

ITEM: 6.7	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A066/25
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Report Date: July 4, 2025

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):

Additional comments from departments and agencies received after the publication of the report will be made available on the City’s [website](#).

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Forestry	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

BACKGROUND (SCHEDULE D, IF REQUIRED)	
* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.	
Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



## MINOR VARIANCE APPLICATION FILE NUMBER A066/25

<b>CITY WARD #:</b>	1
<b>APPLICANT:</b>	Rahul & Shikha Goel
<b>AGENT:</b>	Andrew Solari (Bancheri Bros. Interlock Paving Corp.)
<b>PROPERTY:</b>	321 Woodgate Pine Drive, Kleinburg
<b>ZONING DESIGNATION:</b>	See Below
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	N/A
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit a proposed cabana in the rear yard.

The following variances have been requested from the City's Zoning By-law to accommodate the above proposal:

The subject lands are zoned R1, First Density Residential Zone and subject to Exception **14.953** under Zoning Bylaw 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	For a residential use in the R1 Zone, any portion of a yard in excess of 135 m <sup>2</sup> shall be comprised of a minimum of <b>60%</b> soft landscape. <b>[Section 4.19.1.1]</b>	To permit a minimum of <b>51.90%</b> of the area of the rear yard in excess of 135 m <sup>2</sup> to be comprised of soft landscaping.
2	A residential accessory structure with a height greater than 2.8 m shall not be located closer than <b>2.4 m</b> to any lot line. <b>[Section 4.1.2.b]</b>	To permit a residential accessory structure (cabana) with a height greater than 2.8 m to be located a minimum of <b>1.22 m</b> from the rear lot line.
3	A residential accessory structure with a height greater than 2.8 m shall not be located closer than <b>2.4 m</b> to any lot line. <b>[Section 4.1.2.b]</b>	To permit a residential accessory structure (cabana) with a height greater than 2.8 m to be located a minimum of <b>1.0 m</b> from the westerly interior side lot line.
4	In any Residential Zone, the maximum height of a residential accessory structure shall be 3.0 m. <b>[Section 4.1.4.1]</b>	To permit a maximum height of <b>3.26 m</b> for a residential accessory structure (cabana).

### HEARING INFORMATION

**DATE OF MEETING:** Thursday, July 10, 2025

**TIME:** 6:00 p.m.

**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive

**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

### PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

HEARING INFORMATION	
To speak electronically, pre-registration is required by completing the <a href="#">Request to Speak Form</a> on-line and submitting it to <a href="mailto:cofa@vaughan.ca">cofa@vaughan.ca</a> no later than NOON on the last business day before the meeting.	
THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS <u>NOON</u> ON THE LAST BUSINESS DAY BEFORE THE MEETING.	

INTRODUCTION	
Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.	
Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:	
That the general intent and purpose of the by-law will be maintained.	
That the general intent and purpose of the official plan will be maintained.	
That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.	
That the requested variance(s) is/are minor in nature.	
Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.	

COMMITTEE OF ADJUSTMENT	
Date Public Notice Mailed:	June 26, 2026
Date Applicant Confirmed Posting of Sign:	June 12, 2025
Applicant Justification for Variances: <small>*As provided in Application Form</small>	By-law limitations on use of backyard
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING	
<a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>	
The Owner / Applicant has submitted an application for a Grading Permit and has been approved for the proposed cabana. The Development Engineering Department does not object to the Minor Variance application A066/25.	
Development Engineering Recommended Conditions of Approval:	None

PARKS, FORESTRY & HORTICULTURE (PFH)	
No comments received to date	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE	
No comment, no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES	
No comments received to date	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC)	
No comments received to date	
Building Inspection Recommended Conditions of Approval:	None

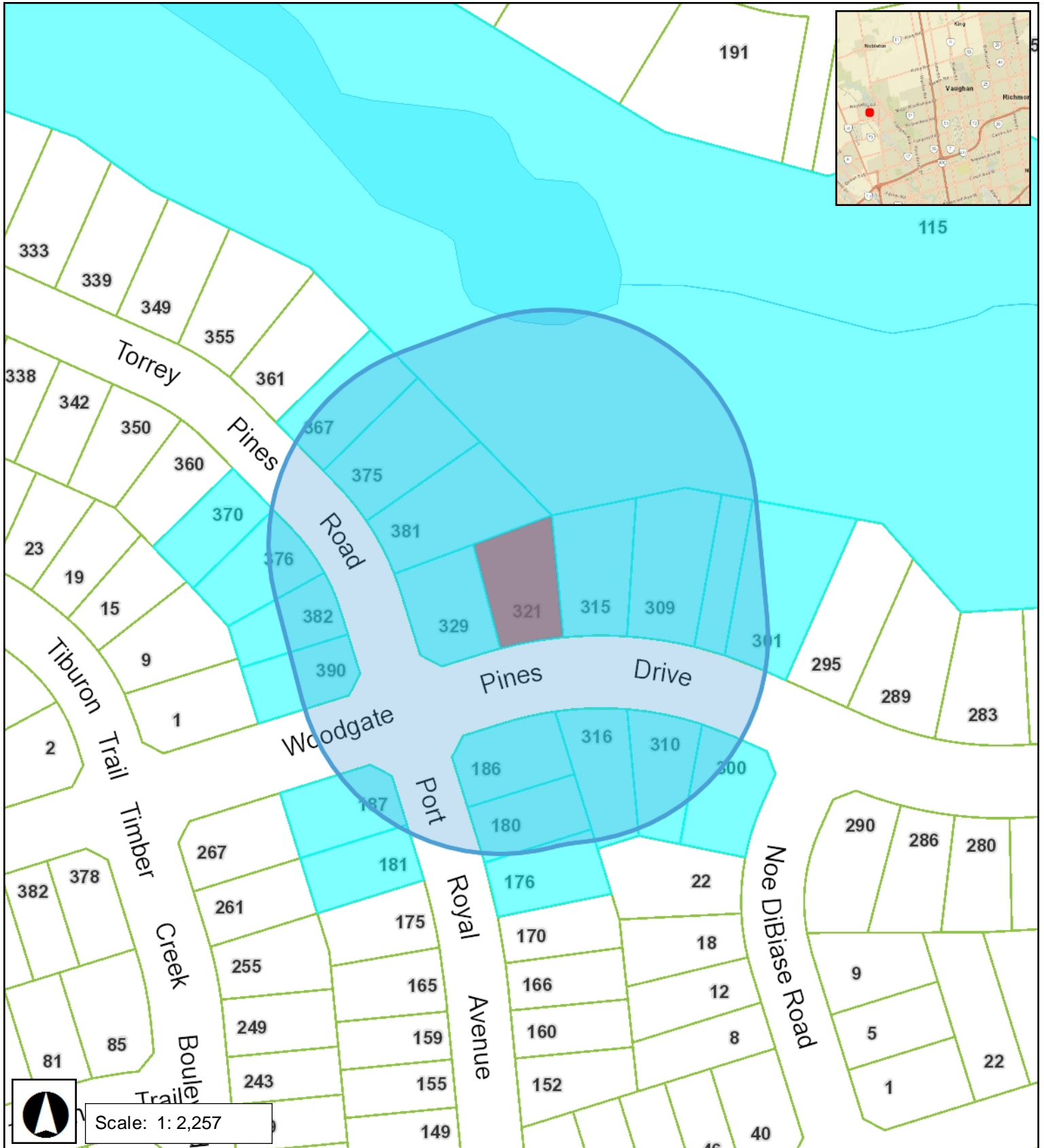
FIRE DEPARTMENT	
No comments received to date	
Fire Department Recommended Conditions of Approval:	None

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY		
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:		
#	DEPARTMENT / AGENCY	CONDITION
	None	None
<i>All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.</i>		

IMPORTANT INFORMATION
<b>CONDITIONS:</b> It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency ( <b>see condition chart above for contact</b> ). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.
<b>APPROVALS:</b> Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.  An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.  A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.  Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.  Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.
<b>DEVELOPMENT CHARGES:</b> That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.  That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

IMPORTANT INFORMATION
<p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p> <p><b>NOTICE OF DECISION:</b> If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will <b>not</b> receive notice.</p>







VARIANCE #2  
1.22m REAR  
SETBACK

VARIANCE #3  
1.00m INTERIOR  
SETBACK

VARIANCE #1  
51.90% SOFTSCAPE

BACKYARD AREA: 386.70 m2	
Minus 135m2	251.70 m2
Min. Softscape Required 60 %-	151.02m2 required
HARD VS SOFT SCAPE- PROPOSED	
Prop. Hardscape:	168.55 m2
Prop. Cabana:	33.81 m2
Ex. Pool:	53.70 m2
Prop. Softscape:	130.64 m2
Softscape %:	51.90%

