

ITEM: 6.1	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A070/25
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Report Date: Thursday, July 24, 2025

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):

Additional comments from departments and agencies received after the publication of the report will be made available on the City’s [website](#).

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Engineering	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Forestry	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			06/24/2025	Arborist Report
Applicant			06/24/2025	Landscape Plan
Applicant			06/24/2025	Tree Inventory Report
Public	Angelo Federico	160 Waymar Heights Blvd	06/29/25	Letter of Support

BACKGROUND (SCHEDULE D, IF REQUIRED)	
* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.	
Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
July 10, 2025	To permit further time for the applicant to provide further information outlined in the Development Planning Report dated July 9, 2025, to the satisfaction of the Development Planning and Parks, Forestry and Horticulture Operations departments.

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background

	MINOR VARIANCE APPLICATION FILE NUMBER A070/25
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CITY WARD #:	2
APPLICANT:	Rosalee Bello
AGENT:	Evaristo Jardin (Turner Fleischer Architects Inc)
PROPERTY:	145 Waymar Heights Boulevard, Woodbridge
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low Rise Residential" by Schedule 2 - Land Use Plan of Woodbridge Centre Secondary Plan (Chapter 11.11, Volume 2)
RELATED DEVELOPMENT APPLICATIONS:	N/A
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a new dwelling, cabana, porch and widened driveway.

The following variances have been requested from the City’s Zoning By-law:

The subject lands are zoned R1E(EN) – First Density Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The minimum front yard shall be 17.63 metres. [Table 7-3]	To permit a minimum front yard of 13.0 metres.
2	The maximum building height shall be 8.5 metres. [4.5]	To permit a maximum building height of 9.74 metres.
3	A porch including stairs may encroach a maximum 2.0 metres into a required front yard. [Table 4-1]	To permit a porch including stairs to encroach a maximum of 2.44 metres into the required front yard.
4	The maximum height of a residential accessory building shall be 3.0 metres. [4.14]	To permit a residential accessory building to have a maximum height of 3.41 metres.
5	The maximum driveway width shall be 9.0 metres. [6.7]	To permit a maximum driveway width of 10.8 metres.

HEARING INFORMATION
DATE OF MEETING: Wednesday, July 30, 2025 TIME: 6:00 p.m. MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2 nd Floor), 2141 Major Mackenzie Drive LIVE STREAM LINK: Vaughan.ca/LiveCouncil
PUBLIC PARTICIPATION
<p>If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the Request to Speak Form and submit to cofa@vaughan.ca</p> <p>If you would like to submit written comments, please quote file number above and submit by mail or email to:</p> <p>Email: cofa@vaughan.ca</p> <p>Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1</p>

HEARING INFORMATION
To speak electronically, pre-registration is required by completing the Request to Speak Form on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.
THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS <u>NOON</u> ON THE LAST BUSINESS DAY BEFORE THE MEETING.

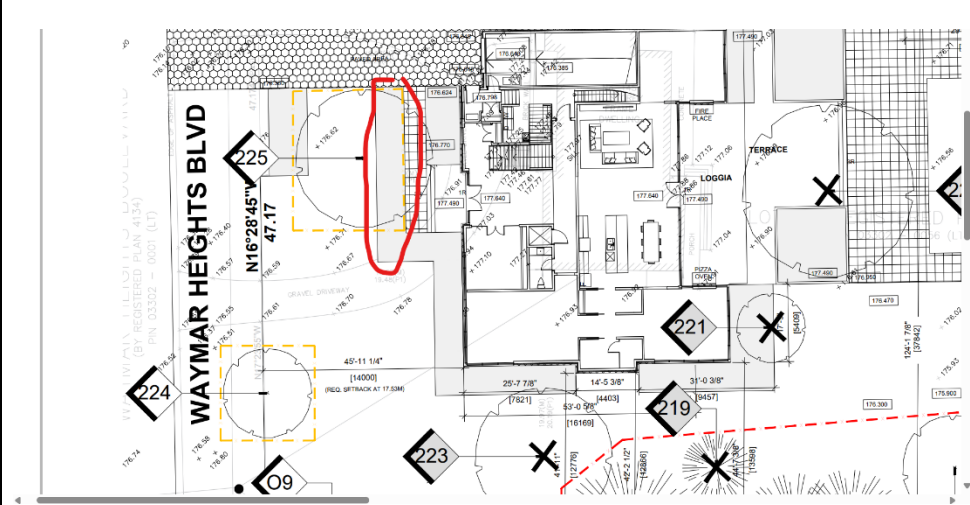
INTRODUCTION
Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.
Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:
That the general intent and purpose of the by-law will be maintained.
That the general intent and purpose of the official plan will be maintained.
That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
That the requested variance(s) is/are minor in nature.
Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT	
Date Public Notice Mailed:	July 16, 2025
Date Applicant Confirmed Posting of Sign:	July 14, 2025
Applicant Justification for Variances: <small>*As provided in Application Form</small>	We are providing a similar setback to the newer homes recently constructed adjacent to and across the road from 145 Waymar Heights.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

COMMENTS:
Minor variance application A070/25 was adjourned at the Committee of Adjustment meeting on July 10, 2025, to permit further time for the applicant to provide further information outlined in the Development Planning Report dated July 9, 2025, to the satisfaction of the Development Planning and Parks, Forestry and Horticulture Operations departments.
On July 8, 2025, the Parks, Forestry and Horticulture Operations Department advised:
Forestry has begun to review the Private Tree Removal Permit for the above-mentioned address.
<i>During Forestry’s inspection, it was discovered that there is a tree of significant size on the property. Tree #220 was identified as a Sugar Maple and measures at 97cm DBH (Diameter at Breast Height). In accordance with the City of Vaughan’s Tree By-law 000-2024, any tree with a DBH of 80 cm or greater is classified as a significant tree and at the discretion of the Forestry department, the tree removal permit may be denied.</i>
<i>Following our review, we would like to address the following items:</i>
1. Retention of Tree #220
<i>Forestry would like tree #220 to be retained, based on the considerations below:</i>
<ul style="list-style-type: none"><i>- The tree has a diameter above 80cm DBH and is considered a significant tree.</i><i>- The tree is in fair-good health and has a fair-good structure, meaning it is in the City’s best interest to preserve and protect.</i><i>- Sugar maples are a native species to Ontario and play an important role in our environment. They are a host to hundreds of native insects and a tree of that stature provides a very large amount of environmental and ecological benefits to the urban canopy and environment.</i><i>- Sugar Maple is also one of the most iconic landscape trees, well known for its stately form, and its incredible display of colours in the fall. A tree of this size and species is becoming a rarity within an urban setting.</i>
<i>Please augment your drawings and update the TPP and arborist report to show the tree being retained and a minimum TPZ distance of 10m maintained.</i>
2. Encroachment on Tree’s #209 and #225

COMMITTEE OF ADJUSTMENT

We have identified that trees #209 and #225 appear to have encroachment into the Tree Protection Zones. Please clarify the extent of work that will be occurring in the shaded area shown below, and also include the percentage of encroachment into the TPZ's of both trees.



3. Discrepancy in TPP Documentation
The current TPP drawing does not align with the tree inventory. Tree #213 is listed to be retained, but the drawing shows the tree as a removal. Please update the TPP so that both the tree inventory list and the drawing reflect the retention of tree #213.

On July 11, 2025, Committee of Adjustment staff recommended that the applicant adjourn the application from the July 30, 2025, hearing to permit further time for the applicant to address Forestry department’s concerns.

On July 14, 2025, the applicant requested to proceed to the July 30, 2025, Committee of Adjustment hearing.

On July 15, 2025, the Development Planning Department asked the applicant the following:

Please confirm if the intention is to revise the design to address comments that have been provided so far. And if so, please advise when staff can expect receipt of the resubmission for review.

On July 15, 2025, the applicant responded to the Development Planning Department’s inquiry with the following:

We are currently not proposing any redesign. Our team is working with Forestry to address their concerns.

On July 21, 2025, the Development Planning Department advised that more information on the application will be made available once the Parks, Forestry and Horticulture Department completes a site visit that is scheduled for July 22, 2025. On the same day, the applicant had also advised the following, “[We] will be providing reports from our arborist as well as a third party arborist, whose findings will support our position in removal of the Sugar Maple in question.”

Should the application be adjourned from the July 30 hearing, the applicant will be required to pay an Adjournment Fee (\$640.00) prior to the rescheduling of this application.

Committee of Adjustment Recommended Conditions of Approval:	The applicant shall submit the adjournment fee of \$640.00 as the application (adjournment from July 10, 2025, Committee of Adjustment hearing).
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BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	TBD
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DEVELOPMENT ENGINEERING	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
<p>The proposed single storey residential dwelling can increase to the existing storm drainage flows having adverse effects on the neighbour's property. The Owner/Applicant must submit an application and obtain an approved Grading Permit prior to starting any work on the property related to the proposed two-storey dwelling. The Owner/Applicant is responsible for ensuring that positive drainage is maintained and that the construction does not create any surface drainage issues on adjacent private or public lands, in accordance with the City of Vaughan's Engineering Standards.</p> <p>The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca</p> <p>The Owner / Applicant shall apply for a Pool Permit with the Development Engineering (DE) Department. Please visit the grading permits page at City of Vaughan website to learn how to apply for the Pool Permit. If you have any question about Pool Grading Permit, please contact the Development Engineering Department through email at DEPermits@vaughan.ca.</p> <p>The Owner / Applicant shall submit an application for a Road Occupancy Permit for the proposed modification to the existing circular driveway. Applications for the permit can be submitted either by email to Utility.Coordinator@vaughan.ca or in person at the Joint Operations Center located at 2800 Rutherford Road. The Owner / Applicant is responsible for restoring all affected areas, including ditches and boulevards, to their original condition. For instructions on applying for the Road Occupancy Permit, please refer to the Road Occupancy Permit, Municipal Consent and Road Closure Application City of Vaughan page on the City of Vaughan website.</p> <p>For your proposed modification of an existing circular driveway, the Roads Operations Department installs and replaces culverts for Vaughan residents and businesses. All culvert work within the municipal right-of-way requires City approval and coordination. To apply for new culvert installation or replacement, you must call Service Vaughan at 905-832-2281.</p> <p>The Transportation and Fleet Management Services maintains and repairs ditches and culverts. Your project will require coordination with this department since it involves both culvert removal and installation affecting the municipal drainage system. The Owner / Applicant shall apply and obtain the necessary Culvert/Reinstating Permit. For instructions on applying for the Culvert/Reinstating Permit, please refer to the Curb Cuts and Driveway Widening City of Vaughan page on the City of Vaughan website.</p> <p>The Development Engineering Department does not object to the Minor Variance application A070/25.</p>	
Development Engineering Recommended Conditions of Approval:	None

PARKS, FORESTRY & HORTICULTURE (PFH)	
Application under review.	
PFH Recommended Conditions of Approval:	TBD

DEVELOPMENT FINANCE	
No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES	
No comments received to date.	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC)	
No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

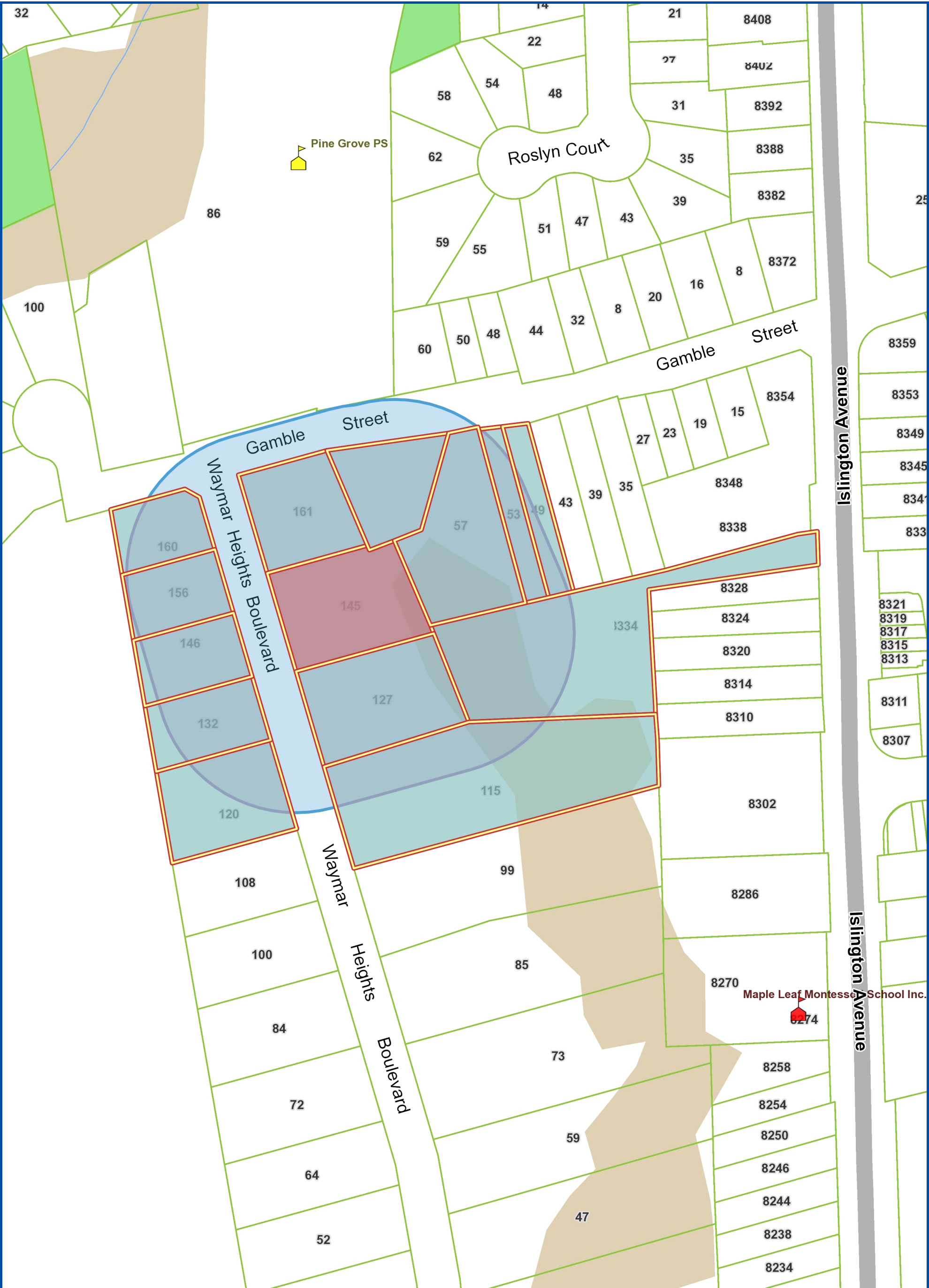
FIRE DEPARTMENT	
No comments received to date.	
Fire Department Recommended Conditions of Approval:	None

