

ITEM: 6.2	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A042/25
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Report Date: July 4, 2025

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):

Additional comments from departments and agencies received after the publication of the report will be made available on the City’s [website](#).

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Engineering	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Forestry	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

BACKGROUND (SCHEDULE D, IF REQUIRED)	
* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.	
Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A042/25

CITY WARD #:	5
APPLICANT:	Amin Niaziboroumand & Nilufar Zameni
AGENT:	Frank Rotundo
PROPERTY:	49 Longbridge Road, Thornhill
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	N/A
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed dwelling.

The following variances have been requested from the City's Zoning By-law to accommodate the above proposal:

The subject lands are zoned R1E (EN), **First Density Residential Zone** (Established Neighbourhood) under Zoning Bylaw 001-2021.

#	Zoning By-law 001-2021	Variance Requested
1	A minimum lot frontage of 30 m is required. [Table 7-3]	To permit a minimum lot frontage of 24.38 m .
2	A maximum lot coverage of 20% is permitted. [Table 7-3]	To permit a maximum lot coverage of 26.5% .
3	A maximum height of 8.50 m is permitted. [Table 7-3 and Section 4.5]	To permit a maximum height of 10.62 m for a dwelling.
4	A minimum westerly yard of 2.43 m is required. [Table 7-3 and Section 4.5]	To permit a minimum westerly yard of 1.78 m for a dwelling.
5	A minimum easterly yard of 2.13 m is required. [Table 7-3 and Section 4.5]	To permit a minimum easterly yard of 1.78 m for a dwelling.
6	A porch, including access stairs from grade, is permitted to encroach to a maximum of 2.0 m into the minimum required front yard of 9.0 m . (A 7.0 m setback from the front lot line is required). [4.13 and Table 4-1]	To permit a porch, including access stairs from grade, to encroach to a maximum of 3.93 m into the minimum required front yard of 9.0 m . (A 5.07 m setback from the front lot line is proposed).
7	A minimum westerly yard of 2.43 m is required. [4.1.2.1a and 4.5.2]	To permit a minimum westerly yard of 0.30 m for a residential accessory building (shed).
8	A minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line. [4.13.3]	To permit a minimum distance of 0.20 m from the residential accessory structure eaves to the interior side lot line.

HEARING INFORMATION

DATE OF MEETING: Thursday, July 10, 2025

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

HEARING INFORMATION
<p>Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1</p> <p>To speak electronically, pre-registration is required by completing the Request to Speak Form on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.</p> <p>THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS <u>NOON</u> ON THE LAST BUSINESS DAY BEFORE THE MEETING.</p>

INTRODUCTION
<p>Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.</p> <p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:</p> <p>That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p>

COMMITTEE OF ADJUSTMENT	
Date Public Notice Mailed:	June 6, 2025
Date Applicant Confirmed Posting of Sign:	June 24, 2025
Applicant Justification for Variances: <small>*As provided in Application Form</small>	By-law is too restrictive based on existing lot size.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	TBD

DEVELOPMENT ENGINEERING	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
Application under review.	
Development Engineering Recommended Conditions of Approval:	TBD

PARKS, FORESTRY & HORTICULTURE (PFH)	
Recommended condition of approval:	

PARKS, FORESTRY & HORTICULTURE (PFH)	
PFH Recommended Conditions of Approval:	The Applicant/owner shall obtain a “Private Property Tree Removal & Protection Permit - Construction or Infill” through the forestry division prior to any construction works on the subject property.

DEVELOPMENT FINANCE	
That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.	
That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.	
That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.	
That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.	
Demolition development charge credits valid for a period of 48 months from date of demolition permit issuance. After 48 months, full development charges apply as per by-laws.	
Development Finance Recommended Conditions of Approval:	None

