

ITEM: 6.9	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A070/25
-----------	---

Report Date: Friday, July 4, 2025

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):

Additional comments from departments and agencies received after the publication of the report will be made available on the City’s [website](#).

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Engineering	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Forestry	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Recommend Adjournment

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			06/24/2025	Arborist Report
Applicant			06/24/2025	Landscape Plan
Applicant			06/24/2025	Tree Inventory Report

BACKGROUND (SCHEDULE D, IF REQUIRED)	
* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.	
Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background

	<b>MINOR VARIANCE APPLICATION</b> <b>FILE NUMBER A070/25</b>
---	---

CITY WARD #:	2
APPLICANT:	Rosalee Bello
AGENT:	Evaristo Jardin (Turner Fleischer Architects Inc)
PROPERTY:	145 Waymar Heights Boulevard, Woodbridge
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ("VOP 2010"): "Low Rise Residential" by Schedule 2 - Land Use Plan of Woodbridge Centre Secondary Plan (Chapter 11.11, Volume 2)
RELATED DEVELOPMENT APPLICATIONS:	N/A
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a new dwelling, cabana, porch and widened driveway.

The following variances have been requested from the City’s Zoning By-law:

The subject lands are zoned R1E(EN) – First Density Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The minimum front yard shall be 17.63 metres. [Table 7-3]	To permit a minimum front yard of 13.0 metres.
2	The maximum building height shall be 8.5 metres. [4.5]	To permit a maximum building height of 9.74 metres.
3	A porch including stairs may encroach a maximum 2.0 metres into a required front yard. [Table 4-1]	To permit a porch including stairs to encroach a maximum of 2.44 metres into the required front yard.
4	The maximum height of a residential accessory building shall be 3.0 metres. [4.14]	To permit a residential accessory building to have a maximum height of 3.41 metres.
5	The maximum driveway width shall be 9.0 metres. [6.7]	To permit a maximum driveway width of 10.8 metres.

HEARING INFORMATION
<b>DATE OF MEETING:</b> Thursday, July 10, 2025 <b>TIME:</b> 6:00 p.m. <b>MEETING LOCATION:</b> Vaughan City Hall, Woodbridge Room (2 <sup>nd</sup> Floor), 2141 Major Mackenzie Drive <b>LIVE STREAM LINK:</b> <a href="http://Vaughan.ca/LiveCouncil">Vaughan.ca/LiveCouncil</a>
PUBLIC PARTICIPATION
<p>If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the <a href="#">Request to Speak Form</a> and submit to <a href="mailto:cofa@vaughan.ca">cofa@vaughan.ca</a></p> <p>If you would like to submit written comments, please quote file number above and submit by mail or email to:</p> <p><b>Email:</b> <a href="mailto:cofa@vaughan.ca">cofa@vaughan.ca</a></p> <p><b>Mail:</b> City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1</p> <p>To speak electronically, pre-registration is required by completing the <a href="#">Request to Speak Form</a> on-line and submitting it to <a href="mailto:cofa@vaughan.ca">cofa@vaughan.ca</a> no later than NOON on the last business day before the meeting.</p> <p><b>THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.</b></p>



INTRODUCTION	
<p>Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.</p> <p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:</p> <p>That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p>	

COMMITTEE OF ADJUSTMENT	
<b>Date Public Notice Mailed:</b>	June 16, 2025
<b>Date Applicant Confirmed Posting of Sign:</b>	June 13, 2025
<b>Applicant Justification for Variances:</b> <small>*As provided in Application Form</small>	We are providing a similar setback to the newer homes recently constructed adjacent to and across the road from 145 Waymar Heights.
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b> <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
<b>COMMENTS:</b>	
<p>On June 24, 2025, Parks, Forestry and Horticulture Operations staff stated, “<i>Forestry is now in receipt of the arborist report for this property, we are requesting adjournment of the file so we may evaluate the significant trees on site for potential preservation, this may result in required design changes.</i>”</p> <p>On June 24, 2025, Development Planning staff stated, “<i>Planning staff concurs with Forestry staff in that additional time is required to review the materials recently provided.</i></p> <p><i>Environmental Planning staff have advised that the subject property contains and is adjacent to "Core Features" (i.e. significant forest, bioforest features) of the Natural Heritage Network (NHN) as identified by the Vaughan Official Plan. The Core Feature, in this case being the woodland to the property’s rear, needs to be identified through a dripline staking. A 10 m vegetation protection zone buffer is required for Core Features of the NHN.</i></p> <p><i>Environmental Planning staff needs to be satisfied that the proposed tree removals are not impacting the Core Feature, and that should impacts be proposed, necessary mitigation measures are taken to protect the Core Feature.</i></p> <p><i>It would be difficult to justify that the minor variance proposal meets the general intent of the Vaughan Official Plan without this analysis. I’ll be in touch to provide you detailed comments and requirements from Environmental Planning staff in the coming days. In the meantime, please request adjournment to the next cycle.”</i></p> <p><b>On June 24, 2025, Committee of Adjustment staff requested the applicant to adjourn the application, due to the requests made by the Parks, Forestry and Horticulture Operations and the Development Planning departments. The applicant was advised of the potential adjournment fee. The applicant chose to proceed to the July 10, 2025, Committee of Adjustment Hearing.</b></p> <p>On June 24, 2025 the applicant confirmed that they wanted to proceed to the July 10 hearing.</p>	
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	If the application is to be adjourned from July 10th, 2025, hearing, a \$640.00 adjournment fee will be applicable.

BUILDING STANDARDS (ZONING)	
<b>**See Schedule B for Building Standards (Zoning) Comments</b>	
<b>Building Standards Recommended Conditions of Approval:</b>	None

DEVELOPMENT PLANNING	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	TBD

DEVELOPMENT ENGINEERING	
<a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>	
<p>The proposed single storey residential dwelling can increase to the existing storm drainage flows having adverse effects on the neighbour's property. The Owner/Applicant must submit an application and obtain an approved Grading Permit prior to starting any work on the property related to the proposed two-storey dwelling. The Owner/Applicant is responsible for ensuring that positive drainage is maintained and that the construction does not create any surface drainage issues on adjacent private or public lands, in accordance with the City of Vaughan's Engineering Standards.</p> <p>The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: &lt;a href=https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/permits&gt;Permits   City of Vaughan&lt;/a&gt; to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca</p> <p>The Owner / Applicant shall apply for a Pool Permit with the Development Engineering (DE) Department. Please visit the grading permits page at City of Vaughan website to learn how to apply for the Pool Permit. If you have any question about Pool Grading Permit, please contact the Development Engineering Department through email at DEPermits@vaughan.ca.</p> <p>The Owner / Applicant shall submit an application for a Road Occupancy Permit for the proposed modification to the existing circular driveway. Applications for the permit can be submitted either by email to Utility.Coordinator@vaughan.ca or in person at the Joint Operations Center located at 2800 Rutherford Road. The Owner / Applicant is responsible for restoring all affected areas, including ditches and boulevards, to their original condition. For instructions on applying for the Road Occupancy Permit, please refer to the &lt;a href=https://www.vaughan.ca/residential/roads-and-traffic/road-occupancy-permit-municipal-consent-and-road-closure-application&gt; Road Occupancy Permit, Municipal Consent and Road Closure Application   City of Vaughan&lt;/a&gt; page on the City of Vaughan website.</p> <p>For your proposed modification of an existing circular driveway, the Roads Operations Department installs and replaces culverts for Vaughan residents and businesses. All culvert work within the municipal right-of-way requires City approval and coordination. To apply for new culvert installation or replacement, you must call Service Vaughan at 905-832-2281.</p> <p>The Transportation and Fleet Management Services maintains and repairs ditches and culverts. Your project will require coordination with this department since it involves both culvert removal and installation affecting the municipal drainage system. The Owner / Applicant shall apply and obtain the necessary Culvert/Reinstating Permit. For instructions on applying for the Culvert/Reinstating Permit, please refer to the &lt;a href=https://www.vaughan.ca/residential/roads-and-traffic/roads/curb-cuts-and-driveway-widening&gt; Curb Cuts and Driveway Widening   City of Vaughan&lt;/a&gt; page on the City of Vaughan website.</p> <p>The Development Engineering Department does not object to the Minor Variance application A070/25.</p>	
Development Engineering Recommended Conditions of Approval:	None

PARKS, FORESTRY & HORTICULTURE (PFH)	
Time required to process tree preservation potential on site.	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE	
No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES	
No comments received to date.	
<b>BCLPS Recommended Conditions of Approval:</b>	None

BUILDING INSPECTION (SEPTIC)	
No comments received to date.	
<b>Building Inspection Recommended Conditions of Approval:</b>	None

FIRE DEPARTMENT	
No comments received to date.	
<b>Fire Department Recommended Conditions of Approval:</b>	None

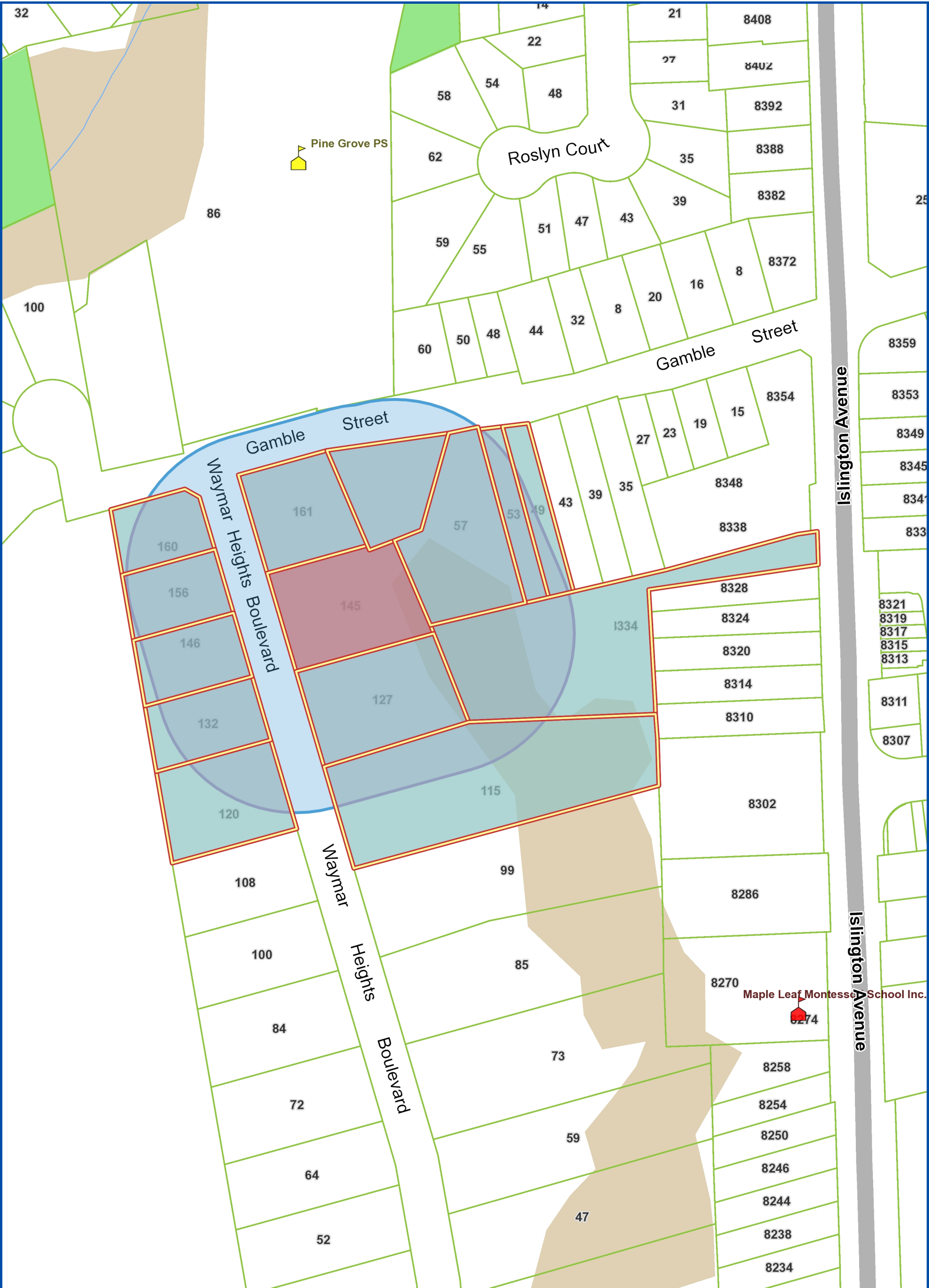
RECOMMENDED CONDITIONS OF APPROVAL SUMMARY		
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:		
#	DEPARTMENT / AGENCY	CONDITION
1	Development Planning <a href="mailto:Harry.zhao@vaughan.ca">Harry.zhao@vaughan.ca</a>	TBD
2	TRCA <a href="mailto:yorkplan@trca.ca">yorkplan@trca.ca</a>	That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.
<i>All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.</i>		

IMPORTANT INFORMATION
<b>CONDITIONS:</b> It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency ( <b>see condition chart above for contact</b> ). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.
<b>APPROVALS:</b> Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.  An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.  A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.  Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.  Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.
<b>DEVELOPMENT CHARGES:</b> That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.  That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.  That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

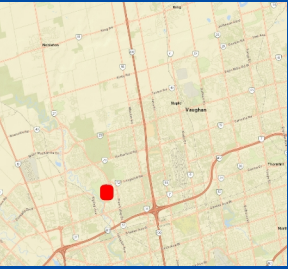
IMPORTANT INFORMATION	
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.	
<b>NOTICE OF DECISION:</b> If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will <b>not</b> receive notice.	