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY		
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:		
#	DEPARTMENT / AGENCY	CONDITION
1	Committee of Adjustment cofa@vaughan.ca	The applicant shall submit the adjournment fee of \$640.00 as the application (adjournment from July 10, 2025, Committee of Adjustment hearing).
2	Development Planning Harry.zhao@vaughan.ca	TBD
3	Parks, Forestry and Horticulture Operations Ryan.cochrane@vaughan.ca	TBD
4	TRCA yorkplan@trca.ca	That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.
<i>All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.</i>		

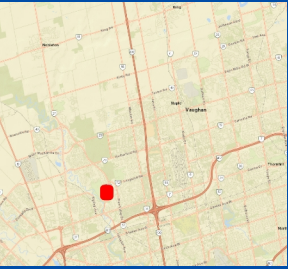
IMPORTANT INFORMATION
CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.
APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision. An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval. A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law. Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application. Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.
DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment. That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment. That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

IMPORTANT INFORMATION
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.
NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will not receive notice.

SCHEDULE A: DRAWINGS & PLANS



Map Information:



Title: Minor Variance Application A070/25

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1: 2,257

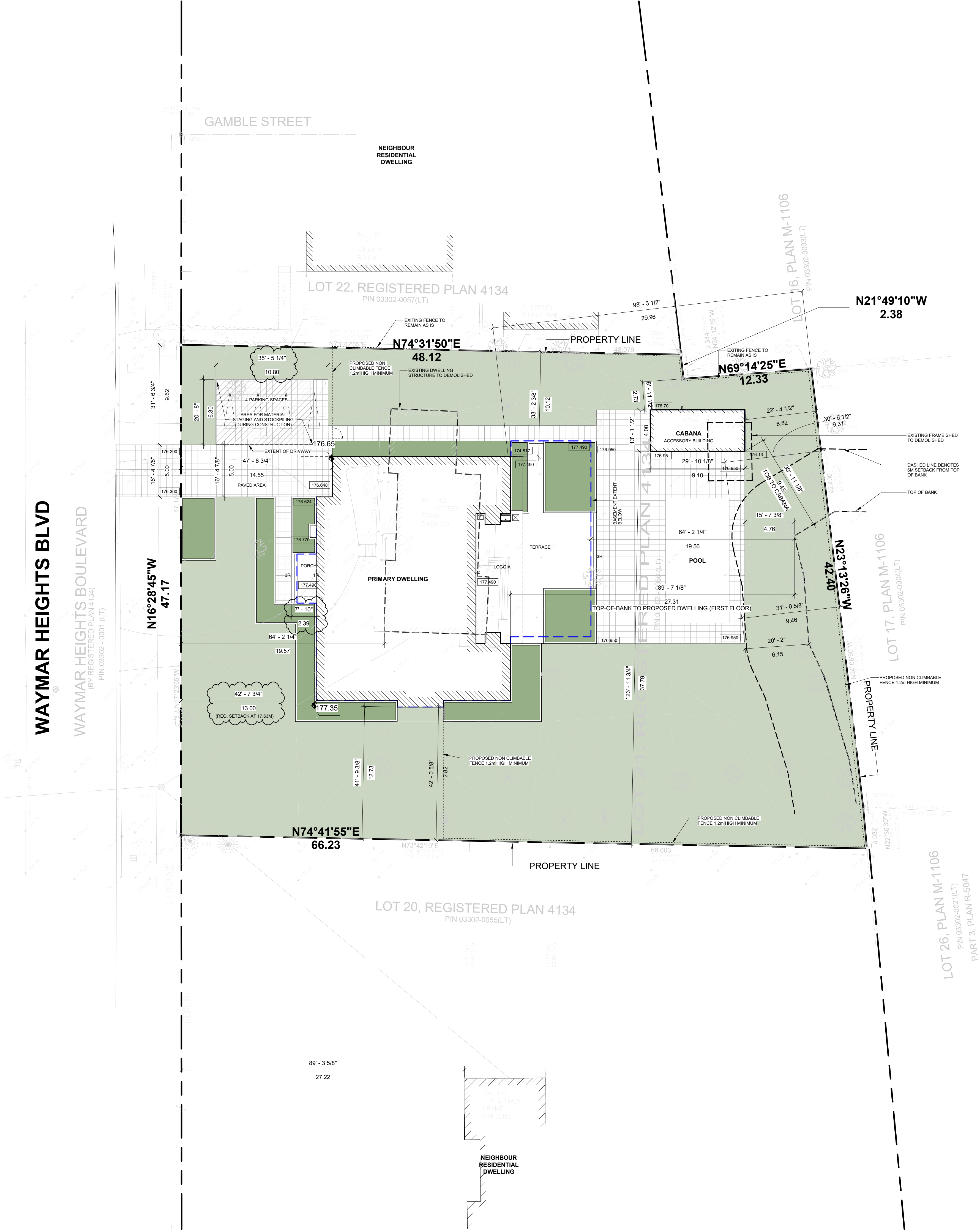
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Created By:

Infrastructure Delivery
Department
May 21, 2025 10:39 AM

Projection:
NAD 83
UTM Zone
17N



ZONING INFORMATION	
ZONE	: R1E
LOT AREA	: 2,963.98 m² (31,904 SQF)
LOT FRONTAGE	: 47.17 M
PROPOSED GFA	
PROPOSED GROUND FLOOR AREA	: 348.57 m² (3,752 SQF)
PROPOSED SECOND FLOOR AREA	: 278.05 m² (2,993 SQF)
TOTAL GROSS FLOOR AREA	: 626.62 m² (6,745 SQF)
BUILDING AREA PRIMARY DWELLING	: 392.97 m² (4,230 SQF)
BUILDING AREA OF CABANA	: 36.32 m² (391 SQF)
TOTAL BUILDING AREA	: 429.29 m² (4,621 SQF)
DENSITY	
PROPOSED DENSITY	: 0.21
LANDSCAPE AREA	: 1,894.66 m² (20,394 SQ FT)
LANDSCAPE, SOFT	: 616.50 m² (6,636 SQ FT)
LANDSCAPE, HARD	: 2,278.16 m² (24,530 SQ FT)
TOTAL LANDSCAPE	: 2,511.16 m² (27,558 SQ FT)
% OF LANDSCAPE AREA	: 84.72 %
BUILDING COVERAGE	: 14.48 %
PROPOSED DWELLING STRUCTURE	
FRONT SETBACK	: 13.00 M (42'-7 3/4")
REAR SETBACK	: 20.73 M (67'-8 1/2")
INTERIOR SIDE SETBACK (North)	: 10.12 M (33'-2 1/4")
INTERIOR SIDE SETBACK (South)	: 12.73 M (41'-9 3/8")
EXTERIOR SIDE SETBACK	: N/A
NUMBER OF STOREYS	: 2
BUILDING HEIGHT	: 9.74 M (31'-11 1/4")
PROPOSED ACCESSORY STRUCTURE	
SETBACK FROM PRIMARY DWELLING	: 13.44 M (44'-1 1/4")
REAR SETBACK	: 6.82 M (22'-4 1/2")
INTERIOR SIDE SETBACK (North)	: 2.73 M (9'-0 1/2")
INTERIOR SIDE SETBACK (South)	: 37.79 M (123'-11 3/4")
BUILDING HEIGHT	: 3.5 M
VARIANCE REQUIRED	
1. Existing front set back	= 19.57m
The minimum front yard shall be the existing front yard less 10% or 9.0 m, whichever is greater.	
Required front setback	= 17.63 m
PROPOSED SET BACK (VARIANCE REQUEST)	
	= 13 m
2. Existing house main wall	= 3.5m
Pitched roof height	= 2m
Due to slope being more than 15%, 2m/2	= 1m
Total existing house height	= 4.5m
As per -EN suffix required building height 4.5m+3m	= 7.5m.
The maximum building height shall be the existing building height plus 3.0 m, but in no case shall the maximum building height requirement be less than 8.5 m.	
Proposed Building height (VARIANCE REQUEST)	= 9.74m
3. A porch including stairs may encroach a maximum 2.0 metres into a required front yard.	
FOR PORCH ENCROACHMENT INCLUDING STAIRS	
VARIANCE REQUEST	=2.44M
4. The maximum height of a residential accessory building shall be 3.0 Metres.	
PROPOSED ACCESSORY BUILDING HEIGHT (VARIANCE REQUEST)	
	=3.41m
5. Permitted maximum driveway width us 9 m	
PROPOSED DRIVEWAY WIDTH (VARIANCE REQUEST)	
	=10.8M
SITE NOTES:	
1. ALL CONSTRUCTION ACCESS SHALL OCCUR ON THE SUBJECT PROPERTY.	
2. NO CHANGES IN GRADING IS PROPOSED	
ESTABLISH GRADE CALCULATION HOUSE ESTABLISH GRADE (176.65 + 177.35)/2= 177	
CABANA ESTABLISH GRADE (176.71 + 176.13)/ 2 = 176.42	

TURNER FLEISCHER

67 Lesmill Road
Toronto, ON, M5B 2T8
T 416 425 2222
turnerfleischer.com

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer of any variations from the supplied information. This drawing is not to be loaned, copied, reproduced, or otherwise used for any purpose other than the project for which it was prepared. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of all relevant governing jurisdictions. The contractor working from drawings not specifically marked "For Construction" must assume full responsibility and bear costs for any corrections or damages resulting from his work.

4	2025-06-04	REISSUED FOR COA	YPS
3	2025-06-30	REISSUED FOR COA	YPS
2	2025-06-26	REISSUED TO TRCA	YPS
1	2025-06-14	ISSUED FOR COA AND TRCA	YPS
#	DATE	DESCRIPTION	BY

PROJECT

PROPOSED SINGLE RESIDENTIAL DWELLING

145 Waymar Heights Blvd, Vaughan, ON

DRAWINGS

SITE PLAN

PROJECT NO.
25.085P01

PROJECT DATE
2025-05-13

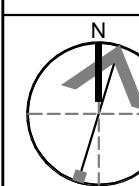
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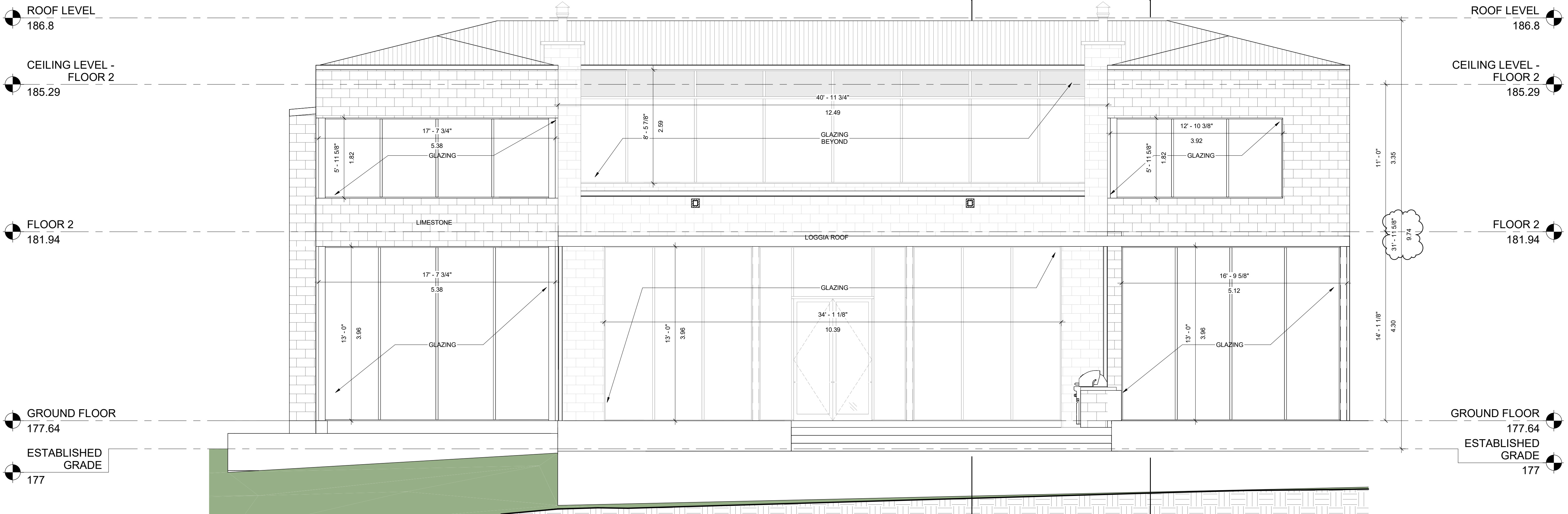
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SCALE
As indicated