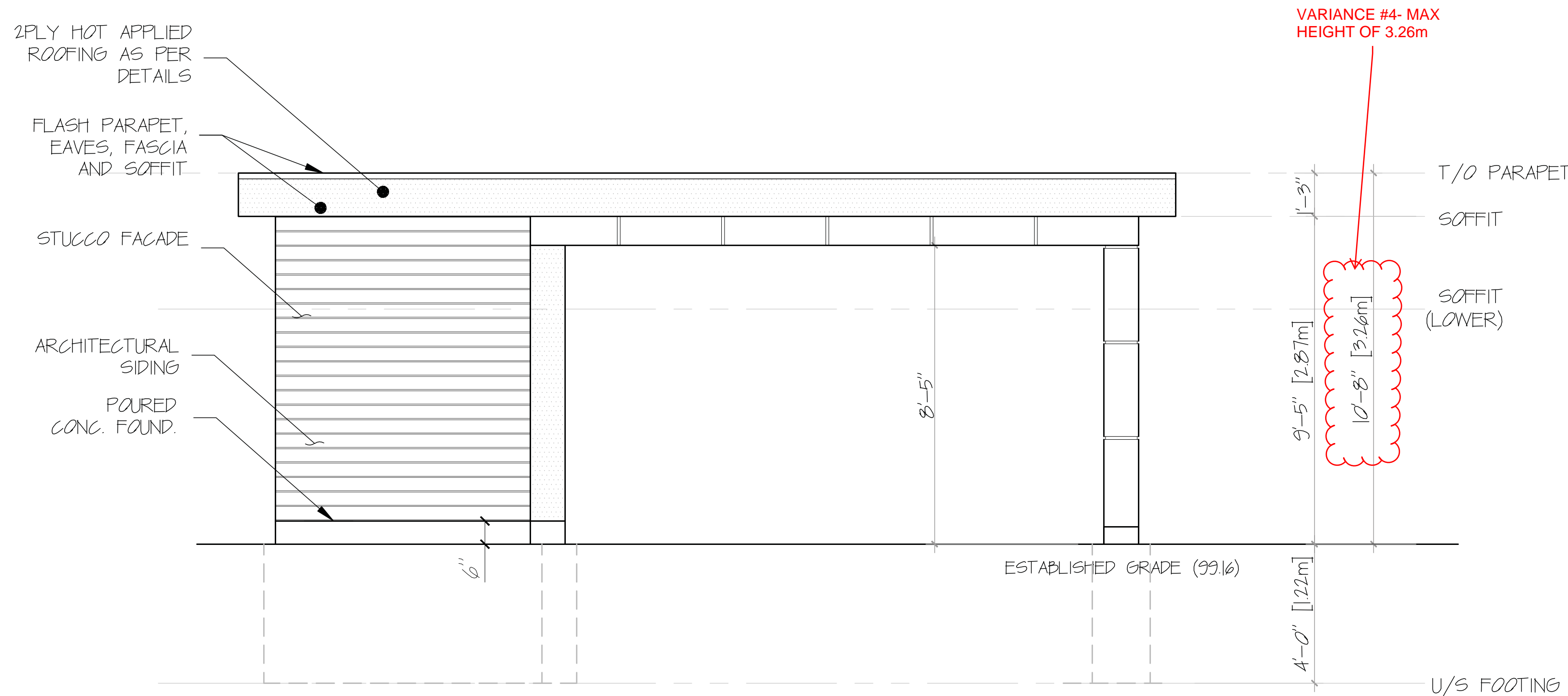
FRONTYARD AREA: 130.39 m2	
50% Min Landscape:	65.19 m2
Min. Softscape Required 60 %-	39.12m2 required
HARD VS SOFT SCAPE- PROPOSED	
Ex. Driveway:	51.20 m2
Prop. Walkway:	21.34 m2
Ex. Porch/Steps:	6.91 m2
Softscape:	50.94 m2



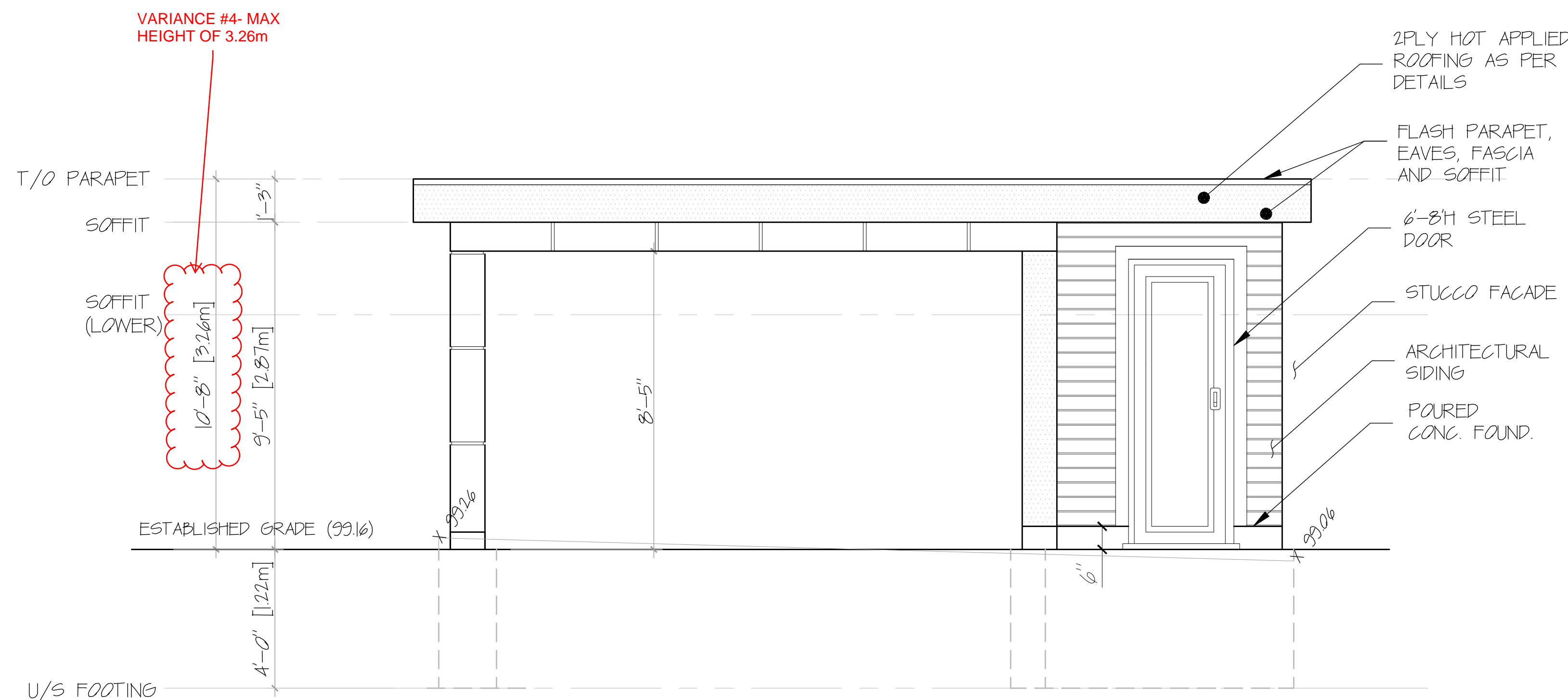
WOODGATE PINES DR

CONSTRUCTION ACCESS





ELEVATION WEST



ELEVATION EAST

- LEGEND
- EXHAUST FAN - 50CFM VENTED TO OUTSIDE
  - CARBON MONOXIDE DETECTOR
  - CEILING MOUNTED SMOKE ALARM (INTER-CONNECTED)
  - SOLID BEARING TO BE AS WIDE AS SUPPORTED MEMBER (MIN. 2 PIECES) FROM ABOVE
  - SOLID WOOD BEARING TO MATCH
  - DOUBLE JOIST
  - TRIPLE JOIST
  - LAMINATED VENEER LUMBER
  - PRESSURE TREATED LUMBER
  - ORDER TRUSS BY MANU.

ALL MATERIAL FINISHES TO BE DETERMINED BY HOME OWNER DURING CONSTRUCTION

DOOR SCHEDULE		
NO.	SIZE	FPR
D1	34"W X 8'0"	THR
D2	28"W X 6'8" - WOOD	N/A
D3	30"W X 6'8" - WOOD	N/A
D4	32"W X 6'8" - WOOD	N/A

SB3 - 3-2"x6" SOLID BEARING  
SB4 - 4-2"x6" SOLID BEARING  
SB5 - 5-2"x6" SOLID BEARING  
SB6 - 5-2"x8" SOLID BEARING  
ALL SOLID BEARING TO BE BRACED AT TOP AND BOTTOM

LVL BEAMS SHALL BE 2.0E MIN BY WAYERHAUSER OR APPROVED EQUIV. NAIL EACH PLY OF LVL WITH 89mm L.G. COMMON WIRE NAILS @ 300mm O.C. STAGGERED IN 2 ROWS FOR DEPTHS UP TO 11-7/8" AND 3 ROWS FOR GREATER DEPTHS AND FOR 4 PLY MEMBERS ADD 13mm DIA. GALV. BOLTS BOLTED AT MID-DEPTH OF BEAM AT 400mm O.C.

CONTRACTOR MUST VERIFY ALL DIMENSIONS IN THE FIELD. ANY DISCREPANCIES MUST BE REPORTED BEFORE PROCEEDING WITH THE WORK.

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND/OR SPECIFICATIONS AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12.



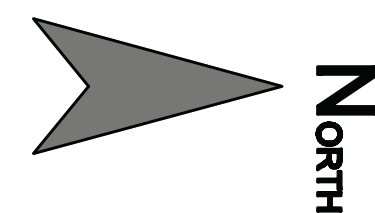
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No. Revision/Issue Date

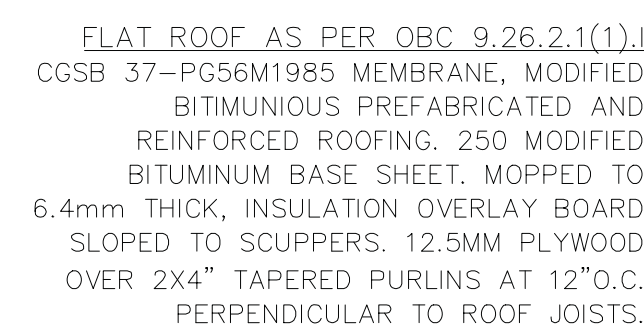
ELEVATIONS I

321 WOODGATE PINES DRIVE  
ACCESSORY STRUCTURE  
Vaughan, Ontario

Project 2467 Sheet  
Date NOV '24  
Scale 1/4" = 1'-0" S2



A  
DWG, S4








C1 DENOTES

8"x8" SPF 2 PT COL. W/  
SIMPSON STRONG-TIE CC86 TOP CAP W/ 4 3/4"  
DIA THROUGH BOLTS.

