

ITEM: 6.2	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A073/25
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Report Date: Thursday, July 24, 2025

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):

Additional comments from departments and agencies received after the publication of the report will be made available on the City’s [website](#).

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input checked="" type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments w/Conditions
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommended Partial Approval
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
By-law & Compliance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Forestry	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			05/22/2025	Planning Justification Report
Public	Teresa Baldassarra	19 Donna Mae Crescent	06/03/2025	Letter of Support
Public	Matthew Baldassarra	11 Donna Mae Crescent	06/03/2025	Letter of Support
Public	Roy Sepal	9 Peter Morse Way	06/03/2025	Letter of Support
Public	Illegible	10 Peter Morse Way	06/03/2025	Letter of Support
Public	T. Baldassarra	5 Peter Morse Way	06/03/2025	Letter of Support
Public	Amir Mizrahi	21 Donna Mae Crescent	06/03/2025	Letter of Support
Public		24 Donna Mae Crescent	06/06/2025	Letter of Support
Applicant			07/09/2025	Presentation

BACKGROUND (SCHEDULE D, IF REQUIRED)	
* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.	
Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
July 10, 2025	To permit time for the Committee/applicant to review the Development Planning staff report issued on July 10, 2025.

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning

SCHEDULES	
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background

	<h2>MINOR VARIANCE APPLICATION</h2> <h3>FILE NUMBER A073/25</h3>
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CITY WARD #:	5
APPLICANT:	Christian Robert & Juliana-Nicole Zanetti
AGENT:	Jonathna Sasso (Humphries Planning Group Inc.)
PROPERTY:	6 Peter Morse Way, Thornhill
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	N/A
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed cabana in the rear yard.

The following variances have been requested from the City’s Zoning By-law:

The subject lands are zoned **R1V (Old Village Residential Zone)** and subject to **Exception 9(1480)** under Zoning Bylaw 1-88.

#	Zoning By-law 1-88	Variance requested
1	A maximum lot coverage of 23% for the main dwelling and 28% inclusive of unenclosed porches (covered or uncovered) and accessory structures is permitted. [Exception 9 (1480), 1, cii]	To permit a maximum lot coverage of 27% for the main dwelling and 34% inclusive of unenclosed porches (covered or uncovered) and accessory structures (cabana).
2	A minimum setback of 7.5 m is required from the rear lot line to an accessory structure (cabana). [4.1.1 c]	To permit a minimum setback of 1.8 m from the rear lot line to an accessory structure (cabana).

HEARING INFORMATION
<p>DATE OF MEETING: Wednesday, July 30, 2025</p> <p>TIME: 6:00 p.m.</p> <p>MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive</p> <p>LIVE STREAM LINK: Vaughan.ca/LiveCouncil</p>
PUBLIC PARTICIPATION
<p>If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the Request to Speak Form and submit to cofa@vaughan.ca</p> <p>If you would like to submit written comments, please quote file number above and submit by mail or email to:</p> <p>Email: cofa@vaughan.ca</p> <p>Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1</p> <p>To speak electronically, pre-registration is required by completing the Request to Speak Form on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.</p> <p>THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS <u>NOON</u> ON THE LAST BUSINESS DAY BEFORE THE MEETING.</p>

INTRODUCTION	
<p>Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.</p> <p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:</p> <p>That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p>	

COMMITTEE OF ADJUSTMENT	
Date Public Notice Mailed:	July 16, 2025
Date Applicant Confirmed Posting of Sign:	July 16, 2025
Applicant Justification for Variances: <small>*As provided in Application Form</small>	See enclosed Planning Justification Letter
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
<p>On June 23, 2025, Development Planning issued the following comments:</p> <ul style="list-style-type: none">• Staff understand that the subject property is subject to the site-specific exception 9(1480) under Zoning Bylaw 1-88, which permits a maximum lot coverage of 23% for the main dwelling and 28% inclusive of unenclosed porches (covered or uncovered) and accessory structures is permitted. Currently, 27% is requested for the main dwelling, and 34% are inclusive of the unenclosed spaces and proposed cabana. Can you please clarify if the balcony coverage was included in the 27% calculation for the main dwelling?• Development Planning staff will require the main dwelling to be consistent with the 23% maximum; however, we are open to amending the 28% in the site-specific exception for the unenclosed spaces and accessory structures.• Please see the attached comments from Env Planning and Cultural Heritage for your information. <p>On June 24, 2025, the applicant confirmed that they want to proceed to the July 10 hearing and provided further details about the lot coverage breakdown:</p> <p><i>Proposed 27% coverage is just for the main dwelling. Porches, Rear Deck / Balcony & Cabana are part of the proposed 34% coverage for minor variance.</i></p> <p>On June 24, 2025, Committee of Adjustment staff recommended the applicant adjourn the application based on the comments provided by the Development Planning Department. The applicant was advised that rescheduling the application after the issuance of public notice will require an adjournment fee.</p> <p>The application was adjourned at the July 10, 2025, hearing to permit further time for the applicant/Committee to review the Development Planning staff report that was issued on July 10, 2025.</p> <p>On July 22, 2025, the applicant was advised by Committee of Adjustment staff the the Development Planning department would not be issuing a revised staff report on the application. The Development Planning staff report issued on July 10, 2025, would be applicable.</p>	
Committee of Adjustment Recommended Conditions of Approval:	The owner/applicant shall pay an adjournment fee of \$640.00 as the application was adjourned from the July 10, 2025, hearing.

BUILDING STANDARDS (ZONING)	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING	
**See Schedule B for Development Planning Comments. The Development and Parks Planning Department recommends refusal of Variance 1, and approval of Variance 2. If the Committee finds merit in the application, the following conditions of approval are recommended:	
Development Planning Recommended Conditions of Approval:	<ol style="list-style-type: none"> 1. Should previously undocumented archaeological resources be found on the property during construction activities, the Owner must immediately cease all construction activities and notify the Ministry of Citizenship and Multiculturalism (or its successor), and the Development and Parks Planning Department, Urban Design and Cultural Heritage Division at the City of Vaughan. 2. If human remains are encountered during construction activities, the Owner must immediately cease all construction activities. The Owner shall contact the York Regional Police Department, the Regional Coroner, the Registrar of the Cemeteries at the Bereavement Authority of Ontario (BAO) and the City of Vaughan Development Planning Department, Urban Design and Cultural Heritage Division.

DEVELOPMENT ENGINEERING	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
<p>The proposed work by the Owner/Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City’s Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.</p> <p>The Owner / Applicant shall ensure that the proposed (fill in proposed development) does not negatively impact neighbours due to surface water runoff. The property should be properly graded, ensuring that surface water from the (fill in proposed development) does not go onto adjacent lots in accordance with the City's Engineering Standards. It's important to note that (fill in proposed development based on Section 2.2.1 - Table 1.0) necessitates a Grading Permit. Once the Grading Permit is obtained, please reach out to the Development Engineering Reviewer to clear the Condition imposed on this application.</p>	
Development Engineering Recommended Conditions of Approval:	<p>The Owner/Applicant shall submit an application for a Service Connection and obtain a Cost Estimate by emailing serviceconnections@vaughan.ca. The Final Lot Grading and/or Servicing Plan will be required for the Service Connection Application. All costs associated with the service connection shall be the responsibility of the Owner/Applicant.</p> <p>Please visit the Service Connection page of the City of Vaughan’s website: https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/service-connections for more information. The Owner/Applicant is encouraged to initiate the process as early as possible as the Service Connection Application process typically takes 4-6 weeks.</p> <p>If Applicant is not able to pay for the service connection fee prior to Service Connection expiration date, a Letter of Undertaking shall be provided to ensure the necessary arrangements are made. Refer to Appendix F for a copy of Letter of Undertaking template.</p>

PARKS, FORESTRY & HORTICULTURE (PFH)	
Recommended Condition of Approval:	
PFH Recommended Conditions of Approval:	The Applicant/owner shall obtain a “Private Property Tree Removal & Protection Permit – Construction or Infill” through the forestry division prior to any construction works on the subject property.