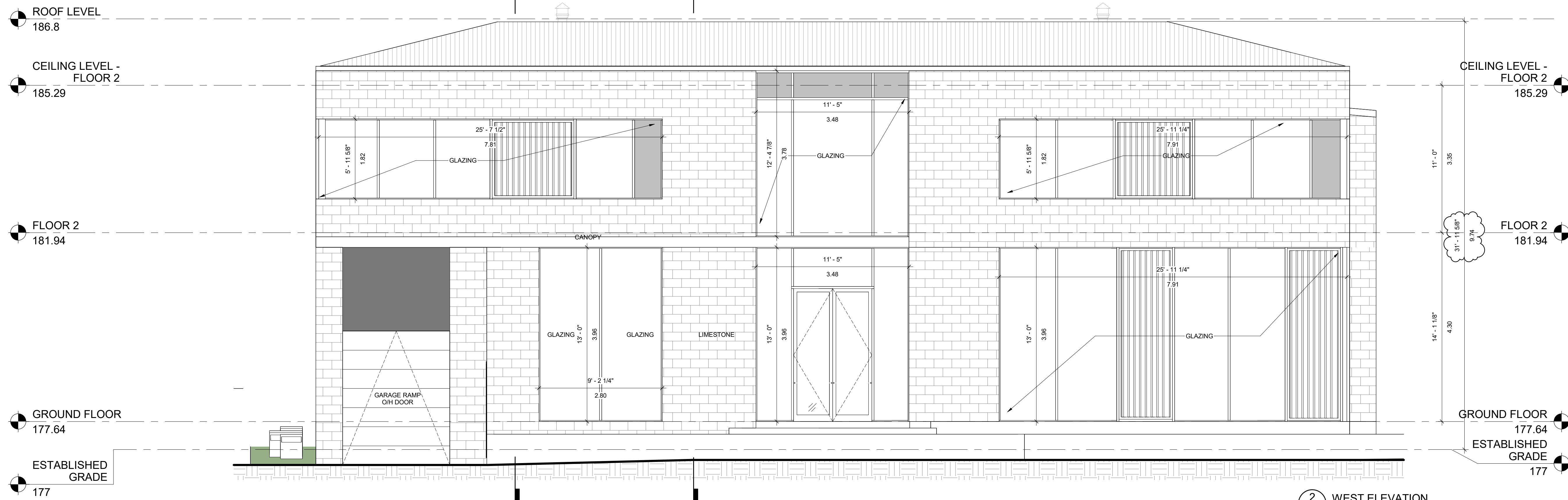
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REV.
4





1 EAST ELEVATION
1 : 50



2 WEST ELEVATION
1 : 50

3	2025-06-04	REISSUED FOR COA	YPS
2	2025-05-30	REISSUED FOR COA	YPS
1	2025-05-14	ISSUED FOR COA AND TRCA	YPS
#	DATE	DESCRIPTION	BY

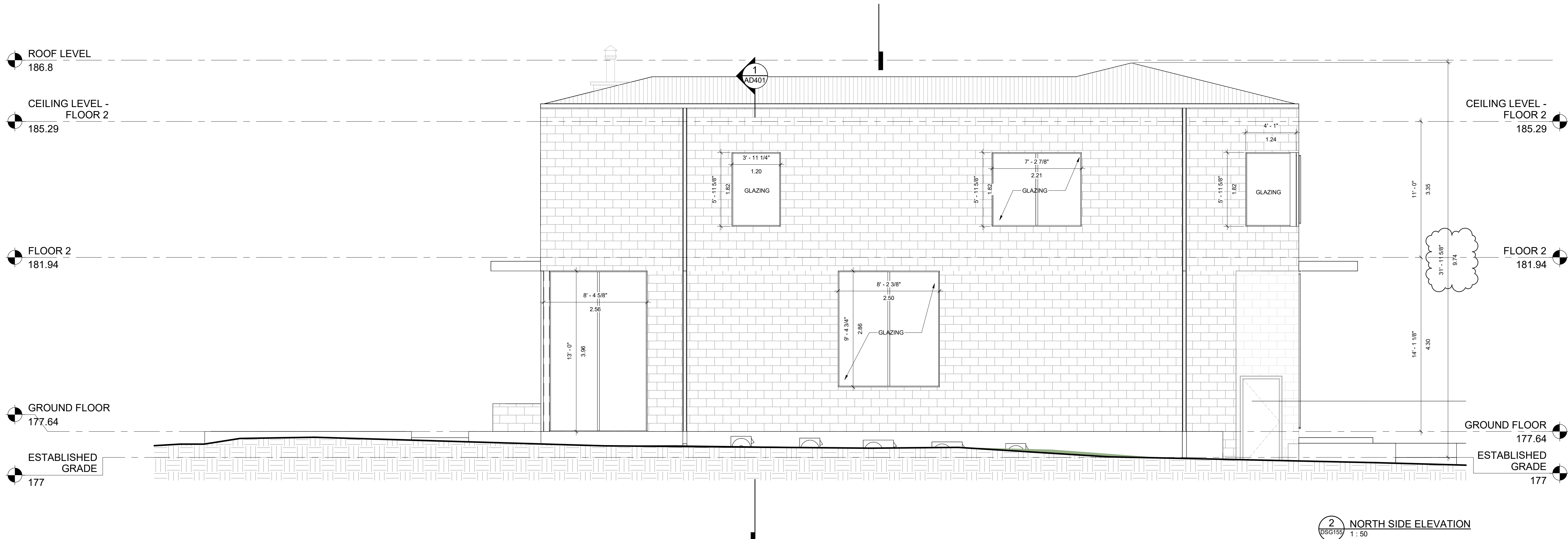
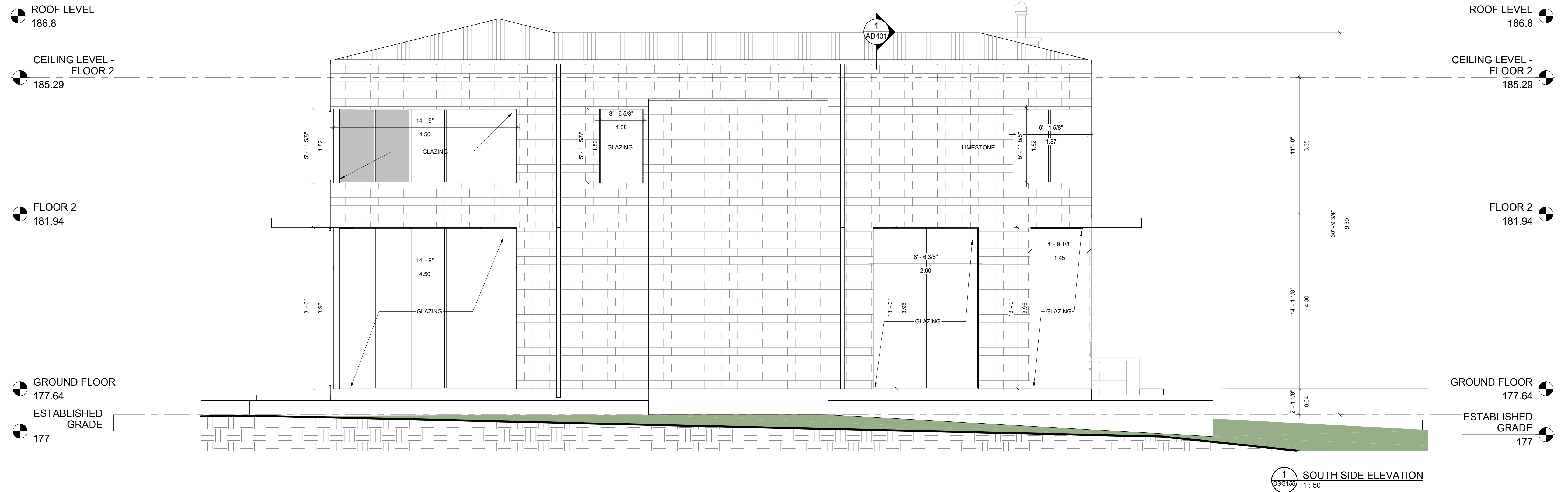
PROJECT
PROPOSED SINGLE RESIDENTIAL DWELLING

145 Waymar Heights Blvd, Vaughan, ON

DRAWING
EAST AND WEST ELEVATIONS

PROJECT NO.
25.085P01
PROJECT DATE
2025-05-13
DRAWN BY
HST
CHECKED BY
YPS
SCALE
1 : 50

DRAWING NO.
DSG154
REV.
3



3	2025-06-04	REISSUED FOR COA	YPS
2	2025-05-30	REISSUED FOR COA	YPS
1	2025-05-14	ISSUED FOR COA AND TRCA	YPS
#	DATE	DESCRIPTION	BY

PROJECT

PROPOSED SINGLE RESIDENTIAL DWELLING

145 Waymar Heights Blvd, Vaughan, ON

DRAWINGS

NORTH AND SOUTH ELEVATIONS

PROJECT NO.
25.085P01

PROJECT DATE
2025-05-13

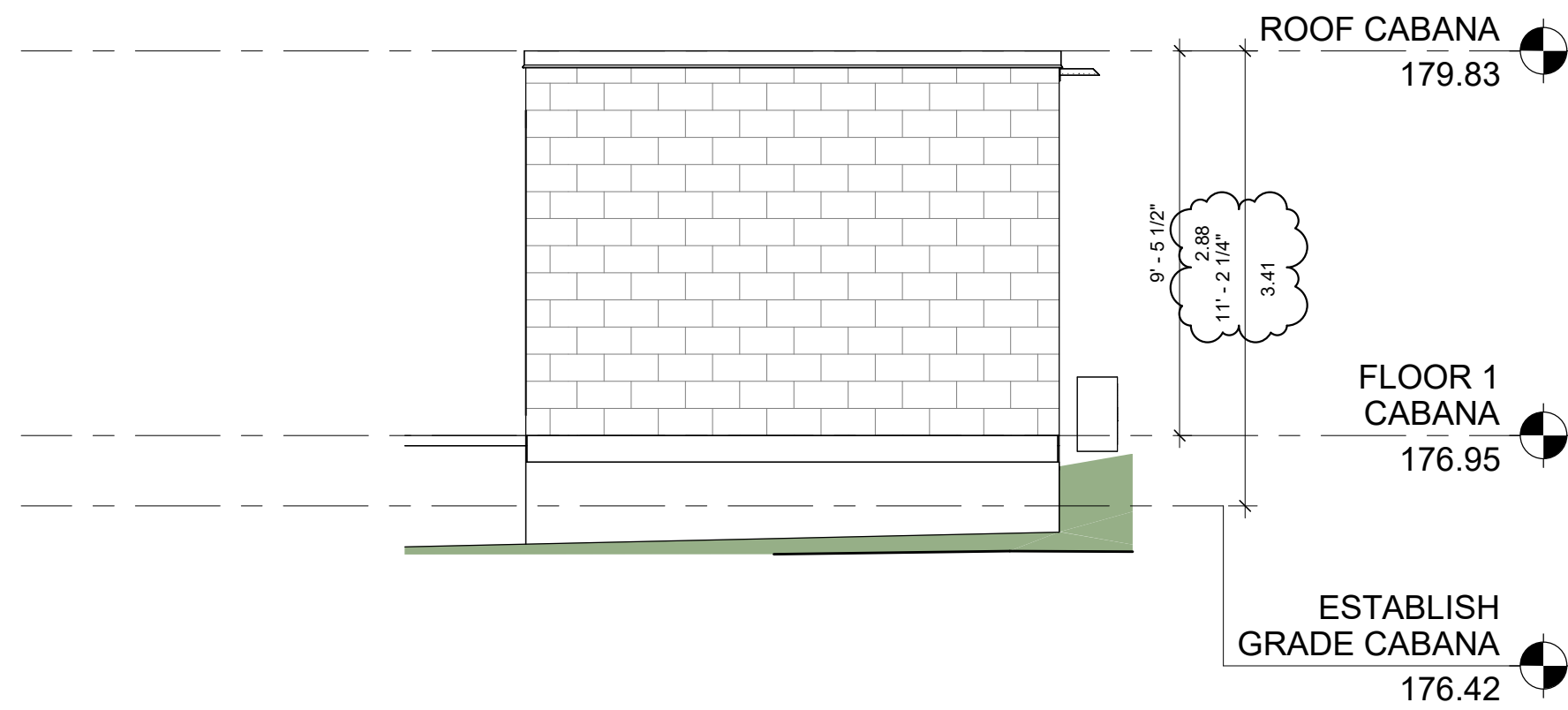
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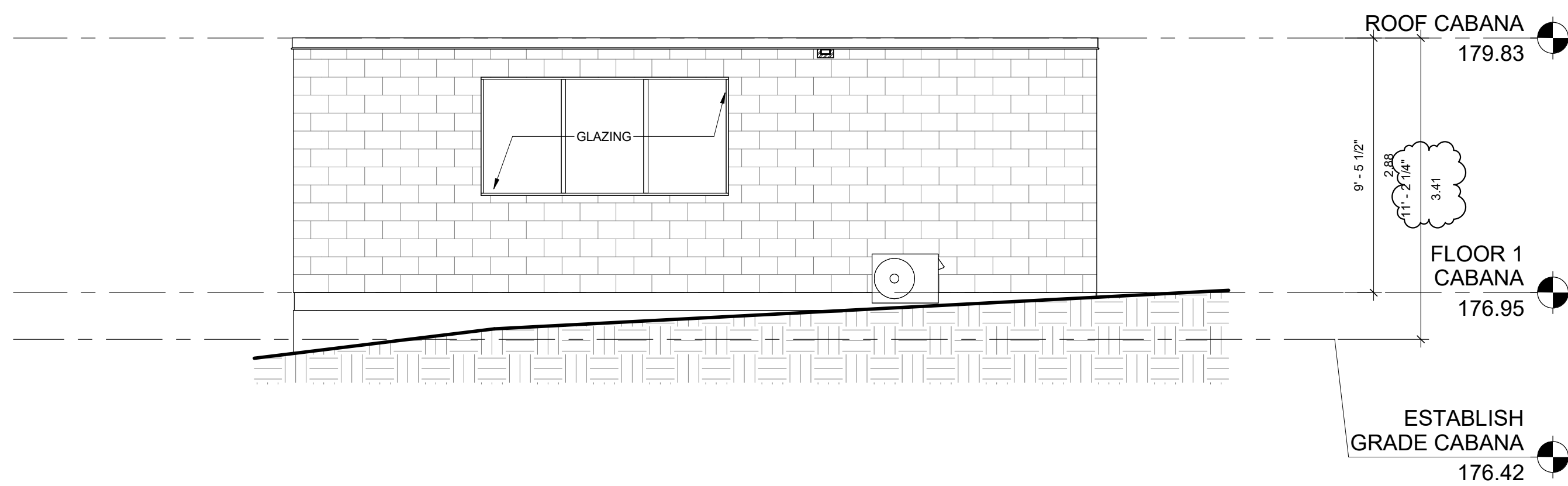
SCALE
1 : 50