W/ GALVANIZED RAISED SHOE PLATE FASTENED  
TO CONC PEDESTAL W/ 4-5/8" DIA WEDGE  
ANCHORS W/ 6" EMBEDMENT

**LEGEND**

	EXHAUST FAN - 500CFM VENTED TO OUTSIDE
	CARBON MONOXIDE DETECTOR
	CEILING MOUNTED SMOKE ALARM (INTER-CONNECTED)
	SOLID BEARING TO BE AS WIDE AS SUPPORTED MEMBER (MIN. 2 PIECES)
	SOLID WOOD BEARING TO MATCH FROM ABOVE
DJ	DOUBLE JOIST
TJ	TRIPLE JOIST
LVL	LAMINATED VENEER LUMBER
PT	PRESSURE TREATED LUMBER
GD	GIRDER TRUSS BY MANU.

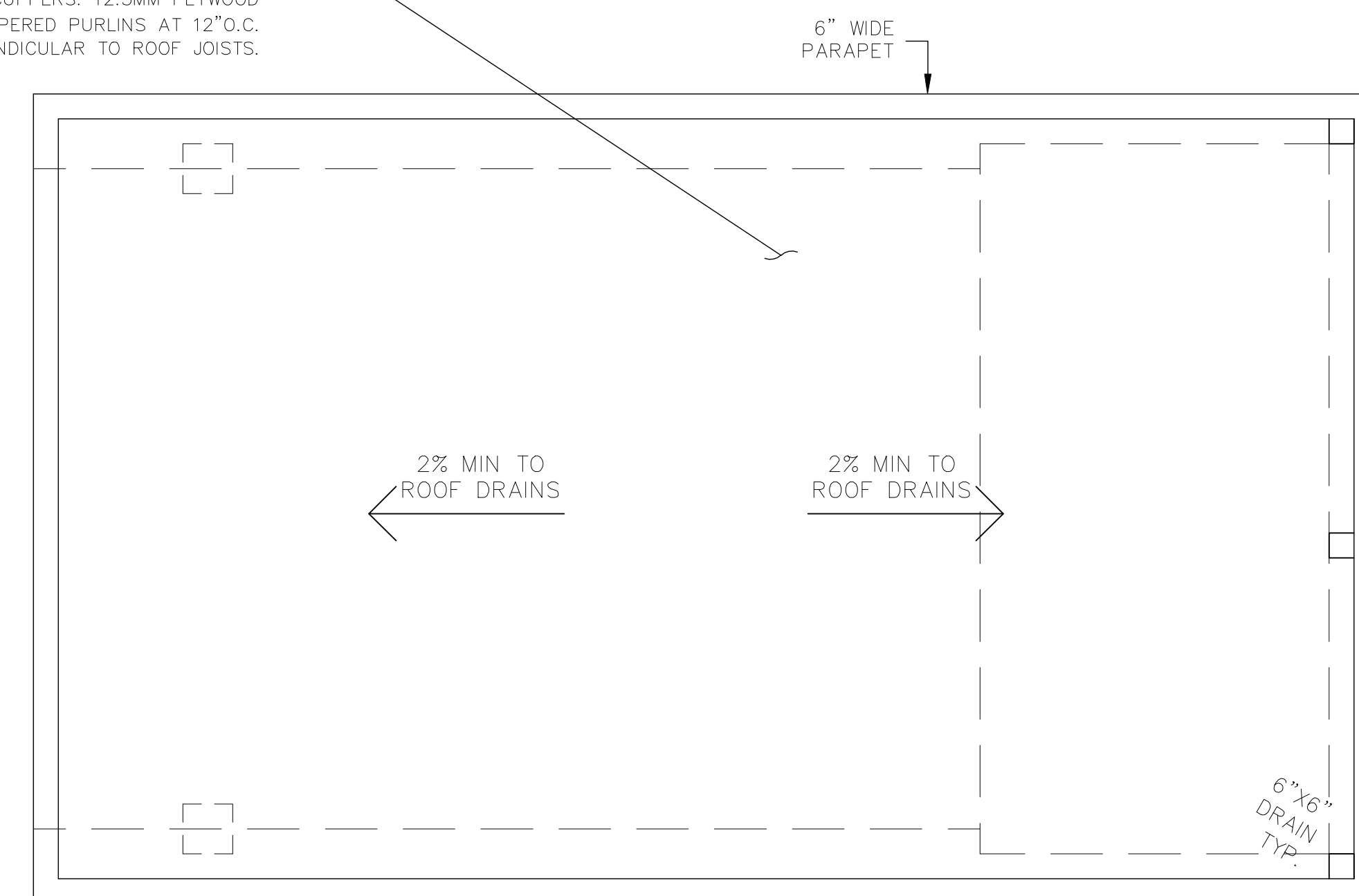
ALL MATERIAL FINISHES TO BE DETERMINED BY HOME OWNER DURING CONSTRUCTION

DOOR SCHEDULE		
MK	SIZE	FPR
D1	34"W x 8'0"	1HR
D2	28"W x 6'8" - WOOD	N/A
D3	30"W x 6'8" - WOOD	N/A
D4	32"W x 6'8" - WOOD	N/A

SB3	3- 2"x6"	SOLID BEARING
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LVL BEAMS SHALL BE 2.0E MIN BY WAYERHAUSER OR APPROVED EQUIV. NAIL EACH PLY OF LVL WITH 89mm LG. COMMON WIRE NAILS @ 300mm O.C. STAGGERED IN 2 ROWS FOR DEPTHS UP TO 11-7/8" AND 3 ROWS FOR GREATER DEPTHS AND FOR 4 PLY MEMBERS ADD 13mm DIA. GALV. BOLTS BOLTED AT MID-DEPTH OF BEAM AT 400mm O.C.



PLAN ROOF



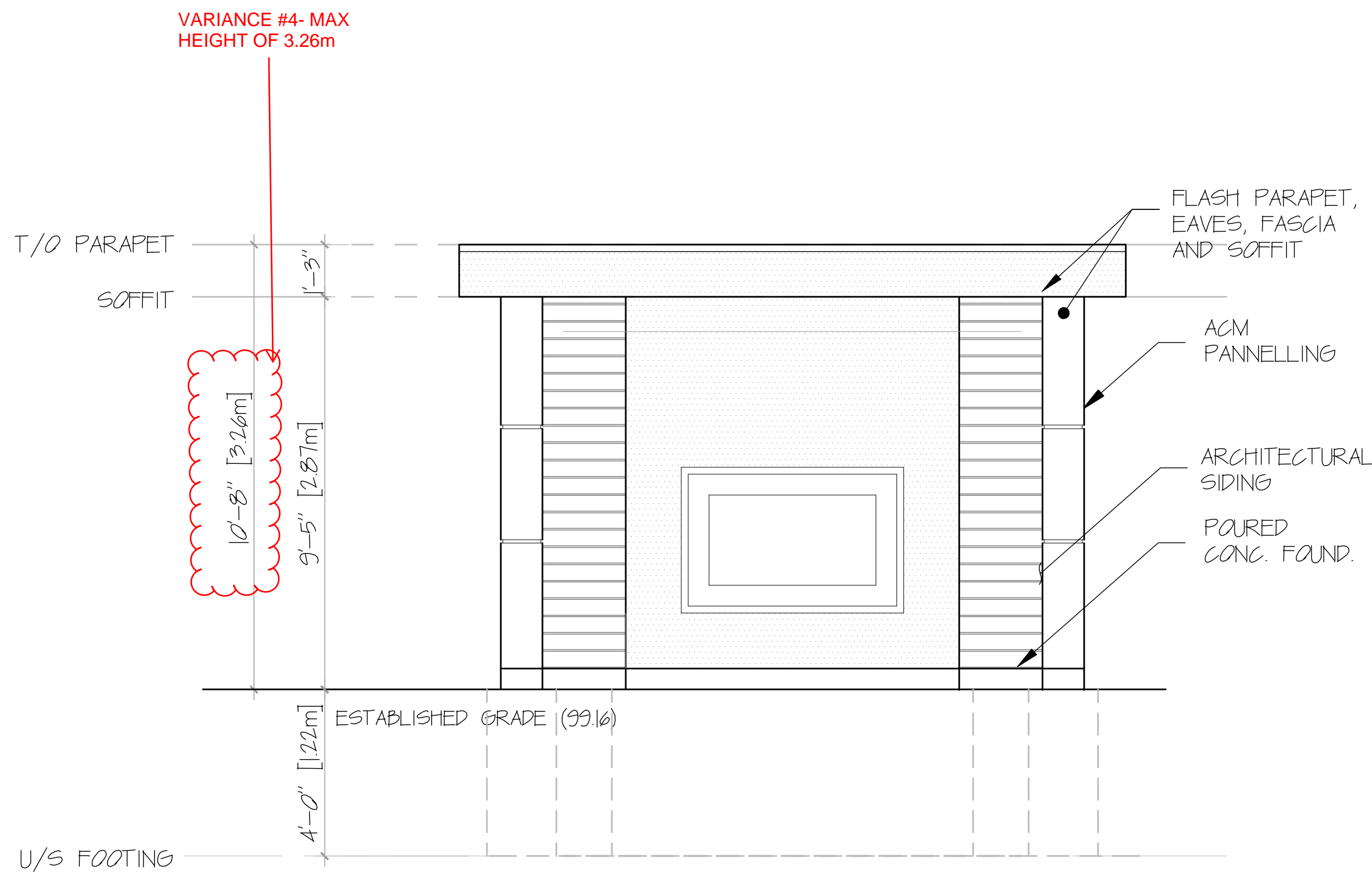
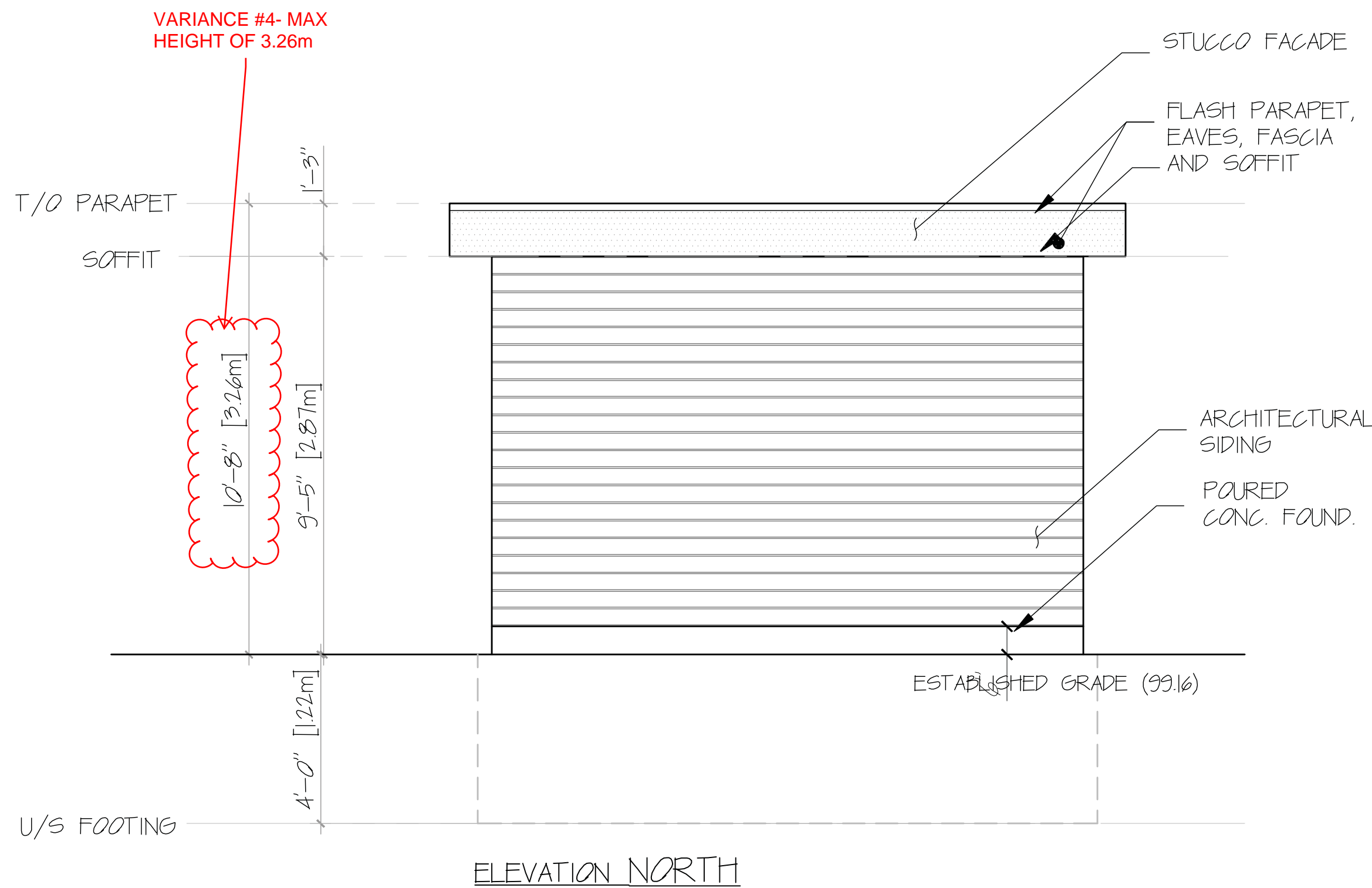
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No.	Revision/Issue	Date
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## ELEVATION AND PLANS