DEVELOPMENT FINANCE	
No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES	
No comments	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC)	
No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

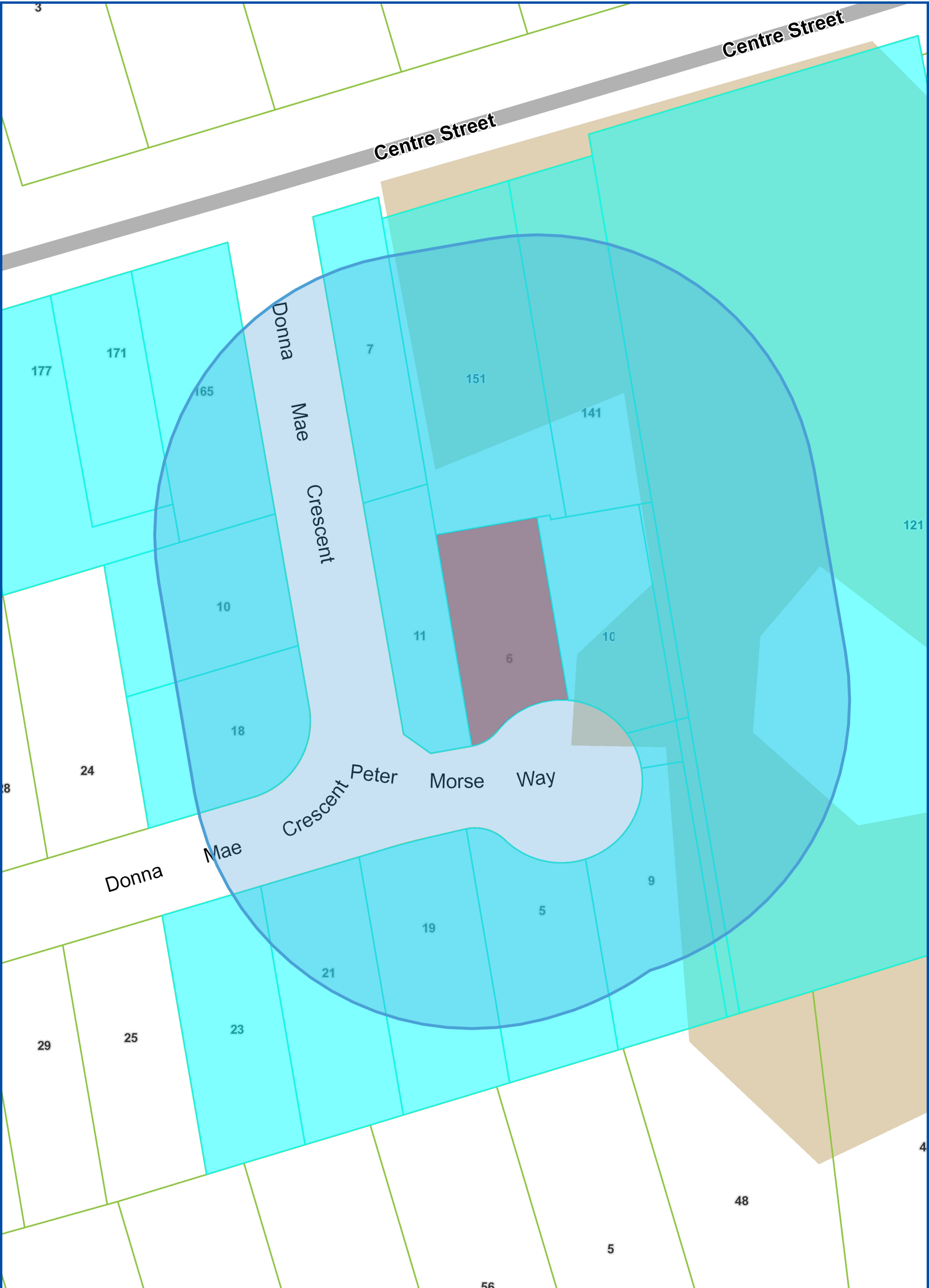
FIRE DEPARTMENT	
No comments received to date.	
Fire Department Recommended Conditions of Approval:	None

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY		
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:		
#	DEPARTMENT / AGENCY	CONDITION
1	Committee of Adjustment cofa@vaughan.ca	The owner/applicant shall pay an adjournment fee of \$640.00 to accommodate adjournment from the July 10, 2025 hearing.
2	Development Planning Alyssa.pangilinan@vaughan.ca	<ol style="list-style-type: none">1. Should previously undocumented archaeological resources be found on the property during construction activities, the Owner must immediately cease all construction activities and notify the Ministry of Citizenship and Multiculturalism (or its successor), and the Development and Parks Planning Department, Urban Design and Cultural Heritage Division at the City of Vaughan.2. If human remains are encountered during construction activities, the Owner must immediately cease all construction activities. The Owner shall contact the York Regional Police Department, the Regional Coroner, the Registrar of the Cemeteries at the Bereavement Authority of Ontario (BAO) and the City of Vaughan Development Planning Department, Urban Design and Cultural Heritage Division.
3	Development Engineering jonal.hall@vaughan.ca	<p>The Owner/Applicant shall submit an application for a Service Connection and obtain a Cost Estimate by emailing serviceconnections@vaughan.ca. The Final Lot Grading and/or Servicing Plan will be required for the Service Connection Application. All costs associated with the service connection shall be the responsibility of the Owner/Applicant.</p> <p>Please visit the Service Connection page of the City of Vaughan's website: https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/service-connections for more information. The Owner/Applicant is encouraged to initiate the process as early as possible as the Service Connection Application process typically takes 4-6 weeks.</p> <p>If Applicant is not able to pay for the service connection fee prior to Service Connection expiration date, a Letter of Undertaking shall be provided to ensure the necessary arrangements are made. Refer to Appendix F for a copy of Letter of Undertaking template.</p>
4	TRCA yorkplan@trca.ca	<ol style="list-style-type: none">1. That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.

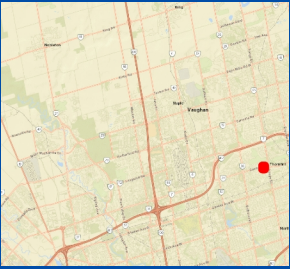
RECOMMENDED CONDITIONS OF APPROVAL SUMMARY		
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:		
		2. That the applicant obtains a permit for the proposed works pursuant to Conservation Authorities Act - Section 28.
	Forestry Kari.SthyrHansen@vaughan.ca	The Applicant/owner shall obtain a “Private Property Tree Removal & Protection Permit – Construction or Infill” through the forestry division prior to any construction works on the subject property.
<i>All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.</i>		

IMPORTANT INFORMATION
<p>CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p> <p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p> <p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p> <p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.</p>

SCHEDULE A: DRAWINGS & PLANS



Map Information:



Title: **Minor Variance Application - A073/25**

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.