**SCHEDULE A: DRAWINGS & PLANS**





Map Information:



Title: Minor Variance Application A070/25

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1: 2,257

0 0.04 km



Created By:  
Infrastructure Delivery  
Department  
May 21, 2025 10:39 AM

Projection:  
NAD 83  
UTM Zone  
17N



Legend

-  MUNICIPAL OFFICES
-  COMMUNITY CENTRES
- SCHOOLS
-  Public

 Catholic

 Private
-  EMERGENCY SERVICES
-  LIBRARIES
-  SHOPPING CENTRES
-  ENTERTAINMENT & CULTURE
-  Parcels



# PROPOSED SINGLE RESIDENTAIL DWELLING

145 Waymar Heights, Vaughan, ON

25.085P01

DRAWING LIST	
DSG100	SURVEY PLAN
DSG101	SITE PLAN
DSG150	BASEMENT
DSG151	FLOOR 01
DSG152	FLOOR 02
DSG163	ROOF
DSG154	EAST AND WEST ELEVATIONS
DSG155	NORTH AND SOUTH ELEVATIONS
DSG155A	ELEVATIONS CARANA
DSG156	SECTIONS
DSG167	SECTIONS

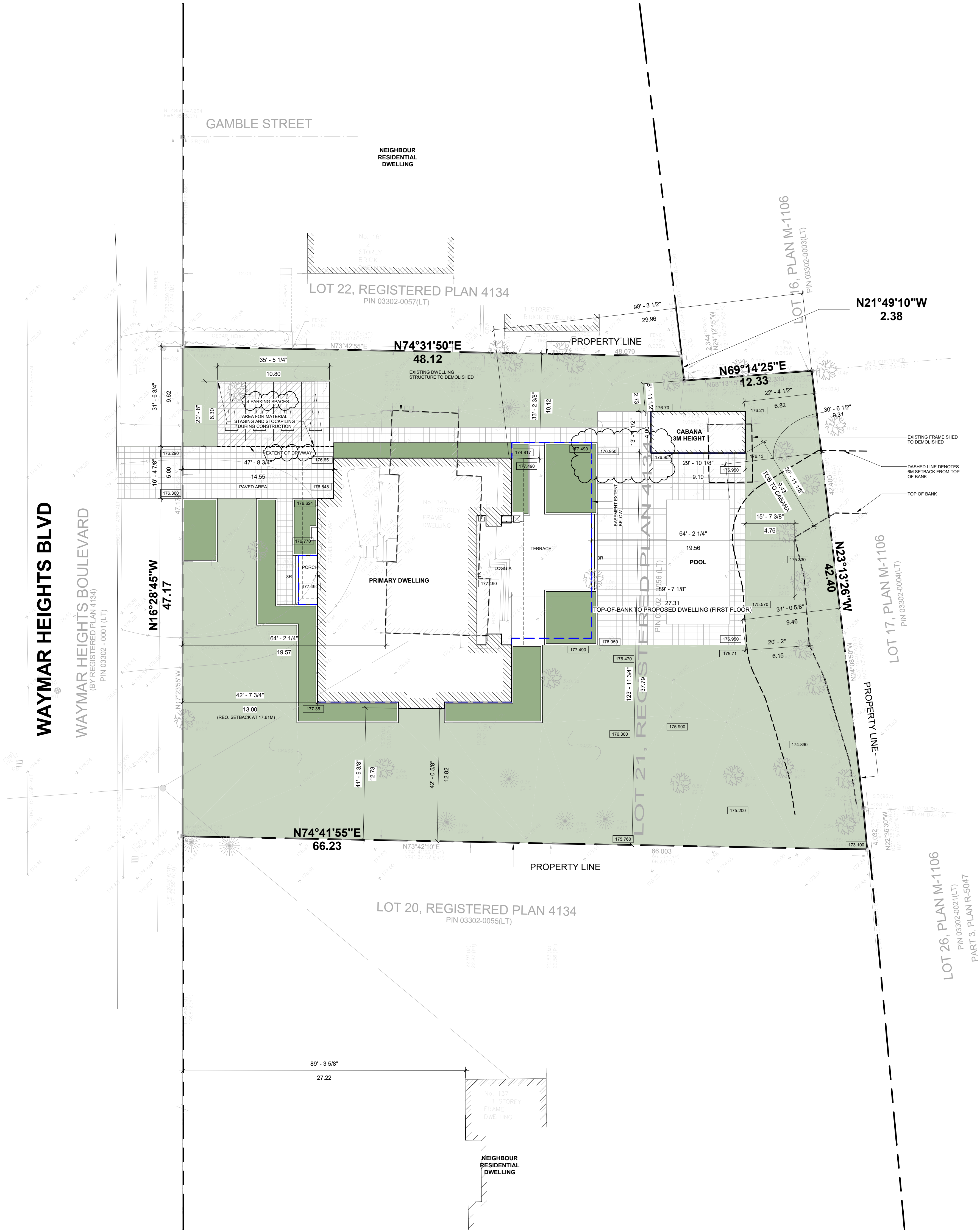


TURNER  
FLEISCHER  
67 Lesmill Rd  
Toronto, ON, M3B 2T8  
Contact Name:  
Phone Number: 416-425-2222 ext  
Email: first.last@turnerfleischer.com

REISSUED FOR COA  
2025-05-30



RECEIVED  
By russog at 1:59 pm, Jun 04, 2025



ZONING INFORMATION	
ZONE	R1E
LOT AREA	2,963.98 m <sup>2</sup> (31,904 SQF)
LOT FRONTAGE	47.17 M
PROPOSED GFA	
PROPOSED GROUND FLOOR AREA	348.57 m <sup>2</sup> (3,752 SQF)
PROPOSED SECOND FLOOR AREA	278.05 m <sup>2</sup> (2,993 SQF)
TOTAL GROSS FLOOR AREA	626.62 m <sup>2</sup> (6,745 SQF)
BUILDING AREA PRIMARY DWELLING	392.97 m <sup>2</sup> (4,230 SQF)
BUILDING AREA OF CABANA	36.32 m <sup>2</sup> (391 SQF)
TOTAL BUILDING AREA	429.29 m <sup>2</sup> (4,621 SQF)
DENSITY	
PROPOSED DENSITY	0.21
LANDSCAPE AREA	1,894.66 m <sup>2</sup> (20,394 SQ FT)
LANDSCAPE, SOFT	1,894.66 m <sup>2</sup> (20,394 SQ FT)
LANDSCAPE, HARD	616.50 m <sup>2</sup> (6,636 SQ FT)
TOTAL LANDSCAPE	2,511.16 m <sup>2</sup> (27,030 SQ FT)
% OF LANDSCAPE AREA	84.72 %
BUILDING COVERAGE	14.48 %
PROPOSED DWELLING STRUCTURE	
FRONT SETBACK	13.00 M (42'-7 3/4")
REAR SETBACK	29.73 M (97'-6 1/2")
INTERIOR SIDE SETBACK (North)	10.12 M (33'-2 1/4")
INTERIOR SIDE SETBACK (South)	12.73 M (41'-9 3/8")
EXTERIOR SIDE SETBACK	N/A
NUMBER OF STOREYS	2
BUILDING HEIGHT	9.74 M (31'-11 1/4")
PROPOSED ACCESSORY STRUCTURE	
SETBACK FROM PRIMARY DWELLING	13.44 M (44'-1 1/4")
REAR SETBACK	6.82 M (22'-4 1/2")
INTERIOR SIDE SETBACK (North)	2.73 M (9'-11 1/2")
INTERIOR SIDE SETBACK (South)	37.79 M (123'-11 3/4")
BUILDING HEIGHT	4.00 M
VARIANCE REQUIRED	
1. Existing front set back	= 19.57m
The minimum front yard shall be the existing front yard less 10% or 9.0 m, whichever is greater.	
Required front setback 19.57M (19.57*90%)	= 17.61 m
PROPOSED SET BACK (VARIANCE REQUEST)	= 13.00 m
2. Existing house main wall	= 3.5m
Pitched roof height	= 2m
Due to slope being more than 15%, 2m/2	= 1m
Total existing house height	= 4.5m
As per -EN suffix required building height 4.5m+3m	= 7.5m
The maximum building height shall be the existing building height plus 3.0 m, but in no case shall the maximum building height requirement be less than 8.5 m.	
Proposed Building height	= 9.74m
VARIANCE REQUEST	= 9.8m
SITE NOTES:	
1. ALL CONSTRUCTION ACCESS SHALL OCCUR ON THE SUBJECT PROPERTY.	
2. NO CHANGES IN GRADING IS PROPOSED	
ESTABLISH GRADE CALCULATION	
HOUSE ESTABLISH GRADE (176.85 + 177.35)/2 = 177	
CABANA ESTABLISH GRADE (176.70 + 176.95) / 2 = 176.825	

TURNER FLEISCHER

67 Lesmill Road  
Toronto, ON, M5B 2T8  
T 416 425 2222  
turnerfleischer.com

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer of any variations from the supplied information. This drawing is not to be issued. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked "For Construction" must assume full responsibility and bear costs for any corrections or damages resulting from his work.

4	2025-06-04	REISSUED FOR COA	YPS
3	2025-06-30	REISSUED FOR COA	YPS
2	2025-06-26	REISSUED TO TRCA	YPS
1	2025-06-14	ISSUED FOR COA AND TRCA	YPS
#	DATE	DESCRIPTION	BY

PROJECT

PROPOSED SINGLE RESIDENTIAL DWELLING

145 Waymar Heights, Vaughan, ON

DRAWINGS

SITE PLAN

PROJECT NO.

25.085P01

PROJECT DATE

2025-05-13

DRAWN BY

HST

CHECKED BY

YPS

SCALE

As indicated

DRAWING NO.

DSG101

REV.