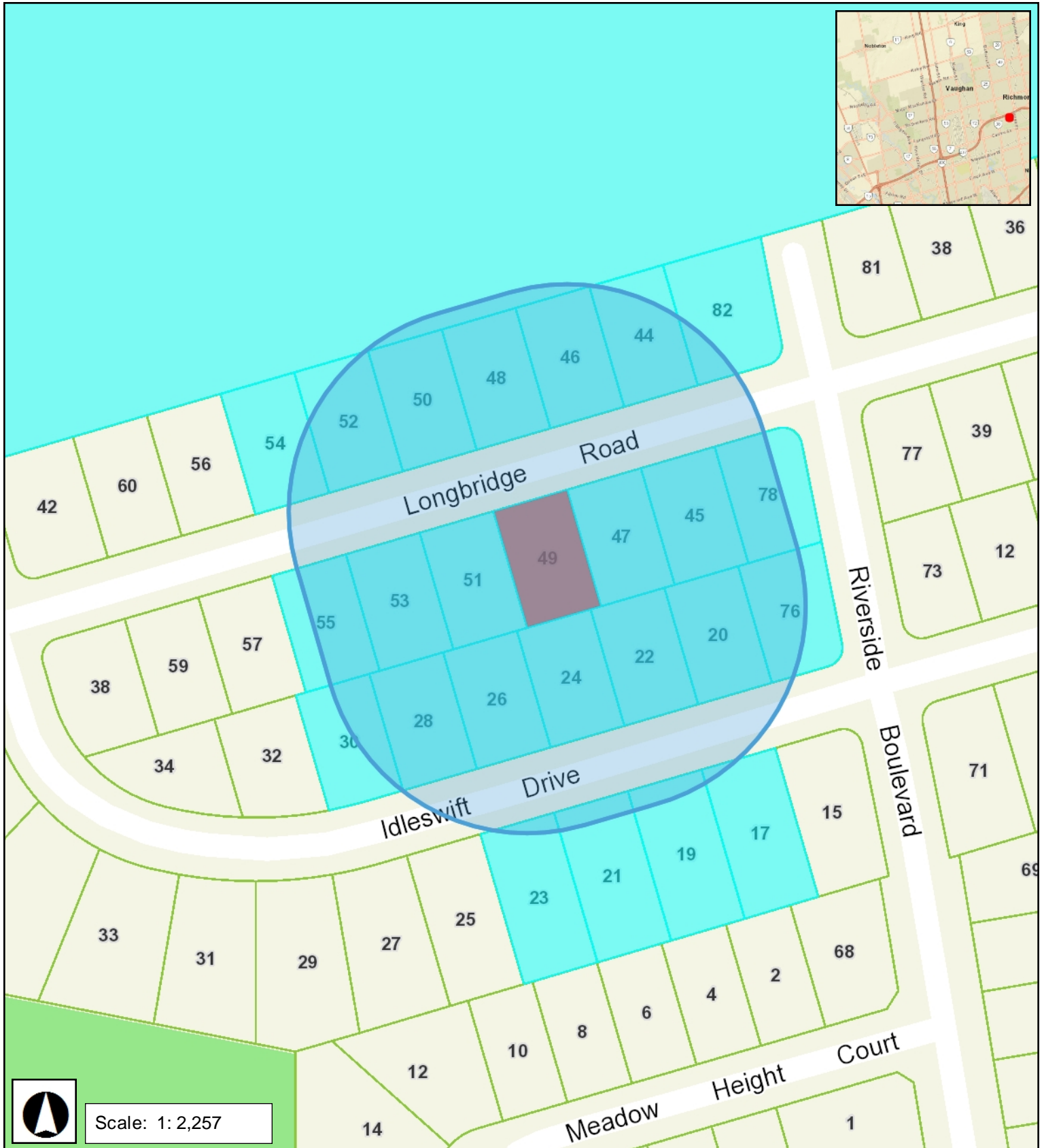
BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES	
No comments received to date	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC)	
No comments received to date	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT	
No comments received to date	
Fire Department Recommended Conditions of Approval:	None

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY		
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:		
#	DEPARTMENT / AGENCY	CONDITION
1	Development Planning Alyssa.pangilinan@vaughan.ca	TBD
2	Development Engineering Jonal.hall@vaughan.ca	TBD
3	Parks, Forestry and Horticulture Operations kari.sthyrhansen@vaughan.ca	The Applicant/owner shall obtain a “Private Property Tree Removal & Protection Permit - Construction or Infill” through the forestry division prior to any construction works on the subject property.
<i>All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.</i>		

