

ITEM: 6.6	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A065/25
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Report Date: July 4, 2025

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):

Additional comments from departments and agencies received after the publication of the report will be made available on the City’s [website](#).

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Engineering	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Forestry	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
MTO	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant	Jarvis Design Firm		07/02/2025	Letter of support

BACKGROUND (SCHEDULE D, IF REQUIRED)	
* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.	
Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background

	MINOR VARIANCE APPLICATION FILE NUMBER A065/25
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CITY WARD #:	5
APPLICANT:	Oren & Sandra Shemesh
AGENT:	Jarvis Design Firm
PROPERTY:	41 Idleswift Drive, Thornhill
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	N/A
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit an extension to the existing garage. Relief is also being requested to permit a circular driveway with access to two roads and to increase the cumulative width of the circular driveway.

The following variances have been requested from the City's Zoning By-law to accommodate the above proposal:

The subject lands are zoned **R1E(EN) – First Density Residential Zone (Established Neighbourhood)** under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The minimum required front yard is 9.0m . Section 7 table 7-3	To permit a minimum front yard of 4.9m .
2	The maximum permitted lot coverage is 23%. Section 7 Table 7-3 note 2	To permit a maximum lot coverage of 25% .
3	Both accesses to a circular driveway shall be located on the same lot line. For clarity, a circular driveway shall not provide access to more than one road . Section 6.7.4 2	To permit a circular driveway with access from two roads .
4	The maximum cumulative width of both accesses to a circular driveway, as measured at the street line, shall be 9.0 m . Section 6.7.4 4	To permit the maximum cumulative width of both accesses to a circular driveway of 10.6m .

HEARING INFORMATION
DATE OF MEETING: Thursday, July 10, 2025 TIME: 6:00 p.m. MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2 nd Floor), 2141 Major Mackenzie Drive LIVE STREAM LINK: Vaughan.ca/LiveCouncil
PUBLIC PARTICIPATION
<p>If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the Request to Speak Form and submit to cofa@vaughan.ca</p> <p>If you would like to submit written comments, please quote file number above and submit by mail or email to:</p> <p>Email: cofa@vaughan.ca</p> <p>Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1</p> <p>To speak electronically, pre-registration is required by completing the Request to Speak Form on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.</p>

HEARING INFORMATION	
THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.	
INTRODUCTION	
<p>Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.</p> <p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:</p> <p>That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p>	
COMMITTEE OF ADJUSTMENT	
Date Public Notice Mailed:	June 26, 2025
Date Applicant Confirmed Posting of Sign:	May 30, 2025
Applicant Justification for Variances: <small>*As provided in Application Form</small>	To optimize the use of the property while maintaining compatibility with the surrounding area.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None
BUILDING STANDARDS (ZONING)	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None
DEVELOPMENT PLANNING	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	TBD
DEVELOPMENT ENGINEERING	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
<p>The proposed work by the Owner/Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City’s Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer. The Owner / Applicant shall ensure that the proposed (fill in proposed development) does not negatively impact neighbours due to surface water runoff. The property should be properly graded, ensuring that surface water from the (fill in proposed development) does not go onto adjacent lots in accordance with the City's Engineering Standards. It's important to note that (fill in proposed development based on Section 2.2.1 - Table 1.0) necessitates a Grading Permit. Once the Grading Permit is obtained, please reach out to the Development Engineering Reviewer to clear the Condition imposed on this application.</p>	
Development Engineering Recommended Conditions of Approval:	None

PARKS, FORESTRY & HORTICULTURE (PFH)	
Recommended condition of approval:	
PFH Recommended Conditions of Approval:	The Applicant/owner shall obtain a “Private Property Tree Removal & Protection Permit - Construction or Infill” through the forestry division prior to any construction works on the subject property.

