

ITEM: 6.7	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A167/24
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Report Date: July 24, 2025

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):

Additional comments from departments and agencies received after the publication of the report will be made available on the City’s [website](#).

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Engineering	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Forestry	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			02/10/2025	Application Cover Letter

BACKGROUND (SCHEDULE D, IF REQUIRED)	
* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.	
Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background

	MINOR VARIANCE APPLICATION FILE NUMBER A167/24
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CITY WARD #:	1
APPLICANT:	Victoria Lukhton
AGENT:	Monterra Planning Consultants Inc.
PROPERTY:	36 Honey Locust Court, Maple
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Countryside"
RELATED DEVELOPMENT APPLICATIONS:	N/A
PURPOSE OF APPLICATION:	Relief from the zoning by-law is being requested to permit the construction of a residential accessory structure (security building) in the front yard.

The following variances have been requested from the City's Zoning By-law to accommodate the above proposal:

The subject lands are zoned RE (EN) Estate Residential Zone (Established Neighbourhood), and subject to the provisions of Exception 14.199 under By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	An accessory building or residential accessory structure shall not be located closer to a front lot line than the principal building on the lot. [Section 4.1.2 1. c.]	To permit a residential accessory building (security building) to be located closer to a front lot line than the principal building on the lot.
2	An accessory building and residential accessory structure shall be subject to the minimum front yard requirements for the principal building on the lot, as indicated in the applicable zone. [Section 4.1.2 1. a.] The minimum front yard permitted is 15.0 metres.	To permit a residential accessory building (security building) to be located a minimum of 3.5 metres from the front lot line.
3	An accessory building and residential accessory structure shall be subject to the minimum interior side yard requirements for the principal building on the lot, as indicated in the applicable zone. [Section 4.1.2 1. a.] The minimum interior side yard permitted is 4.5 metres.	To permit a residential accessory building (security building) to be located a minimum of 3.5 metres from the interior side lot line.

HEARING INFORMATION
DATE OF MEETING: Wednesday, July 30, 2025 TIME: 6:00 p.m. MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2 nd Floor), 2141 Major Mackenzie Drive LIVE STREAM LINK: Vaughan.ca/LiveCouncil
PUBLIC PARTICIPATION
If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the Request to Speak Form and submit to cofa@vaughan.ca If you would like to submit written comments, please quote file number above and submit by mail or email to: Email: cofa@vaughan.ca

HEARING INFORMATION
Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1
To speak electronically, pre-registration is required by completing the Request to Speak Form on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.
THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION
Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.
Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:
That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.
Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT	
Date Public Notice Mailed:	July 16, 2025
Date Applicant Confirmed Posting of Sign:	July 17, 2025
Applicant Justification for Variances: <small>*As provided in Application Form</small>	As the building is proposed to be used as a security guard office, it must be located near the entrance to the property and therefore in front of the existing primary building.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
On February 27, 2025, Development Planning provided: Planning staff are still concerned with the proposed building footprint of the security booth. While I can understand the purpose of this proposal and have considered the grading restraints on the property, our concerns as previously discussed remain due to the proposed size and front setback of the structure. An accessory structure of this size in the front yard of a dwelling is unprecedented in the surrounding area, and it would be difficult for staff to support the proposal as it is currently being proposed. Staff are suggesting modifications to significantly reduce the floor area of the proposed security booth.	
On July 14, 2025, Development Planning provided: This is just a reminder that Development Planning’s comments dated February 27, 2025, are still relevant. At this time, it would be difficult for staff to support the current proposal as is. Let me know if you have any questions or concerns. Committee of Adjustment staff provided the applicant with an opportunity to adjourn the application on July 14, 2025 and the applicant confirmed that they wish to proceed to the July 30, 2025 Committee of Adjustment hearing. Should the application be adjourned on July 30 th , an adjournment fee (\$640.00) will be required to reschedule the application.	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	TBD

DEVELOPMENT ENGINEERING	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
<p>The Owner / Applicant shall ensure that the proposed (fill in proposed development) does not negatively impact neighbours due to surface water runoff. The property should be properly graded, ensuring that surface water from the (fill in proposed development) does not go onto adjacent lots in accordance with the City's Engineering Standards. It's important to note that (fill in proposed development based on Section 2.2.1 - Table 1.0) necessitates a Grading Permit.</p> <p>The proposed work by the Owner/Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.</p>	
Development Engineering Recommended Conditions of Approval:	None

PARKS, FORESTRY & HORTICULTURE (PFH)	
Applicant has already obtained a Private Tree Removal Application - Construction or Infill - 2024 101417 000 00 PTRP. There appear to not be any changes to the previously submitted Tree Removal or Tree Preservation Plans. Forestry has no further comment at this time.	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE	
No comment, no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES	
No objection or comment.	
BCLPS Recommended Conditions of Approval:	None

