

ITEM: 6.12	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A126/24
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Report Date: Friday, July 4, 2025

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):

Additional comments from departments and agencies received after the publication of the report will be made available on the City’s [website](#).

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Engineering	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
N/A				

BACKGROUND (SCHEDULE D, IF REQUIRED)	
* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.	
Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
A027/15	Approved; Jan 29, 2015

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background

	MINOR VARIANCE APPLICATION FILE NUMBER A126/24
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CITY WARD #:	1
APPLICANT:	Rossario & Nenzina Bellissimo
AGENT:	Joaquin Diaz Ceballos Zavaleta (Precision Landscaping)
PROPERTY:	7 Lancer Drive, Maple
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	N/A
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit an existing cabana in the rear yard, increased lot coverage and reduced soft landscaping requirements.

The following variances have been requested from the City’s Zoning By-law:

The subject lands are zoned **R1E (EN) First Density Residential Zone (Established Neighbourhood)** under Zoning Bylaw 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A maximum lot coverage of 23% is permitted. [Table 7-3]	To permit a maximum lot coverage of 28.19%.
2	A minimum rear yard of 2.4 m is required for a residential accessory structure (cabana) with a height over 2.8 m. [4.1.2.1b]	To permit a minimum rear yard of 1.92 m for a residential accessory structure (cabana) with a height over 2.8 m.
3	A minimum easterly interior side yard of 2.4 m is required for a residential accessory structure (cabana) with a height over 2.8 m. [4.1.2.1b]	To permit a minimum easterly interior side yard of 1.22 m for a residential accessory structure (cabana) with a height over 2.8 m.
4	For a residential use in the R1E Zone, the portion of the rear yard in excess of 135.0 m2 shall be comprised of a minimum 60% soft landscape. [4.19.1.1]	To permit the portion of the rear yard for a residential use in the R1E Zone in excess of 135.0 m2 to be comprised of a minimum 40.45% soft landscape.

HEARING INFORMATION
DATE OF MEETING: Thursday, July 10, 2025 TIME: 6:00 p.m. MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2 nd Floor), 2141 Major Mackenzie Drive LIVE STREAM LINK: Vaughan.ca/LiveCouncil
PUBLIC PARTICIPATION
<p>If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the Request to Speak Form and submit to cofa@vaughan.ca</p> <p>If you would like to submit written comments, please quote file number above and submit by mail or email to:</p> <p>Email: cofa@vaughan.ca</p> <p>Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1</p>

HEARING INFORMATION
To speak electronically, pre-registration is required by completing the Request to Speak Form on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.
THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS <u>NOON</u> ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION
Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.
Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:
That the general intent and purpose of the by-law will be maintained.
That the general intent and purpose of the official plan will be maintained.
That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
That the requested variance(s) is/are minor in nature.
Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT	
Date Public Notice Mailed:	June 26, 2025
Date Applicant Confirmed Posting of Sign:	June 23, 2025
Applicant Justification for Variances: <small>*As provided in Application Form</small>	The required setback will make the patio not symmetrical as desired, pool centered with accessory structure. The required setbacks will also reduce the desired patio space dedicated for recliners and dining. Homeowner's have a big family and would like to host their family reunions at their backyard, reason why the space should not be limited, but maximized
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)	
**See Schedule B for Building Standards (Zoning) Comments. Application under review.	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	TBD

DEVELOPMENT ENGINEERING	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
The Owner / Applicant shall ensure that the proposed (fill in proposed development) does not negatively impact neighbours due to surface water runoff. The property should be properly graded, ensuring that surface water from the (fill in proposed development) does not go onto adjacent lots in accordance with the City's Engineering Standards. It's important to note that (fill in proposed development based on Section 2.2.1 - Table 1.0) necessitates a Grading Permit. Once the Grading Permit is obtained, please reach out to the Development Engineering Reviewer to clear the Condition imposed on this application.	

DEVELOPMENT ENGINEERING		
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation		
Development Engineering Recommended Conditions of Approval:	None	

PARKS, FORESTRY & HORTICULTURE (PFH)		
No comments received to date.		
PFH Recommended Conditions of Approval:	None	

DEVELOPMENT FINANCE		
No comment no concerns		
Development Finance Recommended Conditions of Approval:	None	

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES		
No comments received to date.		
BCLPS Recommended Conditions of Approval:	None	

BUILDING INSPECTION (SEPTIC)		
No comments received to date.		
Building Inspection Recommended Conditions of Approval:	None	

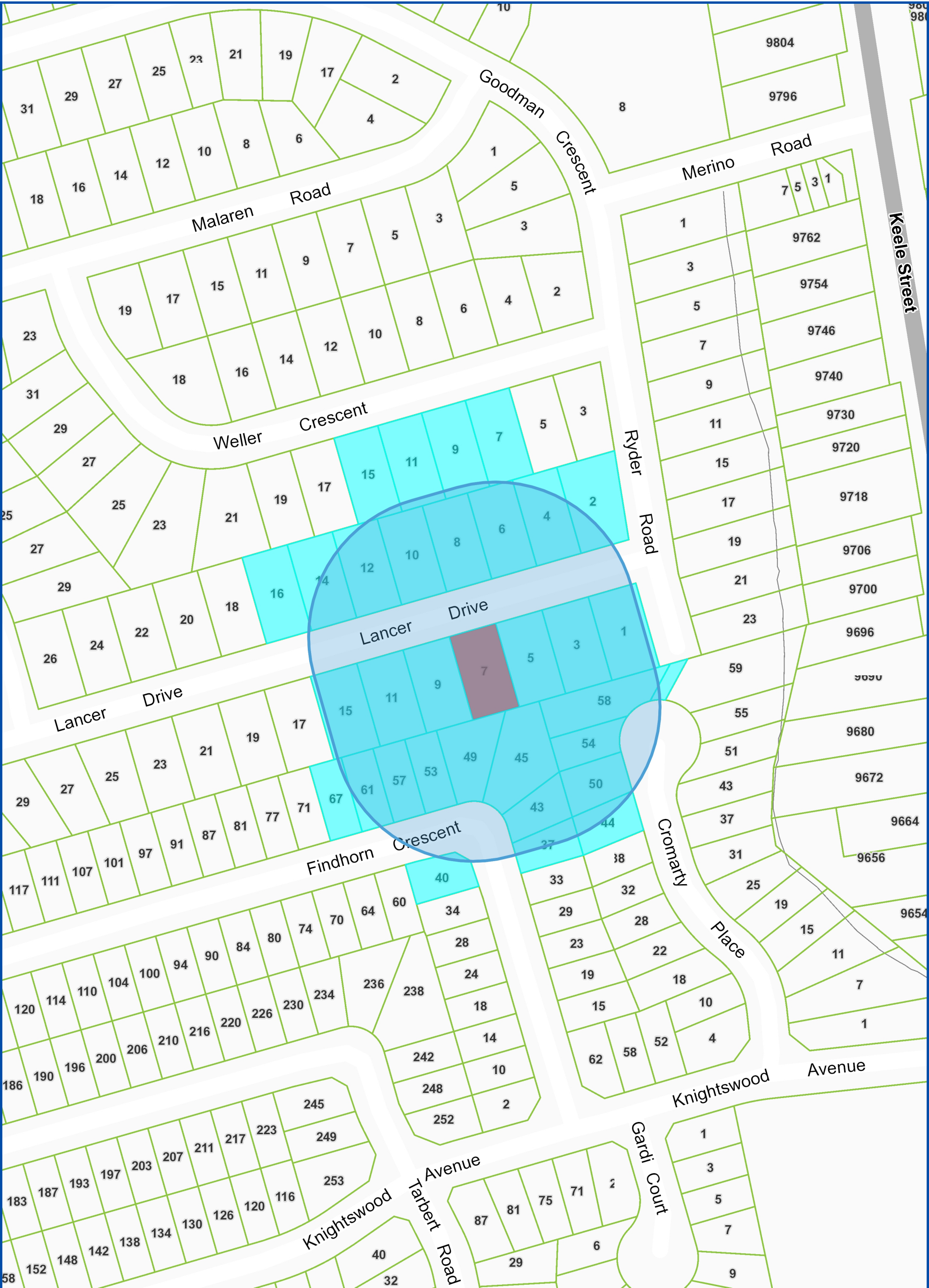
FIRE DEPARTMENT		
No comments received to date.		
Fire Department Recommended Conditions of Approval:	None	

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY		
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:		
#	DEPARTMENT / AGENCY	CONDITION
1	Development Planning Alyssa.pangilinan@vaughan.ca	TBD
<i>All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.</i>		

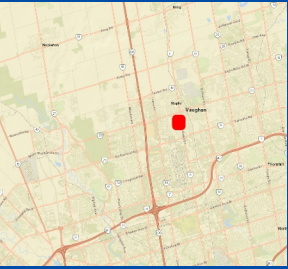
IMPORTANT INFORMATION		
CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.		