4



1 EAST ELEVATION  
1 : 50



2 WEST ELEVATION  
1 : 50

2	2025-05-30	REISSUED FOR COA	YPS
1	2025-05-14	ISSUED FOR COA AND TRCA	YPS
#	DATE	DESCRIPTION	BY

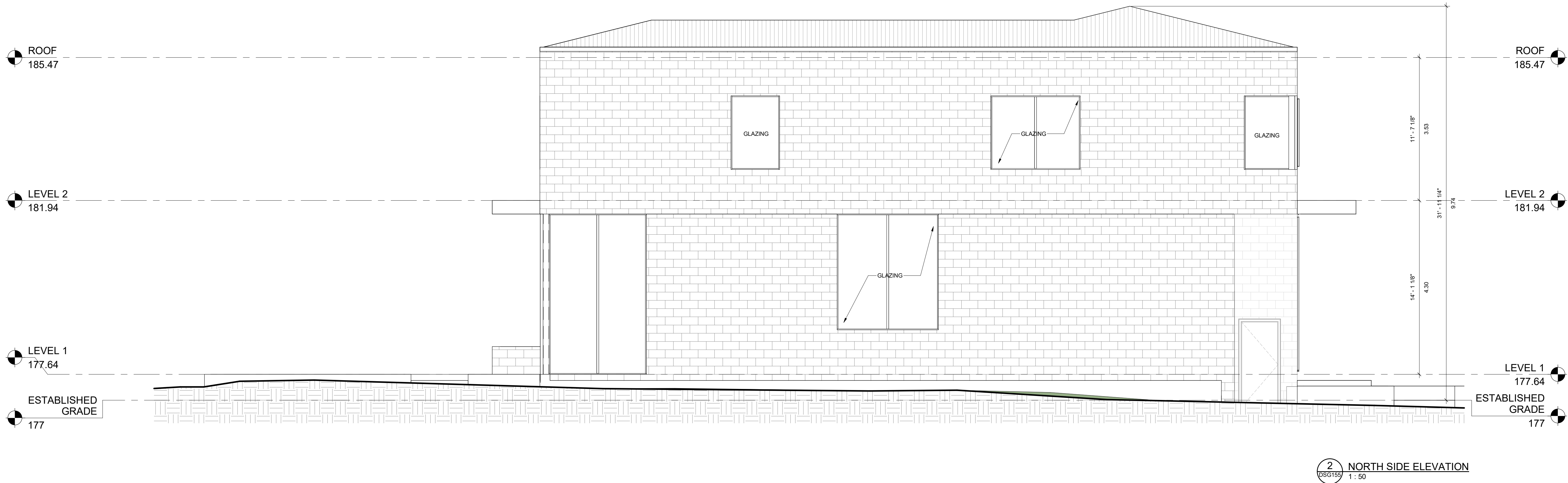
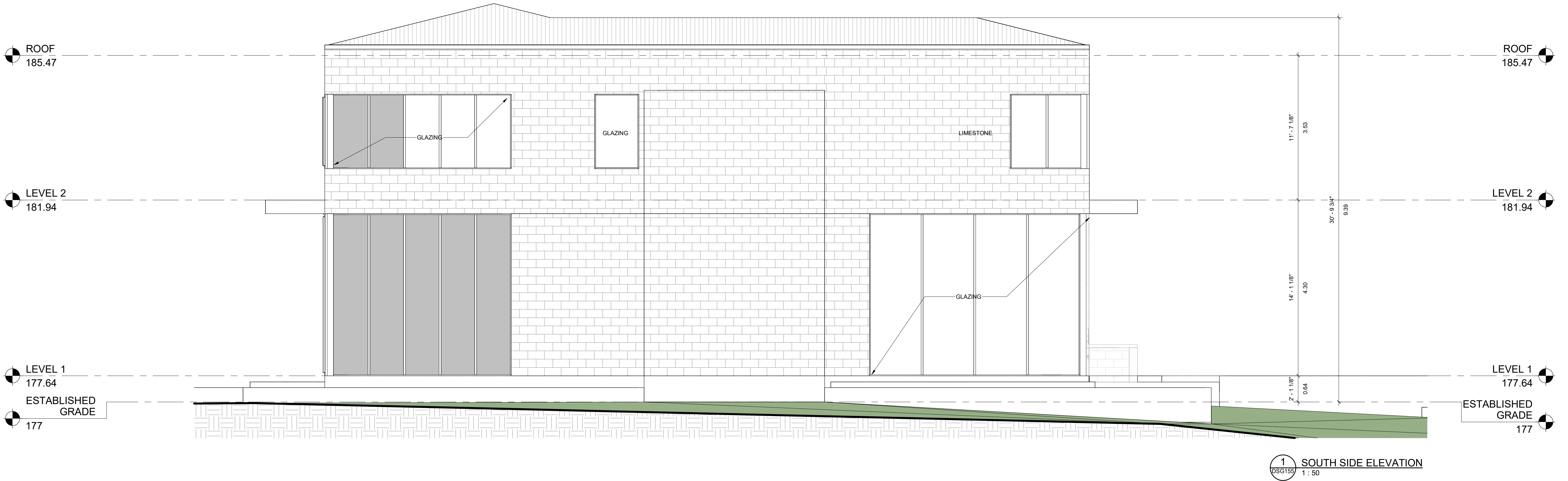
PROJECT  
**PROPOSED SINGLE RESIDENTIAL DWELLING**  
145 Waymar Heights, Vaughan, ON

DRAWING  
**EAST AND WEST ELEVATIONS**

PROJECT NO. 25.085P01	DRAWING NO. DSG154	REV. 2
PROJECT DATE 2025-05-13		
DRAWN BY HST		
CHECKED BY YPS		
SCALE 1 : 50		



The issuance of this record drawing is a representation by Turner Fleischer that the construction, arrangement or alteration of the building is in general, as opposed to precise, conformity with the design prepared and provided by Turner Fleischer, but is not a representation that the construction, arrangement or alteration of the building is in conformity with a design that has been prepared or provided by others. The issuances to these contract documents, reflecting the significant changes in the work made during construction, are based on data furnished by the contractor to Turner Fleischer. Turner Fleischer shall not be held responsible for the accuracy or completeness of the information provided by the contractor.



2	2025-05-30	REISSUED FOR COA	YPS
1	2025-05-14	ISSUED FOR COA AND TRCA	YPS
#	DATE	DESCRIPTION	BY

PROJECT  
**PROPOSED SINGLE RESIDENTIAL DWELLING**  
145 Waymar Heights, Vaughan, ON

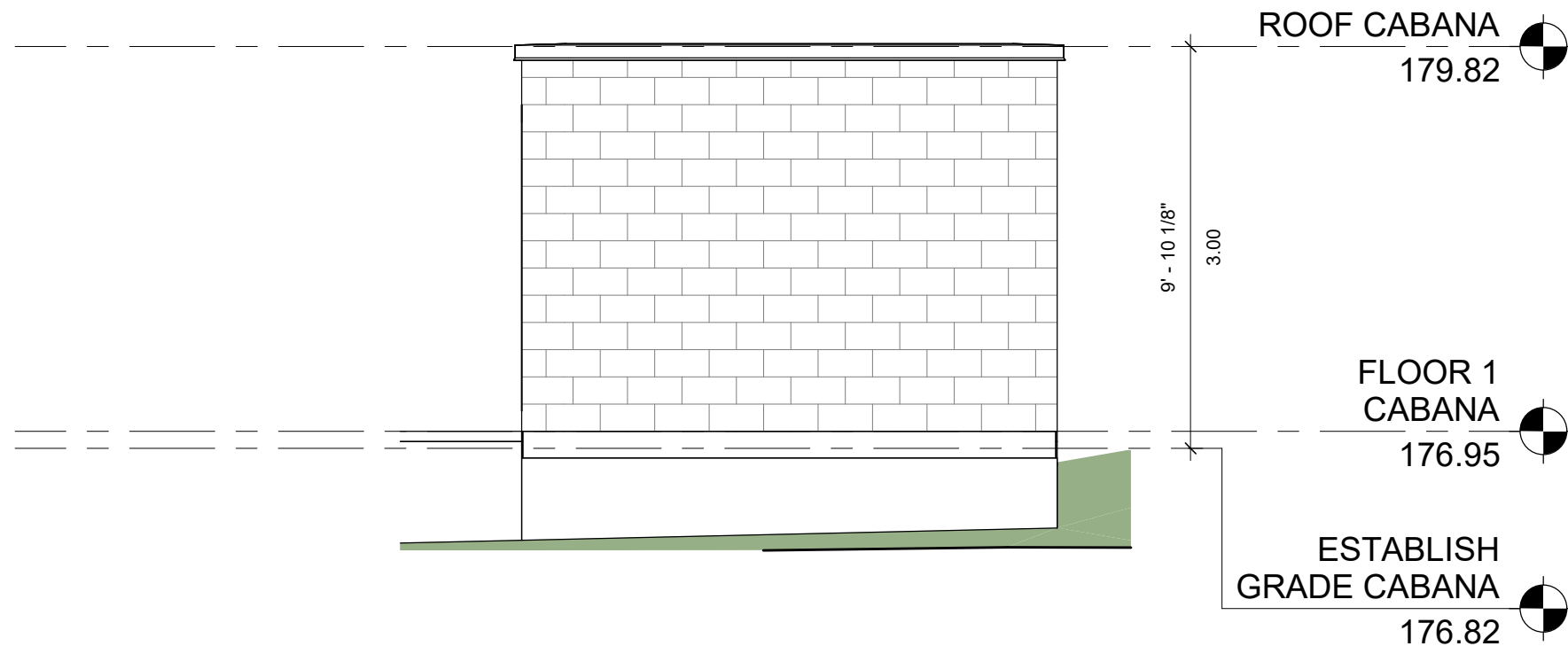
DRAWINGS  
**NORTH AND SOUTH ELEVATIONS**

PROJECT NO. 25.085P01	
PROJECT DATE 2025-05-13	
DRAWN BY HST	
CHECKED BY YPS	
SCALE 1 : 50	

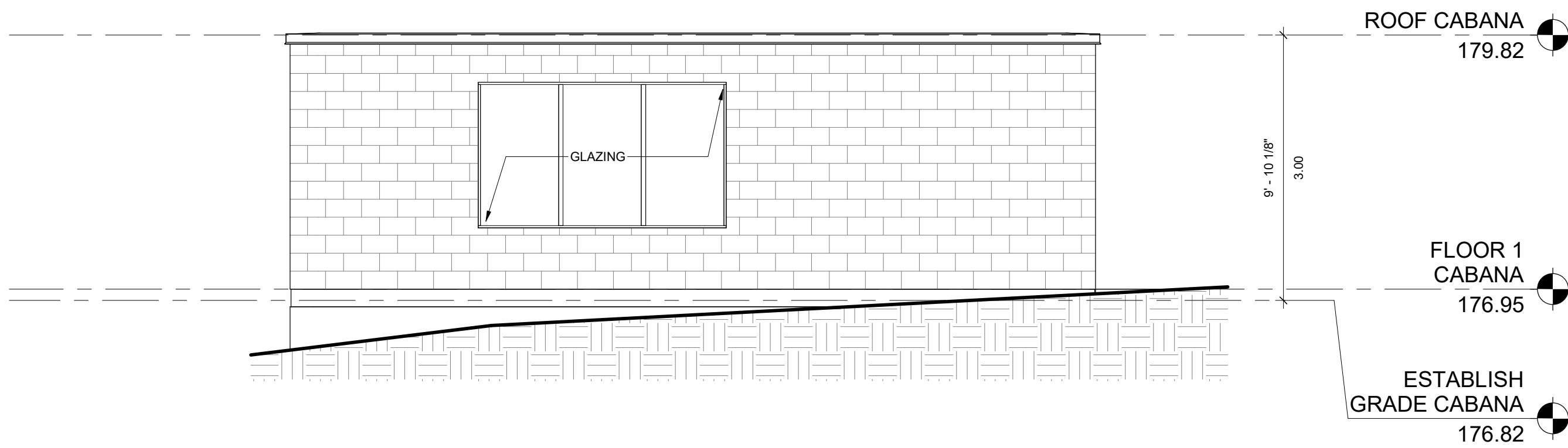
DRAWING NO. <b>DSG155</b>	REV. <b>2</b>
------------------------------	------------------

The issuance of this record drawing is a representation by Turner Fleischer that the construction, engagement or alteration of the building is in general, as opposed to precise, conformity with the design prepared and provided by Turner Fleischer, but is not a representation that the construction, engagement or alteration of the building is in conformity with a design that has been prepared or provided by others. The issuances to these contract documents, reflecting the significant changes in the work made during construction, are based on data furnished by the contractor to Turner Fleischer. Turner Fleischer shall not be held responsible for the accuracy or completeness of the information provided by the contractor.

