 250



3

Floor Plan -Tower A MPH Roof

Scale: 1 : 250



1

Floor Plan - Level 41 - 42, Tower B MPH Roof

Scale: 1 : 250