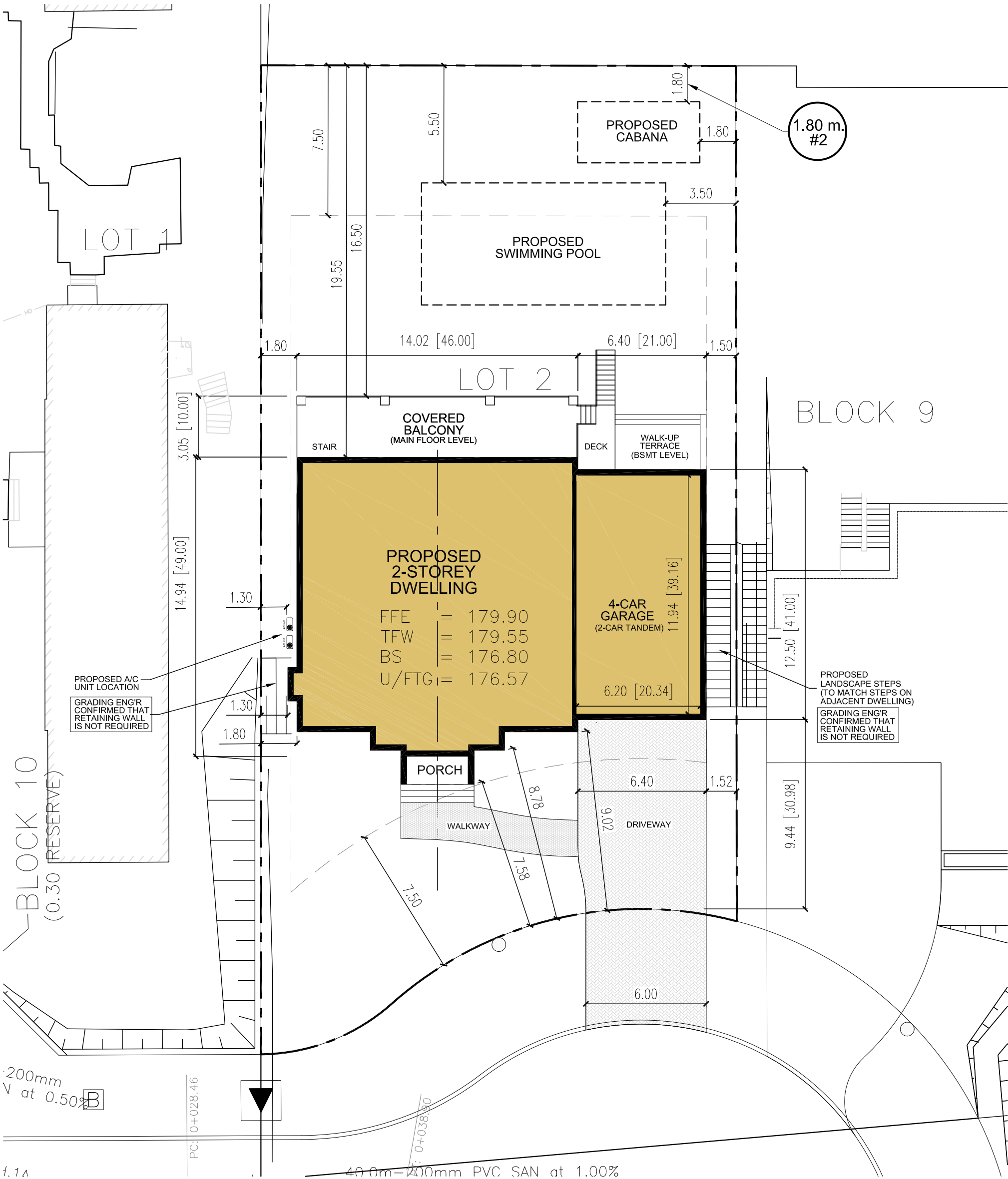


Scale: **1: 1,128**
0 0.02 km



Created By:
Infrastructure Delivery
Department
May 22, 2025 3:53 PM

Projection:
NAD 83
UTM Zone
17N

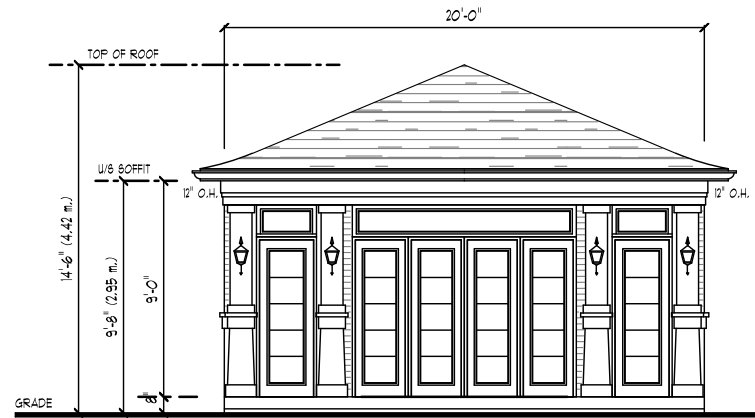


SITE STATISTICS						
LOT #2, #6 PETER MORSE WAY, VAUGHAN						
ZONING: R1V (AS AMENDED, BY-LAW NO. 093-2019)	AMENDED BY-LAW			PROPOSED		
	Area (Sq. M)	Area (Sq. Ft.)	Allowed Coverage	Area (Sq. M)	Area (Sq. Ft.)	Coverage (for Minor Variance)
MAIN DWELLING						
BUILDING FOOTPRINT	243.81	2,624	23.00%	286.14	3,080	27.00%
MAIN DWELLING + PORCHES & ACCESSORY STRUCTURE						
FRONT PORCH				5.57	60	
REAR DECK				50.17	540	
CABANA (10 FT. x 20 FT.)				18.58	200	
	296.81	3,195	28.00%	360.46	3,880	34.00%
REAR YARD (PROPOSED CABANA)	7.50	24.61	1.80	5.90		
	Meters	Feet		Meters	Feet	
LOT FRONTAGE	23.70	77.75		23.70	77.75	
MIN. FRONT YARD SETBACK	7.50	24.61		8.78	28.80	
MAX. BUILDING HEIGHT	10.50	34.45		10.05	33.00	
ZONING: R1V (BY-LAW NO. 1-88)	REQUIRED			PROPOSED		
	Area (Sq. M)	Area (Sq. Ft.)	Percentage	Area (Sq. M)	Area (Sq. Ft.)	Percentage
MIN. LOT AREA	845.00	9,095.50		1,060.06	11,410.39	
MIN. FRONT YARD SOFT LANDSCAPE (268.89 x 60%)	161.33	16,736.54	60.00%	203.47	2,190.13	75.00%
MIN. REAR YARD SOFT LANDSCAPE (393.09 x 60%)	235.85	2,538.67	60.00%	275.16	3,026.48	70.00%
	Meters	Feet		Meters	Feet	
MIN. PORCH FRONT YARD SETBACK	7.50	24.61		7.58	24.87	
MIN. SIDE YARD SETBACK (EAST)	1.50	4.92		1.50	4.92	
MIN. SIDE YARD SETBACK (WEST)	1.50	4.92		1.80	5.90	
MIN. REAR YARD (MAIN DWELLING)	7.50	24.61		19.55	64.14	

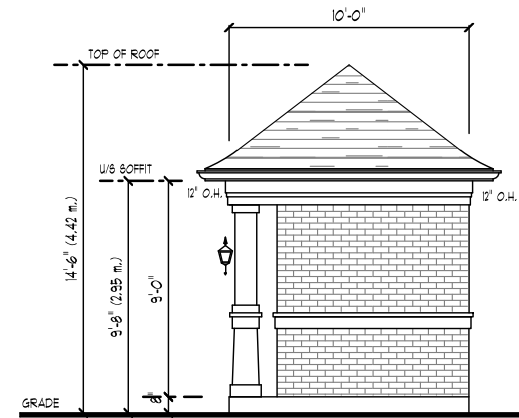
PRELIMINARY SITE PLAN
PROPOSED CUSTOM DWELLING
DONNA MAE CRESCENT
LOT No. 2 (#6 PETER MORSE WAY)
VAUGHAN, ON
W-2838 (JUNE 05, 2025)



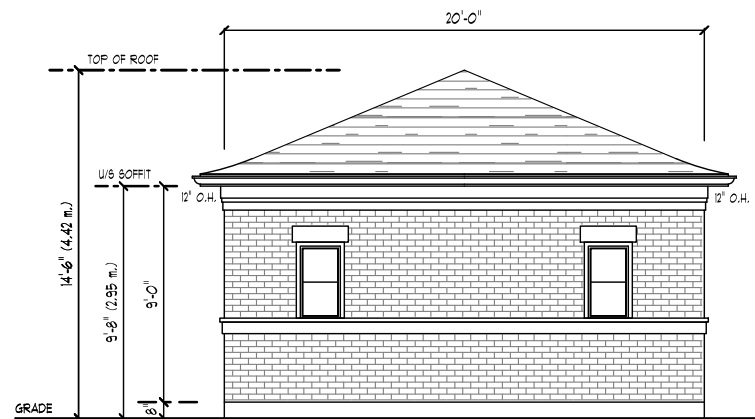
40 Vogell Road, Unit 46, Richmond Hill, Ontario L4B 3N6
905-780-0500 info@williamsarch.com williamsarch.com



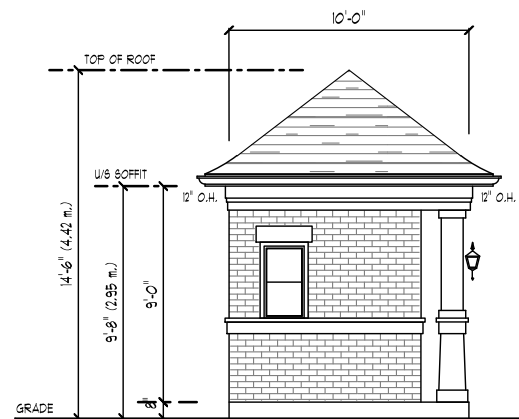
FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

PROPOSED CABANA CONCEPTUAL ELEVATIONS

PROPOSED CUSTOM DWELLING
DONNA MAE CRESCENT
LOT 2 (#6 PETER MORSE WAY)
VAUGHAN, ON
W-2838 (May 28, 2025)



JOHN G. WILLIAMS LIMITED
ARCHITECT

40 Vogell Road, Unit 46, Richmond Hill, Ontario L4B 3N6
905-780-0500 info@williamsarch.com williamsarch.com



CONCEPTUAL FRONT ELEVATION

PROPOSED CUSTOM DWELLING
DONNA MAE CRESCENT
LOT 2 (#6 PETER MORSE WAY)
VAUGHAN, ON
W-2838 (March 06, 2025)