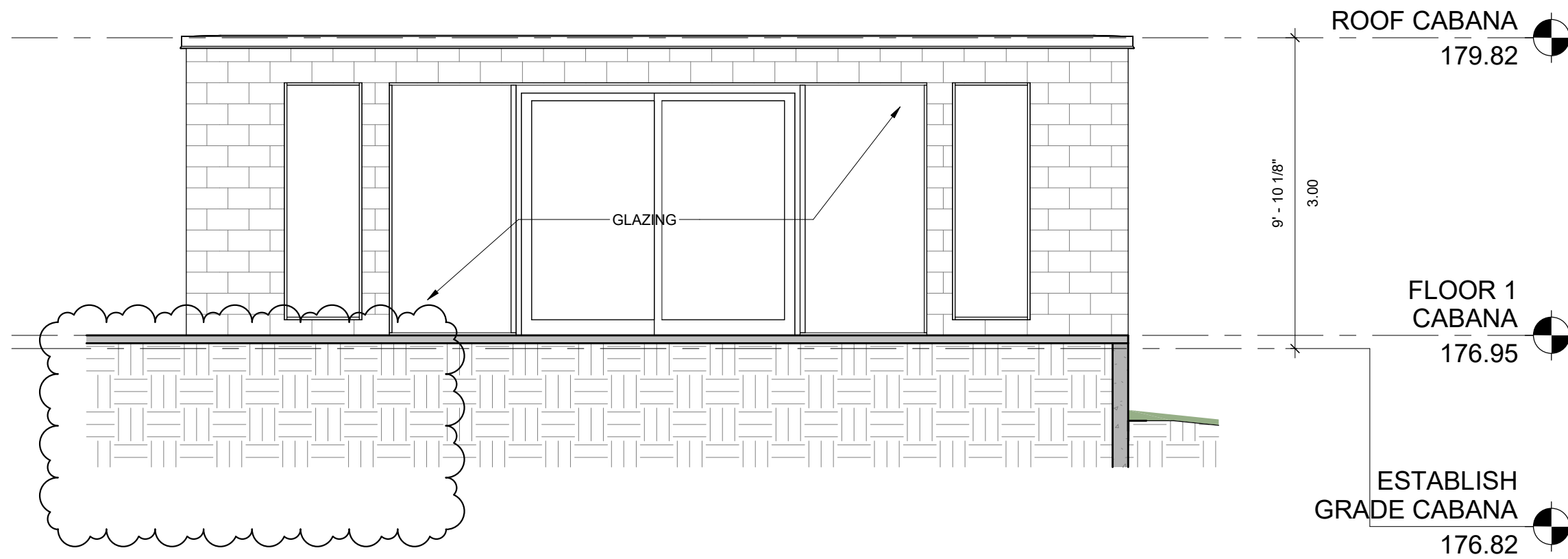
RECEIVED  
By russog at 2:00 pm, Jun 04, 2025



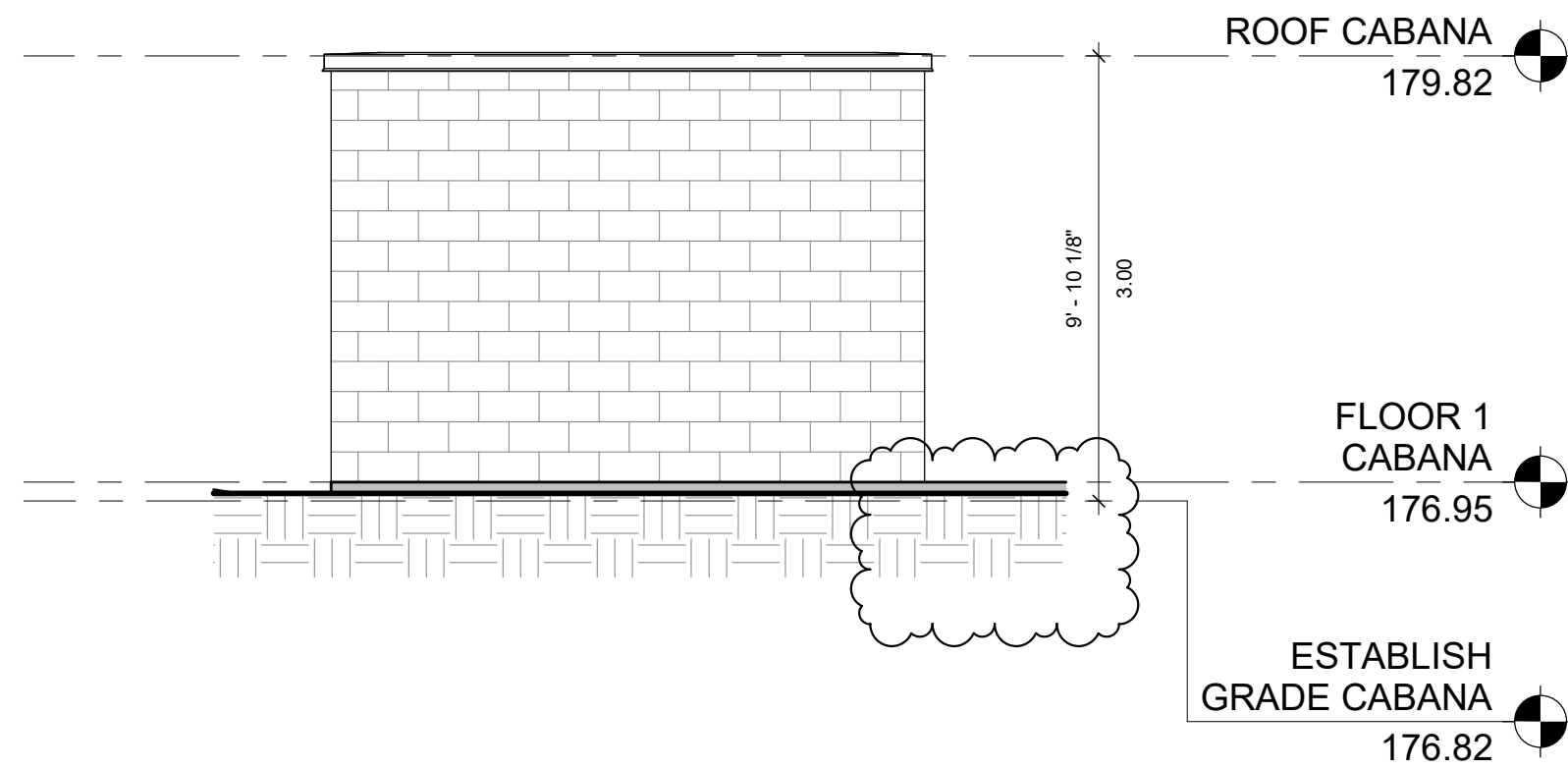
1 EAST SIDE ELEVATION ACCESSORY BUILDING Copy 1  
DSG155A 1 : 50



2 NORTH SIDE ELEVATION ACCESSORY BUILDING Copy 1  
DSG155A 1 : 50



3 SOUTH SIDE ELEVATION ACCESSORY BUILDING Copy 1  
DSG155A 1 : 50



4 WEST SIDE ELEVATION ACCESSORY BUILDING Copy 1  
DSG155A 1 : 50

3	2025-06-04	REISSUED FOR COA	YPS
2	2025-05-30	REISSUED FOR COA	YPS
1	2025-05-14	ISSUED FOR COA AND TRCA	YPS
#	DATE	DESCRIPTION	BY

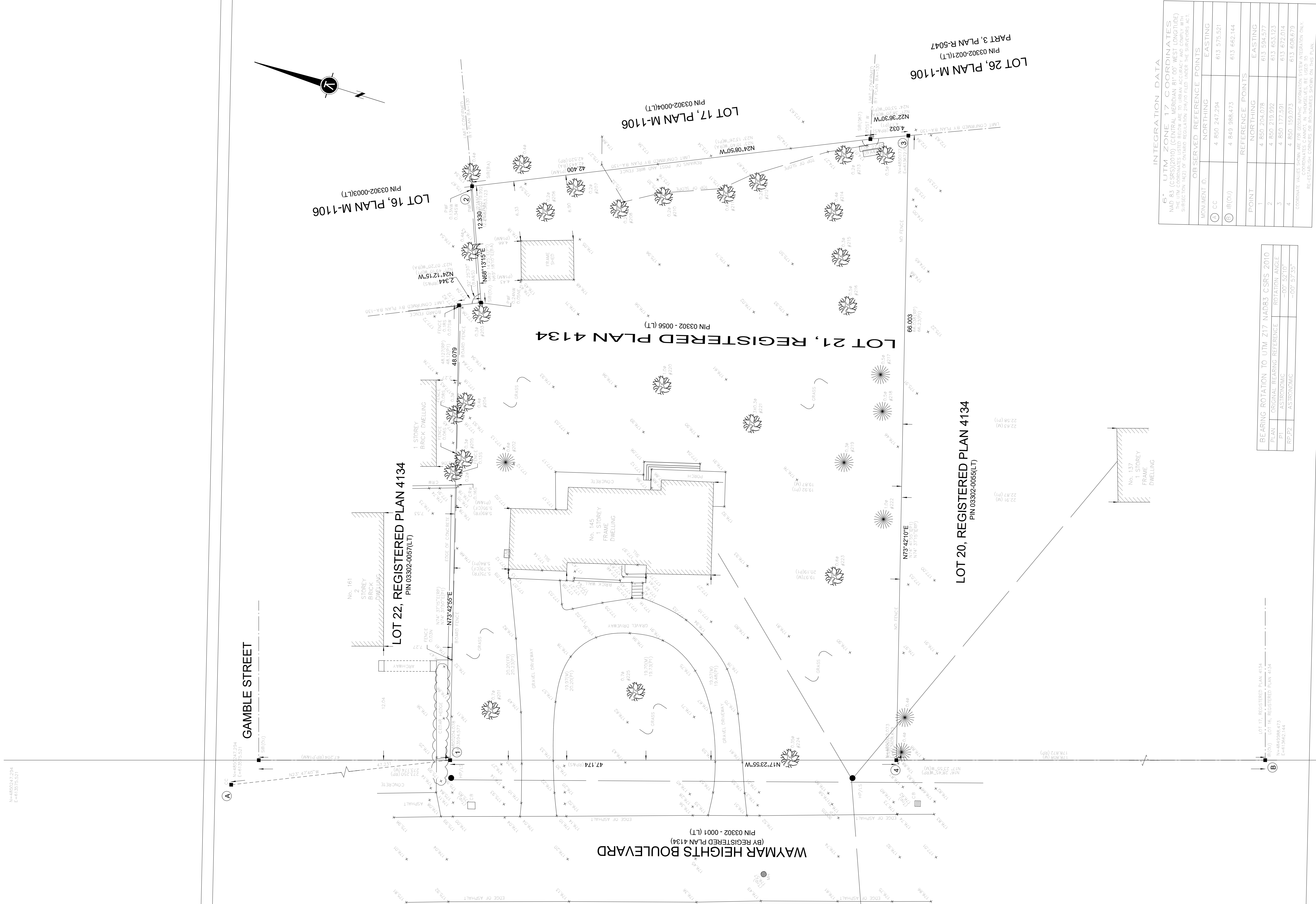
PROJECT  
**PROPOSED SINGLE RESIDENTIAL DWELLING**  
145 Waymar Heights, Vaughan, ON

DRAWING  
**ELEVATIONS CABANA**

PROJECT NO. 25.085P01	
PROJECT DATE 2025-05-13	
DRAWN BY HST	
CHECKED BY YPS	
SCALE 1 : 50	

DRAWING NO. DSG155A REV. 3





GAMBLE STREET

SURVEYOR'S REAL PROPERTY REPORT  
PART 1  
PLAN OF SURVEY OF  
LOT 21  
REGISTERED PLAN 4134  
CITY OF VAUGHAN

LOT 16, PLAN M-1106  
PIN 03302-0003(LT)

LOT 22, REGISTERED PLAN 4134  
PIN 03302-0055(LT)

LOT 21, REGISTERED PLAN 4134  
PIN 03302 - 0056 (LT)

WAYMAR HEIGHTS BOULEVARD  
(BY REGISTERED PLAN 4134)  
PIN 03302 - 0001 (LT)

LOT 20, REGISTERED PLAN 4134  
PIN 03302-0055(LT)

LOT 17, PLAN M-1106  
PIN 03302-0004(LT)

LOT 26, PLAN M-1106  
PIN 03302-0021(LT)

METRIC: DISTANCES AND COORDINATES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BEARING: SCRS — GRID NAD83 UTM 6° ZONE OF OBSERVED REFERENCE POINTS "A" AND "B" USING THE UTM COORDINATE SYSTEM, ZONE 17, CENTRAL MERIDIAN 81° 00' WEST (NAD 83 (CSRS)(2010)).