IMPORTANT INFORMATION	
<p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>	
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>	
<p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.</p>	

SCHEDULE A: DRAWINGS & PLANS



Map Information:



Title:

7 Lancer Drive, Maple

NOTIFICATION MAP - A126/24

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:2,257

0 0.04 km



Created By:
Infrastructure Delivery
Department
July 17, 2024 12:17 PM

Projection:
NAD 83
UTM Zone
17N

AS-BUILT POOL, PATIO & CABANA

7 LANCER DR, MAPLE, ON L6A
1E4



LIST OF DRAWINGS:

A0 — COVER SHEET

SP1-01 — AS-BUILT. SITE PLAN

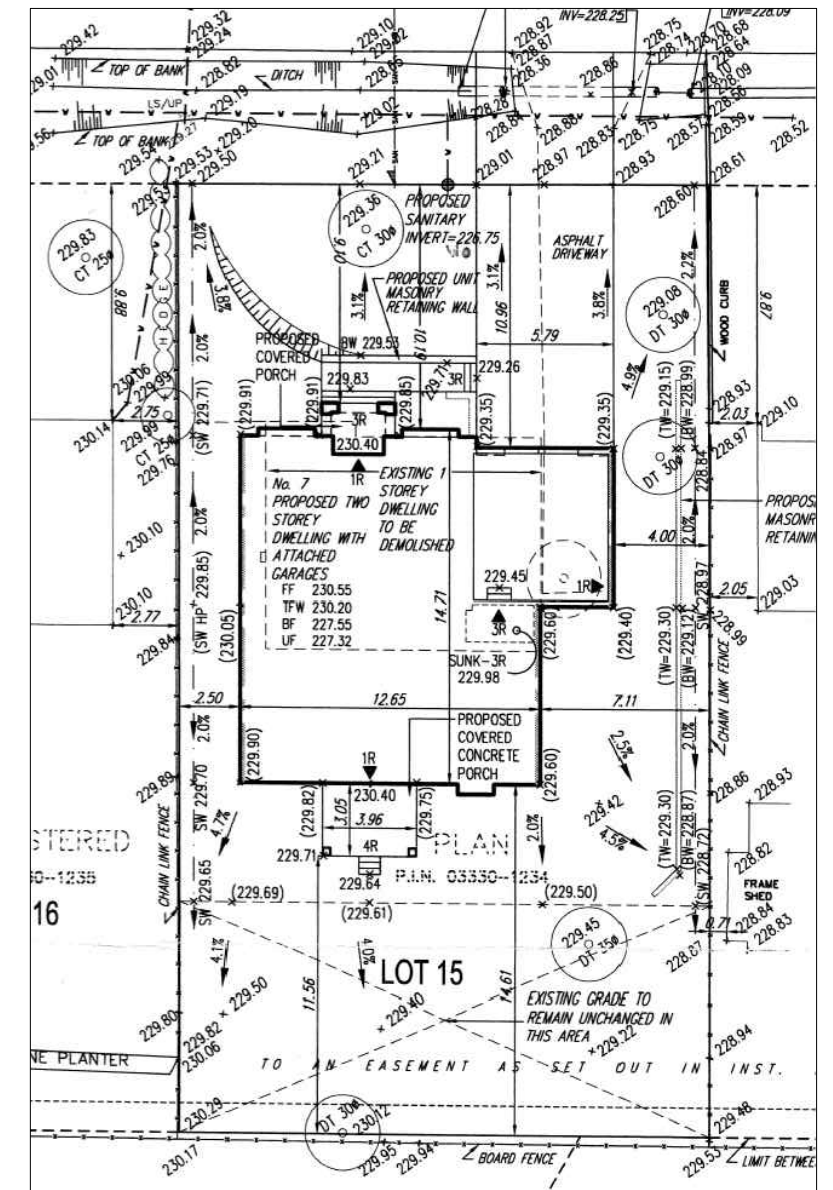
SP1-02 — AS-BUILT. SITE PLAN

A-02 — AS-BUILT CABANA FLOOR PLAN

A-03 — AS-BUILT FOUNDATION PLAN & ROOF PLAN

A-04 — AS-BUILT FRONT & BACK ELEVATIONS

A-05 — AS-BUILT SIDE ELEVATIONS





416 704 3637
730 GARYRAY DR, M9L1R3 TORONTO
PrecisionLandscaping.ca

LEGEND

--- DENOTES EXISTING ELEVATION
--- DENOTES PROPOSED ELEVATION
TW: --- DENOTES PROPOSED TOP OF WALL ELEVATION
BW: --- DENOTES BOTTOM OF WALL ELEVATION
SW: --- DENOTES SWALE ELEVATION
--- DENOTES PROPERTY LINE
--- DENOTES FENCE

PLUMBING

2" COLD WATER LINE
2" HOT WATER LINE
3" WASTE LINE
WATER LINE SHUTOFF
DOWNSPOUT

HARD LANDSCAPING

--- DENOTES INTERLOCK
--- DENOTES INTERLOCK
--- DENOTES RETAINING WALL

SOFT LANDSCAPING

--- DENOTES SOD
--- DENOTES MULCH/ GARDEN
--- DENOTES WATER

1286 Maple Road
Belle Ewart, ON
(416) 452-4560
julia_klimusheva@hotmail.com

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under S.2.2 of the building code

JULIA KLIMUSHEVA	128526
Name	BCIN
Signature	#CURDATE
	Date

PROJECT

7 LANCER DRIVE

REVISIONS

NOV 20, 2023 ISSUED FOR PERMIT

ALL MEASUREMENTS TO BE CONFIRMED IN FIELD BY CONTRACTOR. ERRORS AND OMISSIONS TO BE REPORTED TO ARCHITECT, INTERIOR DESIGNER, OR ENGINEER PRIOR TO PROCEEDING WITH WORK. RESPONSIBILITY FOR COORDINATION OF ALL WORK REMAINS WITH THE GENERAL CONTRACTOR