DRAWING NO.
DSG155

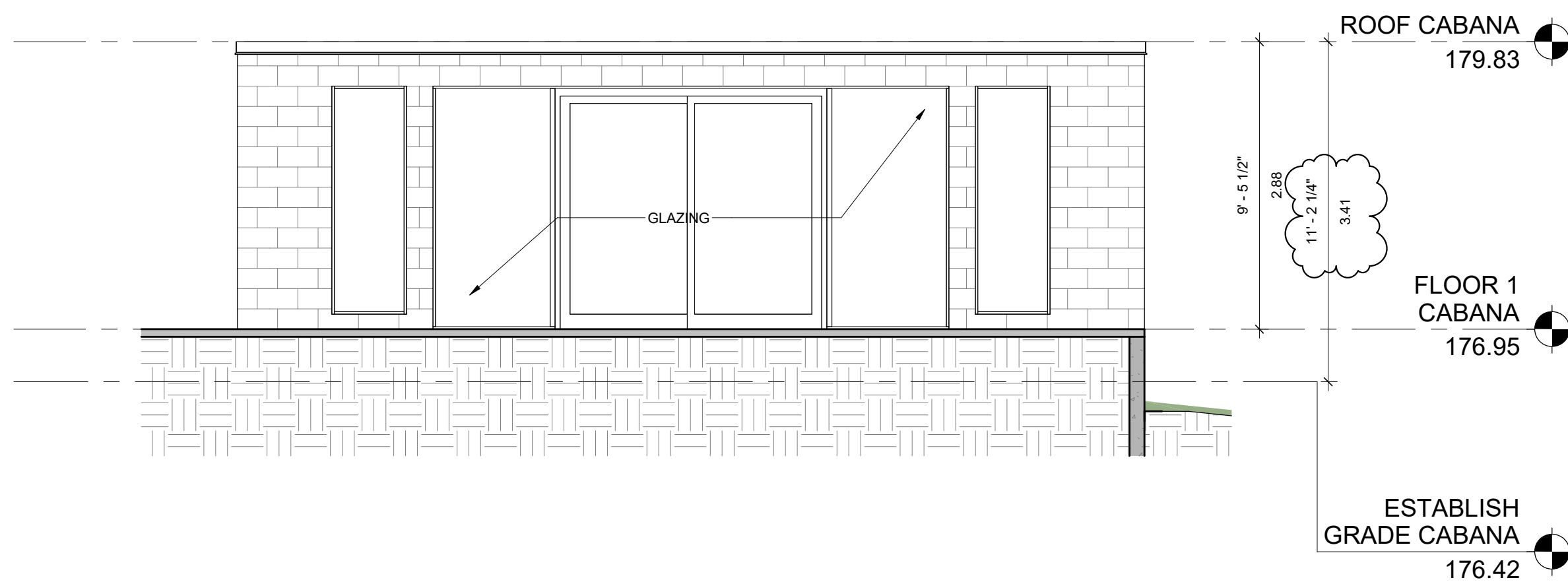
REV.
3



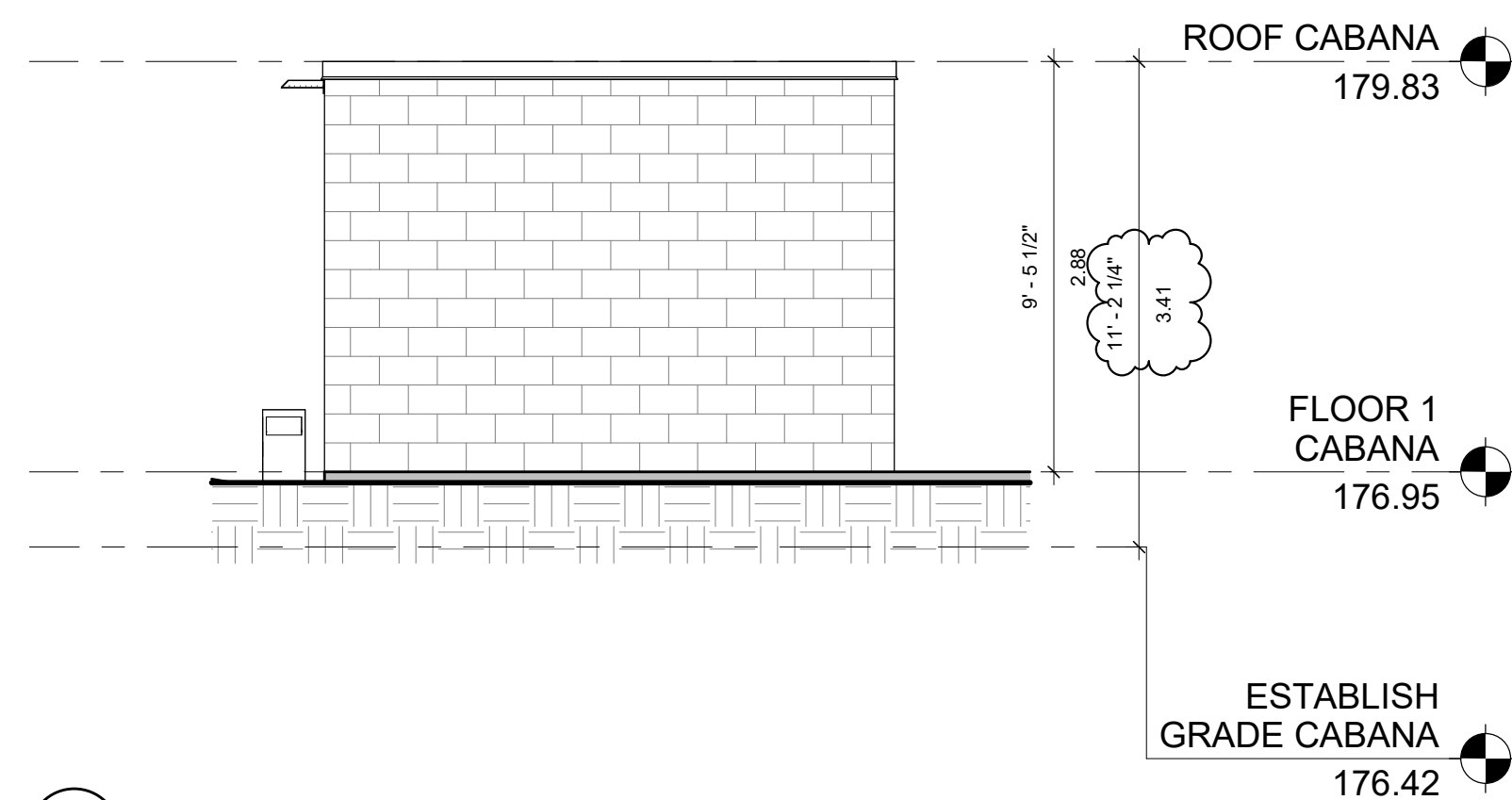
1 ACCESSORY BUILDING - EAST SIDE ELEVATION
DSG155a 1 : 50



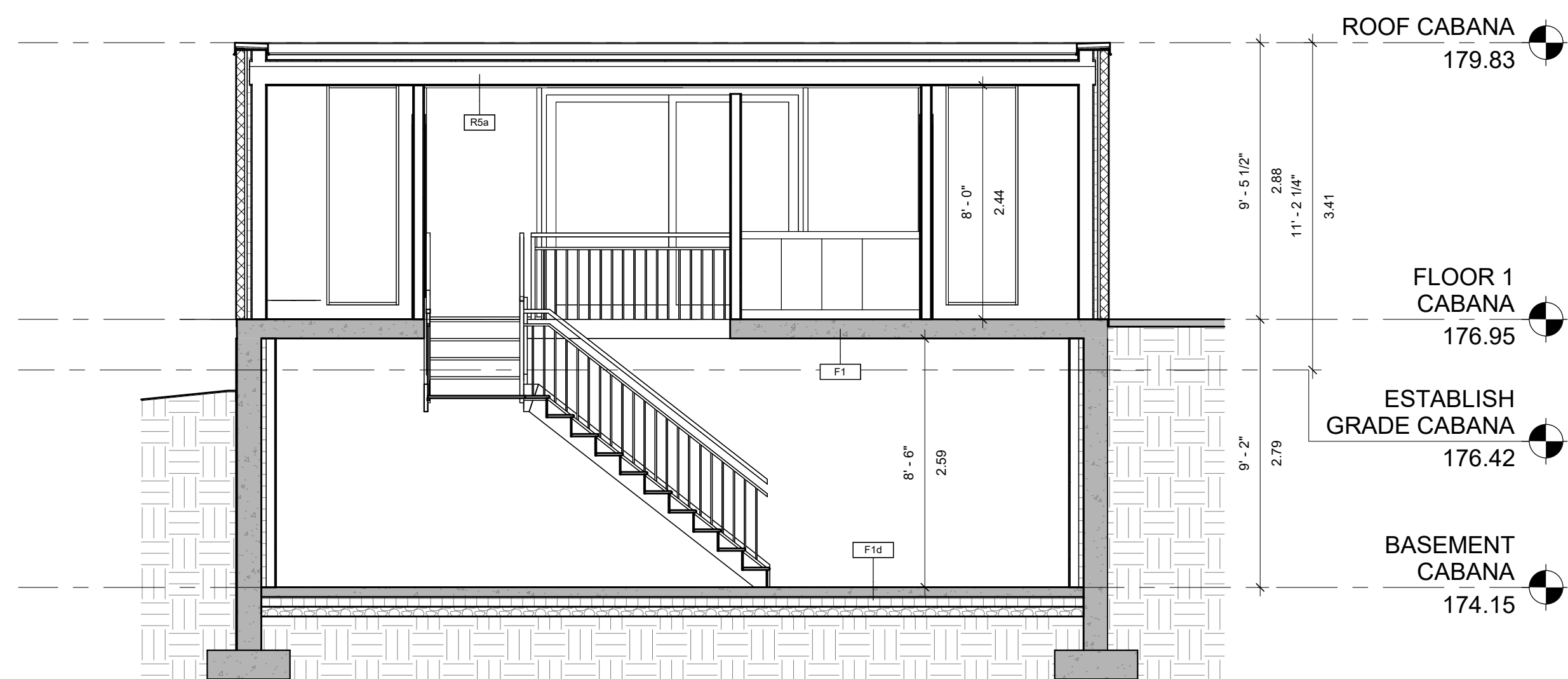
2 NORTH SIDE ELEVATION ACCESSORY BUILDING
DSG155a 1 : 50