DEVELOPMENT FINANCE	
No comment, no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES	
No comments received to date	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC)	
No comments received to date	
Building Inspection Recommended Conditions of Approval:	None

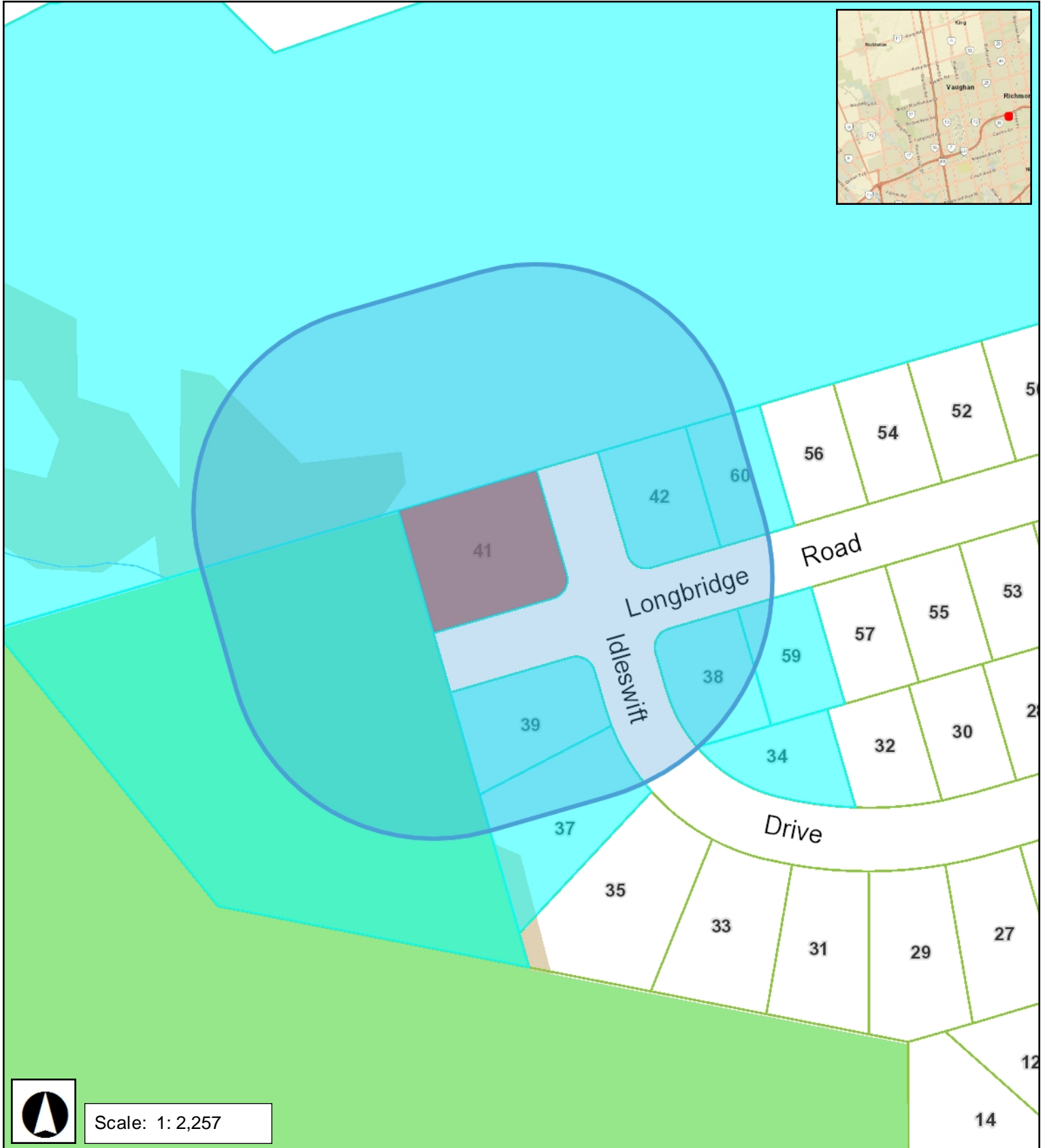
FIRE DEPARTMENT	
No comments received to date	
Fire Department Recommended Conditions of Approval:	None