DISTANCES SHOWN HEREON ARE GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY A COMBINED FACTOR OF 0.999968.

ELEVATION: GEODETIC ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE RELATED TO CANADIAN MEAN SEA LEVEL DATUM 1984, HAVING AN ELEVATION OF 120.00 METRES (VERTICAL DATUM: CGVD28.78).

- LEGEND
- DENOTES SURVEY MONUMENT FOUND
  - DENOTES SURVEY MONUMENT NOT FOUND
  - DENOTES STANDARD IRON BAR
  - DENOTES ROUND STANDARD IRON BAR
  - DENOTES CAST IRON BULL'S HEAD
  - DENOTES CUT CROSS
  - (S) DENOTES SET
  - (M) DENOTES MEASURED
  - (O) DENOTES ORIGIN UNKNOWN
  - (O) DENOTES ORIGIN UNKNOWN
  - (BA) DENOTES RA PLAN 130 (PLAN M-1106)
  - (PT) DENOTES SURVEYOR'S REAL PROPERTY REPORT BY YOUNG SURVEYING (TORONTO 2006) INC. O.L.S. DATED MAY 30, 1997
  - (CF) DENOTES TIE TO FRAME
  - (N) DENOTES N. WIDMAN O.L.S.
  - (CR) DENOTES CONCRETE BLOCK RETAINING WALL
  - (C) DENOTES CONCRETE BLOCK RETAINING WALL
  - (P) DENOTES POST AND RAIL FENCE
  - (T) DENOTES TOP OF CURB
  - (B) DENOTES BOTTOM OF CURB
  - (H) DENOTES HYDRO SERVICE (OVERHEAD)
  - DENOTES EXISTING GRADE ELEVATION
  - DENOTES CATCH BASIN
  - DENOTES CONIFEROUS TREE WITH TRUNK DIAMETER/TAGGED
  - DENOTES DECIDUOUS TREE WITH TRUNK DIAMETER/TAGGED
  - DENOTES GAS METER
  - DENOTES HYDRO POLE WITH LAMP STANDARD
  - DENOTES MANHOLE
  - DENOTES WOOD POST

PART 2 — SURVEY REPORT

- THE RE-ESTABLISHMENT OF THE SUBJECT PROPERTY BOUNDARIES BASED ON INFORMATION CONTAINED IN THE RELEVANT TITLE DOCUMENTS, PLANS AND THE EVIDENCE OF PRIOR SURVEYS, DURING THE COURSE OF PREPARING THE SUBJECT SURVEY.
- THE TYPE AND LOCATION OF THE EXISTING BUILDINGS AND OTHER IMPROVEMENTS, STRUCTURES AND OR NEAR THE SUBJECT PROPERTY AS SHOWN ON THE SURVEY PLAN.
- COMPLIANCE WITH MUNICIPAL ZONING REQUIREMENTS IS NOT CERTIFIED IN THIS REPORT.
- SUBJECT LANDS COMPRISE ALL OF PIN 03302-0056(LT).

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
  - THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
  - THE SURVEY WAS COMPLETED ON 2025

INTEGRATION DATA

NAD 83 (CSRS)(2010) COORDINATES

THE UTM COORDINATES LISTED BELOW ARE TO UTM 6° ZONE OF OBSERVED REFERENCE POINTS "A" AND "B" USING THE UTM COORDINATE SYSTEM, ZONE 17, CENTRAL MERIDIAN 81° 00' WEST (NAD 83 (CSRS)(2010)).

MONUMENT ID	NORTHING	EASTING
① C/C	4 850 247.294	613 575.521
② B(O)	4 849 986.473	613 662.144

POINT	NORTHING	EASTING
1	4 850 204.078	613 594.577
2	4 850 219.902	613 653.123
3	4 850 177.591	613 672.014
4	4 850 159.073	613 608.870

COORDINATE VALUES SHOWN ARE TWO-DEGREE INFORMATION SYSTEM INFORMATION ONLY. RE-ESTABLISH CORRECTIONS OF REQUIREMENTS SHOWN ON THE PLAN.

BEARING ROTATION TO UTM ZONE 17 COORDINATES	2010
PLAN	ASTRONOMIC
PT	ASTRONOMIC
RP/PT	ASTRONOMIC

TURNER FLEISCHER

67 Lesmill Road  
Toronto, ON, M5B 2T8  
T 416 425 2222  
turnerfleischer.com

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer. The contractor must verify and accept responsibility for all dimensions and conditions on site and must not rely on any information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of all applicable laws and regulations. The contractor working from drawings not specifically marked "For Construction" must assume full responsibility and bear costs for any corrections or damages resulting from the work.

This site plan prepared by Turner Fleischer is based on a legal survey showing the boundaries of the lands together with the current location of any existing buildings, features or encroachment prepared by KRCMAR SURVEYORS LTD., dated MAY 22, 2025 as provided by .

2	2025-05-30	REISSUED FOR COA	YPS
1	2025-05-14	ISSUED FOR COA AND TRCA	YPS
#	DATE	DESCRIPTION	BY

PROJECT

PROPOSED SINGLE RESIDENTIAL DWELLING

145 Waymar Heights, Vaughan, ON

DRAWINGS

SURVEY PLAN

PROJECT NO.	25.085P01
PROJECT DATE	2025-05-13
DRAWN BY	Author
CHECKED BY	Checker
SCALE	1 : 200

DWG100

2

SCHEDULE B:  
COMMENTS FROM AGENCIES, BUILDING STANDARDS &  
DEVELOPMENT PLANNING

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

**Date:** June 10<sup>th</sup> 2025

**Attention:** **Sean Fitzpatrick**

**RE:** Request for Comments

**File No.:**

**Related Files:** **A070-25**

**Applicant:** Turner Fleischer Architects Inc

**Location** 145 Waymar Heights Boulevard

COMMENTS:

- ☐

We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒

We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐

We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra’s cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

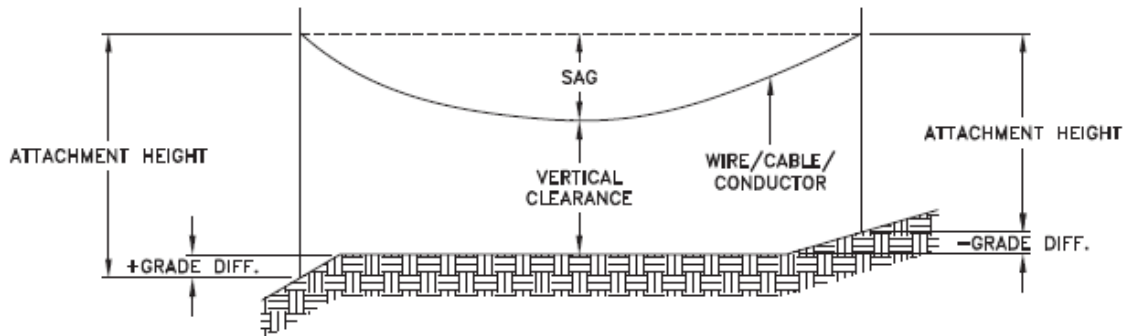
If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
 Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297  
**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
 Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215  
**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)



LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 + GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

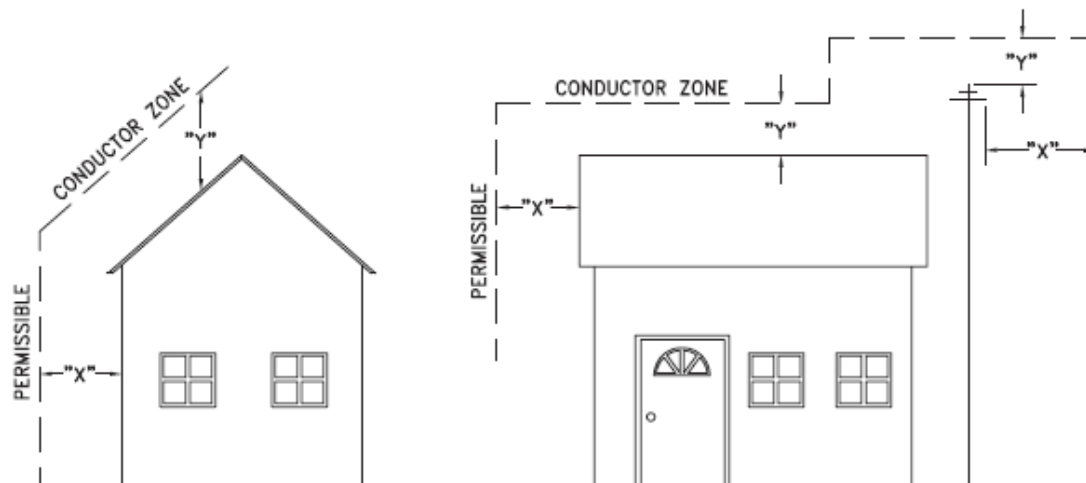
**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARNACE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

### NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

### MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P.Eng. Approval By: D. Dadwani



**To:** Committee of Adjustment

**From:** Sean Fitzpatrick, Building Standards Department

**Date:** June 09, 2025

**Applicant:** TURNER FLEISCHER ARCHITECTS INC

**Location:** 145 Waymar Heights Boulevard  
PLAN RP4134 Lot 21

**File No.(s):** A070/25

**Zoning Classification:**

The subject lands are zoned R1E(EN) – First Density Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The minimum front yard shall be <b>17.63 metres</b> . [Table 7-3]	To permit a <b>minimum front yard of 13.0 metres</b> .
2	The maximum <b>building height</b> shall be <b>8.5 metres</b> . [4.5]	To permit a maximum <b>building height of 9.74 metres</b> .
3	A <b>porch</b> including stairs may encroach a <b>maximum 2.0 metres</b> into a required front yard. [Table 4-1]	To permit a porch including stairs to encroach a <b>maximum of 2.44 metres</b> into the required <b>front yard</b> .
4	The <b>maximum height</b> of a residential accessory building shall be <b>3.0 metres</b> . [4.14]	To permit a residential accessory building to have a <b>maximum height of 3.41 metres</b> .
5	The maximum driveway width shall be <b>9.0 metres</b> . [6.7]	To permit a maximum driveway width of <b>10.8 metres</b> .

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

Building Permit No. 25-111038 for Single Detached Dwelling - Residential Demolition,  
Issue Date: May 01, 2025

**Other Comments:**

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

June 20, 2025.

PAR-DPP-2025-00809

**SENT BY E-MAIL: Christine.Vigneault@vaughan.ca**

Christine Vigneault  
Secretary Treasurer  
Committee of Adjustment  
City of Vaughan  
2141 Major Mackenzie Drive  
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A070/25  
Lot 21, Plan RP4134  
145 Waymar Heights Blvd  
City of Vaughan, Regional Municipality of York  
Applicant: Turner Fleischer Architects Inc (Owner: Rosalee Bello)**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on June 10, 2025. TRCA staff have reviewed the application and offer the following comments for the consideration of the Committee of Adjustment.

**Purpose of the Application**

It is our understanding that the purpose of the above noted application is to request the following variances under By-Law 001-2021:

By-Law 001-2021:

- To permit a minimum front yard of 13.0 metres;
- To permit a maximum building height of 9.74 metres;
- To permit a porch including stairs to encroach a maximum of 2.44 metres into the required front yard;
- To permit a residential accessory building to have a maximum height of 3.41 metres, and;
- To permit a maximum driveway width of 10.8 metres.

The noted variances are being requested to facilitate a replacement two-storey dwelling, cabana in the rear yard, an in-ground pool, and associated hard landscaping and grading.

### **Ontario Regulation 41/24**

The subject property is within TRCA's Regulated Area of the Humber River Watershed due to a valley corridor at the rear of the subject lands. In accordance with Ontario Regulation 41/24, development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, unstable soils, or bedrock will not be affected.