**321 WOODGATE PINES DRIVE**  
**ACCESSORY STRUCTURE**  
**Vaughan, Ontario**

Project	2467	Sheet	S1
Date	NOV '24		
Scale	$\frac{1}{4}" = 1'-0"$		



- LEGEND:
- EXHAUST FAN - 50CFM VENTED TO OUTSIDE
  - CARBON MONOXIDE DETECTOR
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  - GT GIRDER TRUSS BY MANU.

ALL MATERIAL FINISHES TO BE DETERMINED BY HOME OWNER DURING CONSTRUCTION

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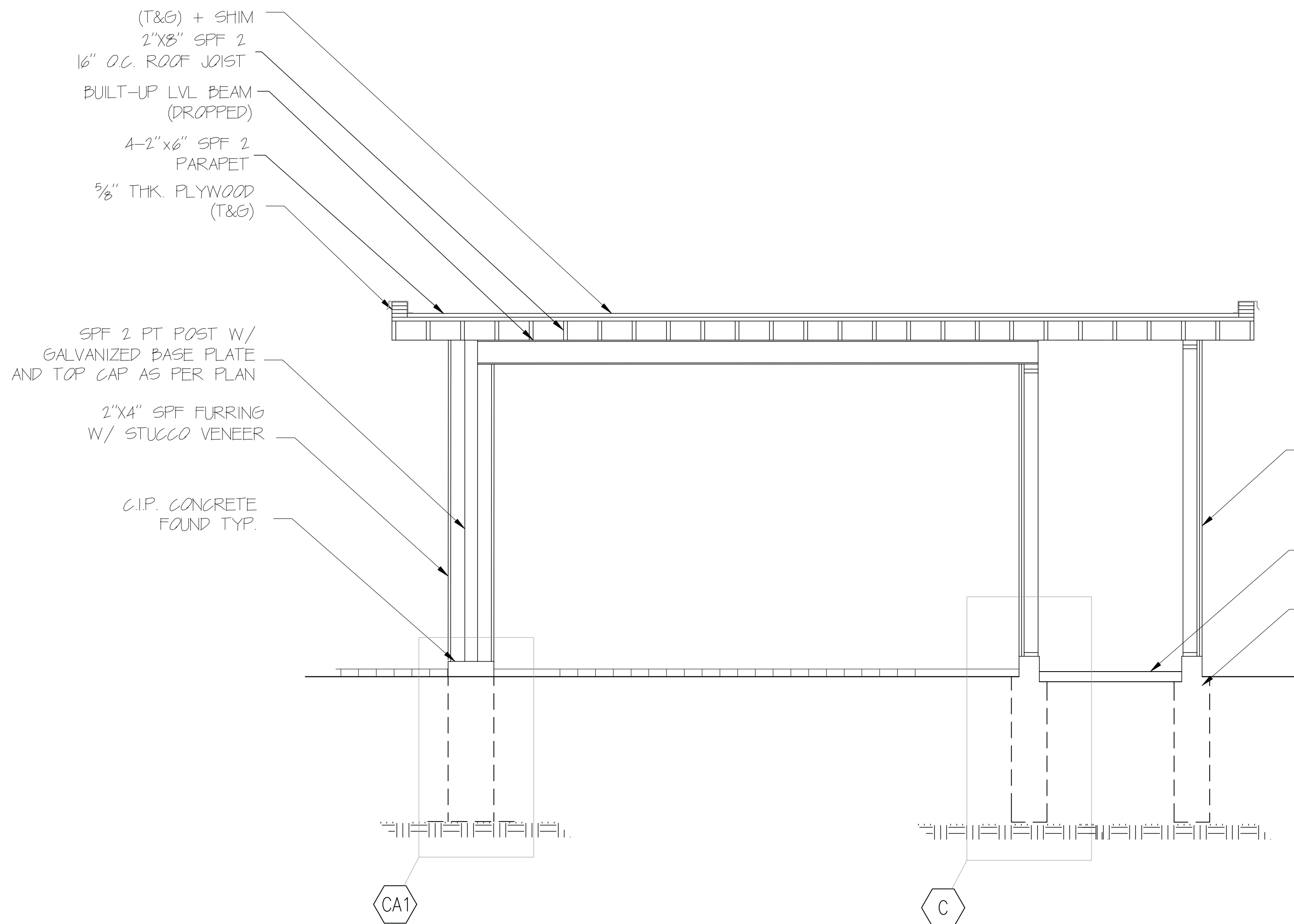
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## ELEVATIONS II