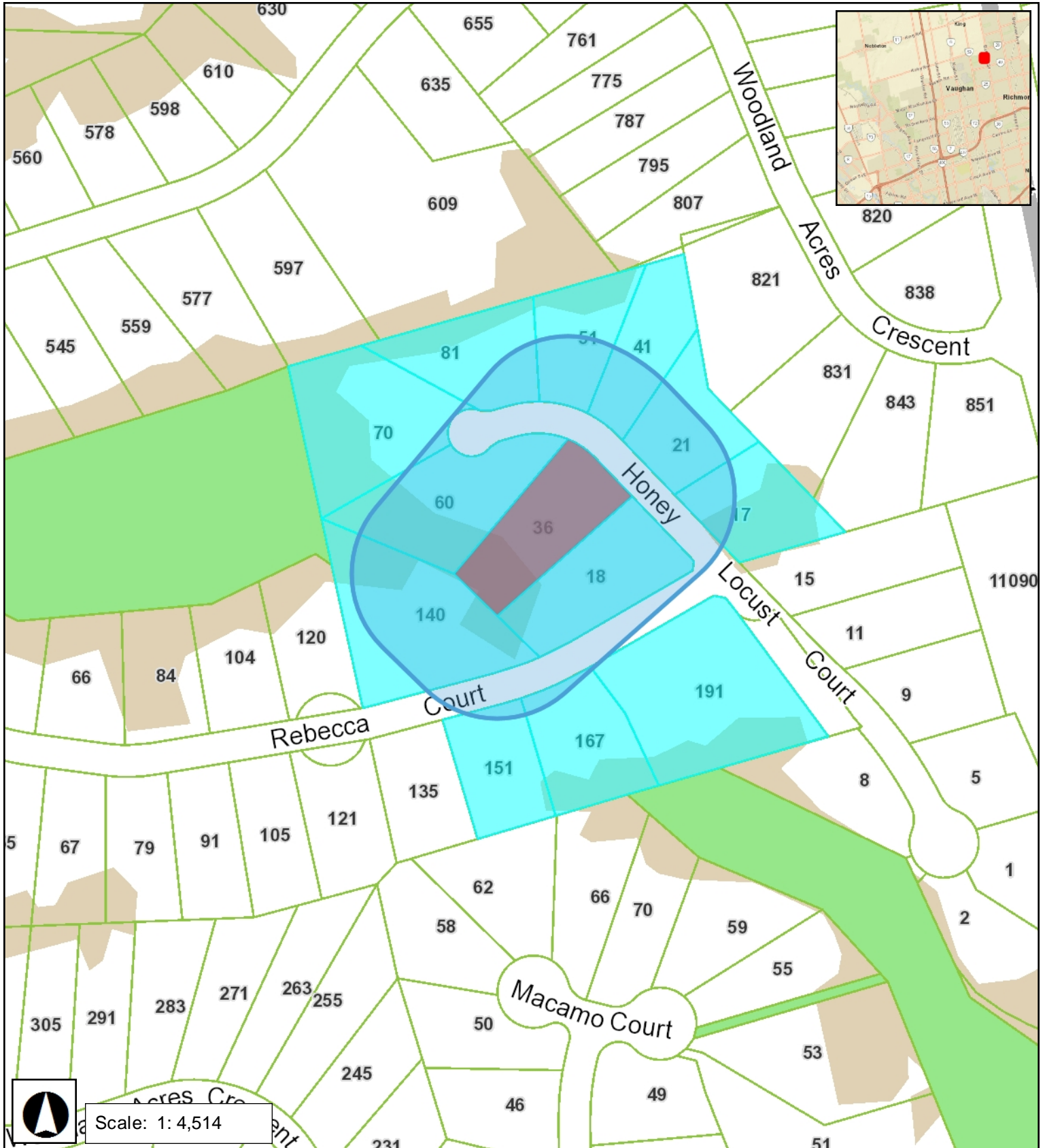
BUILDING INSPECTION (SEPTIC)	
No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