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DRAWING

SITE PLAN

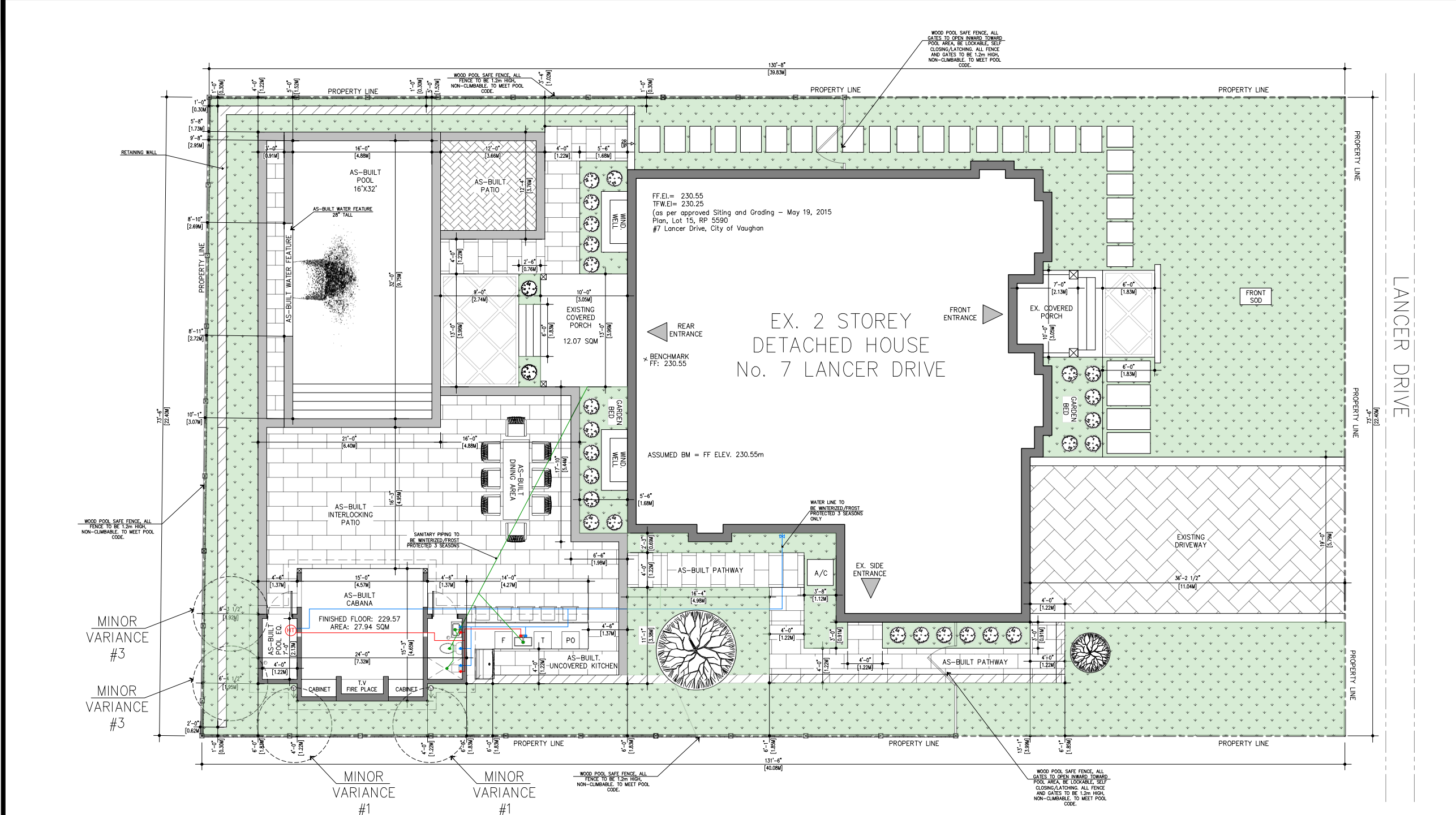
SCALE
1:150

DATE
APR 05, 2025

CHECKED BY
JD

DRAWN BY
JD

SP-01



PROJECT STATISTICS			
LEGAL LAND LOT NUMBER	15		ZONING: R1E
ADDRESS: 7 LANCER DRIVE			
LOT FRONTAGE:	22.40 M	LOT AREA:	879.00 SQM
REAR LOT AREA:	331.40 SQM		
PROPOSED AND EXISTING AREAS:			
DWELLING FOOT PRINT AREA:	22.95%	201.70 SQM	
PROPOSED ACCESSORY STRUCTURE:	3.18%	27.94 SQM	
EXISTING COVERED PORCH REAR:	1.37%	12.07 SQM	
EXISTING COVERED PORCH FRONT:	0.69%	6.05 SQM	
TOTAL ROOF COVERED AREA:	247.76 SQM = 28.19%		
EXISTING DRIVEWAY:		63.91 SQM	
PROPOSED POOL:		47.56 SQM	
PROPOSED SOFTSCAPE:		79.45 SQM	

MINOR VARIANCE #2

LEGEND:

x (####) DENOTES EXISTING ELEVATION
x (###) DENOTES PROPOSED ELEVATION
x TW: #### DENOTES PROPOSED TOP OF WALL ELEVATION
x BW: #### DENOTES PROPOSED BOTTOM OF WALL ELEVATION
x (SW: ####) DENOTES SWALE ELEVATION

PLUMBING LEGENDS

2" COLD WATER LINE
2" HOT WATER LINE
3" WASTE LINE
WATER METER
WATER LINE SHUTOFF
DOWNSPOUT

- NOTES:**
- EXISTING ELEVATIONS ALONG THE PERIMETER OF THE PROPERTY AS SHOWN ON THIS PLAN ARE BASED ON THE PREVIOUSLY APPROVED SITING AND GRADING PLAN PREPARED BY HUNT DESIGN (DWG. 214099SP01.DWG) FOR LOT 15, PLAN 5590, VAUGHAN (#7 LANCER DRIVE). EXISTING ELEVATIONS AS SHOWN ON THIS PLAN SHALL BE FIELD VERIFIED PRIOR TO COMMENCING ANY WORK ON SITE.
 - PROPOSED SWALE ELEVATIONS SHOWN ON THIS PLAN ARE BASED ON THE APPROVED SITING AND GRADING PLAN, PREPARED BY HUNT DESIGN (DWG. 214099SP01.DWG) FOR LOT 15, PLAN 5590, VAUGHAN, DATED MAY 13, 2005 FOR #7 LANCER DRIVE.
 - PROPOSED GRADING WITHIN THE REAR PATIO/WALKWAY, SWIMMING POOL AND RELATED APPURTENANCES IS NOT PART OF THIS APPROVAL AND SHOULD BE DESIGN TO PROVIDE POSITIVE DRAINAGE TO EXISTING/PROPOSED SWALES AS SHOWN AND IN ACCORDANCE WITH MUNICIPAL GRADING STANDARDS.
 - MINIMUM 3:1 SLOPING SHOULD BE PROVIDED ON SITE WERE APPLICABLE AND NECESSARY (RETAINING WALLS SHOULD BE IMPLEMENTED WHERE 3:1 SLOPE CAN NOT BE ACCOMMODATED).



416 704 3637
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LEGEND

x (###)### DENOTES EXISTING ELEVATION
x (###)### DENOTES PROPOSED ELEVATION
x TW: ### DENOTES PROPOSED TOP OF WALL ELEVATION
x BW: ### DENOTES PROPOSED BOTTOM OF WALL ELEVATION
x (SW: ###) DENOTES SWALE ELEVATION

--- DENOTES PROPERTY LINE
--- DENOTES FENCE

PLUMBING

2" COLD WATER LINE
2" HOT WATER LINE
3" WASTE LINE
WATER LINE SHUTOFF
DOWNSPOUT

HARD LANDSCAPING

DENOTES INTERLOCK
DENOTES INTERLOCK
DENOTES RETAINING WALL

SOFT LANDSCAPING

DENOTES SOD
DENOTES MULCH/ GARDEN
DENOTES WATER

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julia_klimusheva@hotmail.com

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QUALIFICATION INFORMATION

Required unless design is exempt under S.25 of the Building Code

JULIA KLIMUSHEVA	128526
Name	BCIN
Signature	#CURDATE
	Date

PROJECT

7 LANCER DRIVE

REVISIONS

NOV 20, 2023 ISSUED FOR PERMIT

ALL MEASUREMENTS TO BE CONFIRMED IN FIELD BY CONTRACTOR. ERRORS AND OMISSIONS TO BE REPORTED TO ARCHITECT, INTERIOR DESIGNER, OR ENGINEER PRIOR TO PROCEEDING WITH WORK. RESPONSIBILITY FOR COORDINATION OF ALL WORK REMAINS WITH THE GENERAL CONTRACTOR

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DRAWING

GRADING PLAN

SCALE

1:150

DATE

APR 05, 2025

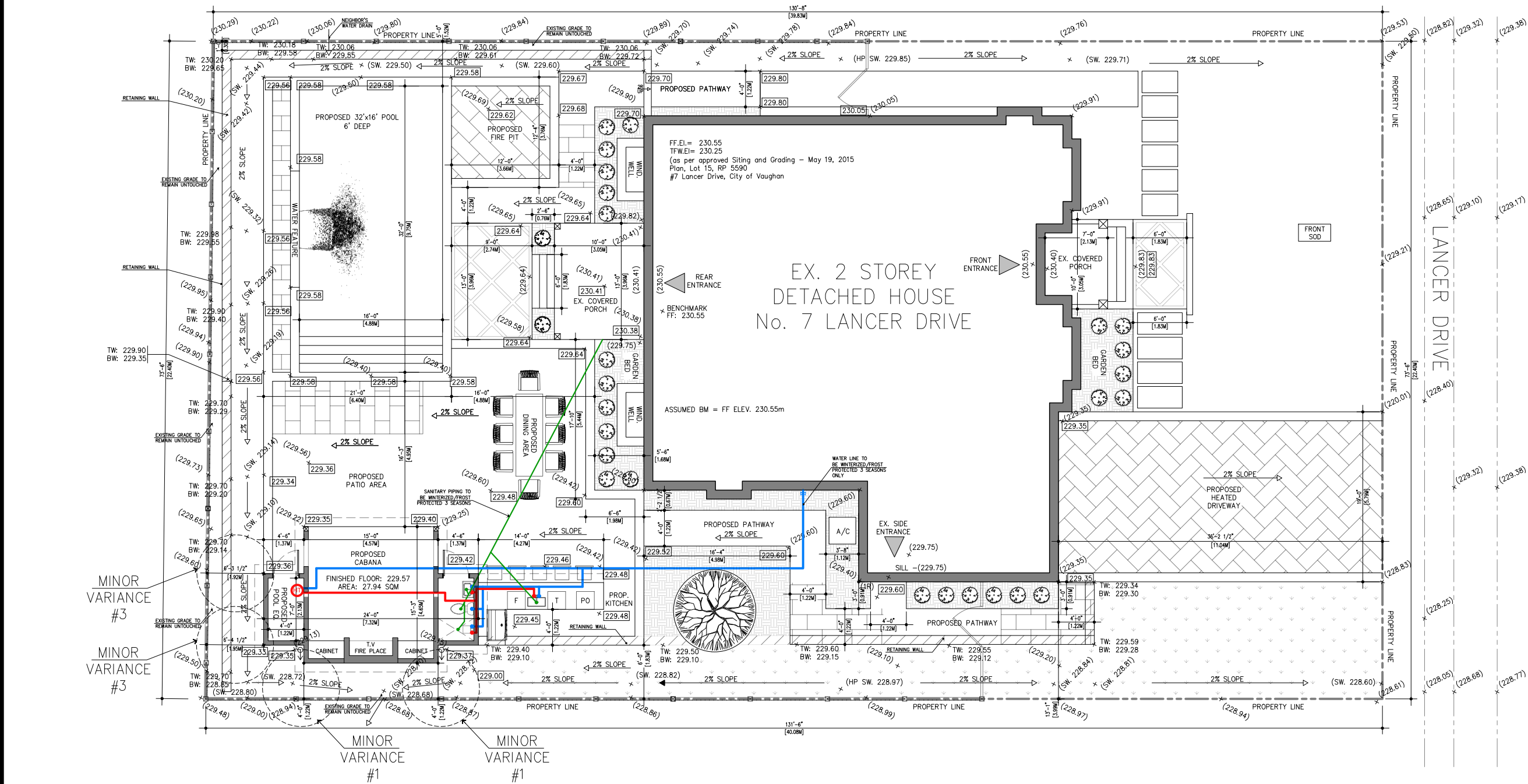
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JD