3 ACCESSORY BUILDING - SOUTH SIDE ELEVATION
DSG155a 1 : 50



4 ACCESSORY BUILDING - WEST SIDE ELEVATION
DSG155a 1 : 50



5 SECTION 1- ACCESSORY BUILDING Copy 1
DSG155a 1 : 50

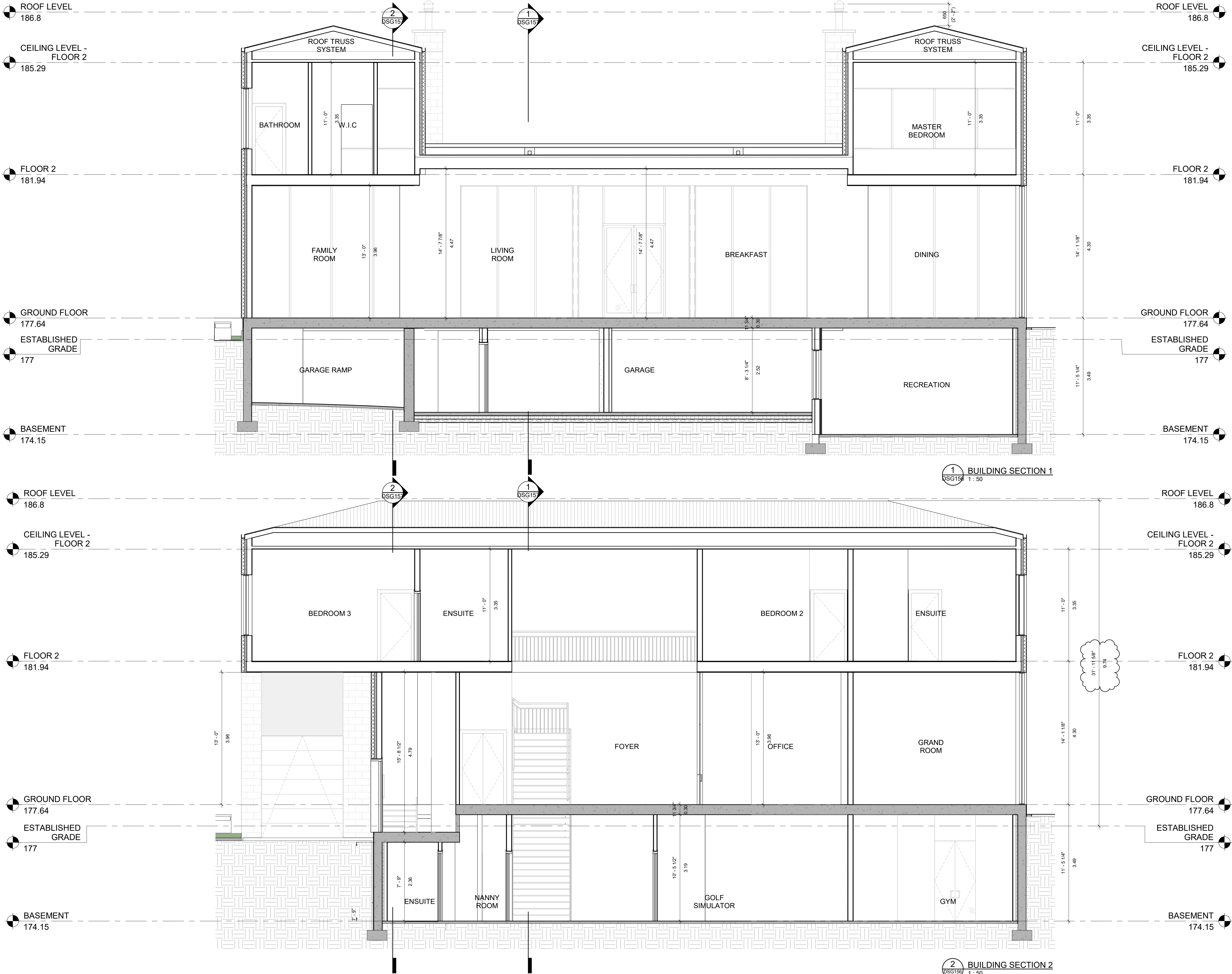
3	2025-06-04	REISSUED FOR COA	YPS
2	2025-05-30	REISSUED FOR COA	YPS
1	2025-05-14	ISSUED FOR COA AND TRCA	YPS
#	DATE	DESCRIPTION	BY

PROJECT
PROPOSED SINGLE RESIDENTIAL DWELLING
145 Waymar Heights Blvd, Vaughan, ON

DRAWING
ELEVATIONS CABANA

PROJECT NO. 25.085P01		DRAWING NO. DSG155a	REV. 3
PROJECT DATE 2025-05-13			
DRAWN BY HST			
CHECKED BY YPS			
SCALE 1 : 50			

2025-07-07 10:41:51 AM



TURNER FLEISCHER

67 Lesmill Road
Toronto, ON, M5B 2T8
T 416 425 2222
turnerfleischer.com

The issuance of this record drawing is a representation by Turner Fleischer that the construction, engagement or alteration of the building is in general, as opposed to precise, conformity with the design prepared and provided by Turner Fleischer, but is not a representation that the construction, engagement or alteration of the building is in conformity with a design that has been prepared or provided by others. The issuers to these contract documents, reflecting the significant changes in the work made during construction, are based on data furnished by the contractor to Turner Fleischer. Turner Fleischer shall not be held responsible for the accuracy or completeness of the information provided by the contractor.

3	2025-06-04	REISSUED FOR COA	YPS
2	2025-05-30	REISSUED FOR COA	YPS
1	2025-05-14	ISSUED FOR COA AND TRCA	YPS
#	DATE	DESCRIPTION	BY

PROJECT
PROPOSED SINGLE RESIDENTIAL DWELLING

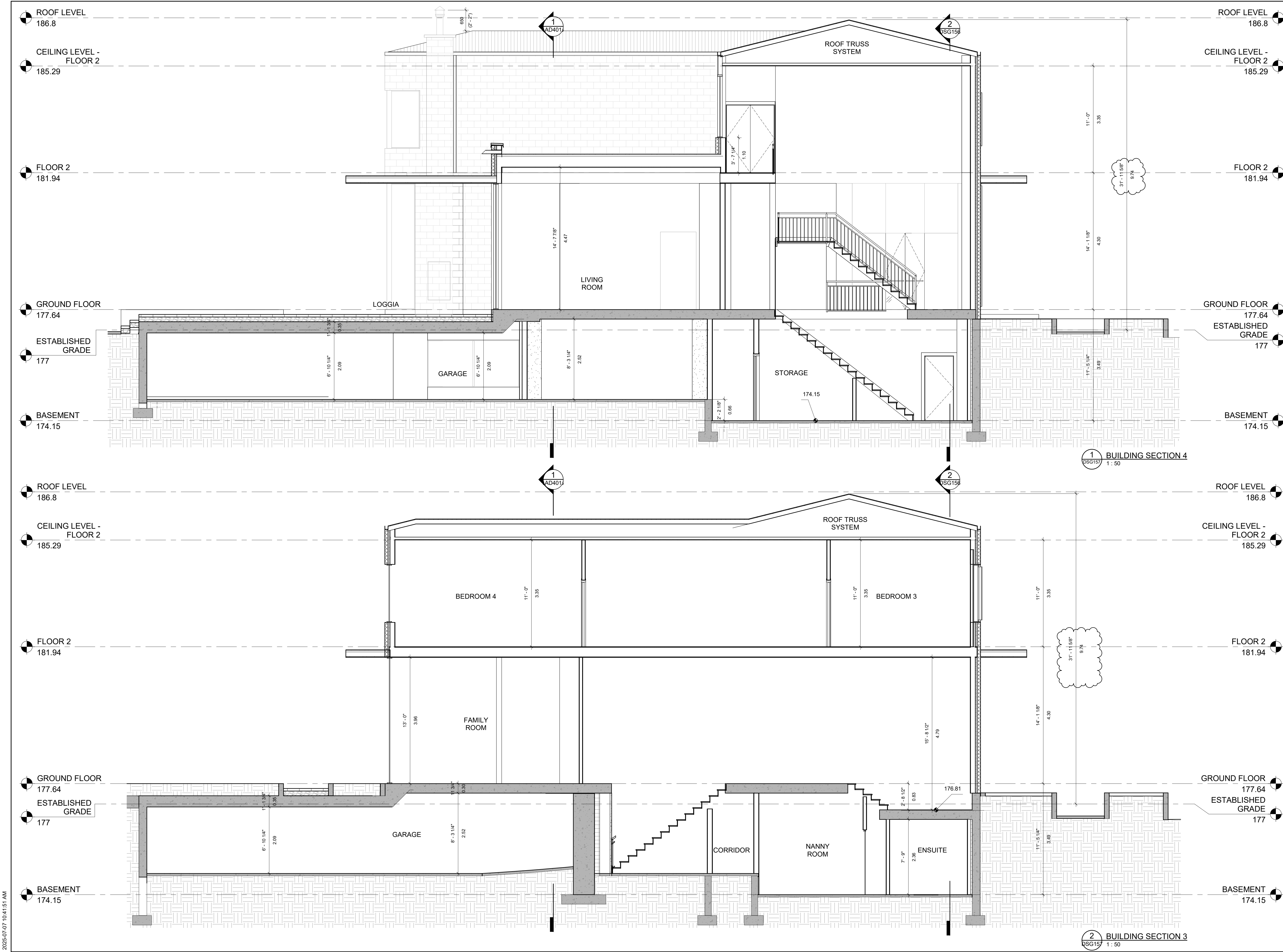
145 Waymar Heights Blvd, Vaughan, ON

DRAWINGS
SECTIONS

PROJECT NO. 25.085P01	
PROJECT DATE 2025-05-13	
DRAWN BY HST	
CHECKED BY YPS	
SCALE 1 : 50	

DRAWING NO.
DSG156

REV.
3



TURNER FLEISCHER

67 Lesmill Road
Toronto, ON, M5B 2T8
T 416 425 2222
turnerfleischer.com

The issuance of this record drawing is a representation by Turner Fleischer that the construction, arrangement or alteration of the building is in general, as opposed to precise, conformity with the design prepared and provided by Turner Fleischer, but is not a representation that the construction, arrangement or alteration of the building is in conformity with a design that has been prepared or provided by others. The issuers to these contract documents, reflecting the significant changes in the work value during construction, are based on data furnished by the contractor to Turner Fleischer. Turner Fleischer shall not be held responsible for the accuracy or completeness of the information provided by the contractor.

3	2025-06-04	REISSUED FOR COA	YPS
2	2025-05-30	REISSUED FOR COA	YPS
1	2025-05-14	ISSUED FOR COA AND TRCA	YPS
#	DATE	DESCRIPTION	BY

PROJECT

PROPOSED SINGLE RESIDENTIAL DWELLING

145 Waymar Heights Blvd, Vaughan, ON

DRAWINGS

SECTIONS

PROJECT NO.	25.085P01
PROJECT DATE	2025-05-13
DRAWN BY	HST
CHECKED BY	YPS
SCALE	1 : 50

DRAWING NO.	DSG157
REV.	3

SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

Date: June 10th 2025

Attention: **Sean Fitzpatrick**

RE: Request for Comments

File No.:

Related Files: **A070-25**

Applicant: Turner Fleischer Architects Inc

Location 145 Waymar Heights Boulevard

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

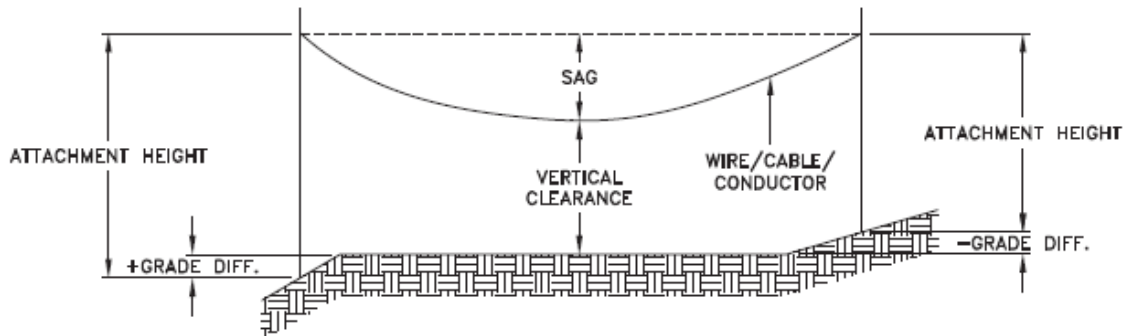
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 + GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

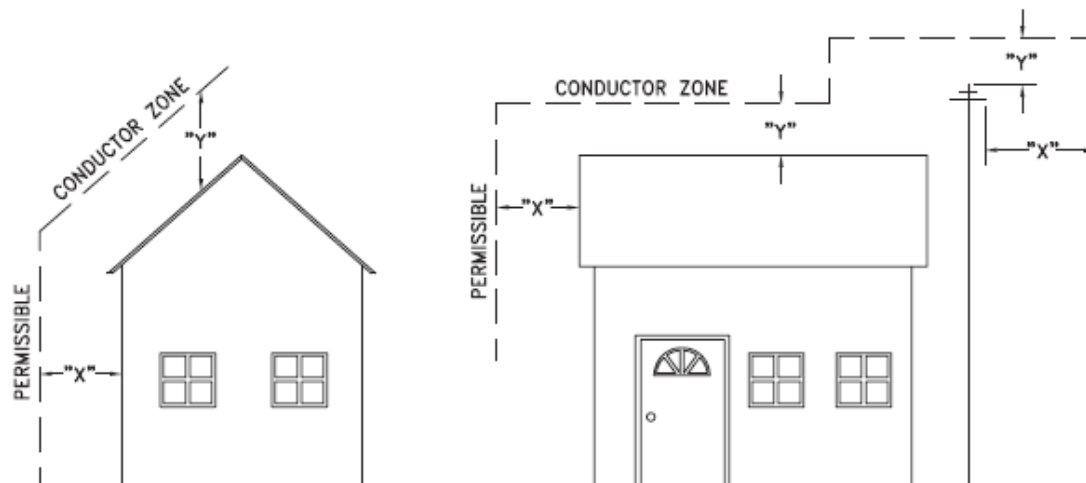
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P.Eng. Approval By: D. Dadwani

To: Committee of Adjustment

From: Sean Fitzpatrick, Building Standards Department

Date: June 09, 2025

Applicant: TURNER FLEISCHER ARCHITECTS INC

Location: 145 Waymar Heights Boulevard
PLAN RP4134 Lot 21

File No.(s): A070/25

Zoning Classification:

The subject lands are zoned R1E(EN) – First Density Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The minimum front yard shall be 17.63 metres . [Table 7-3]	To permit a minimum front yard of 13.0 metres .
2	The maximum building height shall be 8.5 metres . [4.5]	To permit a maximum building height of 9.74 metres .
3	A porch including stairs may encroach a maximum 2.0 metres into a required front yard. [Table 4-1]	To permit a porch including stairs to encroach a maximum of 2.44 metres into the required front yard .
4	The maximum height of a residential accessory building shall be 3.0 metres . [4.14]	To permit a residential accessory building to have a maximum height of 3.41 metres .
5	The maximum driveway width shall be 9.0 metres . [6.7]	To permit a maximum driveway width of 10.8 metres .