JOHN G. WILLIAMS LIMITED
ARCHITECT

40 Vogell Road, Unit 46, Richmond Hill, Ontario L4B 3N6
905-780-0500 info@williamsarch.com williamsarch.com



LEFT ELEVATION

CONCEPTUAL LEFT ELEVATION

PROPOSED CUSTOM DWELLING
DONNA MAE CRESCENT
LOT 2 (#6 PETER MORSE WAY)
VAUGHAN, ON
W-2838 (March 06, 2025)



JOHN G. WILLIAMS LIMITED
ARCHITECT

40 Vogell Road, Unit 46, Richmond Hill, Ontario L4B 3N6
905-780-0500 info@williamsarch.com williamsarch.com



REAR ELEVATION

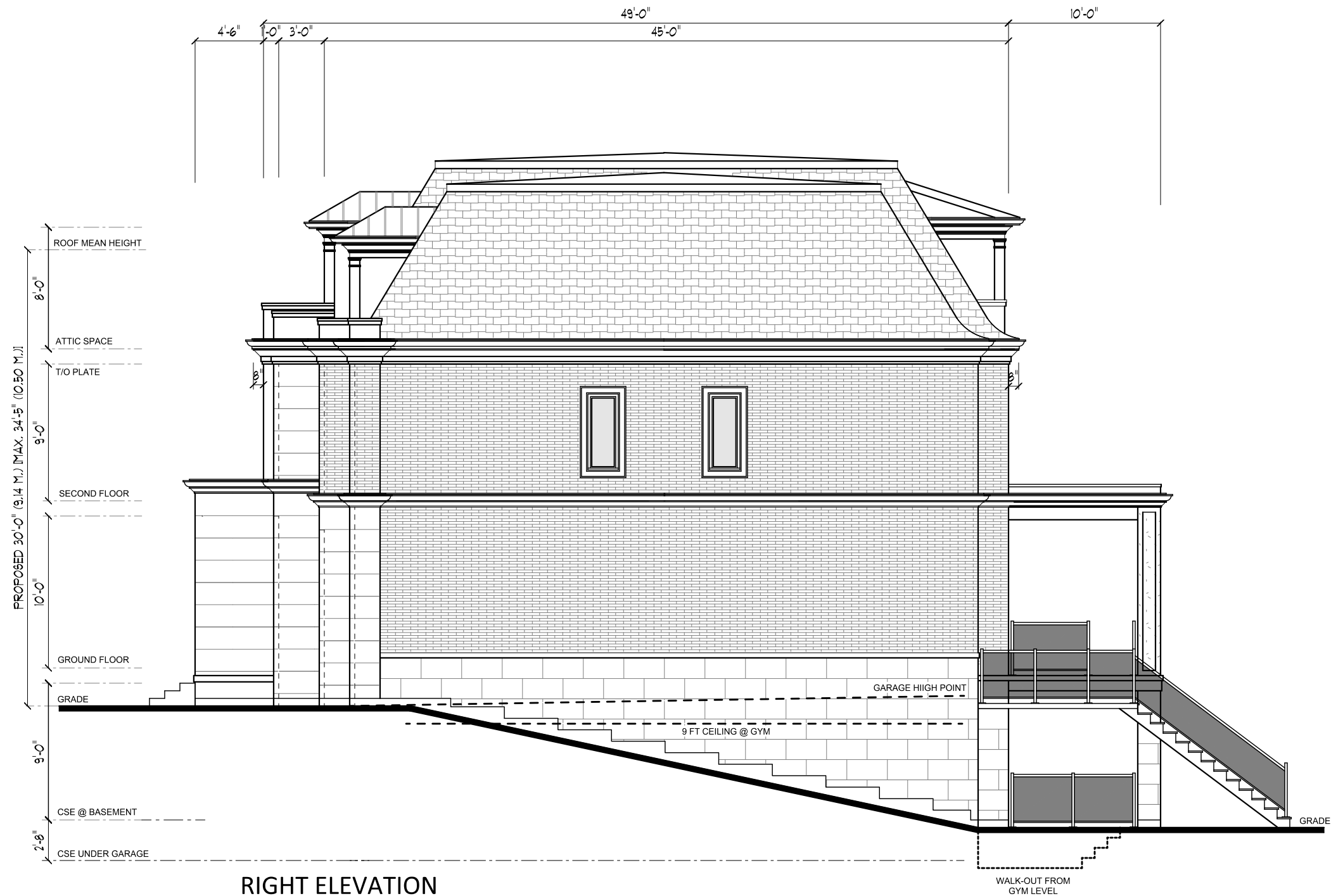
CONCEPTUAL REAR ELEVATION

PROPOSED CUSTOM DWELLING
DONNA MAE CRESCENT
LOT 2 (#6 PETER MORSE WAY)
VAUGHAN, ON
W-2838 (March 06, 2025)



JOHN G. WILLIAMS LIMITED
ARCHITECT

40 Vogell Road, Unit 46, Richmond Hill, Ontario L4B 3N6
905-780-0500 info@williamsarch.com williamsarch.com



CONCEPTUAL RIGHT ELEVATION

PROPOSED CUSTOM DWELLING
DONNA MAE CRESCENT
LOT 2 (#6 PETER MORSE WAY)
VAUGHAN, ON
W-2838 (March 06, 2025)



JOHN G. WILLIAMS LIMITED
ARCHITECT

40 Vogell Road, Unit 46, Richmond Hill, Ontario L4B 3N6
905-780-0500 info@williamsarch.com williamsarch.com

SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommended Partial Approval

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

Date: June 5th 2025

Attention: **Christine Vigneault**

RE: Request for Comments

File No.:

Related Files: **A073-25**

Applicant: Christian Zanetti

Location 6 Peter Morse Way

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

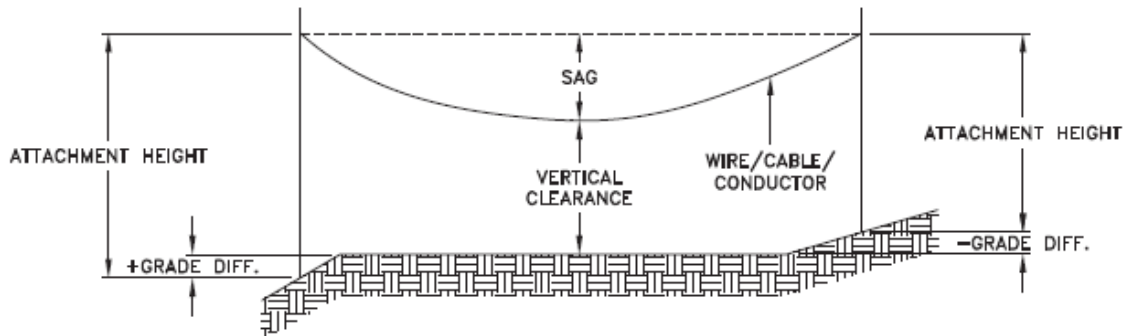
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alecrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alecrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 + GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

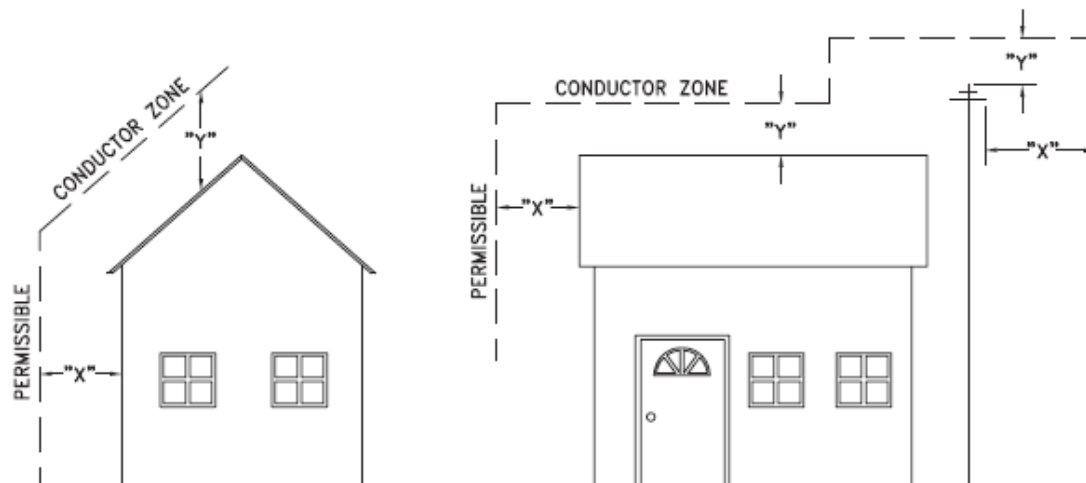
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

- UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
- THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
- THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
- BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
- IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
- DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
- ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Debbie Dadwani, P.Eng.	2010-MAY-05
Name	Date
P.Eng. Approval By: <u>D. Dadwani</u>	

To: Committee of Adjustment

From: Catherine Saluri, Building Standards Department

Date: June 3, 2025

Applicant: Christian Zanetti

Location: 6 Peter Morse Way
Plan 65M4742, Lot 2

File No.(s): A073/25

Zoning Classification:

The subject lands are zoned R1V (Old Village Residential Zone) and subject to Exception 9(1480) under Zoning Bylaw 1-88.