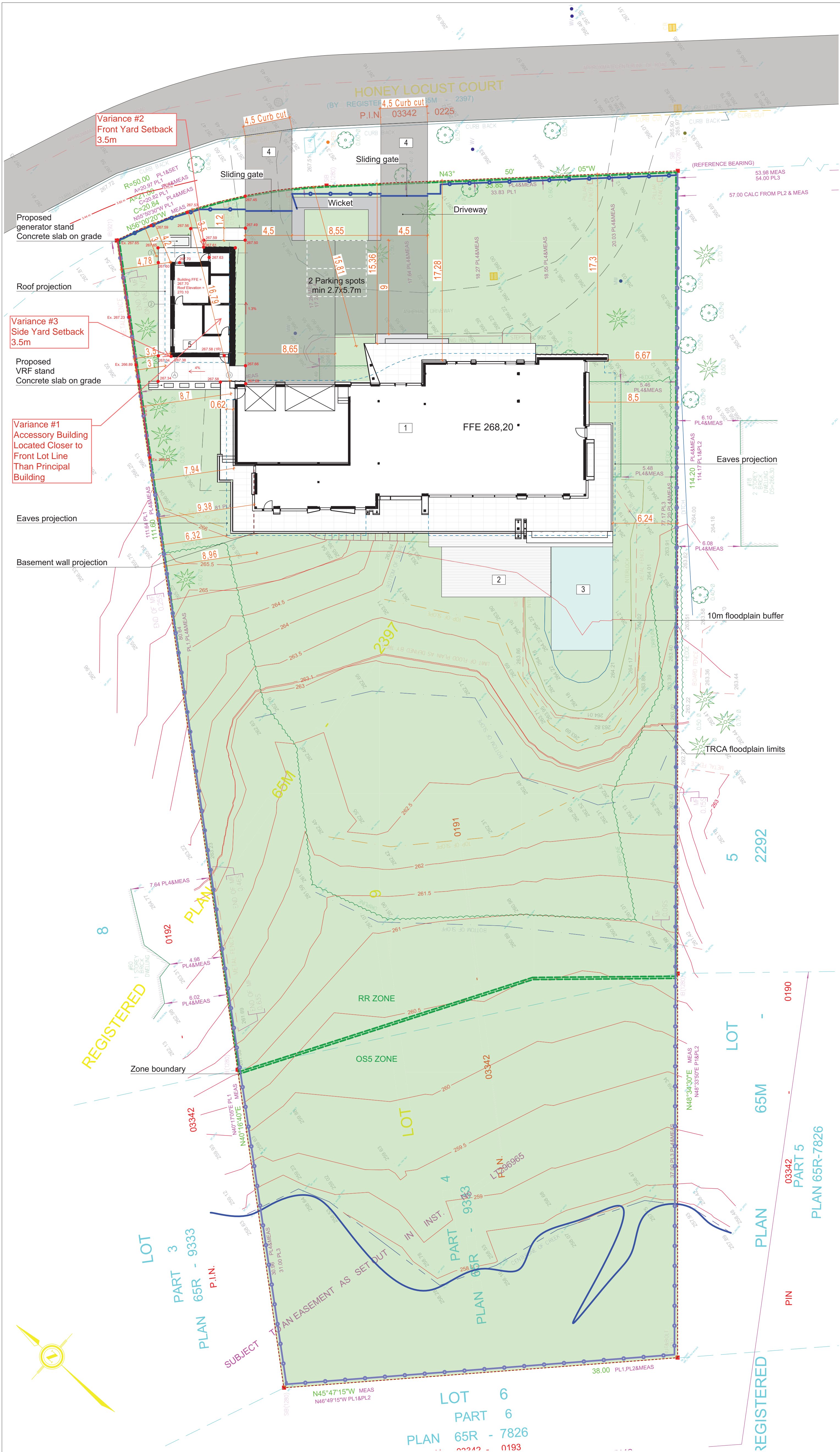
FIRE DEPARTMENT	
No comments received to date.	
Fire Department Recommended Conditions of Approval:	None

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY		
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:		
#	DEPARTMENT / AGENCY	CONDITION
1	Development Planning Alyssa.pangilinan@vaughan.ca	TBD
<i>All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived</i>		