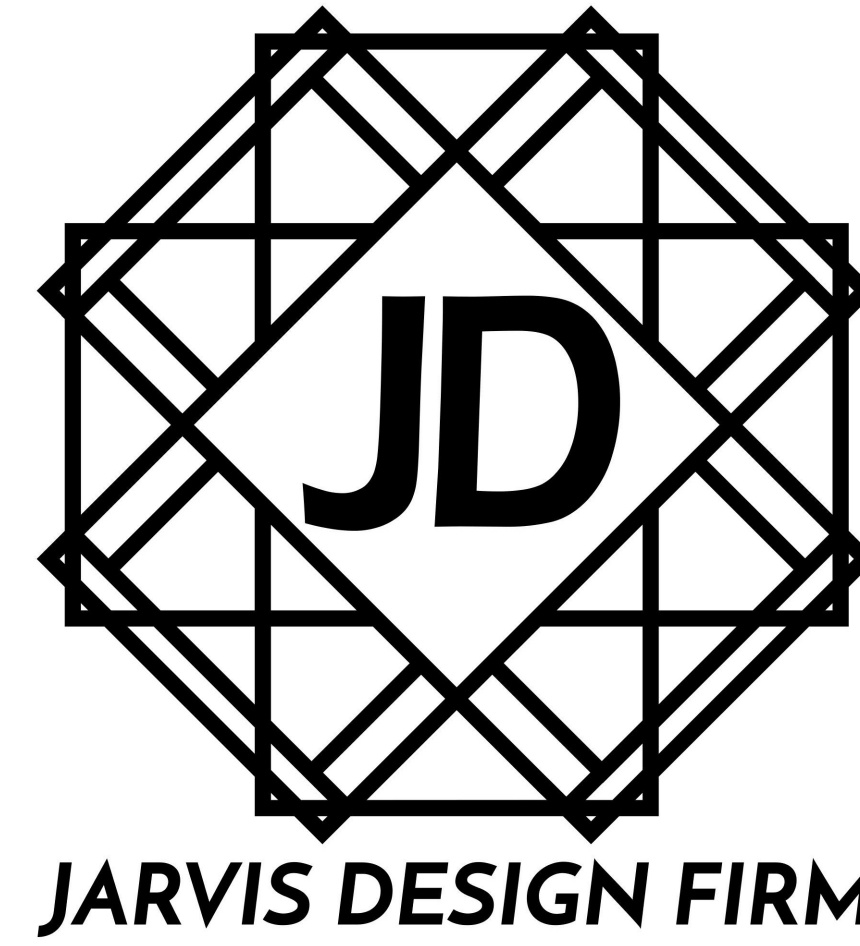
RECOMMENDED CONDITIONS OF APPROVAL SUMMARY		
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:		
#	DEPARTMENT / AGENCY	CONDITION
1	Development Planning Alyssa.pangilinan@vaughan.ca	TBD
2	Parks, Forestry and Horticulture Operations kari.sthyrhansen@vaughan.ca	The Applicant/owner shall obtain a “Private Property Tree Removal & Protection Permit - Construction or Infill” through the forestry division prior to any construction works on the subject property.
<i>All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.</i>		

IMPORTANT INFORMATION
CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION	
<p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>	
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>	
<p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.</p>	