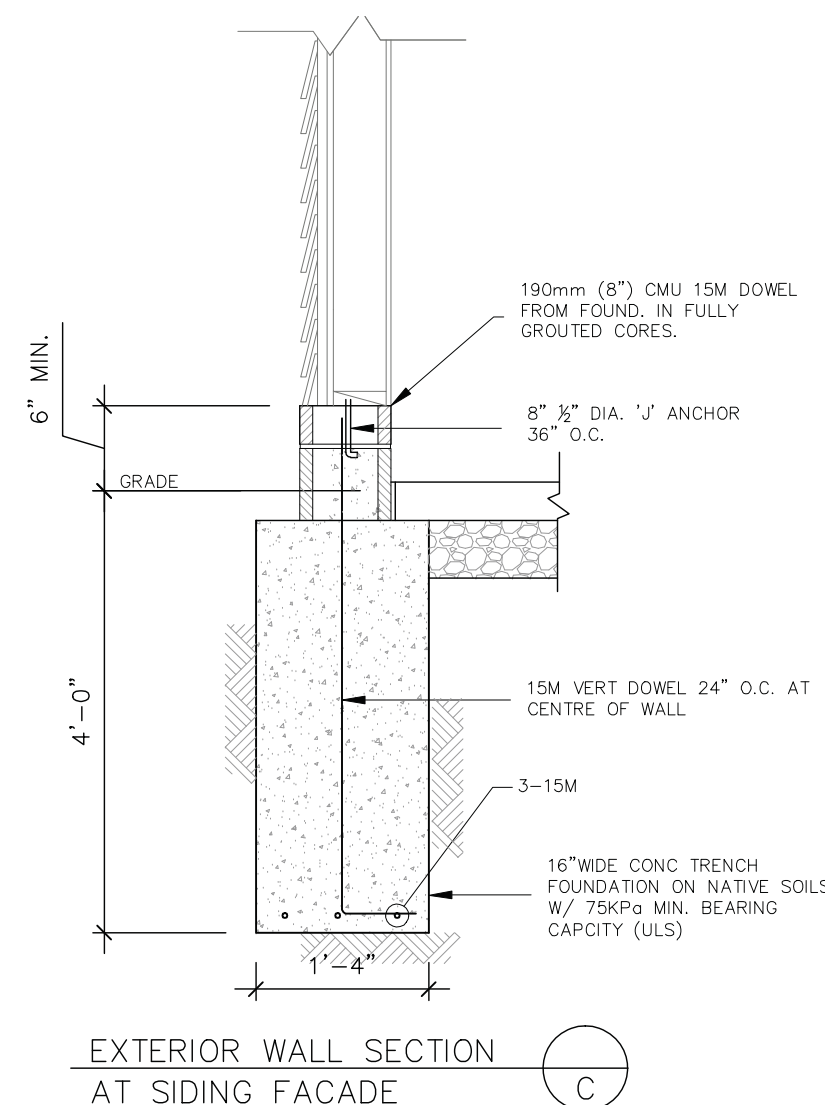
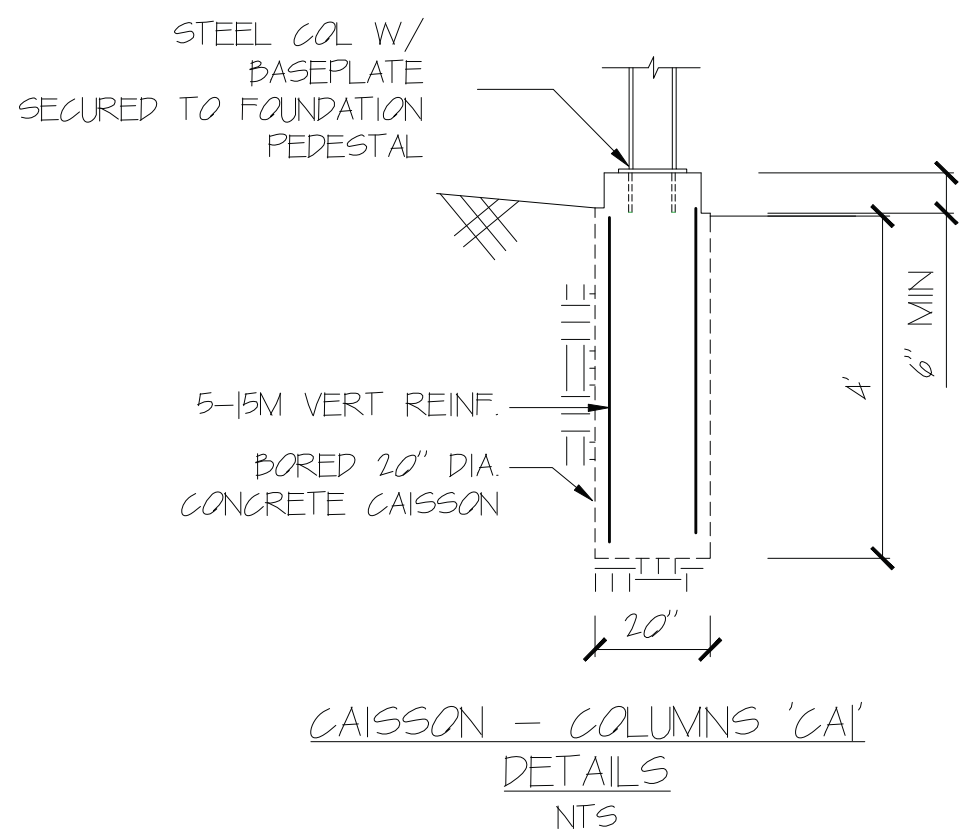
**321 WOODGATE PINES DRIVE**  
**ACCESSORY STRUCTURE**  
Vaughan, Ontario

Project	2467	Sheet
Date	NOV '24	S3
Scale	1/4" = 1'-0"	





CROSS SECTION: A



- GENERAL NOTES:**
- 2.1 LUMBER:**
- ALL LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER UNLESS NOTED OTHERWISE.
  - STUDS SHALL BE STUD GRADE SPRUCE, UNLESS OTHERWISE NOTED.
  - JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING WITH FLUSH BUILT-UP WOOD MEMBERS.
  - WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE IN CONTACT WITH CONCRETE SHALL BE SEPARATED FROM THE CONCRETE BY AT LEAST 2mm POLYURETHANE FILM, No. 50 (45lbs) ROLL ROOFING OR OTHER DAMPROOFING MATERIAL.
- 2.2 STEEL:**
- STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-C40-21 GRADE 300W. HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS 'H'.
  - REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400W.
- 2.3 CONCRETE:**
- THE MINIMUM COMPRESSIVE STRENGTH F<sub>c</sub> OF ALL CONCRETE SHALL BE 30MPa.
  - CLEAR COVER TO REINFORCING STEEL SHALL BE AS FOLLOWS:  
100mm +/- 20mm FOOTINGS CAST AGAINST EARTH  
70mm +/- 20mm REMAINDER UNLESS NOTED
- 2.3 MECHANICAL:**
- MECHANICAL VENTILATION SHALL PROVIDE 1 AIR CHANGE PER HOUR IF NOT AIR CONDITIONED 0.5 PER HOUR IF AIR CONDITIONED AVERAGED OVER 24 HOURS.
  - HOT WATER TANK MANUFACTURER SPECS SHALL CONFORM TO OBC 9.31.6.
- 2.4 FLASHINGS:**
- FLASHING MATERIALS AND DISTALLATION SHALL CONFORM TO O.B.C SECTIONS 9.20.13, 9.26.4 & 9.27.3
- 2.5 ELECTRICAL FACILITIES:**
- ALL ELECTRICAL FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 9.34
- 2.6 GRADING:**
- THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THAT WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. GRADING SHALL CONFORM TO 9.14.6.



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## DETAILS

**321 WOODGATE PINES DRIVE**  
**ACCESSORY STRUCTURE**  
Vaughan, Ontario

Project	2467	Sheet	S4
Date	NOV '24		
Scale	3/4" = 1'-0"		



GENERAL NOTES:

**EXCAVATION AND BACKFILL**  
1. EXCAVATION SHALL BE UNDERTAKEN IN SUCH A MANNER SO AS TO PREVENT DAMAGE TO EXISTING STRUCTURES, ADJACENT PROPERTIES AND UTILITIES.

2. THE TOPSOIL AND VEGETABLE MATTER IN UNEXCAVATED AREAS UNDER A BUILDING SHALL BE REMOVED. THE BOTTOM OF EXCAVATIONS FOR FOUNDATIONS SHALL BE FREE OF ALL ORGANIC MATERIAL.

3. IF TERMITES ARE KNOWN TO EXIST, ALL STUMPS, ROOTS AND WOOD DEBRIS SHALL BE REMOVED TO A MINIMUM DEPTH OF 500MM IN EXCAVATED AREAS UNDER A BUILDING, AND THE CLEARANCE BETWEEN UNTREATED STRUCTURAL WOOD ELEMENTS AND THE GROUND SHALL BE NO LESS THAN 450MM.

4. BACKFILL WITHIN 600MM OF THE FOUNDATION WALLS SHALL BE FREE OF DELETERIOUS DEBRIS AND BOULDERS OVER 250MM IN DIAMETER.

**DAMP-PROOFING AND DRAINAGE**  
1. IN NORMAL SOIL CONDITIONS, THE EXTERIOR SURFACES OF FOUNDATION WALLS ENCLOSING BASEMENTS AND CRAWL SPACES SHALL BE DAMP-PROOFED WHERE HYDROSTATIC PRESSURE OCCURS. A WATERPROOFING SYSTEM IS REQUIRED.

2. MASONRY FOUNDATION WALLS SHALL BE PARGED WITH 6MM OF MORTAR COVER OVER THE FOOTING PRIOR TO DAMP-PROOFING.

3. 100MM DIA. FOUNDATION DRAINS SHALL BE LAID ON LEVEL, UNDISTURBED GROUND ADJACENT TO THE FOOTINGS AT OR BELOW THE TOP OF THE BASEMENT SLAB OR CRAWL SPACE FLOOR, AND SHALL BE COVERED WITH 100MM OF CRUSHED STONE. FOUNDATION DRAINS SHALL DRAIN TO A STORM SEWER, DRAINAGE DITCH, DRY WELL OR SUMP.

4. WINDOW WALLS SHALL BE DRAINED TO THE FOOTING LEVEL OR TO A DITCH OR SUMP PUMP.

5. DOWNSPOUTS NOT DIRECTLY CONNECTED TO A STORM SEWER SHALL HAVE EXTENSIONS TO CARRY WATER AWAY FROM THE BUILDING, AND PROVISIONS SHALL BE MADE TO PREVENT SOIL EROSION.

6. CONCRETE SLABS IN ATTACHED GARAGES SHALL BE SLOPED TO DRAIN TO THE EXTERIOR.

7. THE BUILDING SITE SHALL BE GRADED SO THAT SURFACE, SUMP AND ROOF DRAINAGE WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.

**FOOTINGS**  
1. MINIMUM 300MPA POURED CONCRETE.

2. MINIMUM 1200MM BELOW FINISHED GRADE. FOOTINGS SHALL BE FOUNDED ON NATURAL OR UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL WITH MINIMUM BEARING CAPACITY OF 150KPA.

**FOUNDATION WALLS**  
1. TO BE POURED CONCRETE, UNIT MASONRY, ICF OR PRESERVED WOOD (SEE DRAWINGS FOR TYPE AND THICKNESS).

2. DAMP-PROOFING SHALL BE A HEAVY COAT OF BITUMINOUS MATERIAL.

3. FOUNDATION WALL TO EXTEND MINIMUM 150MM ABOVE FINISHED GRADE.

4. A DRAINAGE LAYER IS REQUIRED ON THE OUTSIDE OF A FOUNDATION WALL WHERE THE INTERIOR INSULATION EXTENDS MORE THAN 900MM BELOW EXTERIOR GRADE.