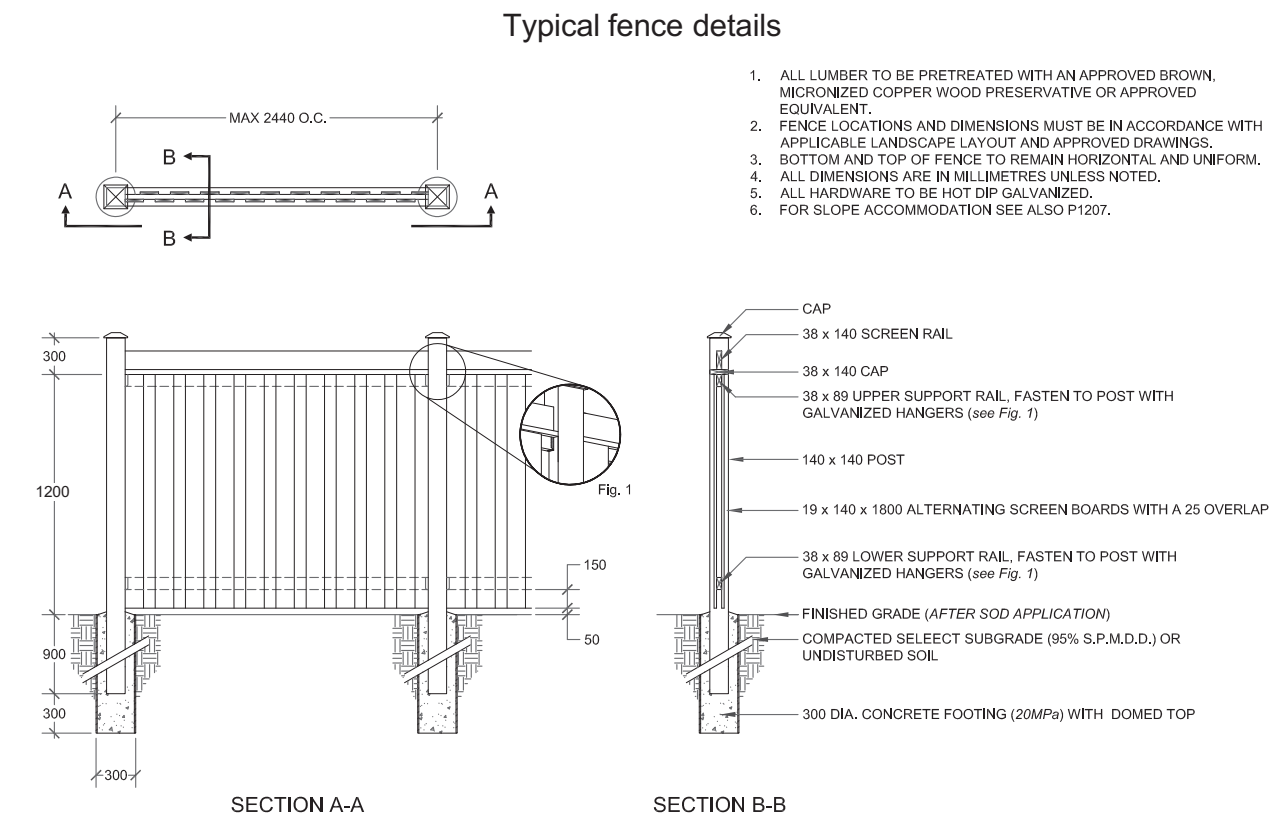
RECOMMENDED CONDITIONS OF APPROVAL SUMMARY
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:
<i>by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.</i>

IMPORTANT INFORMATION
CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.
APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision. An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval. A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law. Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application. Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.
DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment. That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment. That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.
NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.

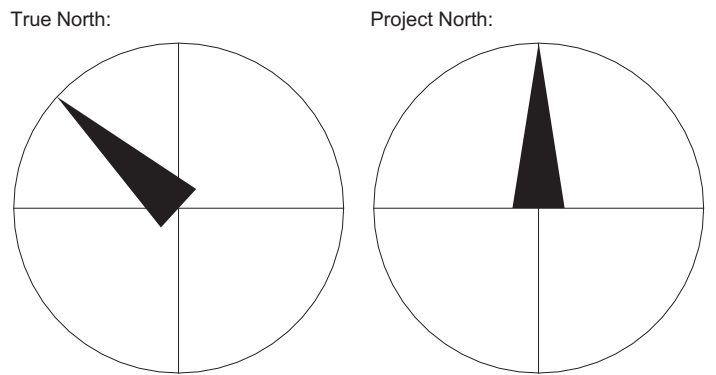




SITE STATISTICS				
DESCRIPTION	ZONING BYLAW	EXISTING, m2	PROPOSED, m2	TOTAL, m2
ZONED	RE / RR			
LOT AREA		5289.43		5289.43
LOT FRONTAGE	45m	54.92m		
LOT COVERAGE				
- Dwelling		308.91	216.46	525.37
TOTAL:		528.94	70.07%	170.07%
LOT COVERAGE %	10.0%	5.84%	4.07%	9.91%
GROSS FLOOR AREA				
- 1st Floor		309	72.05	381.05
- 2nd Floor		198	121.5	319.5
TOTAL:		507	193.55	700.55
G.F.A. %	N/A			138.17%
BUILDING HEIGHT:				
- Dwelling	9.5m	6.55m	9.5m	9.5m
DWELLING SETBACKS				
- Front	15.0m	17.26m	2.09m	15.17m
- Side	5.7m	15.75m	9.3m	6.45m
- Side	4.5m	5.46m	1.26m	6.72m
- Rear	15.0m	84.85m	2.94m	81.91m



- SITE PLAN GENERAL NOTES:**
- ALL GRADES TO BE WITHIN 33% MAX. SLOPE AT PROPERTY LINE AND WITHIN THE SITE.
 - THE CONTRACTOR (BUILDER) TO CHECK AND VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES (CONNECTIONS) PRIOR TO CONSTRUCTION.
 - ALL DISTURBED AREAS WITHIN EXISTING ROADS AND BOULEVARDS TO BE RECONSTRUCTED TO THE SATISFACTION OF THE CITY OF VAUGHAN WORKS DEPARTMENT.
 - ALL TOPSOIL AND EXCAVATED MATERIAL IS TO BE REMOVED FROM THE SITE AND BROUGHT BACK AS REQUIRED FOR BACKFILLING REFER TO GRADING PLAN.
 - EXISTING DRAINAGE PATTERN IS TO BE MAINTAINED.
 - DOWNSPOUTS AND SUMP PUMP DISCHARGE TO BE MANAGED WITHIN THE SITE, WITHOUT ANY DETRIMENTAL EFFECTS TO CITY LANDS, INCLUDING DITCHES AND SIDEWALKS.
 - PRIOR TO CONSTRUCTION TAKING PLACE ALL REQUIRED HOARDING IN ACCORDANCE WITH THE ONTARIO OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS MUST BE ERECTED AND THEN MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION.