### **Application-Specific Comments**

TRCA staff have reviewed and issued a permit for the proposed replacement dwelling, cabana, in-ground pool, and associated hard landscaping and grading in the rear yard (TRCA Permit No. PER-DPP-2025-01006, issued June 18, 2025). The plans submitted with this application are consistent with the plans that were approved as part of TRCA's permit.

Based on the above, TRCA staff have no concerns with the proposed variance.

### **Fees**

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$660.00 (Minor Variance – Residential - Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

### **Recommendations**

Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A070/25 subject to the following conditions:

1. That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.

We trust these comments are of assistance. Should you have any questions, please contact me at 437-880-1925 or at [cameron.mcdonald@trca.ca](mailto:cameron.mcdonald@trca.ca).

Sincerely,



Cameron McDonald  
Planner I  
Development Planning and Permits | Development and Engineering Services  
[cameron.mcdonald@trca.ca](mailto:cameron.mcdonald@trca.ca), 437-880-1925

**From:** [Development Services](#)  
**To:** [Committee of Adjustment Mailbox](#)  
**Subject:** [External] RE: A070/25 - 145 WAYMAR HEIGHTS- REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Thursday, June 12, 2025 9:07:54 AM

---

**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good morning,

The Regional Municipality of York has completed its review of the above minor variance application and has no comments.

Regards,

**Gabrielle Hurst MCIP, RPP**

Associate Planner, Development Planning, Economic and Development Services Branch  
Corporate Services Department

---

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 8V3

**O:** 905-830-4444 ext. 71538 | [developmentservices@york.ca](mailto:developmentservices@york.ca) |

Our Mission: **Working together to serve our thriving communities – today and tomorrow**

For more information check us out at [www.york.ca/developmentservices](http://www.york.ca/developmentservices)

**From:** [Planning Services](#)  
**To:** [Committee of Adjustment Mailbox](#)  
**Subject:** [External] RE: A070/25 - 145 WAYMAR HEIGHTS- REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Monday, June 16, 2025 5:09:32 PM  
**Attachments:** [image001.png](#)

---

**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

Thank you for the circulation. YRDSB has no objections to the Zoning By-law amendments raised. If further information or clarification is required, please contact this office.

Best regards,

**Matthew Lee**

Planner, Planning Services

York Region District School Board

[matthew.lee@yrdsb.ca](mailto:matthew.lee@yrdsb.ca)

905-727-0022 Ext. 2091



SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			06/24/2025	Arborist Report
Applicant			06/24/2025	Landscape Plan
Applicant			06/24/2025	Tree Inventory Report





May 30, 2025

## ARBORIST REPORT

145 Waymar Heights Boulevard, Vaughan, Ontario

---

### BACKGROUND

MHBC was retained to conduct an inventory of the existing trees within the boundaries of the property known as 145 Waymar Heights Boulevard, as they pertain to the City of Vaughan Tree By-laws. This investigation examined 35 trees within and around the subject property. Field work was completed April 30, 2025, and this report relates to the condition of the trees at that time.

### PROCEDURE

The on-site inventory of existing trees was carried out using the current survey of the property and relies on the accuracy of this survey. The inventory includes all trees within the site boundary, all trees within 6.0 metres of the site boundary and all City owned trees along the adjacent boulevards.

This inventory is summarized graphically in the Tree Inventory Plan TI-1, which shall always be read in conjunction with this report and shall form part of this report. For the purposes of this report, trees and groupings of trees are identified in terms of species, size, condition, and recommendations.

The following rating system was used in describing the general condition of the trees inventoried:

- Good: Indicates a condition of vigor and no major concerns.
- Fair: Indicates an adequate tree, which may have some minor issues.
- Poor: Indicates declining health, bad form, or other more serious issues.
- Dead: Indicates a dead tree that should be removed.

### ASSUMPTIONS AND LIMITING CONDITIONS

- Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible and is assumed to be correct; however, MHBC can neither guarantee nor be responsible for the accuracy of information provided by others.
- It is assumed that the properties are not in violation of any applicable codes, ordinances, statutes, or other governmental regulations.
- Unless otherwise required by law, possession of this report or a copy thereof does not imply right of publication or use for any purpose in whole or in part by any other than the person or company by whom it was commissioned.
- The use of excerpts from this report or alterations to this report, without the authorization of MHBC Planning will invalidate the entire report. This report may not be used for any purpose other than its intended purpose as outlined.

- Unless expressed otherwise: 1) information contained in this report covers only those items that were examined and reflect the condition of those items at the time of inspection; and 2) the inspection is limited to visual examination or accessible items without dissection, excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that problems or deficiencies in the plants inventoried may not arise in the future.
- The determination of ownership of any subject tree(s) is the responsibility of the owner and any civil or common-law issues, which may exist between property owners with respect to trees, must be resolved by the owner. The recommendation to remove or maintain any tree(s) does not grant authority to encroach in any manner onto adjacent private properties.

## SUMMARY OF TREES INVENTORIED

Tree #	Common Name	Botanical Name	DBH (CM)	Condition	Comments	Recommendation
201	Norway Maple	Acer platanoides	68	F/P	Obvious significant internal rot, major structural defects evident, tree is potentially hazardous	Remove due to proposed paved area, and poor structural condition
202	Norway Spruce	Picea abies	61	F	Moderate deadwood on north side of tree	Remove
203	Norway Maple	Acer platanoides	30	F/P	Internal rot evident, main leader is dead	Remove
204	Norway Maple	Acer platanoides	46	F	Mild phototropic lean	Remove
205	Norway Maple	Acer platanoides	31	F	Minor deadwood in canopy	Remove
206	Norway Maple	Acer platanoides	26	F/G	Mild to moderate lean	Remove
207	Flowering Crabapple Tree	Malus Sp.	39	F/P	Moderate to significant deadwood in canopy	Retain
208	Norway Maple	Acer platanoides	24	F	Mild lean	Remove
209	White Oak	Quercus alba	50	F	Minor deadwood in canopy	Retain (injure)
210	Sugar Maple	Acer saccharum	25	P/D	Top is dead	Retain
211	Black Walnut	Juglans nigra	64	F/G	Minor deadwood in canopy	Retain
212	Norway Maple	Acer platanoides	21	F/P	Poor structure, irregular form	Remove
213	Norway Maple	Acer platanoides	21	G	Elevated canopy	Remove
214	Norway Maple	Acer platanoides	47	F	Minor to moderate in canopy, mild lean	Remove
215	Sugar Maple	Acer saccharum	28	F	Minor to moderate deadwood in canopy	Retain

216	Norway Maple	Acer platanoides	52	F	Minor deadwood in canopy, co-dominant leaders	Remove
217	White Spruce	Picea glauca	51	F/P	Tree has been topped due to major structural failure	Remove
218	White Spruce	Picea glauca	51	F	Minor needle drop	Retain
219	Colorado Blue Spruce	Picea pungens var. glauca	33	F	Co-dominant leaders, moderate needle cast	Remove
220	Norway Maple	Acer platanoides	93	P	Significant structural issues, significant deadwood in canopy, internal rot columns suspected due to cavitation, significant bark inclusion	Remove due to proposed house, and due to structural condition
221	Flowering Crabapple Tree	Malus Sp.	32	P	Significant internal rot, profusion of water shoots throughout, insect infestation evident, structural issues evident, multi-stem	Remove due to condition
222	Norway Spruce	Picea abies	80	F/G	Minor needle loss	Retain
223	Norway Maple	Acer platanoides	71	P	Significant internal rot, high likelihood of significant structural failure due to significant rot at main union	Remove due to condition
224	Paper Birch	Betula papyrifera	46	F/P	Significant internal rot visible at base throughout tree, moderate to significant deadwood in canopy, coppice growth evident at base, past structural failures evident	Remove due to condition
225	Honey Locust	Gleditsia triacanthos	74	F	Minor to moderate deadwood in canopy	Remove
O1	Norway Maple	Acer platanoides	~28	F	2 stem at 1.0 metre, moderate damage to northerly stem	Retain
O2	Norway Maple	Acer platanoides	~34	F	Boundary tree, growing in fence	Retain
O3	Norway Maple	Acer platanoides	30	F	3 stem at base, minor to moderate deadwood throughout	Retain
O4	Norway Maple	Acer platanoides	32	F/G		Retain
O5	Norway Maple	Acer platanoides	44	F/G	Mild bow in trunk	Retain
O6	Norway Maple	Acer platanoides	35	F/G	Minor to moderate deadwood in canopy	Retain

O7	Black Locust	Robinia pseudoacacia	57	F/P	Moderate deadwood in canopy, with structural issues developing	Retain
O8	Black Locust	Robinia pseudoacacia	72	F/P	2 stem at 0.4 metres, moderate to significant deadwood in canopy, structural issues evident	Retain
O9	White Spruce	Picea glauca	42	F/G	Minor deadwood in canopy	Retain
O10	White Spruce	Picea glauca	46	F/G	Minor deadwood in canopy	Retain

The above table summarizes the on-site trees as inventoried. The trees proposed for retention will be subject to tree protection measures per City of Vaughan ULA 110A Heavy Duty and ULA 110B Light Duty Tree Hoarding Protection Fencing Details as outlined on drawings 2-TI-1 and 3-TI-1. It is noted that not all trees marked for retention require tree protection hoarding. Refer to TI-1 for size and layout of tree protection hoarding.



## PHOTO RECORD



Tree 201



Tree 201





Tree 201



Tree 201





Trees 202, 204, 205, O1, O2



Trees 203, O3 – O6





Trees 206, 207, O7, O8



Trees 208 – 212





Trees 211, 212



Trees 213 – 216





Trees 217, 218



Tree 219





Tree 220



Tree 220





Tree 221



Tree 221





Tree 221



Tree 222





Tree 222



Tree 222





Tree 222



Tree 222





Tree 224



Tree 225





Trees O9, O10

## **TREE PROTECTION RECOMMENDATIONS**

The following standards shall apply to any trees that are identified to be retained. Where the municipality enforces its own standards, those of the governing municipality shall supersede the recommendations contained herein. In all other instances, the following recommendations shall be treated as minimum standards for tree protection and retention.

### **1.0 ESTABLISH A TREE PROTECTION ZONE**

The purpose of the tree protection zone is to prevent root damage, soil compaction and soil contamination during construction activities. Workers and machinery shall not disturb the tree protection zone in any way. In order to prevent access, the following recommendations are offered.

- Install tree protection hoarding as per City of Vaughan ULA 110A Heavy Duty and ULA 110B Light Duty Tree Protection Hoarding Fencing details 2-TI-1 and 3-TI-1.
- Allow no fill, equipment, supplies, or waste within the tree protection zone.
- Maintain the tree protection hoarding in good condition for the duration of construction.
- Tree protection hoarding is not to be removed until all construction activities have been completed.

### **2.0 ROOT PRUNING**

Where possible, hand dig areas closest to each tree to prevent any unnecessary tearing or pulling of roots. Removal of roots that are greater than 2.5 centimeters in diameter or roots that are injured or diseased should be performed as follows:

- Preserve the root bark ridge (similar in structure to the branch bark ridge). Directional Root Pruning (DRP) is the recommended technique and should be employed during hand excavation around tree roots. Roots are similar to branches in their response to pruning practices. With DRP, objectionable and severely injured roots are properly cut to a lateral root that is growing downward or in a favorable direction.
- All roots needing to be pruned or removed shall be cut cleanly with sharp hand tools, by a Certified Arborist.
- No wound dressings or pruning paint shall be used to cover the ends of each cut.
- All roots requiring pruning shall be cut using any of the following tools:  
Large or small loppers, Hand pruners, Small hand saws, Wound scribes
- Avoid prolonged exposure of tree roots during construction - keep exposed roots moist and dampened with mulching materials, irrigation or wrap in burlap if exposed for longer than 4 hours.

### **3.0 FERTILIZATION AND IRRIGATION**

The following measures are recommended:

- Aeration and deep root fertilize to ensure that all trees receive the appropriate nutrients for healthy growth.
- Fertilizer must be a low nitrogen formula such as 5-30-30 to promote root growth rather than shoot growth.
- If construction occurs during July and / or August, roots must be irrigated during conditions of drought.

## 4.0 ESTABLISH MAINTENANCE PROGRAM

### Pre-Construction:

- Prune all trees to remove any deadwood and obstruction prune as required.