IMPORTANT INFORMATION
<p>CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p>
<p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.</p>
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>
<p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will not receive notice.</p>

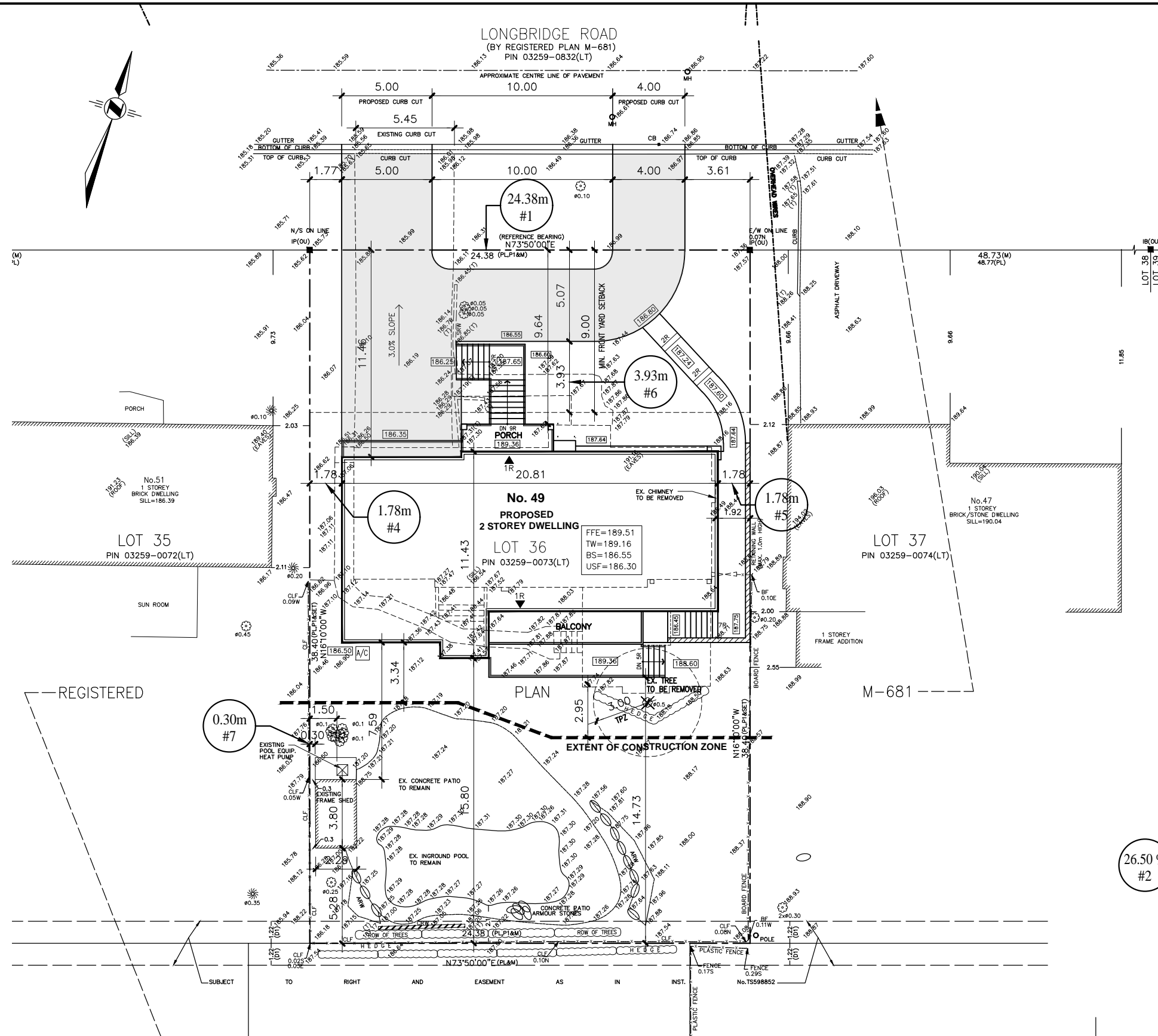


FRONT YARD AREA CALCULATION:	
PROPOSED FRONT YARD AREA	- 253.36 m2
ASPHALT DRIVEWAY	- 122.89 m2
MIN. FRONT YARD LANDSCAPE REQUIRED 253.36/50 = 126.86 m2 (HARD & SOFT LANDSCAPE)	
SOFT LANDSCAPE AREA	- 117.55 m2
MIN. SOFT LANDSCAPE REQUIRED: (126.86m2 x 60% =76.12m2)	
HARD LANDSCAPE AREA	- 12.92 m2
TOTAL HARD & SOFT LANDSCAPE	- 130.47 m2 (51.50%)

REARYARD AREA CALCULATION:	
- TOTAL REAR YARD AREA	- 384.90 m2