#	Zoning By-law 1-88	Variance requested
1	A maximum lot coverage of 23% for the main dwelling and 28% inclusive of unenclosed porches (covered or uncovered) and accessory structures is permitted. [Exception 9(1480), 1, cii]	To permit a maximum lot coverage of 27% for the main dwelling and 34% inclusive of unenclosed porches (covered or uncovered) and accessory structures (cabana).
2	A minimum setback of 7.5 m is required from the rear lot line to an accessory structure (cabana). [4.1.1 c]	To permit a minimum setback of 1.8 m from the rear lot line to an accessory structure (cabana).

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

Building permits are required for the proposed dwelling and cabana. Contact the Building Standards Department at (905) 832-8510 for assistance.

A permit is required for the proposed swimming pool and must be obtained from the Development Engineering Department.

Other Comments:

Zoning By-law 1-88	
1	This application has been determined to be transitioned in accordance with Section 1.6.2.6 of Zoning Bylaw 001-2021 and is therefore subject to Zoning Bylaw 1-88 only.
2	Proposed building height of 9.14 m, as shown on the Front Elevation drawing, has been considered for this minor variance review. The Agent confirms that the final building height of the dwelling will be determined once the grading engineer provide grade information. If the height exceeds the maximum permitted building height of 10.5 m, an additional variance will be required.

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

3	The Agent has confirmed that no retaining walls are proposed at the landscape steps in both interior side yards.
4	The Agent has confirmed that the pool equipment will be located in the cabana.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

None

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development and Parks Planning

Date: July 10, 2025

Name of Owner: Donna Mae Development GP Inc

Location: 6 Peter Morse Way, Thornhill

File No.(s): A073/25

Proposed Variance(s) (By-law 1-88):

1. To permit a maximum lot coverage of 27% for the main dwelling and 34% inclusive of unenclosed porches (covered or uncovered) and accessory structures (cabana).
2. To permit a minimum setback of 1.8 m from the rear lot line to an accessory structure (cabana).

By-Law Requirement(s) (By-law 1-88):

1. A maximum lot coverage of 23% for the main dwelling and 28% inclusive of unenclosed porches (covered or uncovered) and accessory structures is permitted.
2. A minimum setback of 7.5 m is required from the rear lot line to an accessory structure (cabana).

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owner is seeking relief to permit the construction of a new 2-storey detached dwelling and cabana, with the above noted variances.

The Development Planning Department is not a position to support Variance 1, to permit a maximum lot coverage of 27% for the main dwelling and 34% inclusive of unenclosed porches (covered or uncovered) and accessory structures (cabana). The property is subject to site-specific exception 9(1480) by By-law 1-88, which restricts the main dwelling to 23% and 28% inclusive of unenclosed porches and accessory structures. This site-specific exception was adopted by Vaughan Council through Zoning By-law Amendment, File Z.17.035, on May 14, 2019. Schedule 1B of the Vaughan Official Plan (VOP) 2010 identifies the property to be located within one of Vaughan's Established Large-Lot Neighbourhoods and are subject to Policy 9.1.2.3. Specifically part h) speaks to the importance of maintaining the low-density character of these areas and ensure opportunities for generous amenity and landscaping areas, lot coverage consistent with development in the area and as provided for in the zoning by-law is required to regulate the area of the building footprint within the building envelope, as defined by the minimum yard requirements of the zoning by-law. In 2004, Vaughan City Council directed Development Planning staff to undertake a comprehensive study and review of the redevelopment occurring in specific established neighbourhoods, including the area which the Subject Lands are located in. The objective of the study was to establish development criteria that balanced the evolution and growth of neighbourhoods based on the existing built form and character of the subject neighbourhoods. As a result of the report, a maximum of 23% lot coverage for 2-storey detached dwellings was determined to be appropriate. The coverage relates to the enclosed space of and attached to the dwelling. Some additional lot coverage above the maximum for accessory structures and covered but unclosed porches and decks may be considered through site specific analysis.

The Development and Parks Planning Department does not support the proposed 27% lot coverage for the main dwelling, as it exceeds the 23% maximum that is required by both the site-specific by-law exception and the 2004 Council approved study of the established neighbourhoods. The intent of the site-specific lot coverage provision was to restrict the size of the dwelling to ensure compatibility with the existing established

neighborhood. The proposed additional lot coverage for unenclosed non-livable space (front porch, rear deck, and balcony) and proposed cabana may be permitted, as they appear to be moderate in design. Development and Parks Planning Department are of the opinion that the main dwelling shall comply with the 23% maximum, and by reducing the dwelling, the total lot coverage (inclusive of the proposed porches and cabana) may be closer to compliance with the site-specific exception requirements.

The Development and Parks Planning Department has no objection to Variance 2, to permit the cabana to have a minimum setback of 1.8 m from the rear lot line. The proposed cabana will be located in northeast corner of the rear yard. The 1.8 m setback from the cabana to the rear lot line provides sufficient spatial separation for maintenance access, if required.

A portion of the Subject Lands are located within the TRCA regulatory area, and a TRCA permit has been imposed a condition of approval. Environmental Planning staff have also reviewed this application and noted the east portion of the subject lands about a significant woodland feature. In accordance with the Vaughan Official Plan (VOP) 2010, this feature is identified as a "Core Feature" of the Natural Heritage Network (NHN) and is subject to the relevant policies within Chapter 3. The proposed works associated with the minor variances being requested appear to be contained within the site and it is staff's understanding that the natural features on the adjacent to the east portion of the subject lands will not be impacted as a result of the minor variances requested and therefore have no objections to the proposal.

Cultural Heritage staff have also reviewed this application and noted the property was previously part of a property that is adjacent to the Thornhill Heritage Conservation District (HCD). Although the subject lands were assessed through a Stage 1 & 2 Archaeological Assessment and were cleared of further assessment as part of an earlier application, deeply buried archaeological resources may be encountered. Therefore, the Standard Archaeological Clause is to be applied as a condition of approval.

Recommendation:

The Development and Parks Planning Department recommends **refusal** of Variance 1, and **approval** of Variance 2.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

1. Should previously undocumented archaeological resources be found on the property during construction activities, the Owner must immediately cease all construction activities and notify the Ministry of Citizenship and Multiculturalism (or its successor), and the Development and Parks Planning Department, Urban Design and Cultural Heritage Division at the City of Vaughan.

2. If human remains are encountered during construction activities, the Owner must immediately cease all construction activities. The Owner shall contact the York Regional Police Department, the Regional Coroner, the Registrar of the Cemeteries at the Bereavement Authority of Ontario (BAO) and the City of Vaughan Development Planning Department, Urban Design and Cultural Heritage Division.

Comments Prepared by:

Alyssa Pangilinan, Planner
Janany Nagulan, Senior Planner

June 16, 2025

PAR-DPP-2025-00801

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Christine Vigneault
Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A073/25
Lot 2, Registered Plan 65M4742
6 Peter Morse Way
City of Vaughan, Regional Municipality of York
Applicant: Christian Zanetti**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on June 4, 2025. TRCA staff have reviewed the application and offer the following comments for the consideration of the Committee of Adjustment.

Purpose of the Application

It is our understanding that the purpose of the above noted application is to request the following variance under By-law 001-2021, as amended:

By-Law 001-2021:

- To permit a maximum lot coverage of **27%** for the main dwelling and **34%** inclusive of unenclosed porches (covered or uncovered) and accessory structures (cabana); and,
- To permit a minimum setback of **1.8 m** from the rear lot line to an accessory structure (cabana).

The noted variances are being requested to facilitate the construction of a two-storey dwelling with a covered balcony, in-ground pool, cabana, and associated hard landscaping and grading in the rear yard.

Conservation Authorities Act – Section 28

A portion of the rear yard is within TRCA's Regulated Area due to a Regional Storm floodplain associated with the Don River Watershed. As such, a TRCA permit pursuant to Section 28 of

the Conservation Authorities Act is required for any development and site alteration within TRCA's Regulated Area. Further details regarding TRCA's permitting requirements have been provided in Appendix 'A' for the proponent's reference.