DRAWN BY

JD

SP-02



LEGEND:

x (###)### DENOTES EXISTING ELEVATION
x (###)### DENOTES PROPOSED ELEVATION
x TW: ### DENOTES PROPOSED TOP OF WALL ELEVATION
x BW: ### DENOTES PROPOSED BOTTOM OF WALL ELEVATION
x (SW: ###) DENOTES SWALE ELEVATION

PLUMBING LEGENDS

2" COLD WATER LINE
2" HOT WATER LINE
3" WASTE LINE
WATER METER
WATER LINE SHUTOFF
DOWNSPOUT

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LEGEND

X (###) DENOTES EXISTING ELEVATION
X (###) DENOTES PROPOSED ELEVATION
X TW: ### DENOTES PROPOSED TOP OF WALL ELEVATION
X BW: ### DENOTES BOTTOM OF WALL ELEVATION
X (SW: ###) DENOTES SWALE ELEVATION

--- DENOTES PROPERTY LINE
--- DENOTES FENCE

PLUMBING

1/2" COLD WATER LINE
1/2" HOT WATER LINE
3" WASTE LINE
WATER LINE SHUTOFF
DOWNSPOUT

HARD LANDSCAPING

--- DENOTES INTERLOCK
--- DENOTES INTERLOCK
--- DENOTES RETAINING WALL

SOFT LANDSCAPING

--- DENOTES SOIL
--- DENOTES MULCH/ GARDEN
--- DENOTES WATER

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	Date

PROJECT

7 LANCER DRIVE

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DRAWING

CABANA FLOOR PLAN

SCALE

1:50

DATE

APR 05, 2025

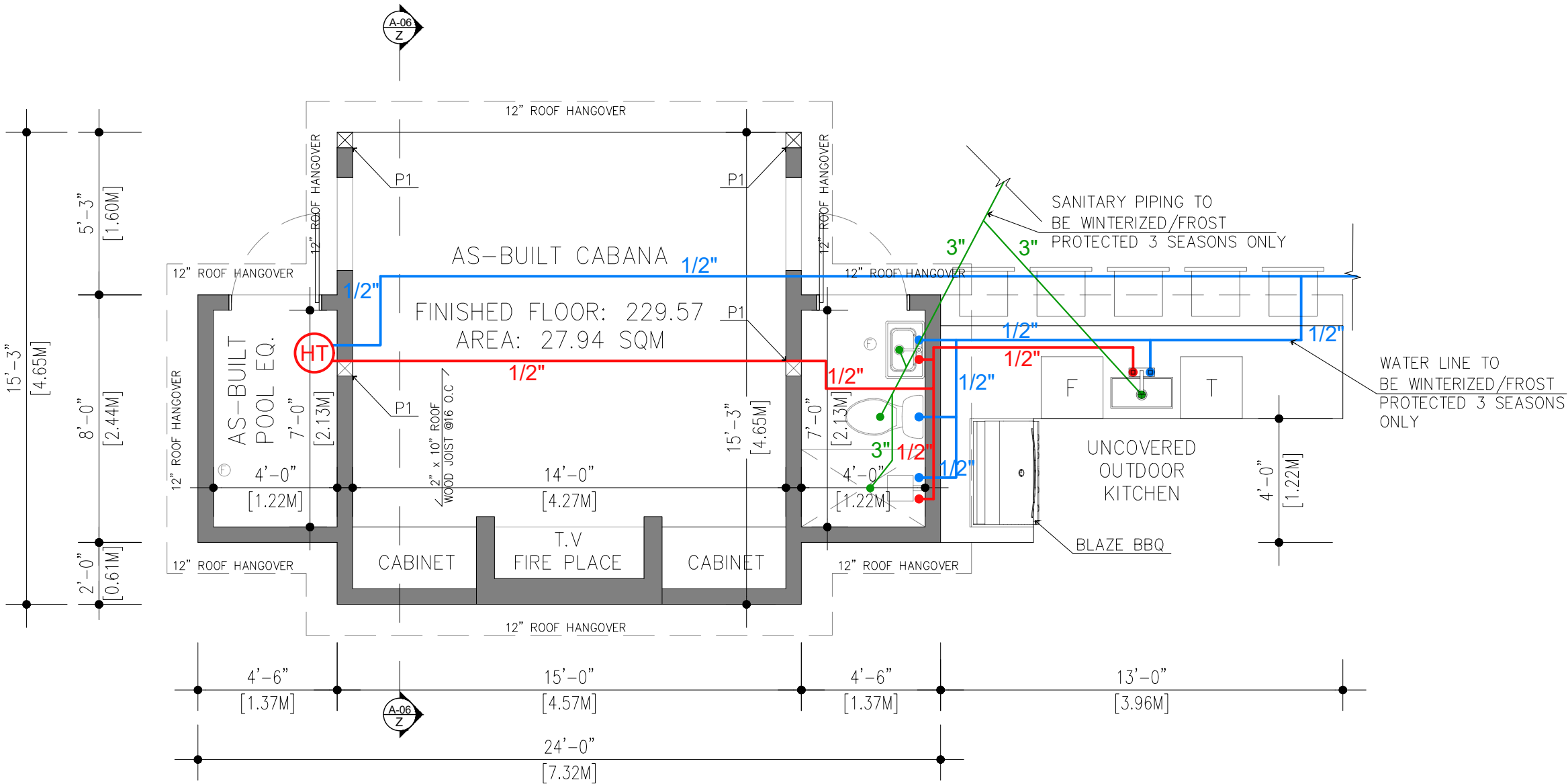
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JD

A-03



CABANA FLOOR PLAN

SCALE 1: 75

WALL & CEILING LEGENDS				PLUMBING LEGENDS	
C1 EXISTING FULL HEIGHT CEILING TO REMAIN 1.- 2"x10" WOOD JOIST @ 16 O.C. 2.- 1/2" REGULAR GYPSUM BOARD	C2 FULL HEIGHT CEILING 1.- 2"x8" WOOD JOIST @ NOT MORE THAN 610mm O.C. 2.- ABSORPTIVE MATERIAL IN CAVITY 3.- RESILIENT METAL CHANNELS @ 610mm O.C. 4.- 2 LAYERS OF 12.7mm GYPSUM BOARD	W1 EXISTING SB-3 (ASSEMBLY EW1B) EXTERIOR INSULATED WALL 1.- 1/2" GYPSUM BOARD ON ONE SIDE OF 2"x6" WOODEN STUDS @16" 2.- TOP PLATE AND BOTTOM PLATE TAPED, SANDED AND READY TO RECEIVE COMPOSITE SIDING FINISH, AS PER OWNER CHOICE OF COLOR.	W2 EXISTING SB-3 (ASSEMBLY W1) INTERIOR PARTITION WALL 1.- 2"x4" WOOD STUDS @16" OR 24" O.C. 2.- 12.7mm REGULAR GYPSUM BOARD.	1/2" COLD WATER LINE	1/2" HOT WATER LINE
				2" WASTE LINE (FORCED MAIN)	WATER METER
				WATER LINE SHUTOFF	

LEGEND

X (###-##)

DENOTES EXISTING ELEVATION

X (###-##)

DENOTES PROPOSED ELEVATION

X TW: ###-##

DENOTES PROPOSED TOP OF WALL ELEVATION

X BW: ###-##

DENOTES BOTTOM OF WALL ELEVATION

X (SW: ###-##)