- Key Plan:
- Legend
- Property boundaries
 - Zoning boundaries
 - Pavements
 - Lawn, sod
 - Open deck
 - Proposed fence, Height 1200mm
 - Existing fence

#	Name
1	Detached Dwelling per building permit № 23-145146
2	Open deck
3	Outdoor open swimming pool
4	Driveway
5	Proposed accessory structure

2	Construction Documentation	SL
1	2023-10-12 For Building Permit	K.A.
No.	Date	Issued/Revision
		By:

SL ARCHITECTS
DESIGN SERVICES CO. L.L.C.
Tel: (647) 643-5592
constantshape.ca

Constant Shape
HOME DESIGN & ARCHITECTURE

KONSTANTIN ALEKSEEV
DESIGNER BCIN: 105691
FIRM BCIN: 111222

530 Brant St, Unit 1
Burlington, ON, L7R 2G6
Tel: (647) 643-5592
constantshape.ca

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The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the building code

KONSTANTIN ALEKSEEV	105691
NAME	SIGNATURE
	BCIN#
REGISTRATION INFORMATION	
Required unless design is exempt under 2.17.5.1 of the building code	
KONSTANTIN ALEKSEEV	111222
NAME	BCIN#

Designer:	Engineer:

Project:
Detached Dwelling

36 Honey Locust Court
Vaughan, Ontario

Sheet Title:
Site Plan

Design By:	Drawn By:	Approved By:
SL	SL	K.A.
Scale:	Date:	Project No:
1:200	2025-02-14	2022-08-29

Drawing No:

A1.1

SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

To: Committee of Adjustment

From: Christian Tinney, Building Standards Department

Date: June 16, 2025

Applicant: Monterra Planning Consultants Inc.

Location: 36 Honey Locust Court
PLAN 65M2397 Lot 9

File No.(s): A167/24

Zoning Classification:

The subject lands are zoned RE (EN) Estate Residential Zone (Established Neighbourhood), and subject to the provisions of Exception 14.199 under By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	An accessory building or residential accessory structure shall not be located closer to a front lot line than the principal building on the lot. [Section 4.1.2 1. c.]	To permit a residential accessory building (security building) to be located closer to a front lot line than the principal building on the lot.
2	An accessory building and residential accessory structure shall be subject to the minimum front yard requirements for the principal building on the lot, as indicated in the applicable zone. [Section 4.1.2 1. a.] The minimum front yard permitted is 15.0 metres.	To permit a residential accessory building (security building) to be located a minimum of 3.5 metres from the front lot line.
3	An accessory building and residential accessory structure shall be subject to the minimum interior side yard requirements for the principal building on the lot, as indicated in the applicable zone. [Section 4.1.2 1. a.] The minimum interior side yard permitted is 4.5 metres.	To permit a residential accessory building (security building) to be located a minimum of 3.5 metres from the interior side lot line.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

Building Permit No. 23-145146 for Single Detached Dwelling - New, Issue Date: May 14, 2024.
Building Permit No. 23-145235 for Single Detached Dwelling - Residential Demolition, Issue Date: Feb 26, 2024.
Building Permit No. 24-101060 for Single Detached Dwelling - Septic Tank - (New), Issue Date: Feb 22, 2024.

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).
3	The subject lands may be subject to the Oak Ridges Moraine Conservation Act, RSO 2001.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

From: [Development Services](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A167/24 - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Friday, January 3, 2025 9:02:35 AM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good morning,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Regards,

Gabrielle

Gabrielle Hurst MCIP, RPP | Associate Planner, Development Planning, Economic and Development Services Branch | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

Date: December 23rd 2024

Attention: **Christine Vigneault**

RE: Request for Comments

File No.:

Related Files: **A167-24**

Applicant: Corbett Land Strategies

Location 36 Honey Locust Court

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

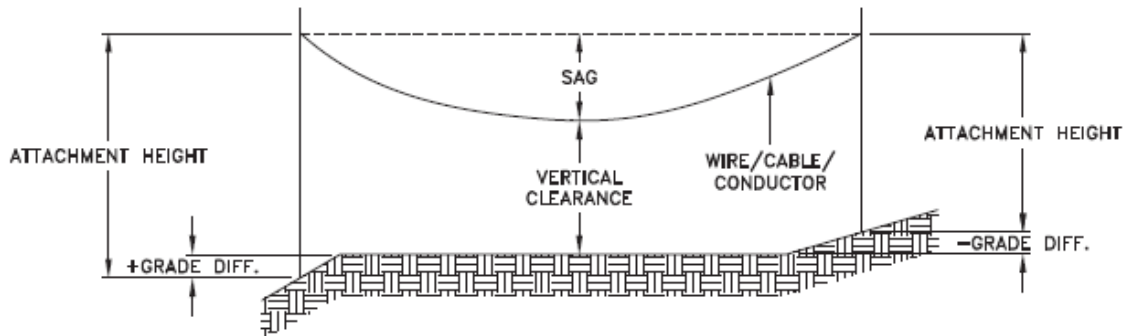
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 + GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

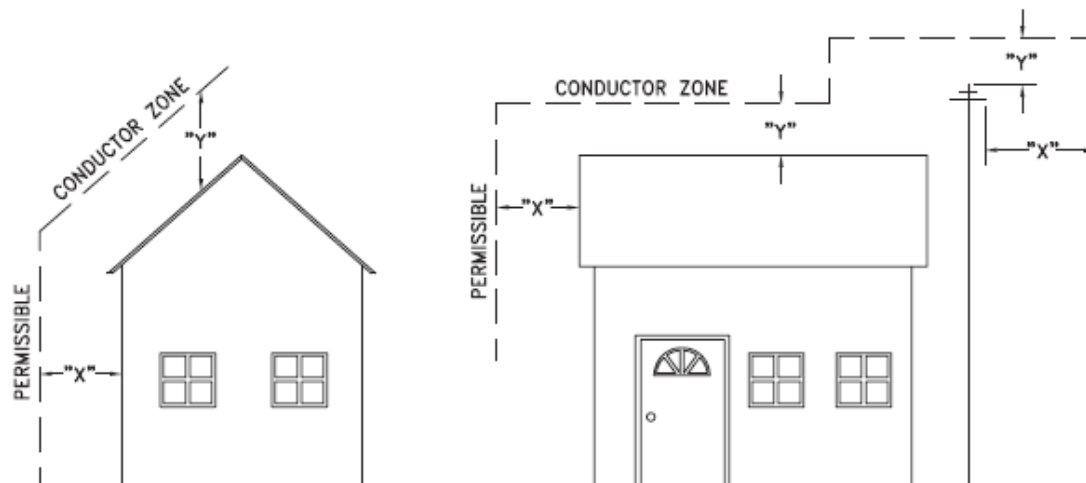
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM,
Adobe PDF

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P.Eng. Approval By: D. Dadwani

From: [Cameron McDonald](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A167/24 - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Friday, December 20, 2024 3:27:14 PM
Attachments: [image002.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good afternoon,

A portion of the subject property is located within TRCA's Regulated Area due to a valley corridor and Regional Storm flood plain, associated with a tributary of the Don River Watershed. Following a review of Minor Variance Application A167/24, TRCA staff are satisfied that the proposed accessory structure (Secondary Suite) is located outside of TRCA's Regulated Area. As such, a permit is not required for the proposed development.

Based on the above, we have no comments/requirements.

Thank you,

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:(437)880-1925)

E: cameron.mcdonald@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | trca.ca



SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			02/10/2025	Application Cover Letter

February 10, 2025

City of Vaughan
Office of the City Clerk
2141 Major Mackenzie Drive
Vaughan, Ontario
L6A 1T1

Attn:	Secretary-Treasurer, Committee of Adjustment City of Vaughan
RE:	Application for Minor Variance - Resubmission Victoria Lukhton 36 Honey Locust Court, Vaughan, Ontario

Dear Secretary-Treasurer,

Corbett Land Strategies Inc. ("CLS") is pleased to resubmit this Minor Variance Application on behalf of Victoria Lukhton and Michael Lukhton ("Owners") for the lands municipally known as 36 Honey Locust Court ("subject property"). The Owners are constructing a new single detached dwelling on the property and are proposing an accessory building to be used as a security guard office on the property. As the purpose of the accessory building is a security guard office, the building is proposed to be located near the front entrance to the property. This planning rationale letter is submitted in support of the proposed Minor Variance application and consists of an overview of the subject property and surrounding area, policy summary, and an analysis of the four tests of a minor variance.

This resubmission is in response to revisions to the proposal including the removal of the proposed use of the accessory building partially as a Secondary Suite. The enclosed materials reflect the sole use of the building for non-habitable purposes.

Subject Property & Proposed Development

The subject property is located on the southwest side of Honey Locust Court, north of Rebecca Court and Nikitas Court, in the City of Vaughan and west of the municipal boundary with Richmond Hill. (Figure 1). The subject property has an area of 5,289 square metres with 45 metres of lot frontage on Honey Locust Court. The rear of the property consists of lands regulated by the Toronto Region Conservation Authority due to the presence of a creek and flood plain hazard.