5. A DRAINAGE LAYER SHALL CONSIST OF:  
MIN. 19MM MINERAL FIBRE INSULATION WITH MIN. DENSITY OF 57 KG/M<sup>3</sup>.  
MIN. 100MM OF FREE DRAINAGE GRANULAR MATERIAL.  
AN APPROVED SYSTEM WHICH PROVIDES EQUIVALENT PERFORMANCE.  
FOUNDATION WALLS SHALL BE BRACED OR HAVE THE FLOOR JOISTS INSTALLED BEFORE BACKFILLING.

**CONCRETE FLOOR SLABS**

1. GARAGE, CARPORT AND EXTERIOR SLABS AND EXTERIOR STEPS SHALL BE 32MPA CONCRETE WITH 9-RE AIR ENTRAINMENT.

2. BASEMENT SLAB 25MPA CONCRETE, MINIMUM 75MM THICK, PLACED ON A MINIMUM 100MM OF COARSE, CLEAN, GRANULAR MATERIAL.

3. ALL FILL OTHER THAN COARSE CLEAN MATERIAL PLACED BENEATH CONCRETE SLABS SHALL BE COMPACTED TO PROVIDE UNIFORM SUPPORT.

**MASONRY WALLS**

1. WHERE CONSTRUCTED OF 900MM BRICK, WALL SHALL BE BONDED WITH A HEADER COURSE EVERY 600MM O/C. VERTICALLY AND HORIZONTALLY AND 900MM O/C FOR BLOCK OR TILE.

2. PROVIDE 500M SOLID MASONRY, CONCRETE FILLED TOP COURSE OR CONTINUOUS STRIPS WOOD PLATE UNDER ALL ROOF AND FLOOR FRAMING MEMBERS.

3. PROVIDE 190MM SOLID MASONRY UNDER BEAMS AND COLUMNS.

4. MASONRY WALL TO BE TIED TO EACH TIE OF JOISTS WITH 40MM X 4.76MM CORROSION RESISTANT STEEL STRAPS, KEYS MINIMUM 100MM INTO MASONRY. WHEN JOISTS ARE PARALLEL TO WALL, TIES ARE TO EXTEND ACROSS AT LEAST 3 JOISTS @ 2000MM O.C.

5. INSIDE OF WALL TO BE PARGED AND COVERED WITH NO. 15 BREATHER-TYPE ASPHALT PAPER.

6. FOR REDUCED FOUNDATION WALLS TO ALLOW A BRICK FACING WHILE MAINTAINING LATERAL SUPPORT, WALLS SHALL BE CONSTRUCTED OF POLYMER-REINFORCED BRICK WITH CORROSION RESISTANT TIES AT LEAST 178MM IN CROSS SECTION AND 127.2X127.2X100MM O.C. VERTICALLY AND 900MM HORIZONTALLY, WITH JOINTS COMPLETELY FILLED WITH MORTAR.

8. MASONRY OVER OPENINGS SHALL BE SUPPORTED ON CORROSION RESISTANT OR PRIME PAINTED STEEL LINTELS WITH A MINIMUM OF 150MM END BEARING.

**MASONRY VENEER**

1. MINIMUM 75MM THICK IF JOINTS ARE NOT RAKED AND 100MM THICK IF JOINTS ARE RAKED.

2. MINIMUM 25MM AIR SPACE TO SHEATHING.

3. PROVIDE WEEP HOLES @ 900MM O.C. AT THE BOTTOM OF THE CAVITY AND OVER DOORS AND WINDOWS.

4. DIRECT DRAINAGE THROUGH WEEP HOLES WITH 0.5MM POLY FLASHING EXTENDING MINIMUM 150MM UP BEHIND THE SHEATHING PAPER.

5. VENEER TIES MINIMUM 0.76MM THICK X 22MM WIDE CORROSION RESISTANT STRAPS SPACED @ 500MM VERTICALLY AND 600MM HORIZONTALLY.

6. FASTEN TIES WITH CORROSION RESISTANT 3.18MM DIAMETER SCREWS OR SPIRAL NAILS WHICH PENETRATE AT LEAST 100MM INTO CONCRETE.

**WOOD FRAME CONSTRUCTION**

1. ALL LUMBER SHALL BE SPRUCE-PINE-FIR NO. 1 & 2, AND SHALL BE IDENTIFIED BY A GRADE STAMP.

2. MAXIMUM MOISTURE CONTENT 19% AT TIME OF INSTALLATION.

3. WOOD FRAMING MEMBERS WHICH ARE SUPPORTED ON CONCRETE IN DIRECT CONTACT WITH SOIL SHALL BE SEPARATED FROM THE CONCRETE WITH 0.5MM POLYETHYLENE OR TYPE "S" ROOF ROOFING.

**WALLS**

1. EXTERIOR WALLS SHALL CONSIST OF:  
- CLADDING  
- AIR BARRIER SYSTEM LAPPED 100MM AT JOINTS  
- LUMBER, PLYWOOD, OSB OR GYPSUM SHEATHING  
- 38X140 STUDS @ 400MM O.C.  
- RS 4.23 INSULATION

2. INTERIOR LOADBEARING WALLS SHALL CONSIST OF:  
- 38X89 STUDS @ 600MM O.C.  
- 38X89 BOTTOM PLATE AND DOUBLE 38X89 TOP PLATE  
- 38X89 MD-GIRTS IF NOT SHEATHED  
- 12.7MM GYPSUM BOARD SHEATHING

**FLOORS**

1. JOISTS TO HAVE MINIMUM 38MM OF END BEARING.

2. JOISTS SHALL BEAR ON A SILL PLATE FIXED TO FOUNDATION WITH 12.7MM ANCHOR BOLTS @ 2400MM O.C.

3. HEADER JOISTS BETWEEN 1200MM AND 1200MM IN LENGTH SHALL BE SIZED BY CALCULATIONS.

4. TRIMMER JOISTS SHALL BE DOUBLED WHEN SUPPORTED HEADER IS BETWEEN 800MM AND 2000MM. TRIMMER JOISTS SHALL BE SIZED BY CALCULATIONS WHEN SUPPORTED HEADER EXCEEDS 2000MM.

5. 38X38 CROSS BRACING REQUIRED NOT MORE THAN 2100MM FROM EACH SUPPORT AND FROM OTHER ROWS OF BRIDGING.

6. JOISTS SHALL BE SUPPORTED ON JOIST HANGERS AT ALL FLUSH BEAMS, TRIMMERS AND HEADERS.

7. NON-LOADBEARING PARTITIONS SHALL BE SUPPORTED ON A JOIST OR ON A BLOCKING BETWEEN JOISTS.

**ROOF & CEILINGS**

1. HIP AND VALLEY RAFTER SHALL BE 38MM DEEPER THAN COMMON RAFTERS.

2. 38X39 COLLAR TIES @ RAFTER SPACING WITH 108X8 CONTINUOUS BRACE AT MD SPAN IF COLLAR TIE EXCEEDS 2400MM IN LENGTH.

**NOTICING & DRESSING TRUSSES, JOIST, RAFTERS**

1. HOLES IN FLOOR, ROOF AND CEILING MEMBERS TO BE NOT LARGER THAN 1/4 THE ACTUAL DEPTH FROM THE END OF MEMBER AND NOT LESS THAN 50MM FROM EDGES.

2. NOTCHES IN FLOOR, ROOF AND CEILING MEMBERS TO BE LOCATED ON TOP OF MEMBER WITHIN 1/2 THE ACTUAL DEPTH FROM THE EDGE OF BEARING AND NOT GREATER THAN 1/3 THE JOIST SPAN.

3. WALL STUDS MAY BE NOTCHED OR DRILLED PROVIDED THAT NO LESS THAN 2/3 THE DEPTH OF THE MEMBER IS LEFT BEARING, AND 40MM NON-LOAD BEARING.

4. ROOF TRUSS MEMBERS SHALL NOT BE NOTCHED, DRILLED OR WEAKENED UNLESS ACCOMMODATED IN THE DESIGN.

**ROOFING**

1. FASTENERS FOR ROOFING SHALL BE CORROSION RESISTANT. ROOFING NAILS SHALL PENETRATE THROUGH OR AT LEAST 12MM INTO ROOF SHEATHING.

2. EVERY SHINGLE SHINGLE SHALL BE FASTENED WITH AT LEAST 4 NAILS FOR 1000MM WIDE SHINGLE (OR 61MM STAPLES).

3. EAVES PROTECTION SHALL EXTEND 900MM UP THE ROOF SLOPE FROM THE EDGE AND AT LEAST 300MM FROM THE INSIDE FACE OF THE EXTERIOR WALL AND SHALL CONSIST OF 2X 6 WOOD OR 1/2" CONC. TOPPING LAD WITH MINIMUM 100MM HEAD AND END LAPS CEMENTED TOGETHER, OR GLASS FIBRE OR POLYESTER FIBRE COATED BASE SHEETS, OR SELF SEALING COMPOSITE MEMBRANES CONSISTING OF WOODED BITUMINOUS COATED MATERIAL OR NO. 15 SATURATED FELT LAPPED AND CEMENTED. EAVE PROTECTION IS NOT REQUIRED FOR UNHEATED BUILDINGS. FOR ROOFS EXCEEDING A SLOPE OF 1 IN 1.5, OR WHERE A LOW SLOPE ASPHALT SHINGLE APPLICATION IS PROVIDED.

4. OPEN VALLEYS SHALL BE FLASHED WITH 2 LAYERS OF ROLL ROOFING, OR 1 LAYER OF SHEET METAL MIN. 600MM WIDE.

5. SHEET METAL SHALL CONSIST OF NOT LESS THAN 1.73MM SHEET LEAD, 0.33MM GALVANIZED STEEL, 0.33MM COPPER, 0.35MM ZINC, OR 0.48MM ALUMINUM.