DENOTES SWALE ELEVATION

DENOTES PROPERTY LINE

=====

DENOTES FENCE

PLUMBING

2" COLD WATER LINE

2" HOT WATER LINE

3" WASTE LINE

+

WATER LINE SHUTOFF

+

DOWNSPOUT

HARD LANDSCAPING

▨

DENOTES INTERLOCK

▨

DENOTES INTERLOCK

▨

DENOTES RETAINING WALL

SOFT LANDSCAPING

▨

DENOTES SOG

▨

DENOTES MULCH/ GARDEN

▨

DENOTES WATER

1286 Maple Road
Belle Ewart, ON
(416) 452-4560
julia_klimusheva@hotmail.com

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128626

Signature

#CURDATE

Date

PROJECT

7 LANCER DRIVE

REVISIONS

NOV 20, 2023 ISSUED FOR PERMIT

ALL MEASUREMENTS TO BE CONFIRMED IN FIELD BY CONTRACTOR. ERRORS AND OMISSIONS TO BE REPORTED TO ARCHITECT, INTERIOR DESIGNER, OR ENGINEER PRIOR TO PROCEEDING WITH WORK. RESPONSIBILITY FOR COORDINATION OF ALL WORK REMAINS WITH THE GENERAL CONTRACTOR

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DRAWING

CABANA ROOF PLAN

SCALE

1:50

DATE

APR 05, 2025

CHECKED BY

JD

DRAWN BY

JD

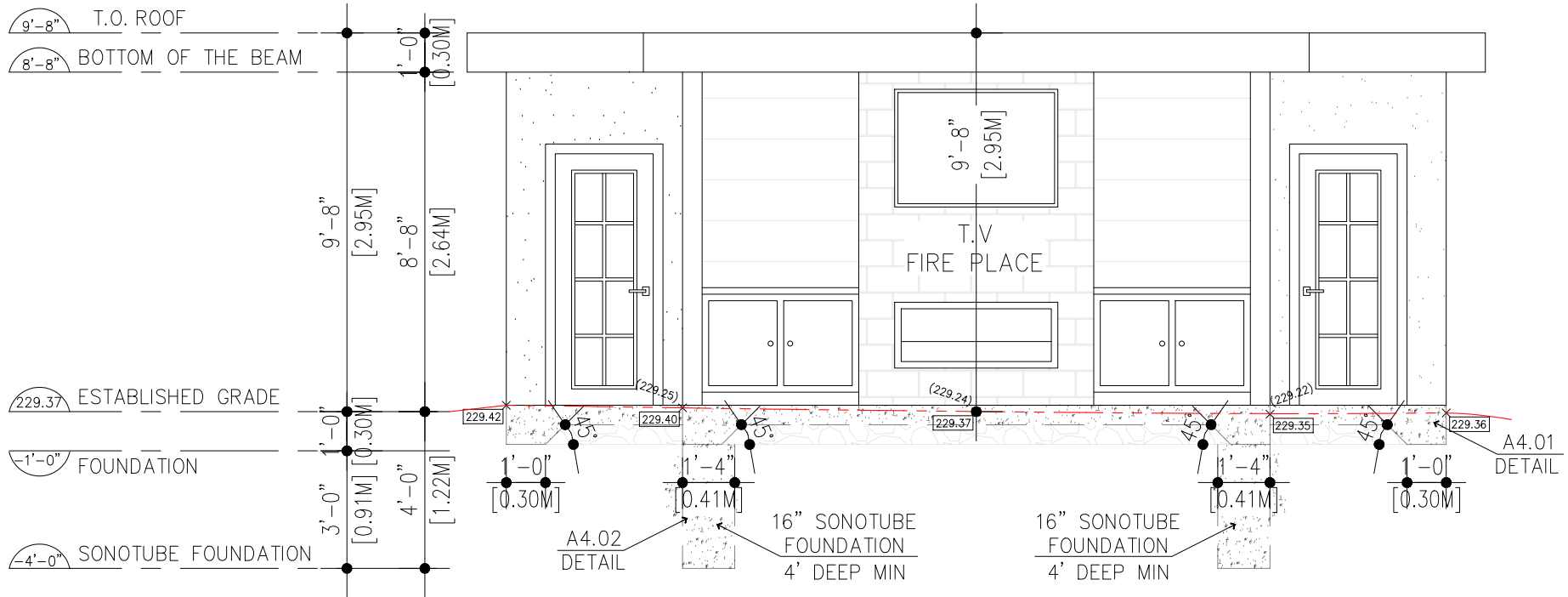
A-04

CABANA FOUNDATION PLAN

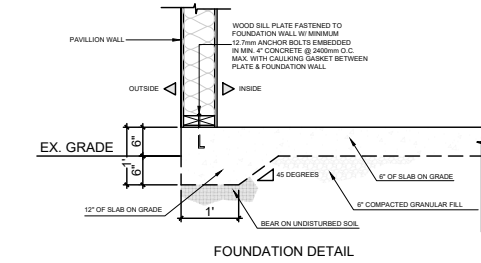
SCALE 1: 75

CABANA ROOF PLAN

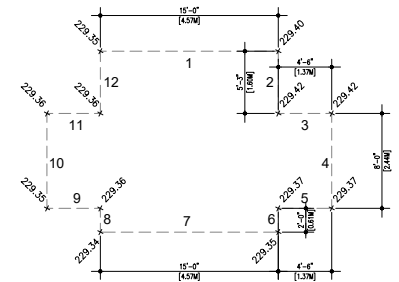
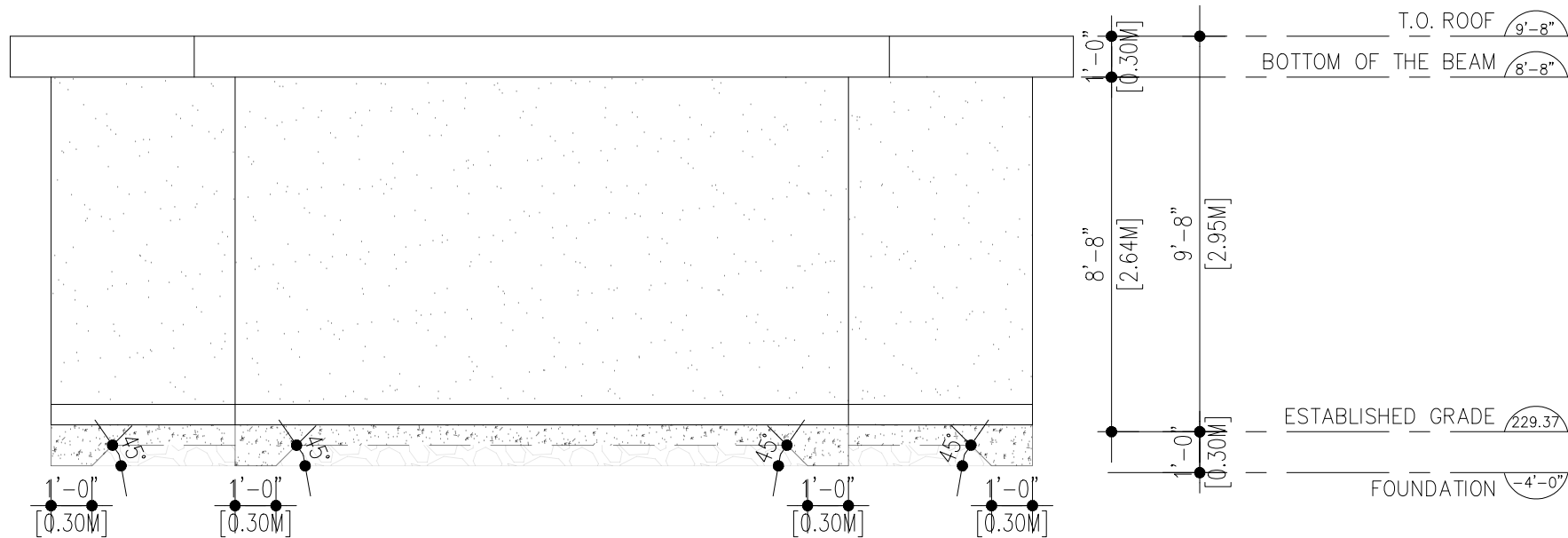
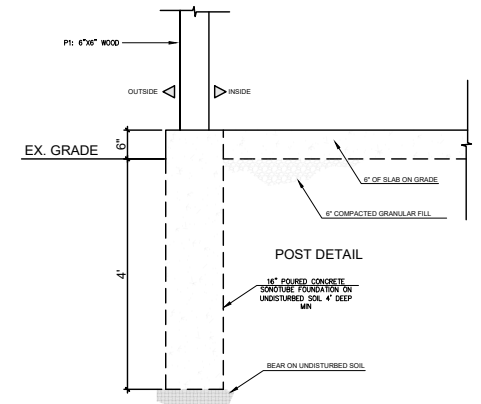
SCALE 1: 75