The Owners are proposing to build a security guard office within an accessory building on the subject property. The proposed accessory building and the respective entrance would be located closer to the front lot line than the principal building. The accessory building will feature a separate entrance that would facilitate accessibility for the security guard office while enhancing the overall functionality of the site. The proposed building is intended to complement the architectural design of the principal dwelling, maintaining the aesthetic harmony of the property while optimizing the use of available space.

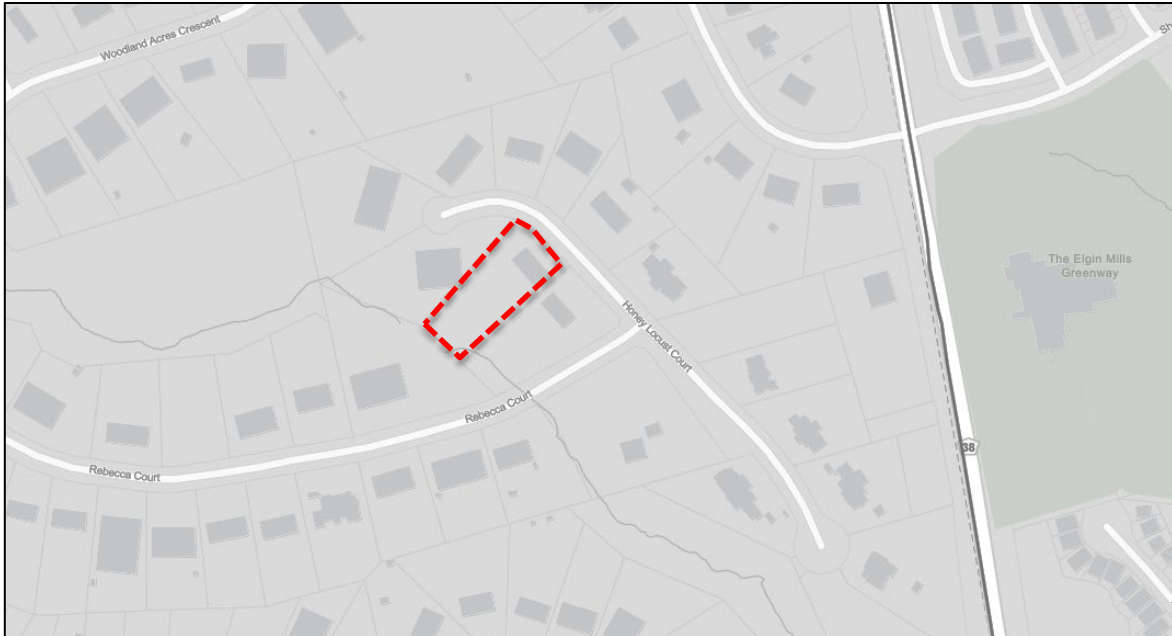


Figure 1: Location Map with Subject Property outlined in red (City of Vaughan Interactive Mapping)

Policy Summary

City of Vaughan Official Plan (2020)

The subject property is located within the “Natural Areas and Countryside” and “Oak Ridges Moraine Conservation Plan Area” as per *Schedule 1* of the City of Vaughan Official Plan. The subject property is also designed as Countryside as per *Schedule 13* of the City of Vaughan Official Plan, which is intended to provide for an agricultural and rural transition and buffer between Natural Core Areas and Natural Linkage Areas and the urbanized Settlement Areas.

Additionally, the subject property is located within Vaughan’s Established Large-Lot Neighbourhoods that has a lot frontage exceeding 30 metres as per *Schedule 1B* of the City of Vaughan Official Plan. As per *Section 9.1.2.3*, the large lot provides opportunities for attractive landscape development and streetscapes.

City of Vaughan Zoning By-law 001-2021

The subject property is zoned as an Estate Residential Zone (“RE”) in the City of Vaughan Zoning By-law 001-2001. As per *Table 7-2*, a “Home Occupation” is a permitted specified accessory use in the RE zone and is defined as “a business or occupation that is operated as an ancillary use to a dwelling unit.” Within the RE Zone, accessory buildings shall be subject to the minimum front yard, interior side yard, and exterior side yard requirements for the principal building on the lot as per the RE zone requirements. The maximum height of any accessory building shall be 3 metres. In addition, the accessory building shall not be located closer to a front lot line or an exterior side lot line than the principal building on the lot, except where explicitly permitted by this By-law while the entrance of the accessory building shall not be located closer to the front lot line than the main entrance of the dwelling unit on the abutting lot as per *Section 4.1.2.1 c)* and *5.21.10* respectively.