(MINUS 135m2)	- 135.00 m2
	= 249.90 m2
SOFTSCAPE REQUIREMENT - 60% OF 249.90 m2 = 149.94 m2	
PROPOSED HARDSCAPE (37.73%)	- 145.24 m2
PROPOSED SOFTSCAPE (62.27%)	- 239.66 m2

SITE STATISTICS

EX. LOT AREA	- 936.07 m2	10,076 s.f.
EX. BUILDING FOOTPRINT (TO BE DEMOLISHED)	- 154.29 m2	1,661 s.f.
EX. SHED (TO REMAIN)	- 8.70 m2	94 s.f.
		0.93 %
PROPOSED DWELLING FOOTPRINT	- 215.34 m2	2,318 s.f.
PROPOSED FRONT PORCH	- 8.09 m2	87 s.f.
		0.86 %
PROPOSED COVERED BALCONY	- 15.89 m2	171 s.f.
		1.70 %
PROPOSED LOT COVERAGE	- 248.02 m2	26.50 %
PROPOSED GFA:		
GROUND FLOOR AREA	- 198.25 m2	2,134 s.f.
SECOND FLOOR AREA (NOT INCLUDING OPEN TO BELOW)	- 199.55 m2	2,148 s.f.
TOTAL GROSS FLOOR AREA	- 397.80 m2	4,282 s.f.