Application-Specific Comments

The subject property and proposed development are partially within TRCA's Regulated Area due to a Regional Storm flood plain to the north portion of the subject lands. Any development (e.g., construction of structures, fill placement, grading, hardscaping) within TRCA's Regulated Area requires a permit from TRCA, pursuant to Section 28 of the Conservation Authorities Act and Ontario Regulation 41/24. For our permit to be issued, the proposed development must satisfy our Living City Policies.

A list of materials required to initiate the permit application process are included in Appendix 'A'. Please reach out to the undersigned to initiate the permit application process.

Fees

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$660.00 (Minor Variance – Residential – Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

Recommendations

Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A073/25 subject to the following conditions:

1. That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.
2. That the applicant obtains a permit for the proposed works pursuant to Conservation Authorities Act - Section 28.

We trust these comments are of assistance. Should you have any questions, please contact Cameron McDonald, Planner I at 437-880-1925 or at cameron.mcdonald@trca.ca.

Sincerely,

Cameron McDonald

Cameron McDonald
Planner I

Development Planning and Permits | Development and Engineering Services
cameron.mcdonald@trca.ca, 437-880-1925

Appendix 'A': TRCA Permit Application Requirements

To initiate the permit review process, the following materials must be provided to TRCA. Please be advised that the list below is exhaustive. Revisions to your permit checklist may be considered following a technical review of your application.

1. Complete Permit Application pursuant to Section 28.1 of the Conservation Authorities Act. The application can be downloaded from the following website: <https://trcaca.s3.ca-central-1.amazonaws.com/app/uploads/2024/05/13102126/FA-TRCA-Development-Permit-Application-Form-UPDATED-May8-2024.pdf>
2. A digital copy of the following finalized plans/drawings are required:
 - **Site Plan** showing the location and dimension of all proposed works;
 - Please identify the location of the Regional Storm flood plain on all drawings / plans. Please reach out to the undersigned for additional information on this feature.
 - **Architectural / Elevation Drawings**;
 - Please demonstrate that the proposed cabana is sufficiently setback or flood proofed to the Regional Storm flood plain elevation.
 - **Grading Plan**, if no grading is proposed, please add a note to the plan indicating the same;
 - **Topographic Survey**, identifying the entire subject property;
 - Please delineate the Regional Storm flood plain and associated setbacks. Please reach out to the undersigned for additional information on this feature.
 - **Engineering Letter**, demonstrating that the proposed cabana can withstand the depths and velocities of the Regional Storm flood plain (if applicable).
 - **Erosion and Sediment Control Plan**;
 - Please provide an erosion and sediment control plan in accordance with the TRCA ESC guidelines.
 - Please ensure all TRCA standard ESC notes have been included as well as all relevant details. The guidelines can be accessed at Link 1 and the TRCA standard ESC notes can be found at Link 2.
 1. <https://sustainabletechnologies.ca/home/erosion-and-sediment-control/esc-guide/>
 2. <https://s3-ca-central-1.amazonaws.com/trcaca/app/uploads/2020/10/14163702/StandardNotesInterimSeptember2020.pdf>
3. Permit review fee of \$535 (Works on Private Residential Property – Minor) consistent with TRCA's fee schedule.

From: [Development Services](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A073/25 - 6 PETER MORSE WAY - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Friday, June 6, 2025 9:08:28 AM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good morning,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Regards,

Gabrielle Hurst MCIP, RPP

Associate Planner, Development Planning, Economic and Development Services Branch
Corporate Services Department

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 8V3

O: 905-830-4444 ext. 71538 | developmentservices@york.ca |

Our Mission: **Working together to serve our thriving communities – today and tomorrow**

For more information check us out at www.york.ca/developmentservices

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			05/22/2025	Planning Justification Report
Public	Teresa Baldassarra	19 Donna Mae Crescent	06/03/2025	Letter of Support
Public	Matthew Baldassarra	11 Donna Mae Crescent	06/03/2025	Letter of Support
Public	Roy Sepal	9 Peter Morse Way	06/03/2025	Letter of Support
Public	Illegible	10 Peter Morse Way	06/03/2025	Letter of Support
Public	T. Baldassarra	5 Peter Morse Way	06/03/2025	Letter of Support
Public	Amir Mizrahi	21 Donna Mae Crescent	06/03/2025	Letter of Support
Public		24 Donna Mae Crescent	06/06/2025	Letter of Support
Applicant			07/09/2025	Presentation

City of Vaughan
2141 Major Mackenzie Drive
Vaughan, ON
L6A 1T1

Attn: Christine Vigneault, Secretary Treasurer to the Committee of Adjustment

Re: Minor Variance Application
6 Peter Morse Way, Vaughan (the "Subject Property")
Christian Zanetti


Dear Madam,

I/We have reviewed the architectural plans and drawings respecting the above noted Minor Variance to permit the construction of a two-storey single detached dwelling with tandem garage, covered rear yard balcony, and accessory cabana on the Subject Property. I/We support the requested variance to lot coverage and have no objection to this application including the proposed building footprint, massing and visual impact from our property and/or the streetscape.

Thank You,

TERESA BACDASSARCA

Name (Please Print)


Signature

19 DONNAMARIE CROS.

Address

MAY 20/25.

Date

City of Vaughan
2141 Major Mackenzie Drive
Vaughan, ON
L6A 1T1

Attn: Christine Vigneault, Secretary Treasurer to the Committee of Adjustment

**Re: Minor Variance Application
6 Peter Morse Way, Vaughan (the "Subject Property")
Christian Zanetti**

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Thank You,

Matthew Baldassarra

Name (Please Print)



Signature

11 Donna Mae Crescent

Address

May 16, 2025

Date

City of Vaughan
2141 Major Mackenzie Drive
Vaughan, ON
L6A 1T1

Attn: Christine Vigneault, Secretary Treasurer to the Committee of Adjustment

Re: Minor Variance Application
6 Peter Morse Way, Vaughan (the "Subject Property")
Christian Zanetti

Dear Madam,

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Thank You,


Name (Please Print)


Signature

9 Peter Morse way
Address

May 29/21
Date

City of Vaughan
2141 Major Mackenzie Drive
Vaughan, ON
L6A 1T1

Attn: Christine Vigneault, Secretary Treasurer to the Committee of Adjustment

Re: Minor Variance Application
6 Peter Morse Way, Vaughan (the "Subject Property")
Christian Zanetti

Dear Madam,

I/We have reviewed the architectural plans and drawings respecting the above noted Minor Variance to permit the construction of a two-storey single detached dwelling with tandem garage, covered rear yard balcony, and accessory cabana on the Subject Property. I/We support the requested variance to lot coverage and have no objection to this application including the proposed building footprint, massing and visual impact from our property and/or the streetscape.

Thank You,


Name (Please Print)


Signature

10 Peter Morse Way
Address

May 29/20
Date

City of Vaughan
2141 Major Mackenzie Drive
Vaughan, ON
L6A 1T1

Attn: Christine Vigneault, Secretary Treasurer to the Committee of Adjustment

Re: Minor Variance Application
6 Peter Morse Way, Vaughan (the "Subject Property")
Christian Zanetti

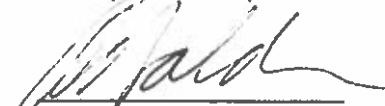
Dear Madam,

I/We have reviewed the architectural plans and drawings respecting the above noted Minor Variance to permit the construction of a two-storey single detached dwelling with tandem garage, covered rear yard balcony, and accessory cabana on the Subject Property. I/We support the requested variance to lot coverage and have no objection to this application including the proposed building footprint, massing and visual impact from our property and/or the streetscape.

Thank You,

T. BAUDASSARRA

Name (Please Print)


Signature

5 PETER MORSE WAY

Address

MAY 19/25,
Date

City of Vaughan
2141 Major Mackenzie Drive
Vaughan, ON
L6A 1T1

Attn: Christine Vigneault, Secretary Treasurer to the Committee of Adjustment

**Re: Minor Variance Application
6 Peter Morse Way, Vaughan (the "Subject Property")
Christian Zanetti**

Dear Madam,

I/We have reviewed the architectural plans and drawings respecting the above noted Minor Variance to permit the construction of a two-storey single detached dwelling with tandem garage, covered rear yard balcony, and accessory cabana on the Subject Property. I/We support the requested variance to lot coverage and have no objection to this application including the proposed building footprint, massing and visual impact from our property and/or the streetscape.