Proposed Variances

To facilitate the proposed development, relief from the City of Vaughan Zoning By-law is required as follows:

1. Relief from Section 4.1.2.1.a which requires that an accessory building shall be subject to the minimum front yard and interior side yard requirements for a principal building as indicated in the applicable zone; which requires a minimum front yard setback of 15 metres, whereas 3.5 metres is proposed and a minimum side yard setback of 4.5 metres, whereas 3.5 metres is proposed;
2. Relief from Section 4.1.2.1.c which states that an accessory building shall not be located closer to a front lot line than the principal building; whereas the proposed structure will be located closer to the front lot line than the principal building;

The proposed development will be designed to comply with all other applicable Zoning By-law regulations.

Planning Justification for Minor Variances

In preparation of the subject application, the four tests of a Minor Variance as provided for in Section 45(1) of the Planning Act, R.S.O. 1990, c. P. 13, have been reviewed and addressed as follows:

Test #1 – General Intent and Purpose of the Official Plan is Maintained

The subject property is designated “Countryside” and “Natural Linkage Area” under the City of Vaughan Official Plan and is located within the Oak Ridges Moraine Conservation Plan Area. The purpose of the “Countryside” designation is to provide for an agricultural and rural transition and buffer between Natural Core Areas and Natural Linkage Areas and the urbanized Settlement Areas. The existing residential building, accessory building, and their respective uses are consistent with the policies of the City of Vaughan Official Plan and the Oak Ridges Moraine Conservation Plan. Therefore, the proposed variances to reduce the front and side yard setbacks, as well as locate the building closer to the front lot line than the principal building maintains the general intent and purpose of the Official Plan. Of note, the proposed accessory building is located outside of designated Natural Linkage Areas under the Oak Ridges Moraine Conservation Plan. Therefore, we are of the opinion that the proposed variances maintain the general intent of the Official Plan.

Test #2 – General Intent and Purpose of the Zoning By-law is Maintained

The subject property is zoned “Estate Residential Zone (RE)” with exception 199 under the City of Vaughan Zoning By-law 001-2021. Within the RE Zone and under exception 199, a single detached dwelling is a permitted use, as well as home occupation. The intent of front yard setbacks and side yard setbacks are to establish a buffer between any buildings or structures and the road or adjacent property, to support compatibility. The Zoning By-law establishes that the proposed accessory building shall comply with the yard setback requirements of the RE Zone; however, where a residential accessory structure is taller than 2.8 metres, it shall not be located closer than 2.4m to any lot line. The proposed accessory building will be located 3.5m from the interior side lot line, whereas 4.5m is required and the proposed is greater than 2.4m.

The proposed accessory building will be located 3.5m from the front lot line, whereas 15m is required and the proposed is greater than 2.4m. As noted in the project description, the purpose of the accessory structure is to include space for a security guard office and similarly, relief is requested that would permit the location of the accessory building closer to the front lot line than the principal building. The location of the building at the front of the lot is critical for the security of the property and is the purpose of the reduced front yard setback.

The landscaping proposed around the accessory building will continue to provide a buffer between the building and the side and front lot lines. Further, the adjacent property municipally known as 60 Honey Locust Court is located approximately 50 metres from the proposed accessory building and therefore, does not significantly impede on the use, enjoyment, or compatibility of the adjacent property. Therefore, we are of the opinion that the proposed variances maintain the general intent of the Zoning By-law.

Test #3 – Desirable for the Appropriate Development or Use

The proposed variances will facilitate the construction of an accessory building that will functionally support the security of the subject property and aesthetically complement the principal residential building. The proposed variances do not encroach onto the adjacent property in a manner that significantly impacts the function, use or enjoyment of the property. And the proposed design incorporates landscaping between the building and the front and interior side lot lines. Therefore, we are of the opinion that the proposed variances are desirable for the appropriate development and use of the property.

Test #4 – Minor in Nature

The proposed variances can be summarized into two categories; firstly, a reduced side yard setback, and secondly, the location of an accessory building in the front yard of a residential property. The proposed side yard setback is numerically minor in nature as a reduction of 1m and will have minimal impact on the adjacent property at 60 Honey Locust Court as the building is set back a significant distance from the proposed building and the adjacent yard is not a primary recreational or amenity space for the residence. The proposed location of the building in front of the principal dwelling and with a reduced front yard setback is fundamentally to support the functionality of the building as a security guard office and to be located at the main entrance to the property. There will be no significant impact to the properties across the street or the functionality of the street and the building will be partially screened by a 1.2m high fence. Therefore, we are of the opinion that the variances are minor in nature and will not significantly affect the surrounding neighbourhood.

Conclusion

In accordance with the City of Vaughan submission requirements and in support of this application, the following digital materials have been resubmitted:

1. Variance Chart
2. Site Plan with Variances Indicated, prepared by Constant Shape Home Design & Architecture

We trust that the submitted materials and above information are in order. Should you have any questions or require additional information, please do not hesitate to contact the undersigned.



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SCHEDULE D: BACKGROUND

None