SITE PLAN

SCALE: 1:250

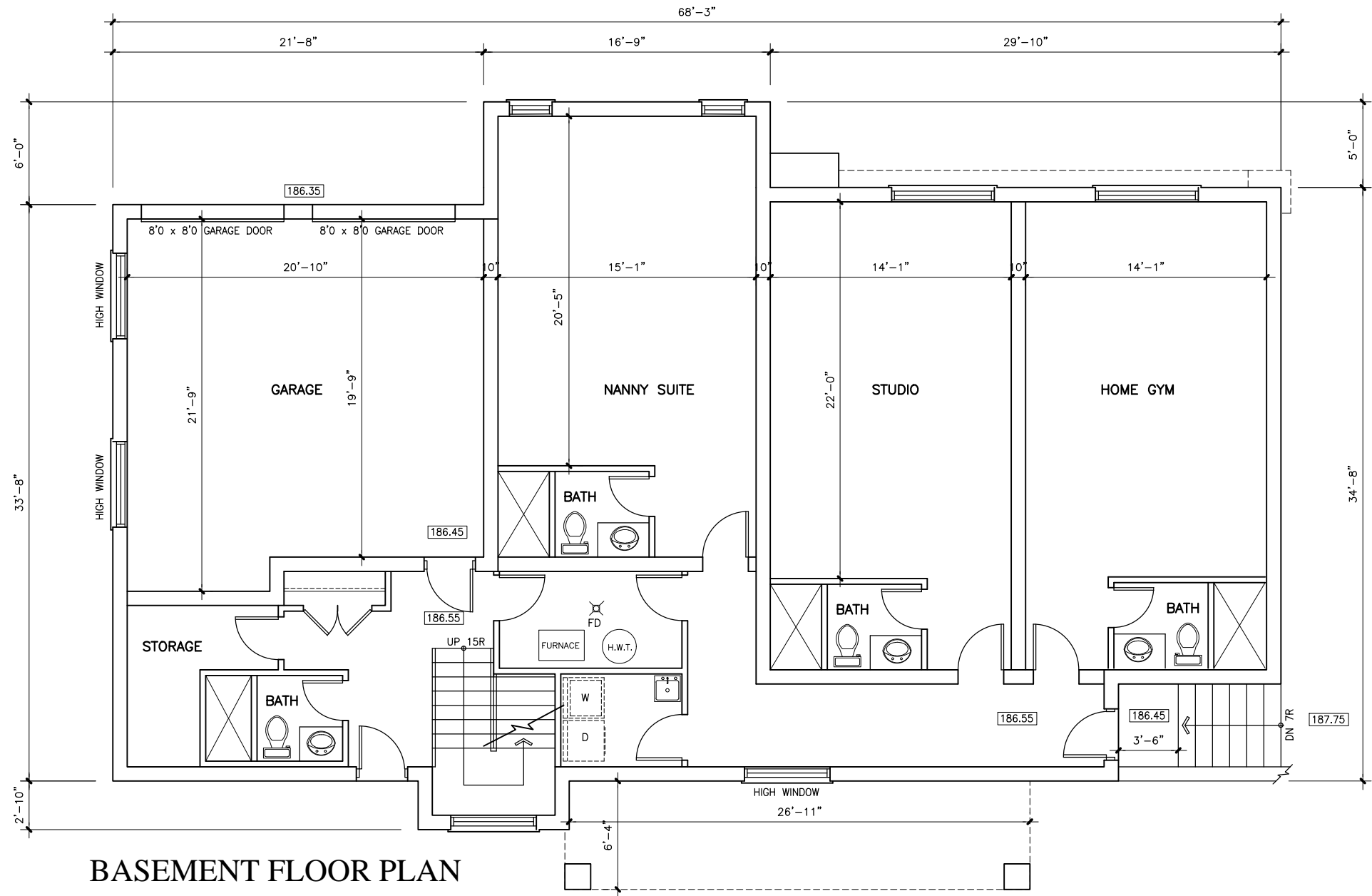


Project Architect:
Frank Rotundo Architect Inc.
66 Raintree Cres.,
Richmond Hill, ON. L4E 3T6
(416) 358-1103
frankrotundo@rogers.com

No.	Date	Revision
9	JUN. 26/25	VERIFIED ALL VARIANCES
8	JUN. 24/25	REDUCED DWELLING COVERAGE
7	JUN. 23/25	REVISED DWELLING COVERAGE
6	MAY. 15/25	REVISED LAND. AREA AS PER CITY COMMENTS
5	MAY. 09/25	REVISED AS PER CITY ZONING COMMENTS
4	APR. 25/25	REVISED AS PER CITY ZONING COMMENTS
3	MAR. 25/25	ISSUED FOR COMMITTEE OF ADJUSTMENT
2	JAN. 30/25	REVISED
1	NOV. 22/24	ISSUED FOR REVIEW

Project:
49 LONGBRIDGE RD
PROPOSED
2 STOREY RESIDENTIAL
VAUGHAN, ON.

Drawing Title	
SITE PLAN	
Scale	AS SHOWN
Date	
Project Number	
Drawing Number	
A.1	



BASEMENT FLOOR PLAN

SCALE: 1/8"=1'-0"