Thank You,

AMIR MIZRAHI
Name (Please Print)



Signature

21 Donna Mae Cres
Address

June 2, 2025
Date

City of Vaughan
2141 Major Mackenzie Drive
Vaughan, ON
L6A 1T1

Attn: Christine Vigneault, Secretary Treasurer to the Committee of Adjustment

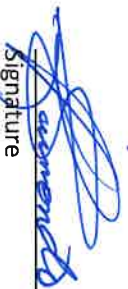
**Re: Minor Variance Application
6 Peter Morse Way, Vaughan (the "Subject Property")
Christian Zanetti**

Dear Madam,

I/We have reviewed the architectural plans and drawings respecting the above noted Minor Variance to permit the construction of a two-storey single detached dwelling with tandem garage, covered rear yard balcony, and accessory cabana on the Subject Property. legally establish the existing secondary dwelling unit as well as to address other associated zoning related deficiencies. I/We support the requested variance to lot coverage and have no objection to this application including the proposed building footprint, massing and visual impact from our property and/or the streetscape.

Thank You,

TINA RAIMONDO
Name (Please Print)


Signature

24 DONNA MAE CRESCENT
Address

JUNE 6, 2025
Date

6 Peter Morse Way, Vaughan,



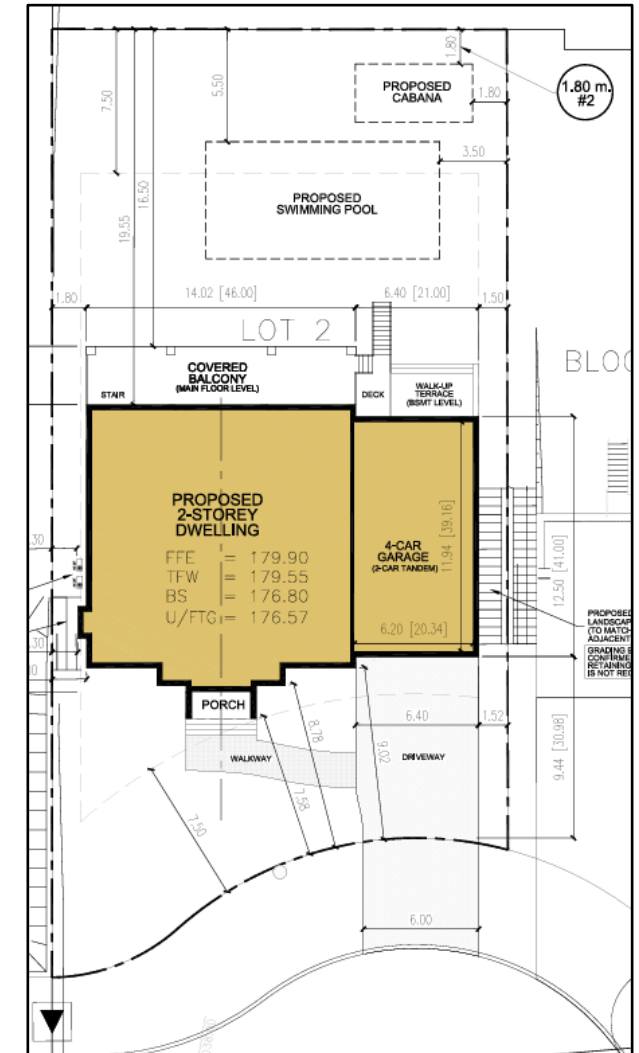
**Committee of Adjustment
Hearing
July 10, 2025
6:00pm**

**Minor Variance Application
A073/25**

HUMPHRIES PLANNING GROUP INC.

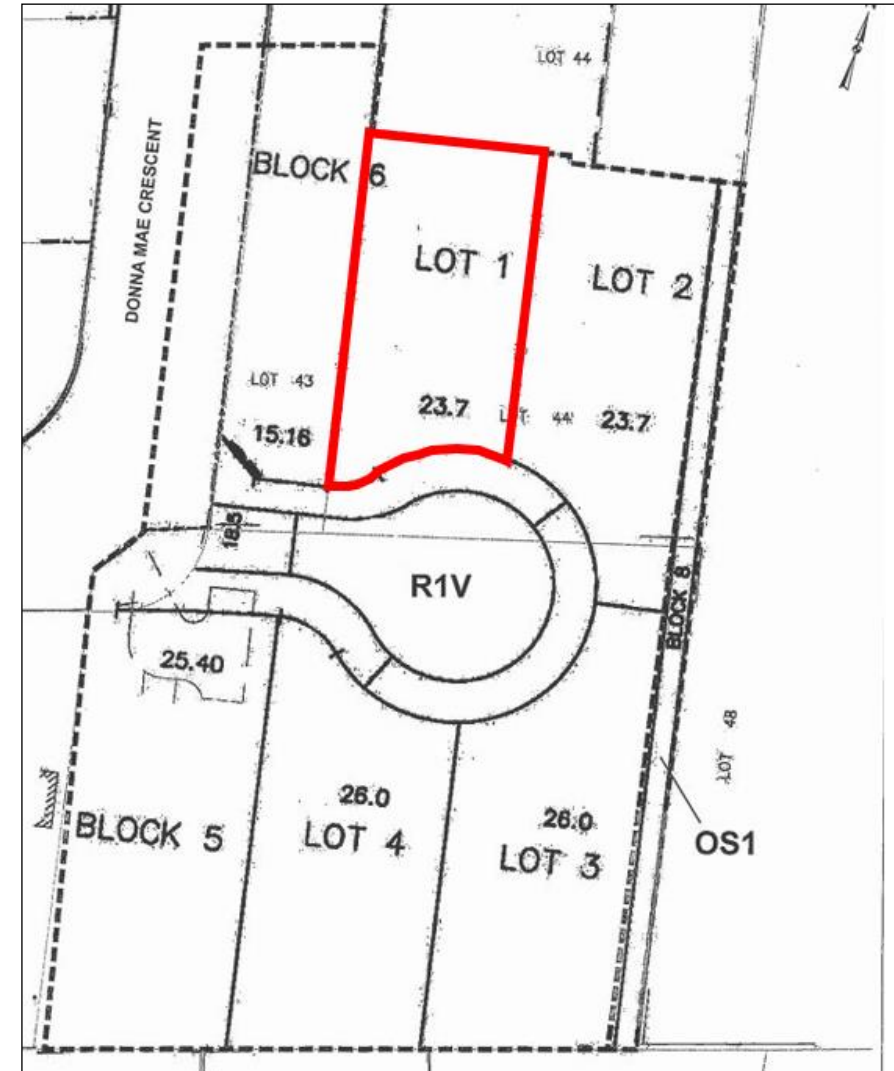
Development Proposal

- Two-storey single detached dwelling with attached 4 car garage (2-car tandem), covered balcony, walk-up terrace, rear yard deck, swimming pool and accessory cabana.
- Setbacks:
 - 8.72 metres (front lot line);
 - 1.50 metres (east property line);
 - 1.80 metres (west property line); and,
 - 19.55 metres to the rear lot line.
- Main dwelling footprint of 286.14 square metres (3,080 sq. ft.) which translates to a coverage ratio of **27.0%** of the total lot area.
- The overall development including the main dwelling, porches and the accessory cabana establishes a coverage of **34.0%**.
- Relief is being requested to permit an increase to the maximum permitted lot coverage and a reduction to the minimum setback from the rear lot line to an accessory structure (cabana).



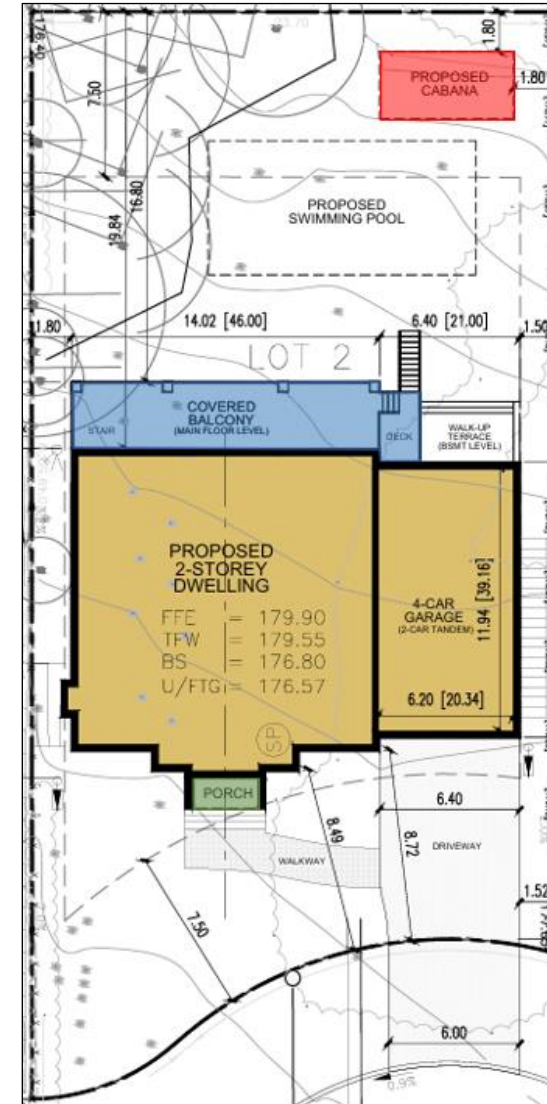
Plan of Subdivision 65M-4742

- The Subject Property forms part of Subdivision Plan 65M-4742 which was registered in June 2022.
- In 2017 Rezoning & Subdivision Applications were submitted for 11 and 19 Donna Mae Crescent to create a residential subdivision consisting of 6 lots, accessed by a new public road extending from Donna Mae Crescent.
- The proposal contemplated the creation of four lots for new detached dwellings, including the Subject Property, and two lots for the retention of the existing dwellings at 11 and 19 Donna Mae Crescent.
- The Rezoning also implemented site-specific zoning standards through Exception 9(1480) under Zoning Bylaw 1-88.
- The subdivision represents infill and intensification of a previously development area.