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Building Permit No. 25-111038 for Single Detached Dwelling - Residential Demolition,
Issue Date: May 01, 2025

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

June 20, 2025.

PAR-DPP-2025-00809

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Christine Vigneault
Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A070/25
Lot 21, Plan RP4134
145 Waymar Heights Blvd
City of Vaughan, Regional Municipality of York
Applicant: Turner Fleischer Architects Inc (Owner: Rosalee Bello)**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on June 10, 2025. TRCA staff have reviewed the application and offer the following comments for the consideration of the Committee of Adjustment.

Purpose of the Application

It is our understanding that the purpose of the above noted application is to request the following variances under By-Law 001-2021:

By-Law 001-2021:

- To permit a minimum front yard of 13.0 metres;
- To permit a maximum building height of 9.74 metres;
- To permit a porch including stairs to encroach a maximum of 2.44 metres into the required front yard;
- To permit a residential accessory building to have a maximum height of 3.41 metres, and;
- To permit a maximum driveway width of 10.8 metres.

The noted variances are being requested to facilitate a replacement two-storey dwelling, cabana in the rear yard, an in-ground pool, and associated hard landscaping and grading.

Ontario Regulation 41/24

The subject property is within TRCA's Regulated Area of the Humber River Watershed due to a valley corridor at the rear of the subject lands. In accordance with Ontario Regulation 41/24, development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, unstable soils, or bedrock will not be affected.

Application-Specific Comments

TRCA staff have reviewed and issued a permit for the proposed replacement dwelling, cabana, in-ground pool, and associated hard landscaping and grading in the rear yard (TRCA Permit No. PER-DPP-2025-01006, issued June 18, 2025). The plans submitted with this application are consistent with the plans that were approved as part of TRCA's permit.

Based on the above, TRCA staff have no concerns with the proposed variance.

Fees

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$660.00 (Minor Variance – Residential - Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

Recommendations

Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A070/25 subject to the following conditions:

1. That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.

We trust these comments are of assistance. Should you have any questions, please contact me at 437-880-1925 or at cameron.mcdonald@trca.ca.

Sincerely,

Cameron McDonald

Cameron McDonald
Planner I
Development Planning and Permits | Development and Engineering Services
cameron.mcdonald@trca.ca, 437-880-1925

From: [Development Services](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A070/25 - 145 WAYMAR HEIGHTS- REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Thursday, June 12, 2025 9:07:54 AM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good morning,

The Regional Municipality of York has completed its review of the above minor variance application and has no comments.

Regards,

Gabrielle Hurst MCIP, RPP

Associate Planner, Development Planning, Economic and Development Services Branch
Corporate Services Department

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 8V3

O: 905-830-4444 ext. 71538 | developmentservices@york.ca |

Our Mission: **Working together to serve our thriving communities – today and tomorrow**

For more information check us out at www.york.ca/developmentservices

From: [Planning Services](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A070/25 - 145 WAYMAR HEIGHTS- REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Monday, June 16, 2025 5:09:32 PM
Attachments: [image001.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

Thank you for the circulation. YRDSB has no objections to the Zoning By-law amendments raised. If further information or clarification is required, please contact this office.

Best regards,

Matthew Lee

Planner, Planning Services

York Region District School Board

matthew.lee@yrdsb.ca

905-727-0022 Ext. 2091



SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			06/24/2025	Arborist Report
Applicant			06/24/2025	Landscape Plan
Applicant			06/24/2025	Tree Inventory Report
Public	Angelo Federico	160 Waymar Heights Blvd	06/29/25	Letter of Support

From: Angelo Federico <[REDACTED]>

Date: June 29, 2025 at 5:59:16 PM EDT

To: [REDACTED]

Subject: 145 waymar heights

June 27, 2025

Attention: City of Vaughan, committee of adjustment application A070/25

Re: 145 Waymar Heights, Woodbridge Ontario L4L 2P6

To whom it may concern,

Please accept this email as support for the application of a new home on 145 Waymar Heights Boulevard.

We are one of the immediate neighbours and welcome a redevelopment of the property and have no concerns or objections to any of the variances being requested at the committee of adjustment.

Thank you

Angelo Federico

160 Waymar heights blvd



May 30, 2025

ARBORIST REPORT

145 Waymar Heights Boulevard, Vaughan, Ontario

BACKGROUND

MHBC was retained to conduct an inventory of the existing trees within the boundaries of the property known as 145 Waymar Heights Boulevard, as they pertain to the City of Vaughan Tree By-laws. This investigation examined 35 trees within and around the subject property. Field work was completed April 30, 2025, and this report relates to the condition of the trees at that time.

PROCEDURE

The on-site inventory of existing trees was carried out using the current survey of the property and relies on the accuracy of this survey. The inventory includes all trees within the site boundary, all trees within 6.0 metres of the site boundary and all City owned trees along the adjacent boulevards.

This inventory is summarized graphically in the Tree Inventory Plan TI-1, which shall always be read in conjunction with this report and shall form part of this report. For the purposes of this report, trees and groupings of trees are identified in terms of species, size, condition, and recommendations.

The following rating system was used in describing the general condition of the trees inventoried:

- Good: Indicates a condition of vigor and no major concerns.
- Fair: Indicates an adequate tree, which may have some minor issues.
- Poor: Indicates declining health, bad form, or other more serious issues.
- Dead: Indicates a dead tree that should be removed.

ASSUMPTIONS AND LIMITING CONDITIONS

- Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible and is assumed to be correct; however, MHBC can neither guarantee nor be responsible for the accuracy of information provided by others.
- It is assumed that the properties are not in violation of any applicable codes, ordinances, statutes, or other governmental regulations.
- Unless otherwise required by law, possession of this report or a copy thereof does not imply right of publication or use for any purpose in whole or in part by any other than the person or company by whom it was commissioned.
- The use of excerpts from this report or alterations to this report, without the authorization of MHBC Planning will invalidate the entire report. This report may not be used for any purpose other than its intended purpose as outlined.

- Unless expressed otherwise: 1) information contained in this report covers only those items that were examined and reflect the condition of those items at the time of inspection; and 2) the inspection is limited to visual examination or accessible items without dissection, excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that problems or deficiencies in the plants inventoried may not arise in the future.
- The determination of ownership of any subject tree(s) is the responsibility of the owner and any civil or common-law issues, which may exist between property owners with respect to trees, must be resolved by the owner. The recommendation to remove or maintain any tree(s) does not grant authority to encroach in any manner onto adjacent private properties.

SUMMARY OF TREES INVENTORIED

Tree #	Common Name	Botanical Name	DBH (CM)	Condition	Comments	Recommendation
201	Norway Maple	Acer platanoides	68	F/P	Obvious significant internal rot, major structural defects evident, tree is potentially hazardous	Remove due to proposed paved area, and poor structural condition
202	Norway Spruce	Picea abies	61	F	Moderate deadwood on north side of tree	Remove
203	Norway Maple	Acer platanoides	30	F/P	Internal rot evident, main leader is dead	Remove
204	Norway Maple	Acer platanoides	46	F	Mild phototropic lean	Remove
205	Norway Maple	Acer platanoides	31	F	Minor deadwood in canopy	Remove
206	Norway Maple	Acer platanoides	26	F/G	Mild to moderate lean	Remove
207	Flowering Crabapple Tree	Malus Sp.	39	F/P	Moderate to significant deadwood in canopy	Retain
208	Norway Maple	Acer platanoides	24	F	Mild lean	Remove
209	White Oak	Quercus alba	50	F	Minor deadwood in canopy	Retain (injure)
210	Sugar Maple	Acer saccharum	25	P/D	Top is dead	Retain
211	Black Walnut	Juglans nigra	64	F/G	Minor deadwood in canopy	Retain
212	Norway Maple	Acer platanoides	21	F/P	Poor structure, irregular form	Remove
213	Norway Maple	Acer platanoides	21	G	Elevated canopy	Remove
214	Norway Maple	Acer platanoides	47	F	Minor to moderate in canopy, mild lean	Remove
215	Sugar Maple	Acer saccharum	28	F	Minor to moderate deadwood in canopy	Retain

216	Norway Maple	Acer platanoides	52	F	Minor deadwood in canopy, co-dominant leaders	Remove
217	White Spruce	Picea glauca	51	F/P	Tree has been topped due to major structural failure	Remove
218	White Spruce	Picea glauca	51	F	Minor needle drop	Retain
219	Colorado Blue Spruce	Picea pungens var. glauca	33	F	Co-dominant leaders, moderate needle cast	Remove
220	Norway Maple	Acer platanoides	93	P	Significant structural issues, significant deadwood in canopy, internal rot columns suspected due to cavitation, significant bark inclusion	Remove due to proposed house, and due to structural condition
221	Flowering Crabapple Tree	Malus Sp.	32	P	Significant internal rot, profusion of water shoots throughout, insect infestation evident, structural issues evident, multi-stem	Remove due to condition
222	Norway Spruce	Picea abies	80	F/G	Minor needle loss	Retain
223	Norway Maple	Acer platanoides	71	P	Significant internal rot, high likelihood of significant structural failure due to significant rot at main union	Remove due to condition
224	Paper Birch	Betula papyrifera	46	F/P	Significant internal rot visible at base throughout tree, moderate to significant deadwood in canopy, coppice growth evident at base, past structural failures evident	Remove due to condition
225	Honey Locust	Gleditsia triacanthos	74	F	Minor to moderate deadwood in canopy	Remove
O1	Norway Maple	Acer platanoides	~28	F	2 stem at 1.0 metre, moderate damage to northerly stem	Retain
O2	Norway Maple	Acer platanoides	~34	F	Boundary tree, growing in fence	Retain
O3	Norway Maple	Acer platanoides	30	F	3 stem at base, minor to moderate deadwood throughout	Retain
O4	Norway Maple	Acer platanoides	32	F/G		Retain
O5	Norway Maple	Acer platanoides	44	F/G	Mild bow in trunk	Retain
O6	Norway Maple	Acer platanoides	35	F/G	Minor to moderate deadwood in canopy	Retain

O7	Black Locust	Robinia pseudoacacia	57	F/P	Moderate deadwood in canopy, with structural issues developing	Retain
O8	Black Locust	Robinia pseudoacacia	72	F/P	2 stem at 0.4 metres, moderate to significant deadwood in canopy, structural issues evident	Retain
O9	White Spruce	Picea glauca	42	F/G	Minor deadwood in canopy	Retain
O10	White Spruce	Picea glauca	46	F/G	Minor deadwood in canopy	Retain

The above table summarizes the on-site trees as inventoried. The trees proposed for retention will be subject to tree protection measures per City of Vaughan ULA 110A Heavy Duty and ULA 110B Light Duty Tree Hoarding Protection Fencing Details as outlined on drawings 2-TI-1 and 3-TI-1. It is noted that not all trees marked for retention require tree protection hoarding. Refer to TI-1 for size and layout of tree protection hoarding.

PHOTO RECORD



Tree 201



Tree 201



Tree 201



Tree 201



Trees 202, 204, 205, O1, O2



Trees 203, O3 – O6



Trees 206, 207, O7, O8



Trees 208 – 212



Trees 211, 212



Trees 213 – 216



Trees 217, 218



Tree 219



Tree 220



Tree 220



Tree 221



Tree 221



Tree 221



Tree 222



Tree 222



Tree 222



Tree 222



Tree 222



Tree 224



Tree 225



Trees O9, O10

TREE PROTECTION RECOMMENDATIONS

The following standards shall apply to any trees that are identified to be retained. Where the municipality enforces its own standards, those of the governing municipality shall supersede the recommendations contained herein. In all other instances, the following recommendations shall be treated as minimum standards for tree protection and retention.