### During Construction:

- Irrigate tree preservation zones during drought conditions (June through September), in an attempt to reduce the effects of drought stress.
- Inspect the site every month to ensure that all tree protection fence / hoarding is in place and in good condition, inspect the trees to monitor condition.

### Post-Construction:

- Prune crowns to remove any newly developed deadwood only. Do not remove any live growth.
- Inspect the trees three times per year (May, July, and September) to monitor condition for a minimum period of 2 additional years.

## 5.0 LANDSCAPING

Any landscaping completed within the tree preservation zones, after construction is completed and tree protection fencing / hoarding has been removed, is to be carried out in such a way that it will not cause damage to any of the trees or their roots. The trees must be protected to the same standards listed earlier in this report, but without the use of tree protection fence or hoarding.

The following guidelines are recommended:

- **No grade changes** are permitted which include adding and/or removing soil.
- **No excavation** is permitted that can cause damage to the roots of the tree.
- **No heavy equipment** can be used to compact the soil within the tree preservation zone.
- Where possible, hard surface paving around trees to be protected should be constructed using permeable products such as interlocking stone. Areas to be paved must be hand dug when encroaching within the tree protection zone.

## CONCLUSIONS

Based on our investigations, we are of the opinion that Trees #201-206, 208, 212-214, 216, 217, 219, 220, and 225 will require removal to accommodate the proposed construction. Trees #221, 223 and 224 will require removal due to their poor condition and potential hazard. Tree #209 will require an injury in order to accommodate the proposed construction. No tree shall be harmed or removed prior to applying for and receiving the requisite permits from the City of Vaughan.

The Tree Protection Costs for this proposed project are \$3,400.00

Tree protection methods must be followed according to City of Vaughan's Tree Protection By-law 052-2018. Tree protection shall be installed as outlined in the arborist report / TPP prior to the commencement of any construction/demolition activities. The tree protection barriers shall be installed at their approved location and shall be maintained in their original location and condition until all construction activities within the site have ceased and all equipment is removed from the site. No equipment or material storage, flushing of fuel or washing of equipment is allowed within the TPZ. Any works within the TPZ area to be performed or supervised by a Certified Arborist. It is our opinion that the trees slated for retention can be successfully retained by following the recommendations set out in this report.



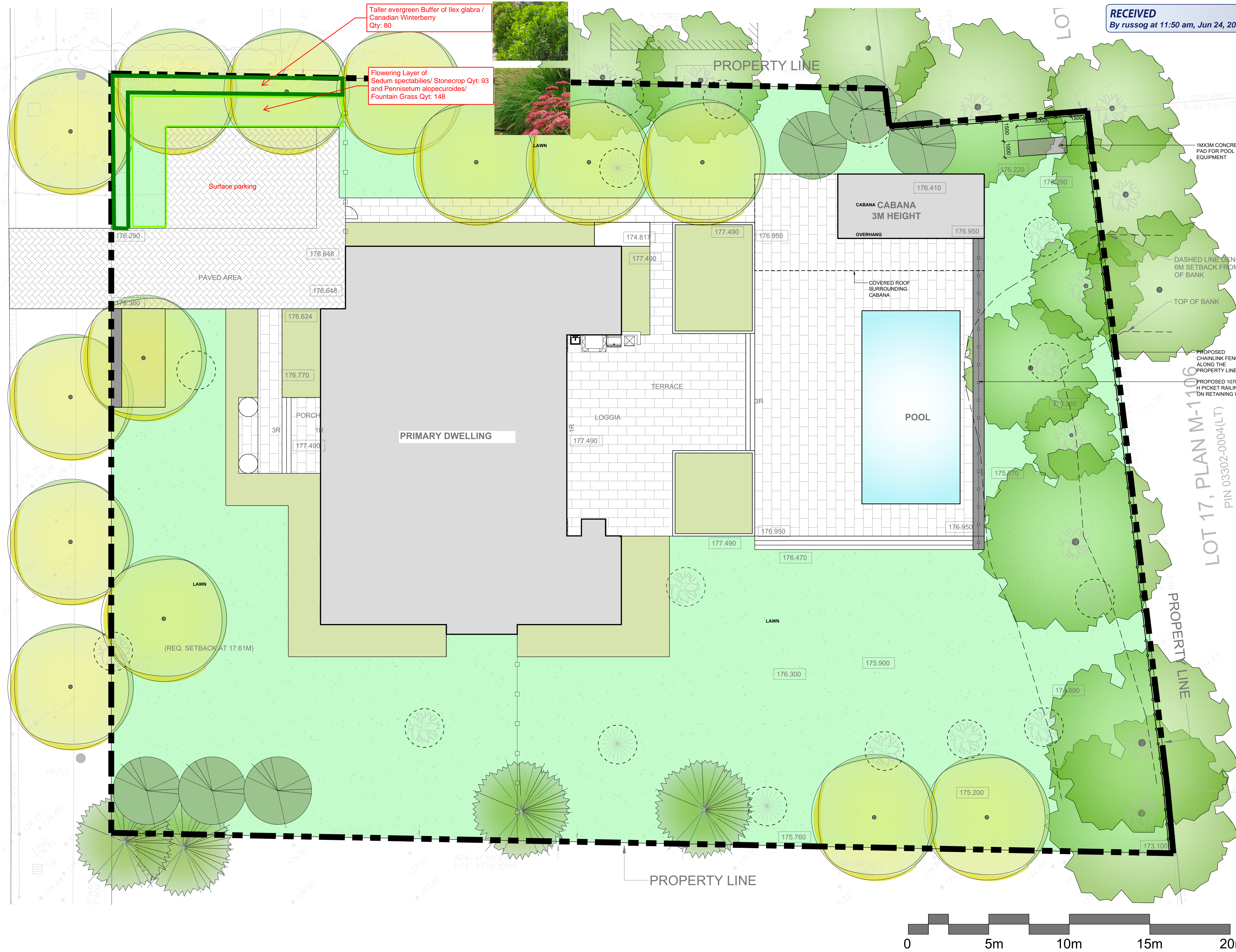
Should you have any questions regarding this report, please contact the undersigned directly.

Respectfully submitted,  
**MHBC Planning, Urban Design & Landscape Architecture**



Nick A. Miele BLA, OALA, CSLA, ISA  
Partner | Landscape Architect | Arborist  
ISA Certified Arborist No. ON-1251A





Taller evergreen Buffer of Ilex glabra / Canadian Winterberry Qty: 80

Flowering Layer of Sedum spectabilis/ Stonecrop Qty: 93 and Pennisetum alopecuroides/ Fountain Grass Qty: 148



RECEIVED  
By russog at 11:50 am, Jun 24, 2025

O2  
366 ADELAIDE STREET EAST . SUITE 437  
TORONTO, M5A3X9, ONTARIO, CANADA  
T 416.340.8100 F 416.340.8300 www.o2design.com

PROJECT  
**PROPOSED SINGLE RESIDENTIAL DWELLING**  
MUNICIPAL ADDRESS  
145 WAYMAR HEIGHTS, VAUGHAN, ON.

PROJECT NUMBER  
250429

- LEGEND:
- PROPERTY LINE
  - EXISTING TREES TO REMAIN
  - EXISTING TREES TO BE REMOVED
  - PROPOSED DECIDUOUS TREE
  - PROPOSED CONIFEROUS TREE
  - PROPOSED SHRUB PLANTING
  - PROPOSED SOD
  - PROPOSED UNIT PAVING
  - PROPOSED 1070MM H PICKET RAILING
  - PROPOSED CHAIN LINK FENCE ALONG PROPERTY LINE
- NOTES:
- PLANTING STRATEGY WILL INCLUDE A MINIMUM OF 14 NATIVE DECIDUOUS TREES AND 6 CONIFEROUS TREES.
  - THE PREFERENCE IS TO REMOVE ALL EXISTING NORWAY MAPLE TREES ON SITE.



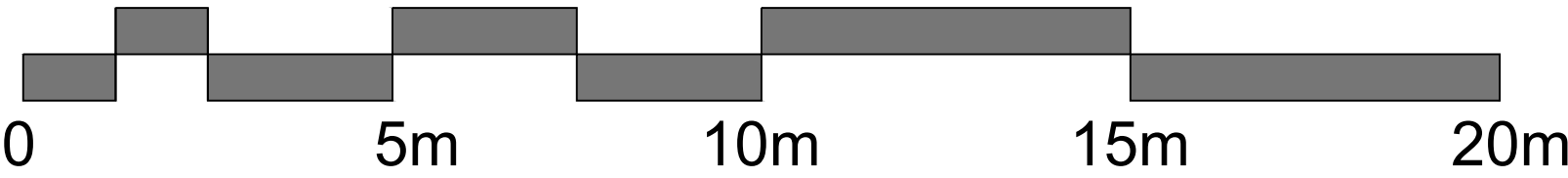
ORIGINAL DATE: APRIL 2025

NOT FOR CONSTRUCTION

REVISIONS:			
NO.	DESCRIPTION.	DATE.	BY.
1.	ISSUED TO TRCA	30-MAY-2025	LR
DESIGNED BY:		CHECKED BY:	
LR		TG	

DRAWING TITLE :