**COLUMNS, BEAMS & LINTELS**

1. STEEL BEAMS AND COLUMNS SHALL BE SHIP PRIMED 350W STEEL.

2. MINIMUM 89MM END BEARING FOR WOOD AND STEEL BEAMS, WITH 190MM SOLID MASONRY BENEATH THE BEAM.

3. STEEL COLUMNS TO HAVE MINIMUM OUTSIDE DIAMETER OF 75MM AND MINIMUM WALL THICKNESS OF 4.76MM.

4. WOOD COLUMNS FOR CARPORTS AND GARAGES SHALL BE MINIMUM 89MMX89MM. IN ALL OTHER CASES EITHER 140MMX140MM OR 184MM ROUND, UNLESS CALCULATIONS BASED ON ACTUAL LOADS SHOW LESSER SIZES ARE ADEQUATE. ALL COLUMNS SHALL BE NOT LESS THAN THE WIDTH OF THE SUPPORTED MEMBER.

5. MASONRY COLUMNS SHALL BE A MINIMUM OF 280 MMX280 MM OR 240MM X 380MM.

6. PROVIDE SOLID BLOCKING THE FULL WIDTH OF THE SUPPORTED MEMBER UNDER ALL CONCENTRATED LOADS.

**INSULATION AND WATERPROOFING**

1. SUPPLY DUCTS IN UNHEATED SPACE INSULATION SHALL BE PROTECTED WITH GYPSUM BOARD OR AN EQUIVALENT INTERIOR FINISH, EXCEPT FOR UNFINISHED BASEMENTS WHERE 0.5MM POLY IS SUFFICIENT FOR FIBERGLASS TYPE INSULATIONS.

2. DUCTS PASSING THROUGH UNHEATED SPACE SHALL BE MADE AIRTIGHT WITH TAPE OR SEALANT.

3. CALCULING SHALL BE PROVIDED FOR ALL EXTERIOR DOORS AND WINDOWS BETWEEN THE FRAME AND THE EXTERIOR CLADDING.

4. WEATHERSTRIPPING SHALL BE PROVIDED ON ALL DOORS AND ACCESS HATCHES TO THE EXTERIOR, EXCEPT DOORS FROM A GARAGE TO THE EXTERIOR.

5. EXTERIOR WALL, CEILING AND FLOORS SHALL BE CONSTRUCTED SO AS TO PROVIDE A CONTINUOUS BARRIER TO THE PASSAGE OF WATER VAPOUR FROM THE INTERIOR AND TO THE LEAKAGE OF AIR FROM THE EXTERIOR.

**NATURAL VENTILATION**

EVERY ROOF SPACE ABOVE AN INSULATED CEILING SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA.

2. INSULATED ROOF SPACES NOT INCORPORATING AN ATTIC SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO NOT LESS THAN 1/150 OF THE INSULATED CEILING AREA.

3. ROOF VENTS SHALL BE UNIFORMLY DISTRIBUTED WITH MIN. 25% AT TOP OF THE SPACE AND 25% AT BOTTOM OF THE SPACE DESIGNED TO PREVENT THE ENTRY OF RAIN, SNOW OR INSECTS.

4. UNHEATED CRAWL SPACES SHALL BE PROVIDED WITH MIN. 25% OF VENTILATION FOR EACH ROOM.

5. MINIMUM NATURAL VENTILATION AREAS, WHERE MECHANICAL VENTILATION IS NOT PROVIDED, ARE:  
BATHROOMS: 0.29M<sup>2</sup>  
OTHER ROOMS: 0.29M<sup>2</sup>  
UNFINISHED BASEMENT: 0.2% OF FLOOR AREA

**HANDRAILS AND GUARDS**

1. HANDRAILS IS REQUIRED FOR INTERIOR STAIRS CONTAINING MORE THAN 3 RISERS AND EXTERIOR STAIRS CONTAINING MORE THAN 3 RISERS.

2. GUARDS ARE REQUIRED AROUND EVERY ACCESSIBLE SURFACE WHICH IS MORE THAN 600MM ABOVE THE ADJACENT LEVEL, AND WHERE THE ADJACENT SURFACE HAS A SLOPE OF MORE THAN 1:2.

3. INTERIOR AND EXTERIOR GUARDS MIN. 900MM HIGH.

4. EXTERIOR GUARDS SHALL BE 1070MM HIGH WHERE HEIGHT ABOVE ADJACENT SURFACE EXCEEDS 1800MM.

5. GUARDS SHALL HAVE OPENINGS SMALLER THAN 100MM AND NO MEMBER BETWEEN 140MM AND 900MM THAT WILL FACILITATE CLIMBING.

**PLUMBING**

1. EVERY DWELLING REQUIRES A KITCHEN SINK, LAVATORY, WATER CLOSET, BATHTUB OR SHOWER STALL AND THE INSTALLATION OR AVAILABILITY OF LAUNDRY FACILITIES.

2. A FLOOR DRAIN SHALL BE INSTALLED IN THE BASEMENT, AND CONNECTED TO THE SANITARY SEWER WHERE GRAVITY DRAINAGE IS POSSIBLE. IN OTHER CASES, IT SHALL BE CONNECTED TO A SEWAGE EJECTION PUMP.

**ELECTRICAL**

1. AN EXTERIOR LIGHT CONTROLLED BY AN INTERIOR SWITCH IS REQUIRED AT EVERY ENTRANCE.

2. A LIGHT CONTROLLED BY A SWITCH IS REQUIRED IN EVERY KITCHEN, BEDROOM, LIVING ROOM, UTILITY ROOM, LAUNDRY ROOM, DINING ROOM, BATHROOM, VESTIBULE, HALLWAY, GARAGE AND CARPORT. A SWITCHED RECEPTACLE MAY BE PROVIDED INSTEAD OF A LIGHT IN BEDROOMS AND LIVING ROOMS.

3. STAIRS SHALL BE LIGHTED, AND EXCEPT WHERE SERVING AN UNFINISHED BASEMENT SHALL BE CONTROLLED BY A 3 WAY SWITCH AT THE HEAD OF THE STAIRS.

4. BASEMENTS REQUIRE A LIGHT FOR EACH 30M CONTROLLED BY A SWITCH AT THE HEAD OF THE STAIRS.

**MECHANICAL VENTILATION**

A MECHANICAL VENTILATION SYSTEM IS REQUIRED WITH A TOTAL CAPACITY AT LEAST EQUAL TO THE SUM OF:  
1.00 L/S EACH FOR BASEMENT AND MASTER BEDROOM  
2.50 L/S EACH FOR EACH OTHER ROOM

2. A PRINCIPAL DWELLING EXHAUST FAN SHALL BE INSTALLED AND CONTROLLED BY A CENTRALLY LOCATED SWITCH IDENTIFIED AS SUCH.

3. SUPPLEMENTAL EXHAUST SHALL BE INSTALLED SO THAT THE TOTAL CAPACITY OF ALL KITCHEN, BATHROOM AND OTHER EXHAUSTS, LESS THE PRINCIPAL EXHAUST, IS NOT LESS THAN THE TOTAL REQUIRED CAPACITY.

4. A HEAT RECOVERY VENTILATOR MAY BE EMPLOYED IN LIEU OF EXHAUST TO PROVIDE VENTILATION, AN HRV IS REQUIRED IF AN INTAKE FUEL BURNING APPLIANCE IS INSTALLED.

5. SUPPLY AIR INTAKES SHALL BE LOCATED SO AS TO AVOID CONTAMINATION FROM EXHAUST OUTLETS.

**DOORS AND WINDOWS**

1. EVERY FLOOR LEVEL CONTAINING A BEDROOM AND NOT SERVED BY AN EXTERIOR DOOR SHALL CONTAIN AT LEAST 1 WINDOW HAVING AN UNOBSTRUCTED OPENING AREA OF 0.35M<sup>2</sup> AND NO DIMENSION LESS THAN 380MM, WHICH IS OBTAINABLE FROM THE INSIDE WITHOUT TOOLS. MAXIMUM SILL HEIGHT 1000MM FOR FIN. FLOORS ABOVE GRADE.

2. EXTERIOR HOUSE DOORS AND WINDOWS WITHIN 2000MM FROM GRADE SHALL BE CONSTRUCTED TO RESIST FORCED ENTRY. DOORS SHALL HAVE A DEADBOLT LOCK.

3. THE PRINCIPAL ENTRY DOOR SHALL HAVE EITHER A DOOR VIEWER, TRANSPARENT GLAZING OR A SIGHTGLIT THAT WILL FACILITATE CLIMBING.

4. MAXIMUM U-VALUE 1.8 FOR WINDOWS & SLIDING GLASS DOORS

**EXTERIOR WALLS**

1. NO WINDOWS OR OTHER UNPROTECTED OPENINGS ARE PERMITTED IN EXTERIOR WALLS LESS THAN 1200MM FROM PROPERTY LINES.

2. 15.9MM TYPE "Y" FIRE RATED DRYWALL SHALL BE INSTALLED ON THE INSIDE FACE OF ATTACHED GARAGE EXTERIOR WALLS AND GABLE ENDS OF ROOFS WHICH ARE LESS THAN

3. 1200MM AND NOT LESS THAN 600MM FROM PROPERTY LINES

4. NON COMBUSTIBLE CLADDING SHALL BE INSTALLED ON ALL EXTERIOR WALLS LESS THAN 600MM FROM PROPERTY LINES.

5. 15.9MM TYPE "Y" FIRE RATED DRYWALL SHALL BE INSTALLED ON THE INSIDE FACE OF ATTACHED GARAGE EXTERIOR WALLS AND GABLE ENDS OF ROOFS WHICH ARE LESS THAN

3. 1200MM AND NOT LESS THAN 600MM FROM PROPERTY LINES

6. BASEMENTS REQUIRE A LIGHT FOR EACH 30M CONTROLLED BY A SWITCH AT THE HEAD OF THE STAIRS.

7. SUPPLEMENTAL EXHAUST SHALL BE INSTALLED SO THAT THE TOTAL CAPACITY OF ALL KITCHEN, BATHROOM AND OTHER EXHAUSTS, LESS THE PRINCIPAL EXHAUST, IS NOT LESS THAN THE TOTAL REQUIRED CAPACITY.