1.0 ESTABLISH A TREE PROTECTION ZONE

The purpose of the tree protection zone is to prevent root damage, soil compaction and soil contamination during construction activities. Workers and machinery shall not disturb the tree protection zone in any way. In order to prevent access, the following recommendations are offered.

- Install tree protection hoarding as per City of Vaughan ULA 110A Heavy Duty and ULA 110B Light Duty Tree Protection Hoarding Fencing details 2-TI-1 and 3-TI-1.
- Allow no fill, equipment, supplies, or waste within the tree protection zone.
- Maintain the tree protection hoarding in good condition for the duration of construction.
- Tree protection hoarding is not to be removed until all construction activities have been completed.

2.0 ROOT PRUNING

Where possible, hand dig areas closest to each tree to prevent any unnecessary tearing or pulling of roots. Removal of roots that are greater than 2.5 centimeters in diameter or roots that are injured or diseased should be performed as follows:

- Preserve the root bark ridge (similar in structure to the branch bark ridge). Directional Root Pruning (DRP) is the recommended technique and should be employed during hand excavation around tree roots. Roots are similar to branches in their response to pruning practices. With DRP, objectionable and severely injured roots are properly cut to a lateral root that is growing downward or in a favorable direction.
- All roots needing to be pruned or removed shall be cut cleanly with sharp hand tools, by a Certified Arborist.
- No wound dressings or pruning paint shall be used to cover the ends of each cut.
- All roots requiring pruning shall be cut using any of the following tools:
Large or small loppers, Hand pruners, Small hand saws, Wound scribes
- Avoid prolonged exposure of tree roots during construction - keep exposed roots moist and dampened with mulching materials, irrigation or wrap in burlap if exposed for longer than 4 hours.

3.0 FERTILIZATION AND IRRIGATION

The following measures are recommended:

- Aeration and deep root fertilize to ensure that all trees receive the appropriate nutrients for healthy growth.
- Fertilizer must be a low nitrogen formula such as 5-30-30 to promote root growth rather than shoot growth.
- If construction occurs during July and / or August, roots must be irrigated during conditions of drought.

4.0 ESTABLISH MAINTENANCE PROGRAM

Pre-Construction:

- Prune all trees to remove any deadwood and obstruction prune as required.

During Construction:

- Irrigate tree preservation zones during drought conditions (June through September), in an attempt to reduce the effects of drought stress.
- Inspect the site every month to ensure that all tree protection fence / hoarding is in place and in good condition, inspect the trees to monitor condition.

Post-Construction:

- Prune crowns to remove any newly developed deadwood only. Do not remove any live growth.
- Inspect the trees three times per year (May, July, and September) to monitor condition for a minimum period of 2 additional years.

5.0 LANDSCAPING

Any landscaping completed within the tree preservation zones, after construction is completed and tree protection fencing / hoarding has been removed, is to be carried out in such a way that it will not cause damage to any of the trees or their roots. The trees must be protected to the same standards listed earlier in this report, but without the use of tree protection fence or hoarding.

The following guidelines are recommended:

- **No grade changes** are permitted which include adding and/or removing soil.
- **No excavation** is permitted that can cause damage to the roots of the tree.
- **No heavy equipment** can be used to compact the soil within the tree preservation zone.
- Where possible, hard surface paving around trees to be protected should be constructed using permeable products such as interlocking stone. Areas to be paved must be hand dug when encroaching within the tree protection zone.

CONCLUSIONS

Based on our investigations, we are of the opinion that Trees #201-206, 208, 212-214, 216, 217, 219, 220, and 225 will require removal to accommodate the proposed construction. Trees #221, 223 and 224 will require removal due to their poor condition and potential hazard. Tree #209 will require an injury in order to accommodate the proposed construction. No tree shall be harmed or removed prior to applying for and receiving the requisite permits from the City of Vaughan.

The Tree Protection Costs for this proposed project are \$3,400.00

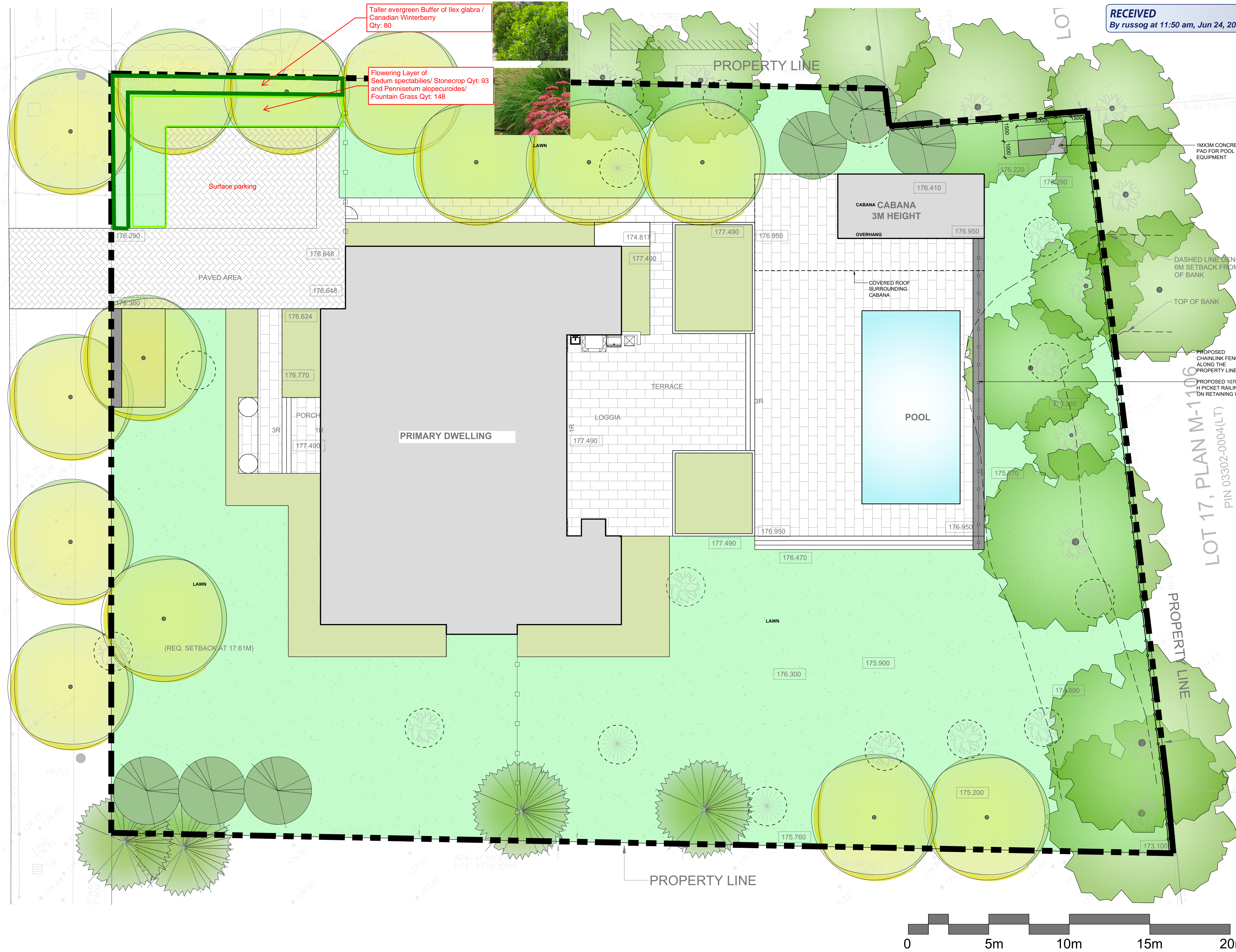
Tree protection methods must be followed according to City of Vaughan's Tree Protection By-law 052-2018. Tree protection shall be installed as outlined in the arborist report / TPP prior to the commencement of any construction/demolition activities. The tree protection barriers shall be installed at their approved location and shall be maintained in their original location and condition until all construction activities within the site have ceased and all equipment is removed from the site. No equipment or material storage, flushing of fuel or washing of equipment is allowed within the TPZ. Any works within the TPZ area to be performed or supervised by a Certified Arborist. It is our opinion that the trees slated for retention can be successfully retained by following the recommendations set out in this report.

Should you have any questions regarding this report, please contact the undersigned directly.

Respectfully submitted,
MHBC Planning, Urban Design & Landscape Architecture



Nick A. Miele BLA, OALA, CSLA, ISA
Partner | Landscape Architect | Arborist
ISA Certified Arborist No. ON-1251A



Taller evergreen Buffer of Ilex glabra / Canadian Winterberry Qty: 80

Flowering Layer of Sedum spectabilis/ Stonecrop Qty: 93 and Pennisetum alopecuroides/ Fountain Grass Qty: 148

RECEIVED
By russog at 11:50 am, Jun 24, 2025

O2
366 ADELAIDE STREET EAST . SUITE 437
TORONTO, M5A3X9, ONTARIO, CANADA
T 416.340.8100 F 416.340.8300 www.o2design.com

PROJECT
PROPOSED SINGLE RESIDENTIAL DWELLING

MUNICIPAL ADDRESS
145 WAYMAR HEIGHTS, VAUGHAN, ON.

PROJECT NUMBER
250429

- LEGEND:
- PROPERTY LINE
 - EXISTING TREES TO REMAIN
 - EXISTING TREES TO BE REMOVED
 - PROPOSED DECIDUOUS TREE
 - PROPOSED CONIFEROUS TREE
 - PROPOSED SHRUB PLANTING
 - PROPOSED SOD
 - PROPOSED UNIT PAVING
 - PROPOSED 1070MM H PICKET RAILING
 - PROPOSED CHAIN LINK FENCE ALONG PROPERTY LINE
- NOTES:
- PLANTING STRATEGY WILL INCLUDE A MINIMUM OF 14 NATIVE DECIDUOUS TREES AND 6 CONIFEROUS TREES.
 - THE PREFERENCE IS TO REMOVE ALL EXISTING NORWAY MAPLE TREES ON SITE.



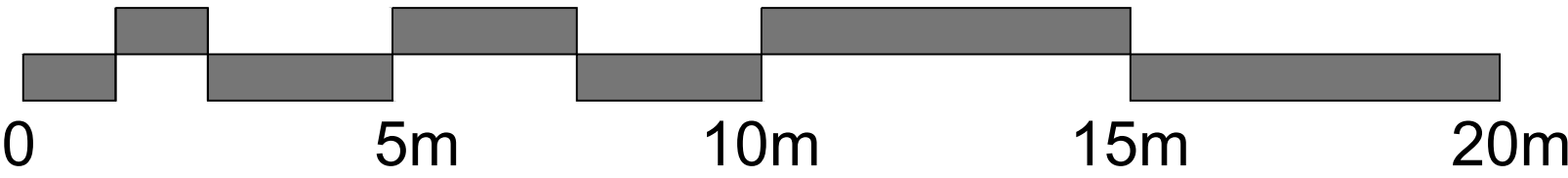
ORIGINAL DATE: APRIL 2025

NOT FOR CONSTRUCTION

REVISIONS:			
NO.	DESCRIPTION.	DATE.	BY.
1.	ISSUED TO TRCA	30-MAY-2025	LR
DESIGNED BY:		CHECKED BY:	
LR		TG	

DRAWING TITLE :