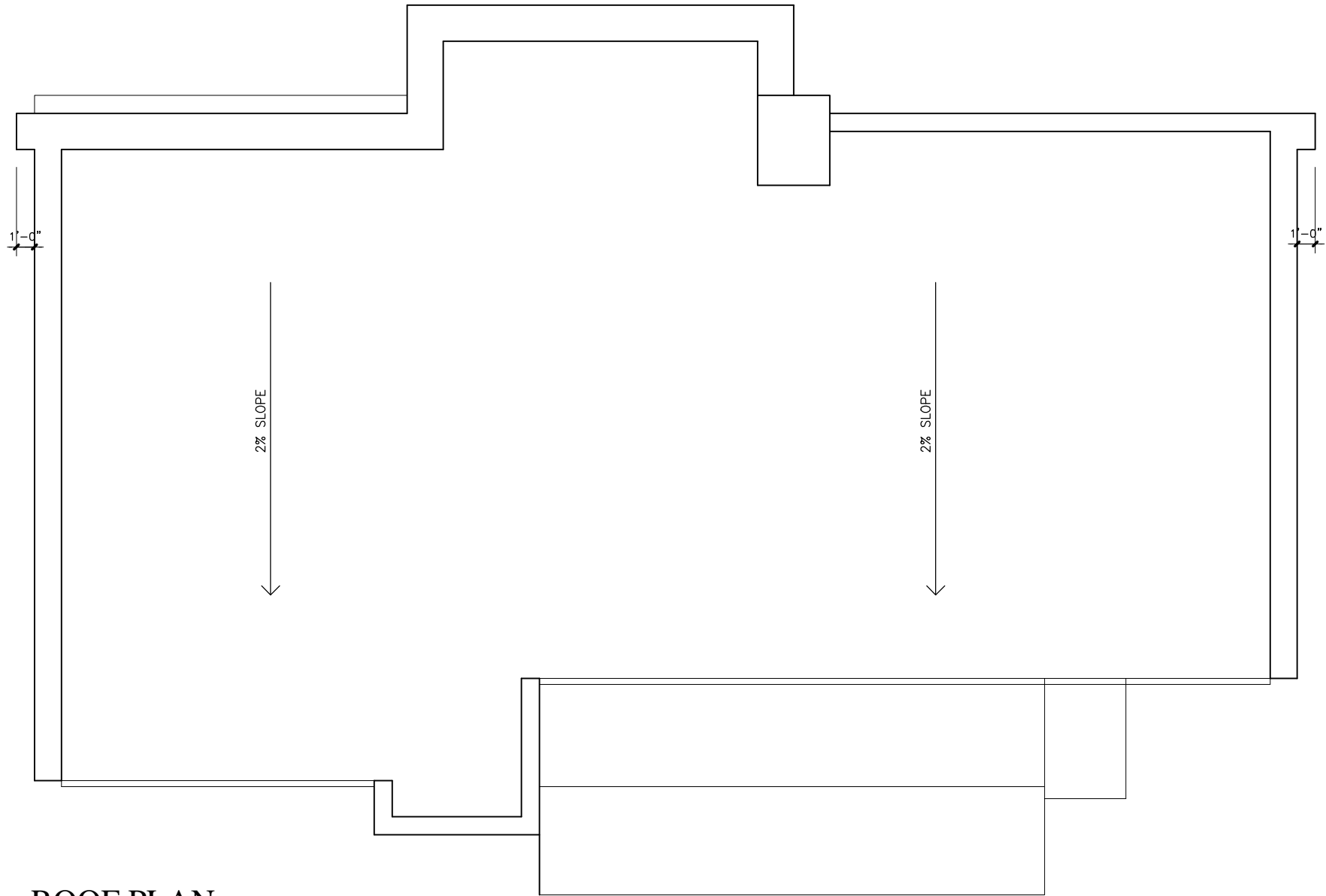


Project Architect:
Frank Rotundo Architect Inc.
66 Raintree Cres.,
Richmond Hill, ON. L4E 3T6
(416) 358-1103
frankrotundo@rogers.com

No.	Date	Revision
6	JUN. 24/25	REDUCED DWELLING FOOTPRINT
5	MAY. 09/25	REVISED AS PER CITY ZONING COMMENTS
4	APR. 25/25	REVISED AS PER CITY ZONING COMMENTS
3	MAR. 25/25	ISSUED FOR COMMITTEE OF ADJUSTMENT
2	JAN. 30/25	ISSUED FOR REVIEW
1	NOV. 22/24	ISSUED FOR REVIEW

Project:
49 LONGBRIDGE RD
PROPOSED
2 STOREY RESIDENTIAL
VAUGHAN, ON.