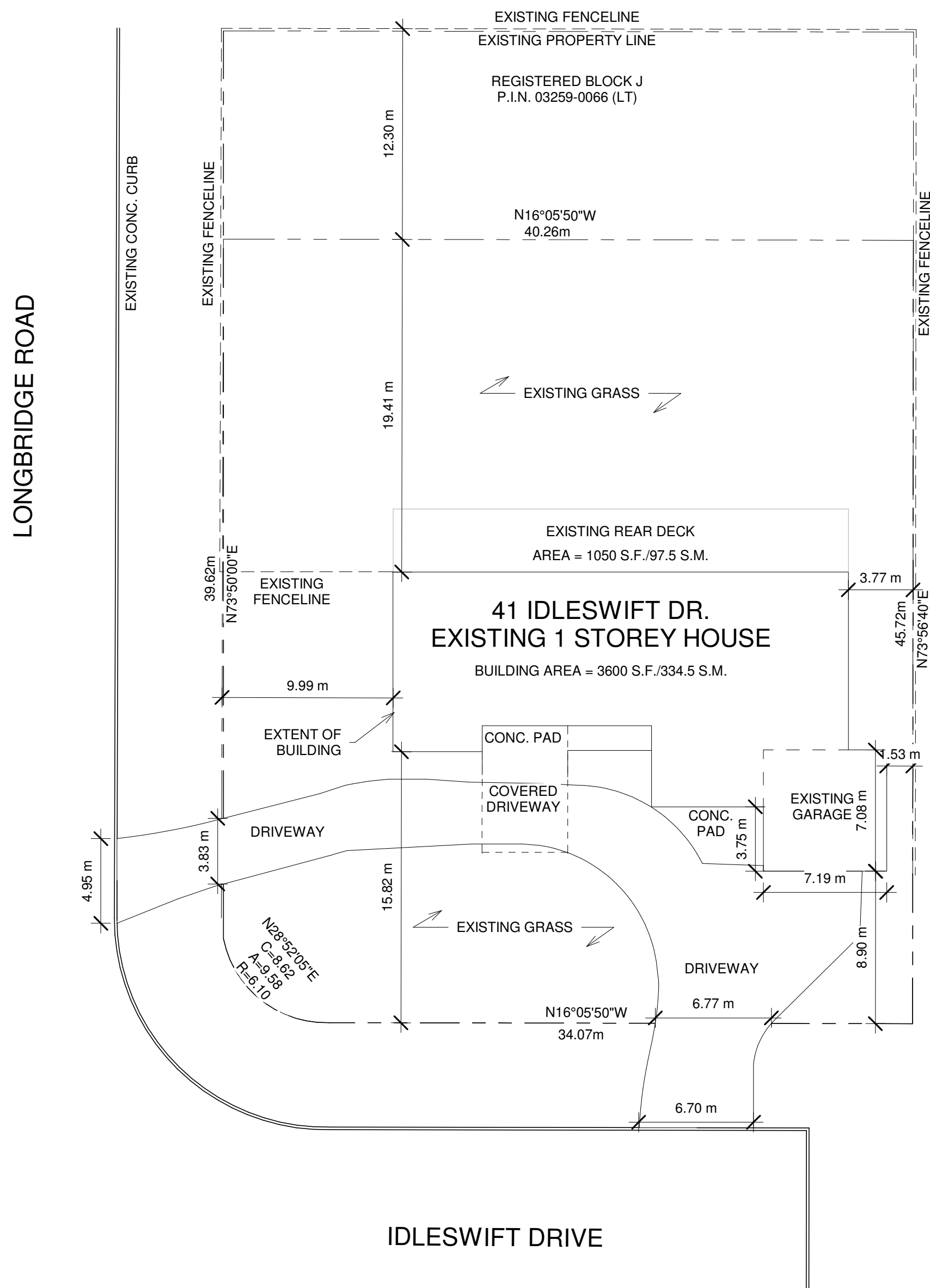
SCHEDULE A: DRAWINGS & PLANS



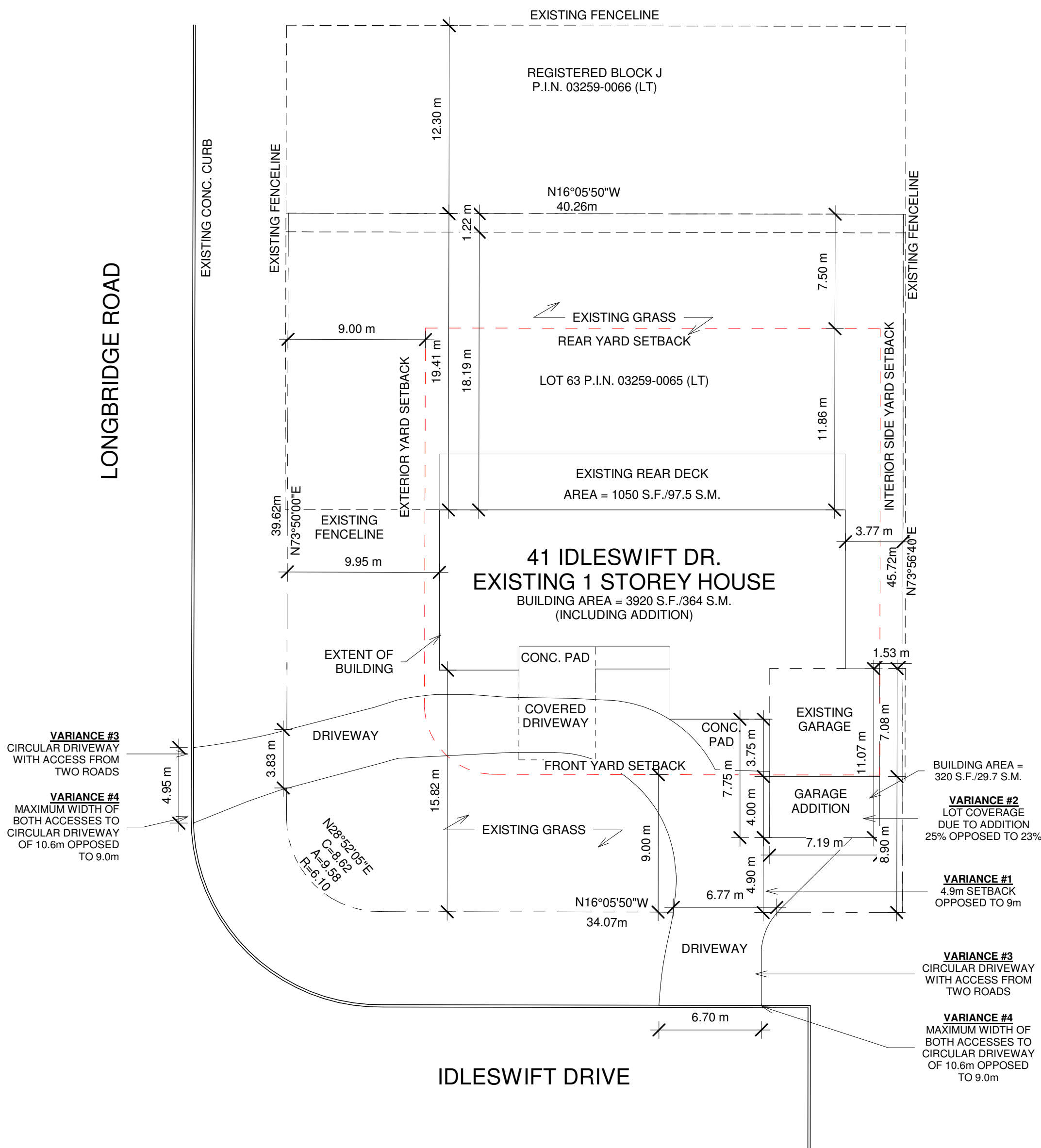


GARAGE ADDITION

41 IDLESWIFT DR, THORNHILL, ON.



① INFORMAL SITE PLAN (EXISTING)
1" = 20'-0"



② INFORMAL SITE PLAN (PROPOSED)
1" = 20'-0"

SITE INFORMATION (ADDITION IN R1E, EN ZONE):		
DESCRIPTION:	REQUIRED:	PROVIDED:
MINIMUM LOT FRONTAGE:	30m	35.4m EXISTING
MINIMUM LOT AREA:	845m ²	1835m ² EXISTING
MINIMUM FRONT YARD SETBACK:	9m	4.9m *VARIANCE REQUIRED*
MINIMUM REAR YARD SETBACK:	7.5m	>7.5m
MINIMUM INTERIOR SIDE YARD SETBACK:	1.5m	>1.5m
MINIMUM EXTERIOR SIDE YARD SETBACK:	9m	8.5m EXISTING
ADDITION BUILDING AREA:	N/A	29.7m ²
TOTAL PRIMARY BUILDING AREA (EXISTING):	N/A	334.5m ²
TOTAL REAR DECK AREA (EXISTING):	N/A	97.5m ²
TOTAL BUILDING AREAS:	N/A	461.7m ²
MAXIMUM LOT COVERAGE (%)EXISTING:	23%	23.5% (432m ²)
MAXIMUM LOT COVERAGE (%)PROPOSED:	23%	25% (461.7m ²) *VARIANCE REQUIRED*
MAXIMUM HEIGHT:	9.5m	3.5m

NOTE:
IT IS THE CONSTRUCTOR'S RESPONSIBILITY TO ENSURE THAT ALL CONSTRUCTION CONFORMS TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE. NOTATIONS MADE ON THESE DRAWINGS ARE FOR INFORMATION AND GUIDANCE ONLY AND DO NOT NECESSARILY ADDRESS ALL AREAS OF CONSTRUCTION. ALL CONSTRUCTION IS SUBJECT TO FIELD REVIEW AND APPROVAL.

ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY DISCREPANCIES MUST BE REPORTED TO THE CONSULTANT BEFORE COMMENCING WORK.

ALL DRAWINGS REMAIN THE PROPERTY OF THE CONSULTANT AND MAY NOT BE REPRODUCED OR REVISED WITHOUT THE CONSULTANT'S PERMISSION.

STAMP		
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, INCLUDING THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.		
QUALIFICATION INFORMATION		
Quinton Jarvis	<i>Q Jarvis</i>	112240
NAME	SIGNATURE	BCIN #
REGISTRATION INFORMATION		
Jarvis Design Firm	122736	
FIRM NAME	FIRM BCIN #	

NO.	ISSUED FOR	DATE
1	MINOR	JUNE 23, 2025
2	VARIANCE	
3	REV.	
4		
5		
6		
7		
8		
9		

JARVIS DESIGN FIRM
27 METCALFE ST. E. STRATHROY, ON N7G 1N9
CONTACT@JARVISDESIGNFIRM.COM
WWW.JARVISDESIGNFIRM.COM
226-577-7979

GARAGE ADDITION	
41 IDLESWIFT DR. THORNHILL, ON.	