GROUND FLOOR
LANDSCAPE MASTERPLAN
SCALE 1:100

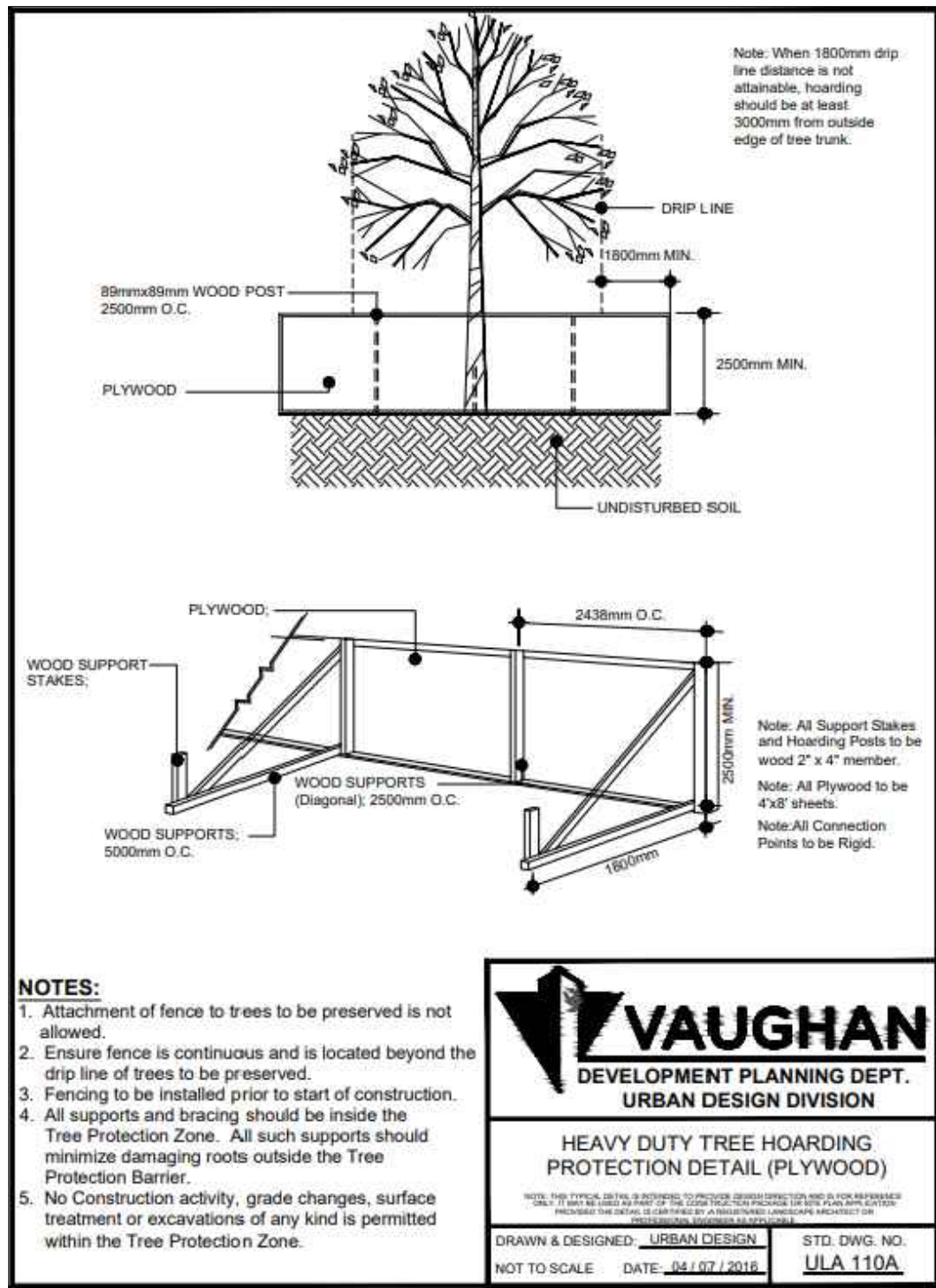


L1

1
TI-1

TREE INVENTORY, PROTECTION, AND REMOVALS PLAN

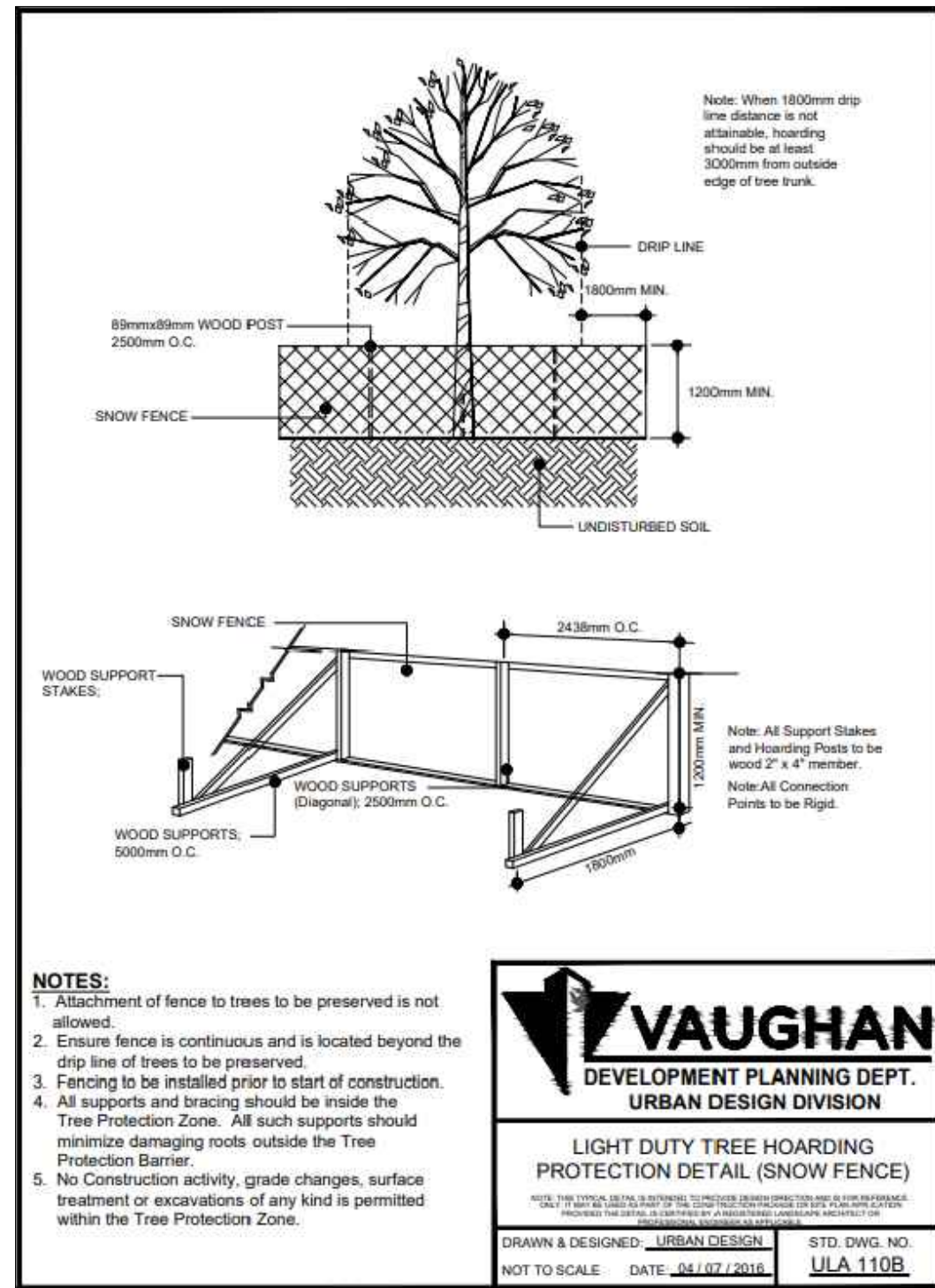
SCALE: 1:200



2
TI-1

HEAVY DUTY TREE HOARDING PROTECTION DETAIL

CITY OF VAUGHAN STANDARD



3
TI-1

LIGHT DUTY TREE HOARDING PROTECTION DETAIL









CITY OF VAUGHAN STANDARD

TREE INVENTORY NOTES

Tree #	Common Name	Botanical Name	DBH (CM)	Condition	Comments	Recommendation
201	Norway Maple	Acer platanoides	68	F/P	Obvious significant internal rot, major structural defects evident, tree is potentially hazardous	Remove due to proposed paved area, and poor structural condition
202	Norway Spruce	Picea abies	61	F	Moderate deadwood on north side of tree	Remove
203	Norway Maple	Acer platanoides	30	F/P	Internal rot evident, main leader is dead	Remove
204	Norway Maple	Acer platanoides	46	F	Mild phototropic lean	Remove
205	Norway Maple	Acer platanoides	31	F	Minor deadwood in canopy	Remove
206	Norway Maple	Acer platanoides	26	F/G	Mild to moderate lean	Remove
207	Flowering Crabapple Tree	Malus Sp.	39	F/P	Moderate to significant deadwood in canopy	Retain
208	Norway Maple	Acer platanoides	24	F	Mild lean	Remove
209	White Oak	Quercus alba	50	F	Minor deadwood in canopy	Retain (injure)
210	Sugar Maple	Acer saccharum	25	P/D	Top is dead	Retain
211	Black Walnut	Juglans nigra	64	F/G	Minor deadwood in canopy	Retain
212	Norway Maple	Acer platanoides	21	F/P	Poor structure, irregular form	Remove
213	Norway Maple	Acer platanoides	21	G	Elevated canopy	Remove
214	Norway Maple	Acer platanoides	47	F	Minor to moderate in canopy, mild lean	Remove
215	Sugar Maple	Acer saccharum	28	F	Minor to moderate deadwood in canopy	Retain
216	Norway Maple	Acer platanoides	52	F	Minor deadwood in canopy, co-dominant leaders	Remove
217	White Spruce	Picea glauca	51	F/P	Tree has been topped due to major structural failure	Remove
218	White Spruce	Picea glauca	51	F	Minor needle drop	Retain
219	Colorado Blue Spruce	Picea pungens var. glauca	33	F	Co-dominant leaders, moderate needle cast	Remove
220	Norway Maple	Acer platanoides	93	P	Significant structural issues, significant deadwood in canopy, internal rot columns suspected due to cavitation, significant bark inclusion	Remove due to proposed house, and due to structural condition
221	Flowering Crabapple Tree	Malus Sp.	32	P	Significant internal rot, profusion of water shoots throughout, insect infestation evident, structural issues evident, multi-stem	Remove due to condition
222	Norway Spruce	Picea abies	80	F/G	Minor needle loss	Retain
223	Norway Maple	Acer platanoides	71	P	Significant internal rot, high likelihood of significant structural failure due to significant rot at main union	Remove due to condition
224	Paper Birch	Betula papyrifera	46	F/P	Significant internal rot visible at base throughout tree, moderate to significant deadwood in canopy, coppice growth evident at base, past structural failures evident	Remove due to condition
225	Honey Locust	Gleditsia triacanthos	74	F	Minor to moderate deadwood in canopy	Remove
O1	Norway Maple	Acer platanoides	~28	F	2stem at 1.0 metre, moderate damage to northerly stem	Retain
O2	Norway Maple	Acer platanoides	~34	F	Boundary tree, growing in fence	Retain
O3	Norway Maple	Acer platanoides	30	F	3 stem at base, minor to moderate deadwood throughout	Retain
O4	Norway Maple	Acer platanoides	32	F/G		Retain
O5	Norway Maple	Acer platanoides	44	F/G	Mild bow in trunk	Retain
O6	Norway Maple	Acer platanoides	35	F/G	Minor to moderate deadwood in canopy	Retain
O7	Black Locust	Robinia pseudoacacia	57	F/P	Moderate deadwood in canopy, with structural issues developing	Retain
O8	Black Locust	Robinia pseudoacacia	72	F/P	2 stem at 0.4 metres, moderate to significant deadwood in canopy, structural issues evident	Retain
O9	White Spruce	Picea glauca	42	F/G	Minor deadwood in canopy	Retain
O10	White Spruce	Picea glauca	46	F/G	Minor deadwood in canopy	Retain

NOTE:
ALL NORWAY MAPLES WITHIN TRCA REGULATED AREA ARE PROPOSED FOR REMOVAL, AND ARE TO BE REPLACED WITH NATIVE SPECIES PER LANDSCAPE PLAN.

LEGEND

-  EXISTING DECIDUOUS TREE TO REMAIN
-  EXISTING DECIDUOUS TREE TO BE REMOVED (REFER TO ARBORIST REPORT)
-  EXISTING CONIFEROUS TREE TO REMAIN
-  EXISTING CONIFEROUS TREE TO BE REMOVED (REFER TO ARBORIST REPORT)
-  TREE IDENTIFICATION KEY (TREES TO BE RETAINED)
-  TREE IDENTIFICATION KEY (TREES TO BE REMOVED)
-  HEAVY DUTY TREE PROTECTION FENCING PER CITY OF VAUGHAN STANDARDS
-  LIGHT DUTY TREE PROTECTION FENCING PER CITY OF VAUGHAN STANDARDS

GENERAL NOTES


- Do not scale the drawings. All dimensions are in millimetres unless noted otherwise.
- This drawing is to be read in conjunction with the project site plan, landscape plan, and engineering plan.
- The tree inventory includes assessment of trees >10cm DBH. The trees have been assessed based on species, size and condition.
- The contractor shall check and verify all existing and proposed grading and conditions on the project and immediately report any discrepancies to the consultant before proceeding with any removals.
- The contractor is to be aware of all existing and proposed services and utilities. The contractor is responsible for having all underground services and utility lines staked by each agency having jurisdiction prior to commencing work.
- This drawing is to be used for development approval only.
- Do not leave any holes open overnight.
- Keep area outside construction zone clean and useable by others at all times. Contractor shall thoroughly clean areas surrounding the construction zone at the end of each work day.
- Contractor to make good any and all damages outside of the development area that may occur as a result of tree removals at no extra cost.
- This drawing is Copyright MHBC, 2025.

1.	MAY 30, 2025	ISSUED FOR REVIEW	NV
REVISION NO.	DATE	ISSUED / REVISION	BY



**PLANNING
URBAN DESIGN
& LANDSCAPE
ARCHITECTURE**

230-7050 WESTON ROAD WOODBRIDGE, ON, L4L 6G7 | P: 905.761.5588 F: 905.761.5589 | WWW.MHBCPLAN.COM

STAMP	DATE MAY 2025
	DRAWN BY NV
ISSUED FOR REVIEW ONLY NOT FOR CONSTRUCTION	PLAN SCALE 1:200
FILE NO. 25113A	CHECKED BY N.M.
OTHER	

PROJECT 145 WAYMAR HEIGHTS BOULEVARD VAUGHAN, ONTARIO	
FILE NAME TREE INVENTORY, PROTECTION, AND REMOVALS	DWG NO. TI-1

SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A