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**ALARMS AND DETECTORS**

1. AT LEAST ONE SMOKE ALARM SHALL BE INSTALLED ON OR NEAR THE CEILING ON EACH FLOOR AND BASEMENT LEVEL 900MM OR MORE ABOVE AN ADJACENT LEVEL.

2. SMOKE ALARMS SHALL BE INTERCONNECTED TO A LOCATION SUCH THAT ONE IS WITHIN 9M OF EVERY BEDROOM DOOR AND NO MORE THAN 15M TRAVEL DISTANCE FROM ANY POINT ON A FLOOR.

3. A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED ADJACENT TO EVERY SLEEPING AREA FOR DWELLINGS WITH FUEL BURNING FIREPLACE OR STOVE, OR AN ATTACHED GARAGE.



SCHEDULE B:

COMMENTS FROM AGENCIES, BUILDING STANDARDS & DEVELOPMENT PLANNING

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval/No Conditions

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

**Date:** May 27<sup>th</sup> 2025

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:**

**Related Files:** **A066-25**

**Applicant:** Rahul Goel

**Location** 321 Woodgate Pines Drive



**COMMENTS:**

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

**References:**

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

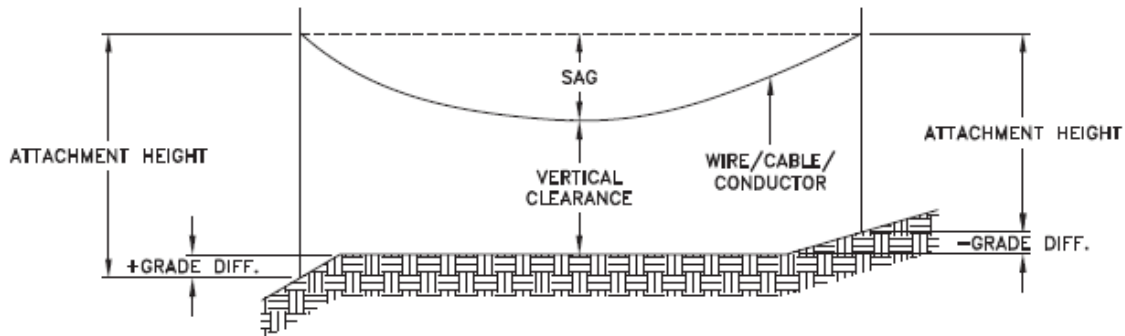
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 + GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

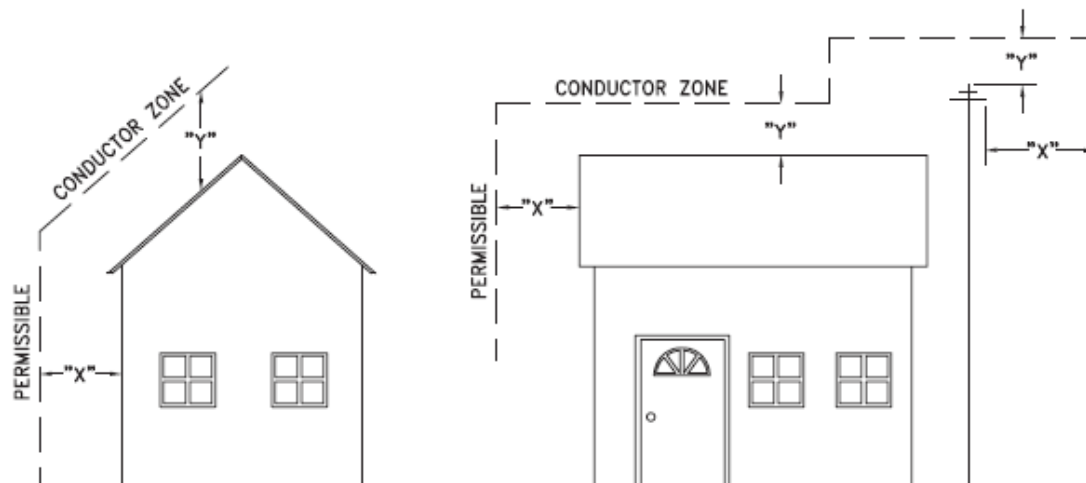
**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARNACE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

### NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

### MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P.Eng. Approval By: D. Dadwani

**To:** Committee of Adjustment

**From:** Catherine Saluri, Building Standards Department

**Date:** June 19, 2025

**Applicant:** Rahul Goel

**Location:** 321 Woodgate Pines Drive

**File No.(s):** A066/25

**Zoning Classification:**

The subject lands are zoned R1, First Density Residential Zone and subject to Exception 14.953 under Zoning Bylaw 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	For a residential use in the R1 Zone, any portion of a yard in excess of 135 m <sup>2</sup> shall be comprised of a minimum of <b>60%</b> soft landscape. [Section 4.19.1.1]	To permit a minimum of <b>51.90%</b> of the area of the rear yard in excess of 135 m <sup>2</sup> to be comprised of soft landscaping.
2	A residential accessory structure with a height greater than 2.8 m shall not be located closer than <b>2.4 m</b> to any lot line. [Section 4.1.2.b]	To permit a residential accessory structure (cabana) with a height greater than 2.8 m to be located a minimum of <b>1.22 m</b> from the rear lot line.
3	A residential accessory structure with a height greater than 2.8 m shall not be located closer than <b>2.4 m</b> to any lot line. [Section 4.1.2.b]	To permit a residential accessory structure (cabana) with a height greater than 2.8 m to be located a minimum of <b>1.0 m</b> from the westerly interior side lot line.
4	In any Residential Zone, the maximum height of a residential accessory structure shall be 3.0 m. [Section 4.1.4.1]	To permit a maximum height of <b>3.26 m</b> for a residential accessory structure (cabana).

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file.

**Other Comments:**

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawings for building permit.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

None

\* Comments are based on the review of documentation supplied with this application.

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer

**From:** Nancy Tuckett, Director of Development and Parks Planning

**Date:** June 30, 2025

**Name of Owners:** Rahul Goel, Shikha Goel

**Location:** 321 Woodgate Pines Drive

**File No.(s):** A066/25

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**Proposed Variance(s):**

1. To permit a minimum of **51.90%** of the area of the rear yard in excess of 135 m<sup>2</sup> to be comprised of soft landscaping.
2. To permit a residential accessory structure with a height greater than 2.8 m to be located a minimum of **1.22 m** from the rear lot line.
3. To permit a residential accessory structure with a height greater than 2.8 m to be located a minimum of **1.0 m** from the westerly interior side lot line.
4. To permit a maximum height of **3.26 m** for a residential accessory structure.

**By-Law 001-2021 Requirement(s):**

1. In the R1 Zone, any portion of a yard in excess of 135 m<sup>2</sup> shall be comprised of a minimum of **60%** soft landscape.
2. A residential accessory structure with a height greater than 2.8 m shall not be located closer than **2.4 m** to any lot line.
3. A residential accessory structure with a height greater than 2.8 m shall not be located closer than **2.4 m** to any lot line.
4. A maximum height of **3.0 m** is permitted for a residential accessory structure.

**Official Plan:**

Vaughan Official Plan 2010 ('VOP 2010'): "Low Rise Residential".

**Comments:**

The Owners are seeking relief to permit a cabana in the rear yard with the above noted variances.

The Development and Parks Planning Department has no objections to Variance 1 to reduce the minimum required soft landscaping for the portion of the rear yard in excess of 135 m<sup>2</sup> from 60% to 51.90%. The reduction represents approximately 20 m<sup>2</sup> of soft landscaping. Development Engineering staff have reviewed the proposed reduction and have no concerns with the proposed soft landscaping percentage and do not anticipate any impacts on the stormwater management functions of the rear yard. The requested variance is minor and meets the intent of the zoning provision.

The Development and Parks Planning Department has no objections to Variances 2 and 3 to reduce the rear and interior side yard setbacks to accommodate the proposed cabana. The location of the proposed cabana is not parallel to the rear and westerly interior side lot lines. The proposed setbacks of 1.22 m and 1.0 m expands to 1.99 m and 1.5 m toward the east and rear of the cabana. The proposed setbacks provide sufficient separation for access and maintenance.

The Development and Parks Planning Department has no objections to Variance 4 to permit an increased height of the proposed cabana from 3.0 m to 3.26 m. The majority of the cabana is unenclosed, which minimizes massing impacts on neighbouring properties. The proposed cabana is compliant with lot coverage and is not anticipated to incur any negative impacts on the neighbouring properties.

Accordingly, the Development and Parks Planning Department supports the requested variance and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development and Parks Planning Department recommends approval of the application.

**Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

**Comments Prepared by:**

Harry Zhao, Planner

Janany Nagulan, Senior Planner

**From:** [Cameron McDonald](#)  
**To:** [Committee of Adjustment Mailbox](#)  
**Subject:** [External] RE: A066/25 (321 Woodgate Pines Drive) - REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** May-27-25 1:40:38 PM

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Hello,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from the TRCA.

Based on the above, we have no comments/requirements.

Regards,

**Cameron McDonald**

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:4378801925)

E: [cameron.mcdonald@trca.ca](mailto:cameron.mcdonald@trca.ca)

A: [5 Shoreham Drive, Toronto, ON, M3N 1S4](#) | [trca.ca](http://trca.ca)





**From:** [Development Services](#)  
**To:** [Committee of Adjustment Mailbox](#)  
**Subject:** [External] RE: A066/25 (321 Woodgate Pines Drive) - REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Monday, May 26, 2025 10:07:16 AM

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Good morning,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Regards,  
Gabrielle

**Gabrielle Hurst MCIP, RPP**

Associate Planner, Development Planning, Economic and Development Services Branch  
Corporate Services Department

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The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 8V3

**O:** 905-830-4444 ext. 71538 | [developmentservices@york.ca](mailto:developmentservices@york.ca) |

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**SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE**

None

**SCHEDULE D: BACKGROUND**

None