DETAIL A4.01 – WALL FOUNDATION



DETAIL A4.02 – POST FOUNDATION



ESTABLISHED GRADE CALCULATION- (PROPOSED CABANA)				
LENGTH N°	BEGIN ELEV.	END ELEV.	LENGTH(IN)	$\frac{EL1 + EL2}{2} \times L$
1	229.35	229.40	4.57	1,048.24
2	229.40	229.42	1.60	367.06
3	229.42	229.42	1.37	314.31
4	229.42	229.37	2.44	559.72
5	229.37	229.37	1.37	314.24
6	229.37	229.35	0.61	139.91
7	229.35	229.34	4.57	1,048.11
8	229.34	229.36	0.61	139.90
9	229.36	229.35	1.37	314.22
10	229.35	229.36	2.44	559.63
11	229.36	229.36	1.37	314.22
12	229.36	229.35	1.60	366.97
TOTAL:			23.92	5,486.53
			5,490.91/ 23.92	
EG:			229.37	



416 704 3637
730 GARYRAY DR, M9L1R3 TORONTO
PrecisionLandscaping.ca

LEGEND

X (###-##) DENOTES EXISTING ELEVATION
X (###-##) DENOTES PROPOSED ELEVATION
X TW: ###-## DENOTES PROPOSED TOP OF WALL ELEVATION
X BW: ###-## DENOTES BOTTOM OF WALL ELEVATION
X (SW: ###-##) DENOTES SWALE ELEVATION
--- DENOTES PROPERTY LINE
--- DENOTES FENCE

PLUMBING

2" COLD WATER LINE
2" HOT WATER LINE
3" WASTE LINE
WATER LINE SHUTOFF
DOWNSPOUT

HARD LANDSCAPING

DENOTES INTERLOCK
DENOTES INTERLOCK
DENOTES RETAINING WALL

SOFT LANDSCAPING

DENOTES SOO
DENOTES MULCH/ GARDEN
DENOTES WATER

1286 Maple Road
Belle Ewart, ON
(416) 452-4560
julia_klimusheva@hotmail.com

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under 3.2.5 of OBC, of the building code

JULIA KLIMUSHEVA	126526
Name	BCIN
Signature	#CURDATE
	Date

PROJECT

7 LANCER DRIVE

REVISIONS

NOV 20, 2023 ISSUED FOR PERMIT

ALL MEASUREMENTS TO BE CONFIRMED IN FIELD BY CONTRACTOR. ERRORS AND OMISSIONS TO BE REPORTED TO ARCHITECT, INTERIOR DESIGNER, OR ENGINEER PRIOR TO PROCEEDING WITH WORK. RESPONSIBILITY FOR COORDINATION OF ALL WORK REMAINS WITH THE GENERAL CONTRACTOR

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DRAWING

FRONT & BACK ELEVATION

SCALE

1:50

DATE

APR 05, 2025

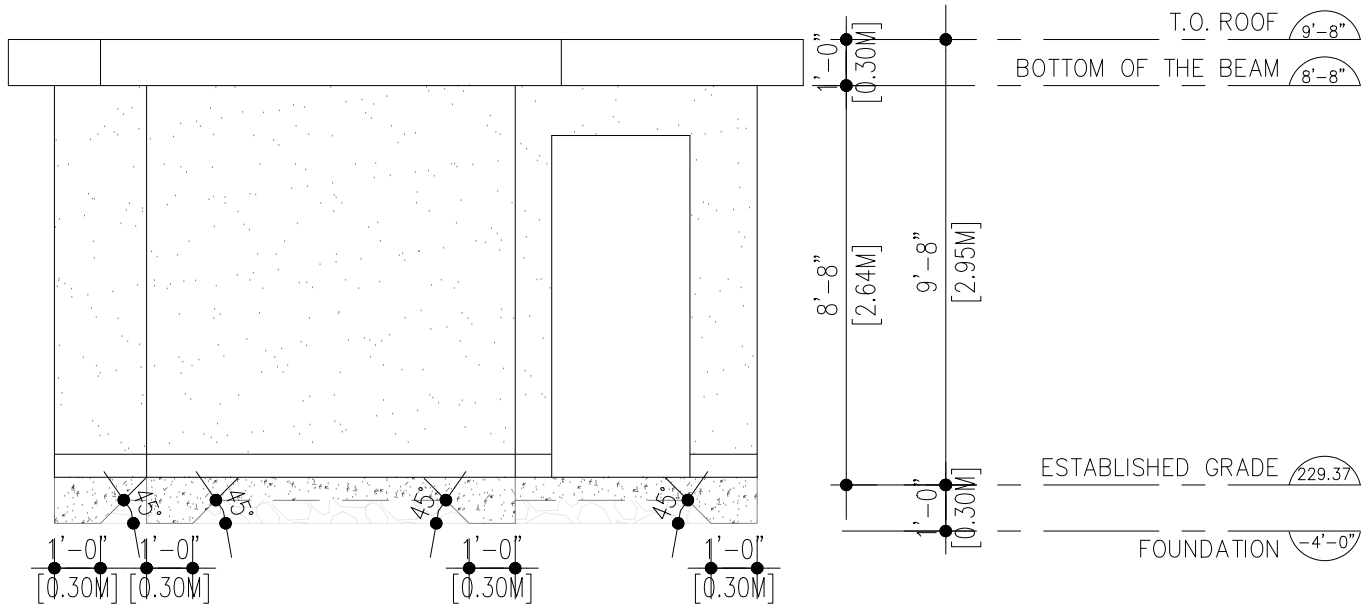
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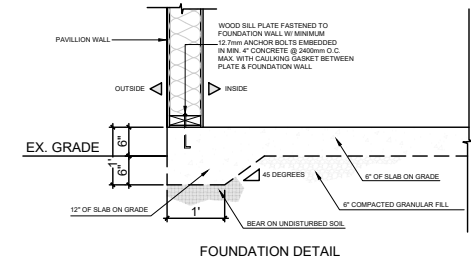
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JD

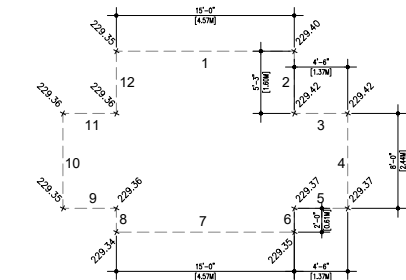
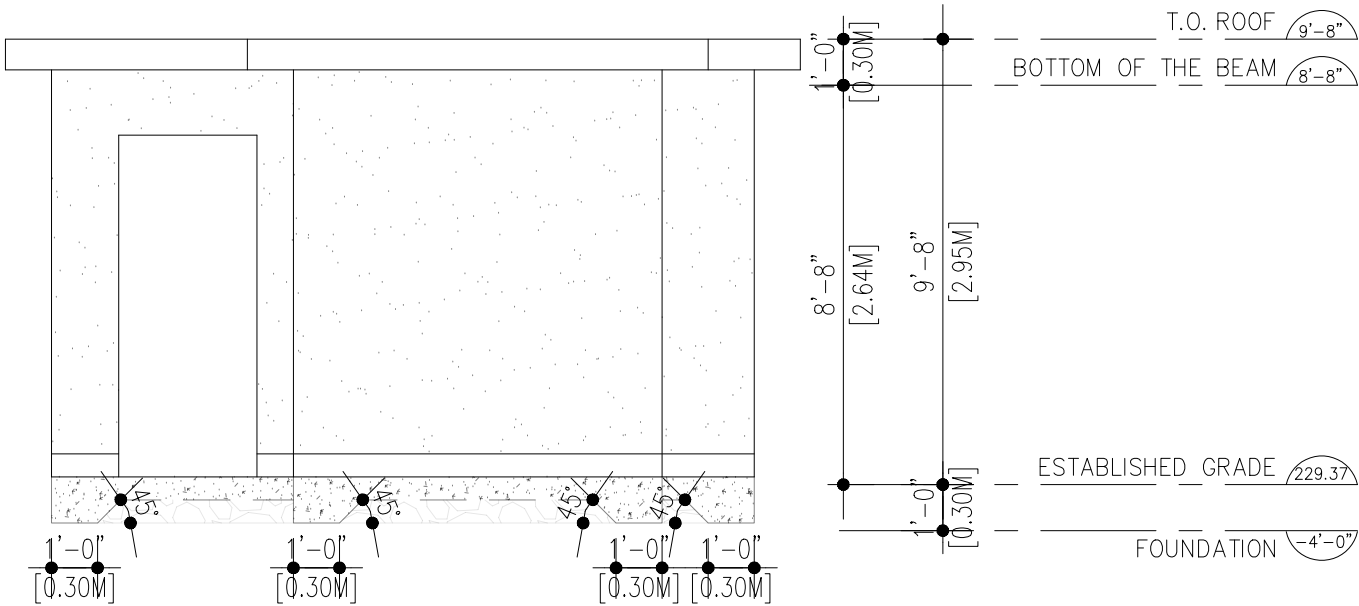
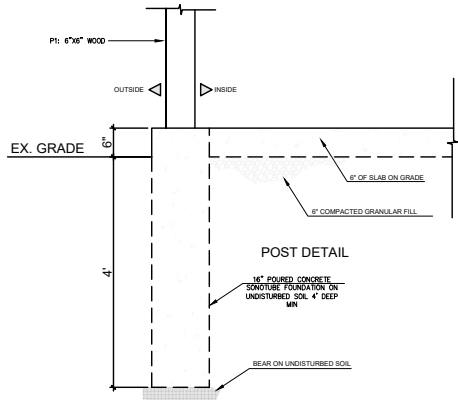
A-05