INFORMAL SITE PLAN	
Project Number	N/A
Date	JUNE 23, 2025
Drawn by	RRS
Checked by	QJ
Scale	1" = 20'-0"

A0.01

SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
MTO	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: May 30th 2025

Attention: **Christine Vigneault**

RE: Request for Comments

File No.:

Related Files: **A065-25**

Applicant: Jarvis Design Firm

Location 41 Idleswift Drive

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

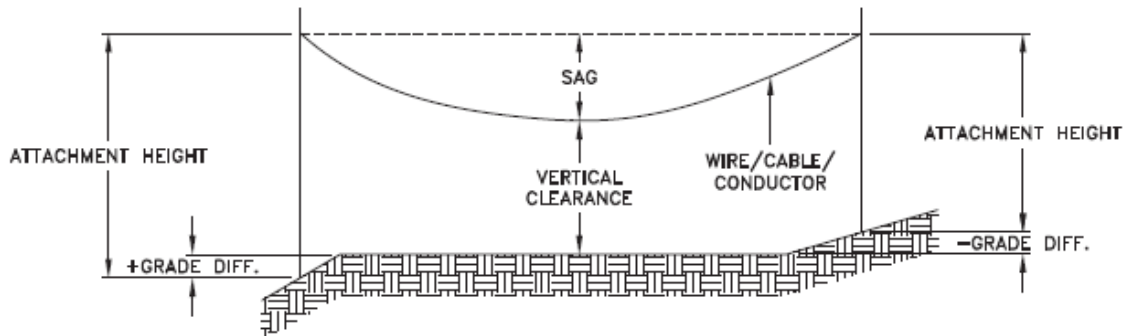
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 + GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

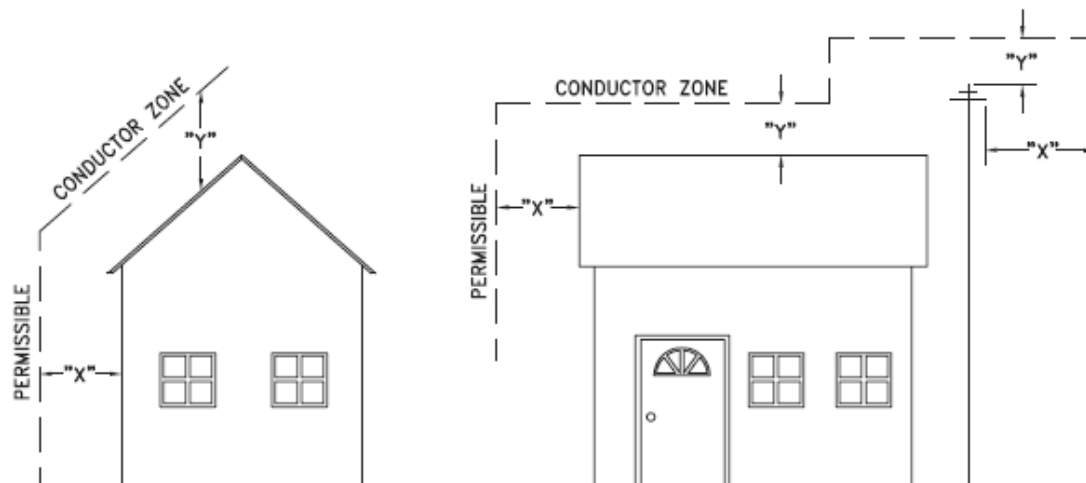
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P.Eng. Approval By: D. Dadwani

To: Committee of Adjustment

From: Bernd Paessler, Building Standards Department

Date: June 25, 2025

Applicant: Jarvis Design Firm

Location: 41 Idleswift Drive
PLAN M681 Lot 63

File No.(s): A065/25

Zoning Classification:

The subject lands are zoned R1E(EN) – First Density Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
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3	Both accesses to a circular driveway shall be located on the same lot line. For clarity, a circular driveway shall not provide access to more than one road . Section 6.7.4 2	To permit a circular driveway with access from two roads .
4	The maximum cumulative width of both accesses to a circular driveway, as measured at the street line, shall be 9.0 m . Section 6.7.4 4	To permit the maximum cumulative width of both accesses to a circular driveway of 10.6m .