GROUND FLOOR  
LANDSCAPE MASTERPLAN  
SCALE 1:100



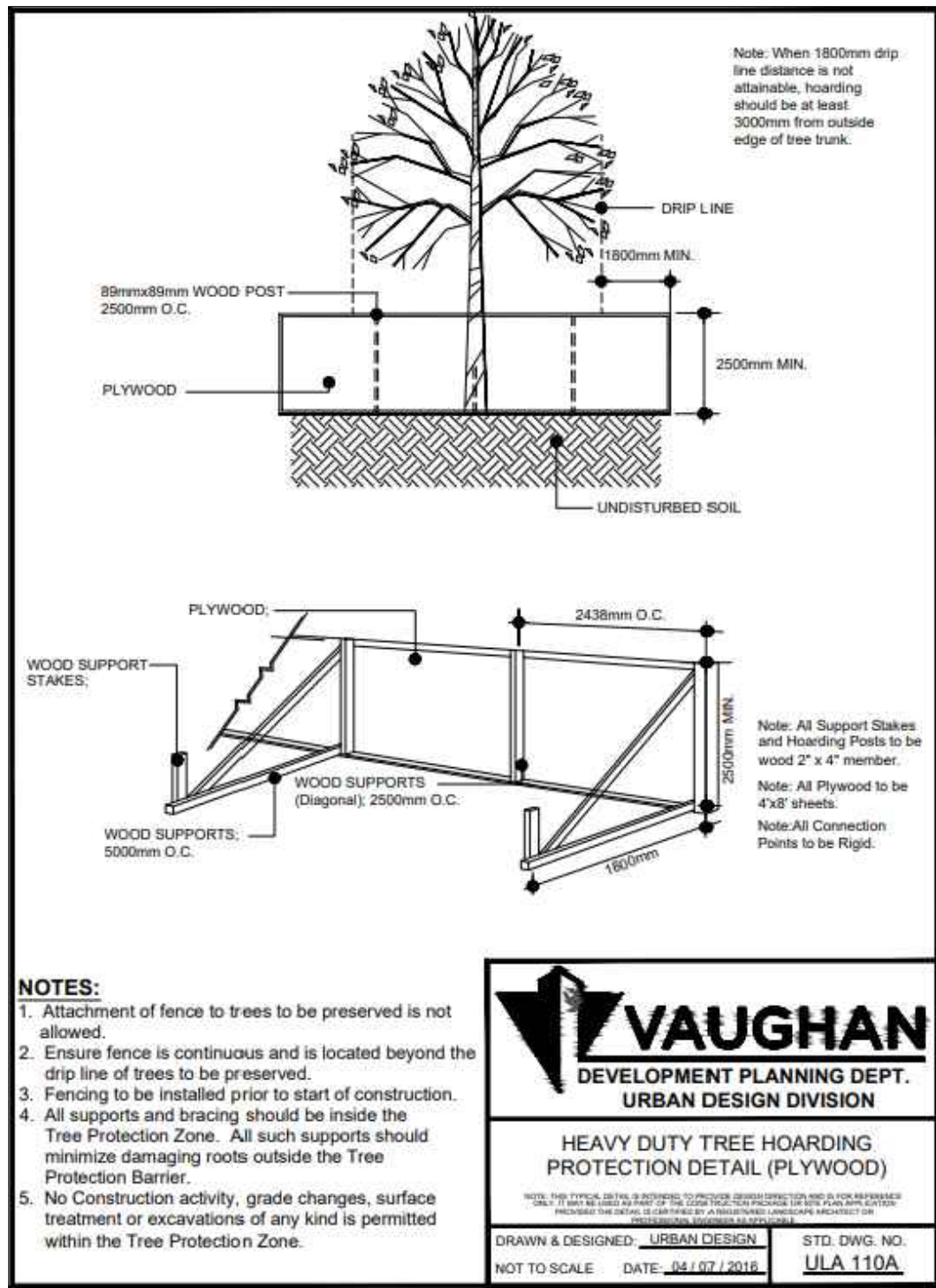
L1



1  
TI-1

TREE INVENTORY, PROTECTION, AND REMOVALS PLAN

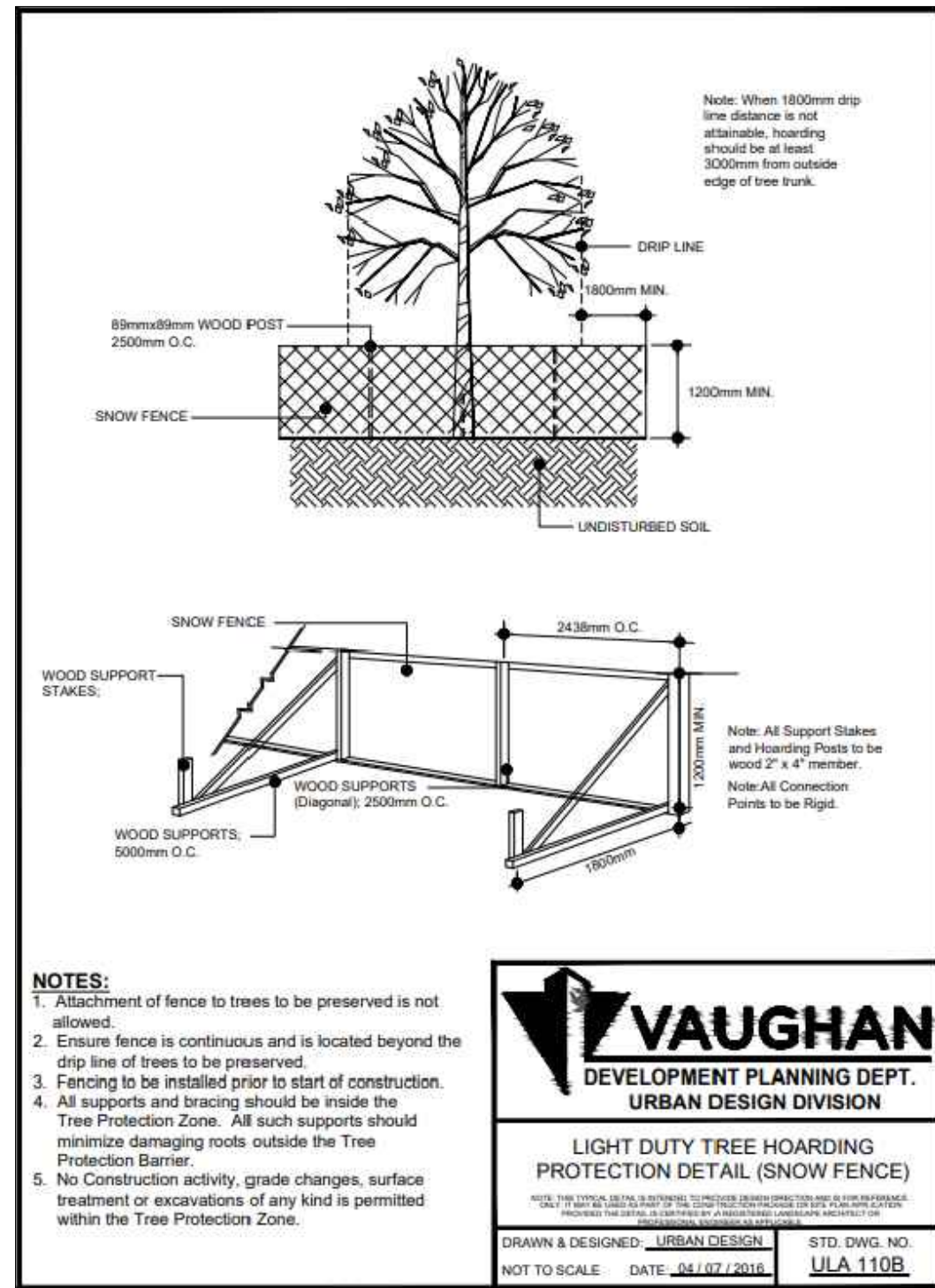
SCALE: 1:200



2  
TI-1

HEAVY DUTY TREE HOARDING PROTECTION DETAIL

CITY OF VAUGHAN STANDARD



3  
TI-1

LIGHT DUTY TREE HOARDING PROTECTION DETAIL









CITY OF VAUGHAN STANDARD

TREE INVENTORY NOTES

Tree #	Common Name	Botanical Name	DBH (CM)	Condition	Comments	Recommendation
201	Norway Maple	Acer platanoides	68	F/P	Obvious significant internal rot, major structural defects evident, tree is potentially hazardous	Remove due to proposed paved area, and poor structural condition
202	Norway Spruce	Picea abies	61	F	Moderate deadwood on north side of tree	Remove
203	Norway Maple	Acer platanoides	30	F/P	Internal rot evident, main leader is dead	Remove
204	Norway Maple	Acer platanoides	46	F	Mild phototropic lean	Remove
205	Norway Maple	Acer platanoides	31	F	Minor deadwood in canopy	Remove
206	Norway Maple	Acer platanoides	26	F/G	Mild to moderate lean	Remove
207	Flowering Crabapple Tree	Malus Sp.	39	F/P	Moderate to significant deadwood in canopy	Retain
208	Norway Maple	Acer platanoides	24	F	Mild lean	Remove
209	White Oak	Quercus alba	50	F	Minor deadwood in canopy	Retain (injure)
210	Sugar Maple	Acer saccharum	25	P/D	Top is dead	Retain
211	Black Walnut	Juglans nigra	64	F/G	Minor deadwood in canopy	Retain
212	Norway Maple	Acer platanoides	21	F/P	Poor structure, irregular form	Remove
213	Norway Maple	Acer platanoides	21	G	Elevated canopy	Remove
214	Norway Maple	Acer platanoides	47	F	Minor to moderate in canopy, mild lean	Remove
215	Sugar Maple	Acer saccharum	28	F	Minor to moderate deadwood in canopy	Retain
216	Norway Maple	Acer platanoides	52	F	Minor deadwood in canopy, co-dominant leaders	Remove
217	White Spruce	Picea glauca	51	F/P	Tree has been topped due to major structural failure	Remove
218	White Spruce	Picea glauca	51	F	Minor needle drop	Retain
219	Colorado Blue Spruce	Picea pungens var. glauca	33	F	Co-dominant leaders, moderate needle cast	Remove
220	Norway Maple	Acer platanoides	93	P	Significant structural issues, significant deadwood in canopy, internal rot columns suspected due to cavitation, significant bark inclusion	Remove due to proposed house, and due to structural condition
221	Flowering Crabapple Tree	Malus Sp.	32	P	Significant internal rot, profusion of water shoots throughout, insect infestation evident, structural issues evident, multi-stem	Remove due to condition
222	Norway Spruce	Picea abies	80	F/G	Minor needle loss	Retain
223	Norway Maple	Acer platanoides	71	P	Significant internal rot, high likelihood of significant structural failure due to significant rot at main union	Remove due to condition
224	Paper Birch	Betula papyrifera	46	F/P	Significant internal rot visible at base throughout tree, moderate to significant deadwood in canopy, coppice growth evident at base, past structural failures evident	Remove due to condition
225	Honey Locust	Gleditsia triacanthos	74	F	Minor to moderate deadwood in canopy	Remove
O1	Norway Maple	Acer platanoides	~28	F	2stem at 1.0 metre, moderate damage to northerly stem	Retain
O2	Norway Maple	Acer platanoides	~34	F	Boundary tree, growing in fence	Retain
O3	Norway Maple	Acer platanoides	30	F	3 stem at base, minor to moderate deadwood throughout	Retain
O4	Norway Maple	Acer platanoides	32	F/G		Retain
O5	Norway Maple	Acer platanoides	44	F/G	Mild bow in trunk	Retain
O6	Norway Maple	Acer platanoides	35	F/G	Minor to moderate deadwood in canopy	Retain
O7	Black Locust	Robinia pseudoacacia	57	F/P	Moderate deadwood in canopy, with structural issues developing	Retain
O8	Black Locust	Robinia pseudoacacia	72	F/P	2 stem at 0.4 metres, moderate to significant deadwood in canopy, structural issues evident	Retain
O9	White Spruce	Picea glauca	42	F/G	Minor deadwood in canopy	Retain
O10	White Spruce	Picea glauca	46	F/G	Minor deadwood in canopy	Retain

**NOTE:**  
ALL NORWAY MAPLES WITHIN TRCA REGULATED AREA ARE PROPOSED FOR REMOVAL, AND ARE TO BE REPLACED WITH NATIVE SPECIES PER LANDSCAPE PLAN.

LEGEND


-  EXISTING DECIDUOUS TREE TO REMAIN
-  EXISTING DECIDUOUS TREE TO BE REMOVED (REFER TO ARBORIST REPORT)
-  EXISTING CONIFEROUS TREE TO REMAIN
-  EXISTING CONIFEROUS TREE TO BE REMOVED (REFER TO ARBORIST REPORT)
-  TREE IDENTIFICATION KEY (TREES TO BE RETAINED)
-  TREE IDENTIFICATION KEY (TREES TO BE REMOVED)
-  HEAVY DUTY TREE PROTECTION FENCING PER CITY OF VAUGHAN STANDARDS
-  LIGHT DUTY TREE PROTECTION FENCING PER CITY OF VAUGHAN STANDARDS

GENERAL NOTES

- Do not scale the drawings. All dimensions are in millimetres unless noted otherwise.
- This drawing is to be read in conjunction with the project site plan, landscape plan, and engineering plan.
- The tree inventory includes assessment of trees >10cm DBH. The trees have been assessed based on species, size and condition.
- The contractor shall check and verify all existing and proposed grading and conditions on the project and immediately report any discrepancies to the consultant before proceeding with any removals.
- The contractor is to be aware of all existing and proposed services and utilities. The contractor is responsible for having all underground services and utility lines staked by each agency having jurisdiction prior to commencing work.
- This drawing is to be used for development approval only.
- Do not leave any holes open overnight.
- Keep area outside construction zone clean and useable by others at all times. Contractor shall thoroughly clean areas surrounding the construction zone at the end of each work day.
- Contractor to make good any and all damages outside of the development area that may occur as a result of tree removals at no extra cost.
- This drawing is Copyright MHBC, 2025.

1. MAY 30, 2025 ISSUED FOR REVIEW NV  
REVISION NO. DATE BY

 **PLANNING URBAN DESIGN & LANDSCAPE ARCHITECTURE**  
230-7050 WESTON ROAD WOODBRIDGE, ON, L4L 6G7 | P: 905 761 5588 F: 905 761 5589 | WWW.MHBCPLAN.COM

STAMP  ASSOCIATION OF LANDSCAPE ARCHITECTS  
ISSUED FOR REVIEW ONLY  
NOT FOR CONSTRUCTION  
All drawings and specifications are instruments of service and will remain the property of MHBC Planning and must be returned at the completion of the work. This drawing shall not be used for construction purposes unless the drawings are marked 'Issued for Construction' and the professional seal is signed and dated by the landscape architect.

PROJECT  
145 WAYMAR HEIGHTS BOULEVARD  
VAUGHAN, ONTARIO

FILE NAME  
**TREE INVENTORY, PROTECTION, AND REMOVALS**

DWG NO.  
**TI-1**



SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A