DETAIL A5.01 – WALL FOUNDATION



DETAIL A5.02 – POST FOUNDATION



ESTABLISHED GRADE CALCULATION- (PROPOSED CABANA)				
LENGTH N°	BEGIN ELEV.	END ELEV.	LENGTH(IN)	$\frac{EL\ 1 + EL\ 2}{2} \times L$
1	229.35	229.40	4.57	1,048.24
2	229.40	229.42	1.60	367.06
3	229.42	229.42	1.37	314.31
4	229.42	229.37	2.44	559.72
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6	229.37	229.35	0.61	139.91
7	229.35	229.34	4.57	1,048.11
8	229.34	229.36	0.61	139.90
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12	229.36	229.35	1.60	366.97
TOTAL:			23.92	5,486.53
			5,490.91/ 23.92	
EG:			229.37	



416 704 3637
730 GARYRAY DR, M9L1R3 TORONTO
PrecisionLandscaping.ca

LEGEND

X (###) DENOTES EXISTING ELEVATION
X (###) DENOTES PROPOSED ELEVATION
X TW: ### DENOTES PROPOSED TOP OF WALL ELEVATION
X BW: ### DENOTES BOTTOM OF WALL ELEVATION
X (SW: ###) DENOTES SWALE ELEVATION
--- DENOTES PROPERTY LINE
--- DENOTES FENCE

PLUMBING

2" COLD WATER LINE
2" HOT WATER LINE
3" WASTE LINE
WATER LINE SHUTOFF
DOWNSPOUT

HARD LANDSCAPING

DENOTES INTERLOCK
DENOTES INTERLOCK
DENOTES RETAINING WALL

SOFT LANDSCAPING

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DENOTES MULCH/ GARDEN
DENOTES WATER

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The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under 3.2.5 of OBC, of the building code

JULIA KLIMUSHEVA	128526
Name	BCIN
Signature	#CURDATE
	Date

PROJECT

7 LANCER DRIVE

REVISIONS

NOV 20, 2023 ISSUED FOR PERMIT

ALL MEASUREMENTS TO BE CONFIRMED IN FIELD BY CONTRACTOR. ERRORS AND OMISSIONS TO BE REPORTED TO ARCHITECT, INTERIOR DESIGNER, OR ENGINEER PRIOR TO PROCEEDING WITH WORK. RESPONSIBILITY FOR COORDINATION OF ALL WORK REMAINS WITH THE GENERAL CONTRACTOR

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DRAWING

SIDE ELEVATIONS

SCALE

1:50

DATE

APR 05, 2025

CHECKED BY

JD

DRAWN BY

JD

A-06

SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: June 5th 2025

Attention: **Christine Vigneault**

RE: Request for Comments

File No.:

Related Files: **A126-24**

Applicant: Ross Bellissimo

Location 7 Lancer Drive

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

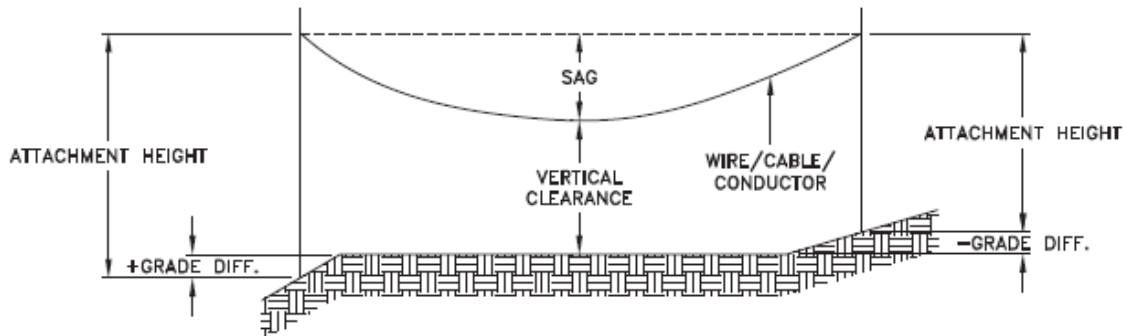
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 + GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

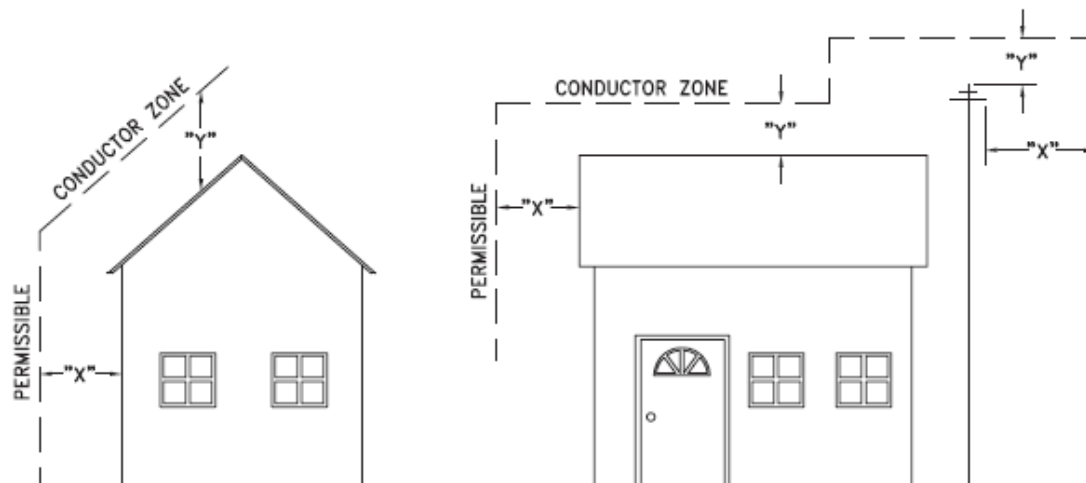
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

- UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
- THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
- THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
- BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
- IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
- DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
- ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P.Eng. Approval By: D. Dadwani

To: Committee of Adjustment

From: Catherine Saluri, Building Standards Department

Date: June 27, 2025

Applicant: Ross Bellissimo

Location: 7 Lancer Drive

File No.(s): A126/24

Zoning Classification:

The subject lands are zoned R1E (EN) First Density Residential Zone (Established Neighbourhood) under Zoning Bylaw 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A maximum lot coverage of 23% is permitted. [Table 7-3]	To permit a maximum lot coverage of 28.19% .
2	A minimum rear yard of 2.4 m is required for a residential accessory structure (cabana) with a height over 2.8 m . [4.1.2.1b]	To permit a minimum rear yard of 1.92 m for a residential accessory structure (cabana) with a height over 2.8 m .
3	A minimum easterly interior side yard of 2.4 m is required for a residential accessory structure (cabana) with a height over 2.8 m . [4.1.2.1b]	To permit a minimum easterly interior side yard of 1.22 m for a residential accessory structure (cabana) with a height over 2.8 m .
4	For a residential use in the R1E Zone, the portion of the rear yard in excess of 135.0 m² shall be comprised of a minimum 60% soft landscape. [4.19.1.1]	To permit the portion of the rear yard for a residential use in the R1E Zone in excess of 135.0 m² to be comprised of a minimum 40.45% soft landscape.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

An application for building permit (2024 109813) has been submitted for the proposed construction of a residential accessory structure (cabana).

Other Comments:

Zoning By-law 001-2021	
1	Maximum permitted lot coverage of 23% is based on the Applicant's confirmation that the existing dwelling is 9.5 m in height (as noted in size chart submitted on this application).
2	The Agent confirms that the retaining wall, located 0.3 m from the rear and interior side lot lines, as shown on the Site Plan, will not exceed 1.0 m in height.

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.

2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).
3	Limited details about an easement in the rear yard are shown on the Site Plan submitted on Drawing A0 Cover Sheet. Please be advised that it is the property owner's responsibility to determine the limits of the subject property and the existence of any registered easements or restrictions.
4	Proposed lot coverage has been confirmed by the Agent to be as proposed in this minor variance application.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

None

* Comments are based on the review of documentation supplied with this application.