Coverage Breakdown

Proposed Lot Coverage		
Structure	G.F.A	%
Single Detached Dwelling	286.14 m2 (3,080 sq. ft.)	27.00%
Front Porch	5.57 m2 (60 sq. ft)	0.53%
Rear Deck	50.17 m2 (540 sq. ft.)	4.72%
Cabana	18.58 (200 sq. ft.)	1.75%
Total:	360.46 m2 (3,880 sq. ft.)	34.00%



Planning Analysis

- The development planning department has historically supported variances with a maximum lot coverage from 20% up to 23% for 2-storey dwellings in neighbourhoods zoned R1V (Old Village Residential Zone).
- The Subject Property already benefits from permissions for a maximum lot coverage of 23% for the main dwelling and 28% inclusive of unenclosed porches and accessory structures in accordance with the site-specific permissions.
- Development Planning staff have advised that the “*require the main dwelling to be consistent with the 23% maximum*”.
- Staff do not provide any analysis as to what, if any, tangible impacts would arise from the variance, if approved.
- Staff’s recommendation effectively precludes the ability for the landowner to submit a variance for relief for maximum lot coverage granted under Section 45(1) of the *Planning Act*.
- Staff’s recommendation is predicated solely on numbers and not how the proposed built form will manifest itself in the built environment. The lack of planning analysis is an indicator of this approach.

Planning Analysis - Cont'd

- Land use planning cannot be reduced to merely numerical analysis;
- Quantitative analysis does not express how a house may fit into an existing neighbourhood.
- Previous lot coverage ranges/approvals in neighbourhood is an insufficient basis (by itself) to determine support for a proposal.
- Because a proposal may represent the largest variance of its kind does not automatically disentitle it from consideration and approval.
- Statistics cannot determine compatibility with an area or neighborhood's physical characters.
- The difference between 23% and 27% translates to an additional **456 sq. ft.** of built area on the lot.
- The additional 456 sq. ft. is not discernable to a neighbour or passerby along the streetscape as all setback requirements and building height permissions are being maintained.

Planning Analysis – Cont'd

- The 'existing physical character of the area' is one that is characterized by large two-storey single detached dwellings that occupy large building footprints with two and three car integrated garages.
- The surrounding lotting pattern is varied with a mix of frontages, depths and lot areas.
- Housing is not standardized or uniform and building types manifest themselves in different ways on different lots which serve to create the eclectic "character of the area".
- The proposed development would not produce a demonstrably different outcome in terms of the built form that is realized, as compared to the surrounding neighbourhood.



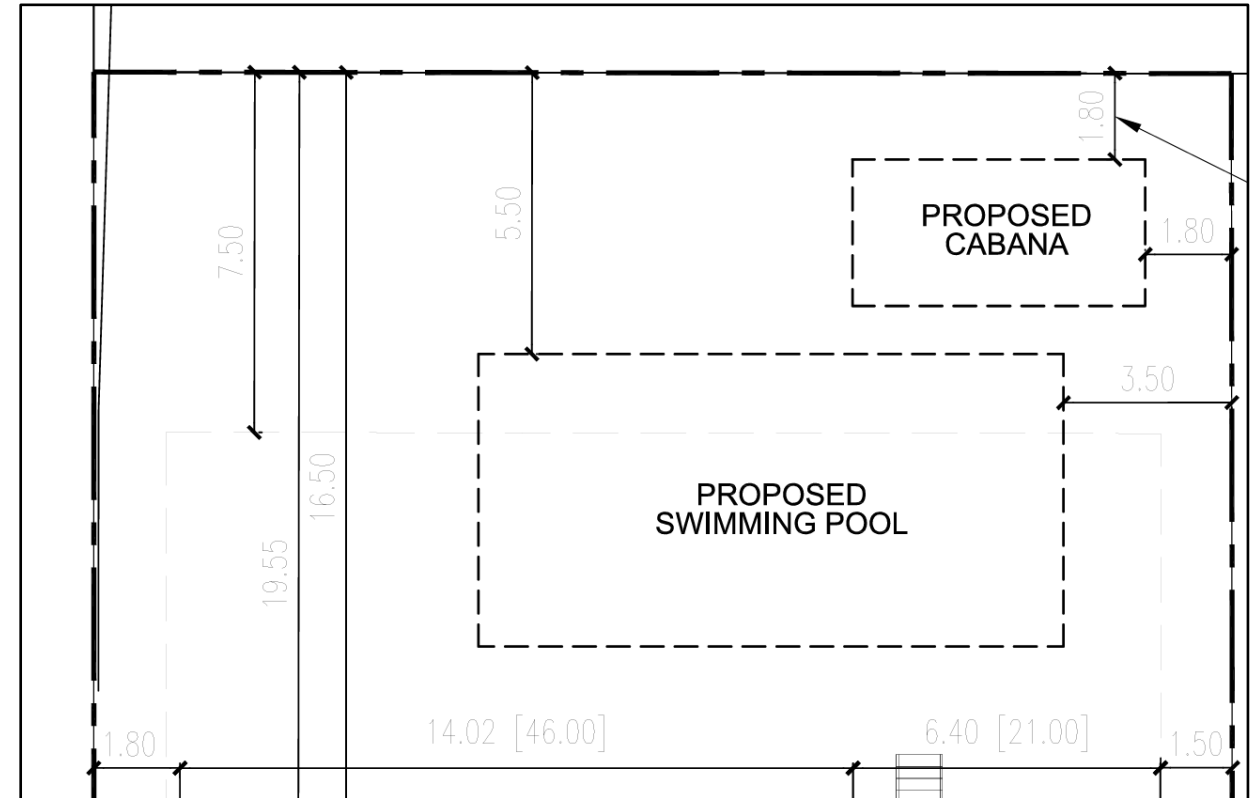
Planning Analysis

- The measure of a proposal should not solely rely on the coverage % because massing is given shape through urban design and, ultimately, the built form that is produced.
- The proposed dwelling has been carefully designed to deploy coverage and massing in a sensitive and respectful manner.
- Letters of support have been received by surrounding neighbours most impacted by the proposal.
- Typically, lot coverage exceedances which constitute an overdevelopment of a site will set off a “chain reaction” of additional variances.
- **No relief** to any other development standards of the By-law are being requested as it relates to the primary dwelling.



Planning Analysis – Cabana

- A variance for a minimum setback of 7.5 m is required from the rear lot line to an accessory structure (cabana).
- The requirement is associated with previous zoning By-law 1-88 which states that *“any accessory building or structure shall be located in the rear yard and subject to the required setbacks of the main dwelling unit on the lot”*.
- Based on the new By-law 01-2021, a residential accessory structure can be located up to 0.6 m to any lot line.
- The variance is consistent with the City’s new vision and approach to rear yard accessory buildings and structures.



Planning Opinion

- The four tests for a variance, as per the *Planning Act*, does not require a quantitative assessment. Instead, a qualitative analysis is more appropriate to assess the merits of an application.
- Staff's opinion/recommendation has been focused on a **pre-determined standard** that has failed to consider the more relevant planning considerations and elements before the Committee.
- In my opinion, the proposed development represents good planning and the requested variances, individually and collectively:
 - Maintain the general intent and purpose of the official plan;
 - Maintain the general intent and purpose of the zoning by-law;
 - Are desirable for the appropriate development of the land, building or structure; and,
 - Are minor in nature.

SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A