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

Order No. 21-108081, Order to Comply for , Issue Date: Apr 08, 2021

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

From: [Zahir, Amjad \(MTO\)](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A065/25 - 41 IDLESWIFT DRIVE - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: May-30-25 12:32:17 PM
Attachments: [image001.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello

The Ministry of Transportation (MTO) has no comments or concerns regarding the noted application, as the location is outside the MTO permit control area.

Should you require further clarification, please feel free to reach out.

Amjad Zahir | Corridor Management Planner (East)

Highway Corridor Management Section | Central Operations | Ministry of Transportation

Telephone: 437-925-8232 | Email: amjad.zahir@ontario.ca

Ontario 

From: [Cameron McDonald](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A065/25 - 41 IDLESWIFT DRIVE - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Monday, June 9, 2025 1:56:59 PM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good afternoon,

A portion of the subject property (41 Idleswift Drive) is within TRCA's Regulated Area of the Don River Watershed due to a valley corridor to the west of the subject lands. The development associated with Minor Variance Application A065/25 is outside and sufficiently setback from TRCA's Regulated Area. TRCA staff have no objection to Minor Variance Application A065/25.

Thank you,

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:(437)880-1925)

E: cameron.mcdonald@trca.ca

A: [5 Shoreham Drive, Toronto, ON, M3N 1S4](#) | trca.ca



From: [Development Services](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A065/25 - 41 IDLESWIFT DRIVE - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Tuesday, June 3, 2025 10:35:20 AM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good afternoon,

The Regional Municipality of York has completed its review of the above minor variance and has no comment,

Regards,

Gabrielle Hurst MCIP, RPP

Associate Planner, Development Planning, Economic and Development Services Branch
Corporate Services Department

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 8V3

O: 905-830-4444 ext. 71538 | developmentservices@york.ca |

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant	Jarvis Design Firm		07/02/2025	Letter of support

From: [Rachael Rogers-Stewart](#)
To: [Committee of Adjustment Mailbox](#)
Cc: [Andrea Buchanan](#); [Quinton](#); [orer](#) [REDACTED]
Subject: [External] Written Comments for Minor Variance Application – 41 Idleswift Drive, Thornhill
Date: Wednesday, July 2, 2025 8:53:39 AM
Attachments: [1672847750671000_87669944.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Dear Committee Members,

We are submitting this written statement in support of the Minor Variance Application for 41 Idleswift Drive. We kindly ask that our comments be considered on the public record in lieu of speaking during the hearing, unless there are questions from the Committee. Should any clarifications be required, we are available to respond. Otherwise, in the interest of meeting efficiency, we do not intend to take additional time to present verbally.

Summary of Requested Variances:

1. Front Yard Setback:

- *Required:* 9.0 m
- *Proposed:* 4.9 m

2. Maximum Lot Coverage:

- *Permitted:* 23%
- *Proposed:* 25%

3. Circular Driveway Access to More Than One Road:

- *Zoning Requirement:* Both accesses must be on the same lot line
- *Proposed:* Access from two roads

4. Circular Driveway Cumulative Width:

- *Permitted:* 9.0 m
- *Proposed:* 10.6 m

Supporting Rationale:

- The existing driveways are long-standing site features. Their retention maintains the current character and function of the property and surrounding streetscape.
- The requested increase in lot coverage is minor in nature, representing a modest addition to the existing building footprint. This increase does not negatively impact adjacent properties or the streetscape.
- The garage addition will improve the usability of the site without disrupting the visual flow or the established built form of the neighbourhood.

The existing corner lot configuration and landscaping help to soften the appearance of the circular driveway and mitigate potential impacts associated with the additional width.

Tree Removal and Replacement:

The owners have consulted with certified arborists who confirmed that the two front yard trees will require removal to facilitate construction activities within a 6 m radius. A separate tree removal permit is in progress. As part of the planned mitigation, four replacement trees are proposed in accordance with City requirements.

Closing:

We appreciate the Committee's time and consideration of this application. We are available to answer questions at the hearing if necessary. Otherwise, we respectfully request that this statement be accepted as our formal representation in support of the variances.

Best Regards,

Rachael
Architectural Technologist



JARVIS DESIGN FIRM

SCHEDULE D: BACKGROUND

None