From: [Cameron McDonald](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A126/24 - 7 LANCER DRIVE - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Monday, June 16, 2025 9:46:33 AM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from the TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:(437)880-1925)

E: cameron.mcdonald@trca.ca

A: [5 Shoreham Drive, Toronto, ON, M3N 1S4](#) | trca.ca



From: [Development Services](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A126/24 - 7 LANCER DRIVE - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Monday, June 9, 2025 8:54:58 AM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good morning,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Regards.

Gabrielle Hurst MCIP, RPP

Associate Planner, Development Planning, Economic and Development Services Branch
Corporate Services Department

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 8V3

O: 905-830-4444 ext. 71538 | developmentservices@york.ca |

Our Mission: **Working together to serve our thriving communities – today and tomorrow**

For more information check us out at www.york.ca/developmentservices

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
N/A				

SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
A027/15	Approved

NOTICE OF DECISION

MINOR VARIANCES

FILE NUMBER: A027/15

APPLICANT: ANTOINETTE BORDIN

PROPERTY: Part of Lot 19, Concession 4 (Lot 15, Registered Plan 5590) municipally known as 7 Lancer Drive, Maple.

ZONING: The subject lands are zoned R1V, Residential, under By-law 1-88, as amended.

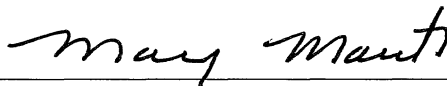
PURPOSE: To permit the construction of a proposed two-storey single family detached dwelling.

PROPOSAL: 1. To permit a maximum lot coverage of 25% (dwelling = 22.9% covered porches = 2.1%).

BY-LAW REQUIREMENT: 1. A maximum lot coverage of 20% is permitted.

A sketch is attached illustrating the request.

MOVED BY:



SECONDED BY:



THAT the Committee is of the opinion that the variance sought, can be considered minor and is desirable for the appropriate development and use of the land. The general intent and purpose of the By-law and the Official Plan will be maintained.

THAT Application No. **A027/15, ANTOINETTE BORDIN**, be **APPROVED**, in accordance with the sketches attached


THIS MINOR VARIANCE DECISION IS NOT A BUILDING PERMIT AUTHORIZING CONSTRUCTION UNDER THE BUILDING CODE ACT, R.S.O. 1990, AS AMENDED. A BUILDING PERMIT MAY BE REQUIRED. PLEASE CONTACT THE BUILDING STANDARDS DEPARTMENT IN THE EVENT THAT YOU REQUIRE FURTHER CLARIFICATION.


CARRIED.

CHAIR: 

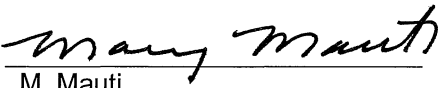
Signed by all members present who concur in this decision:


A. Perrella,
Chair

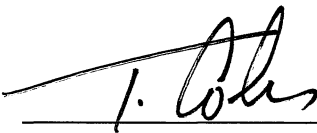

H. Zheng,
Vice Chair


R. Buckler,
Member

ABSENT
J. Cesario,
Member


M. Mauti,
Member

CERTIFICATION
I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.


Todd Coles, BES, MCIP, RPP
Manager of Development Services
and Secretary-Treasurer to
Committee of Adjustment

Date of Hearing:	JANUARY 29, 2015
Last Date of Appeal:	FEBRUARY 18, 2015

APPEALS
APPEALS MUST BE RECEIVED BY THIS OFFICE NO LATER THAN 4:30 P.M. ON THE LAST DATE OF APPEAL NOTED ABOVE.

Should you decide to appeal this decision to the Ontario Municipal Board, a copy of an appeal form is available for download in Microsoft Word and Adobe Acrobat versions from the Ontario Municipal Board website at www.omb.gov.on.ca. If you do not have Internet access, these forms can be picked up at the City of Vaughan, Committee of Adjustment offices.

Please fill out Form A1 and follow the instructions as provided by the Ontario Municipal Board and submit your appeal to the City of Vaughan, Committee of Adjustment on or before the date stated above. You must enclose the completed form with the \$650.00 processing fee, paid by **certified cheque** or **money order**, to the "TREASURER, CITY OF VAUGHAN" and the appeal fee of \$125.00 for each application appealed, paid by **certified cheque** or **money order**, made payable to the "ONTARIO MINISTER OF FINANCE".

NOTE: The Planning Act provides for appeals to be filed by "persons". As groups or associations, such as residents or ratepayers groups which do not have incorporated status, may not be considered "persons" for the purposes of the Act, groups wishing to appeal this decision should do so in the name of individual group members, and not in the name of the group.

CONDITIONS
IF ANY CONDITIONS ARE IMPOSED ON THIS APPLICATION, THE FINAL DATE FOR FULFILLING THEM IS:
DECEMBER 31, 2015

A027/15

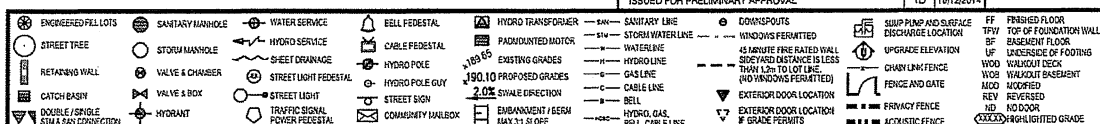
Lot Coverage = 25%
(Dwelling 22.9%, Porch 2.1%)



ZONING	SCHEDULE "A" R1V - 1-68	
ITEM	PERMITTED	PROPOSED
LOT AREA	845.00 sq m MIN.	679.00 sq m
FRONTAGE	30.0m MIN.	22.27m
COVERAGE	20.00% MAX. (169 sq. m.)	23.00% - DWELLING & GARAGE (201.69 sq. m.) (COA) 25.00% - LOGGIA & PORTICO & (219.81 sq. m.) (COA)
HEIGHT	9.50m MAX. MEASURED FROM AVERAGE GRADE @ FRONT WALL TO MEAN OF ROOF	9.06m
SETBACKS: FRONT	9.0m MIN. - Where the existing front yard is greater than 9m, such existing front yard shall be the min, provided that said yard may be reduced by a max. of 10% and provided further that in no case shall the min. front yard be less than 9m.	9.10m
RIGHT SIDE	1.50m MIN.	2.50m AT DWELLING
LEFT SIDE	1.50m MIN.	4.00m AT GARAGE, 7.11 AT DWELLING
REAR	7.50m MIN.	14.61m AT DWELLING, 11.56 AT LOGGIA
LANDSCAPING:		
FRONT YARD	MIN. 50% OF 232.51 sq m = 116.26 sq m	72.61% (168.83 sq m)
FRONT YARD SOFT	MIN. 60% OF 116.26 sq m = 69.76 sq m	94.42% (159.41 sq m)

1. GENERAL NOTES:
 A. BUILDER TO VERIFY LOCATION OF UTILITIES AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT BUILDER'S EXPENSE.
 B. BUILDER TO VERIFY ELEV. OF STM. AND SAN. LATERALS IN RELATION TO BASEMENT US OF FOOTING ELEVATIONS FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.
 C. APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES MUST BE REVIEWED AND FOLLOWED IN CONJUNCTION WITH THE SETTING AND GRADING PLAN. BUILDER TO VERIFY BUILDING ELEVATIONS ON SITE AS SHOWN ON APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES PRIOR TO POURING CONCRETE. IF THERE ARE ANY DISCREPANCIES, THEY ARE TO BE BROUGHT TO THE ATTENTION OF HUNT DESIGN ASSOCIATES INC.
 D. UNLESS NOTED ON BUILDING ELEVATION OR APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES, ALL FOOT OF FOUNDATION WALLS INCLUDING GARAGE WALLS ARE TO BE CONSISTENT WITH THE ELEVATION PROVIDED FOR THE FOUNDATION WALLS. FOUNDATION WALLS TO BE CONSTRUCTED TO THE FINISH ELEVATION WALL TO BE A FOOT OR LESS OFF TOP SURFACE FOR FINISH ELEVATION AS REQUIRED.

ISSUED FOR COA	TD	15122014
ISSUED FOR PRELIMINARY APPROVAL	TD	16122014



Lot / Page Number
LOT 15

MAJOR MACKENZIE DRIVE



RUTHERFORD ROAD



COMMITTEE OF ADJUSTMENT
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
Phone: (905)832-8585 Fax: (905)832-8535

	FILE NUMBER:	A027/15
	APPLICANT:	ANTOINETTE BORDIN
		Subject Area Municipally known as 7 Lancer Drive, Maple