Drawing Title	
BASEMENT PLAN	
Scale	AS SHOWN
Date	
Project Number	
Drawing Number	
A.2	



ROOF PLAN

SCALE: 1/8"=1'-0"



Project Architect:
Frank Rotundo Architect Inc.
66 Raintree Cres.,
Richmond Hill, ON. L4E 3T6
(416) 358-1103
frankrotundo@rogers.com

No.	Date	Revision
5	JUN. 24/25	REDUCED DWELLING FOOTPRINT
4	MAY. 09/25	REVISED AS PER CITY ZONING COMMENTS
3	MAR. 25/25	ISSUED FOR COMMITTEE OF ADJUSTMENT
2	JAN. 30/25	ISSUED FOR REVIEW
1	NOV. 22/24	ISSUED FOR REVIEW

Project:
49 LONGBRIDGE RD
PROPOSED
2 STOREY RESIDENTIAL
VAUGHAN, ON.

Drawing Title
ROOF PLAN

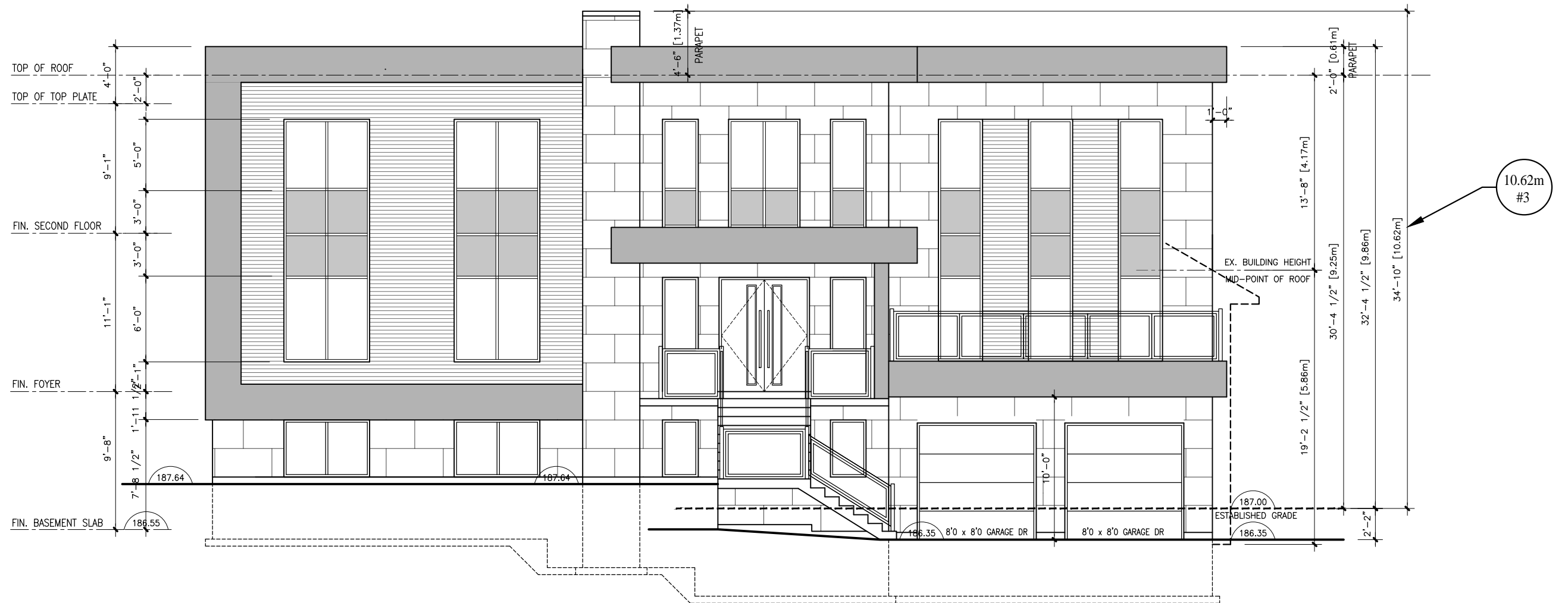
Scale
AS SHOWN

Date

Project Number

Drawing Number

A.5



FRONT ELEVATION (NORTH ELEVATION)

SCALE: 1/8"=1'-0"

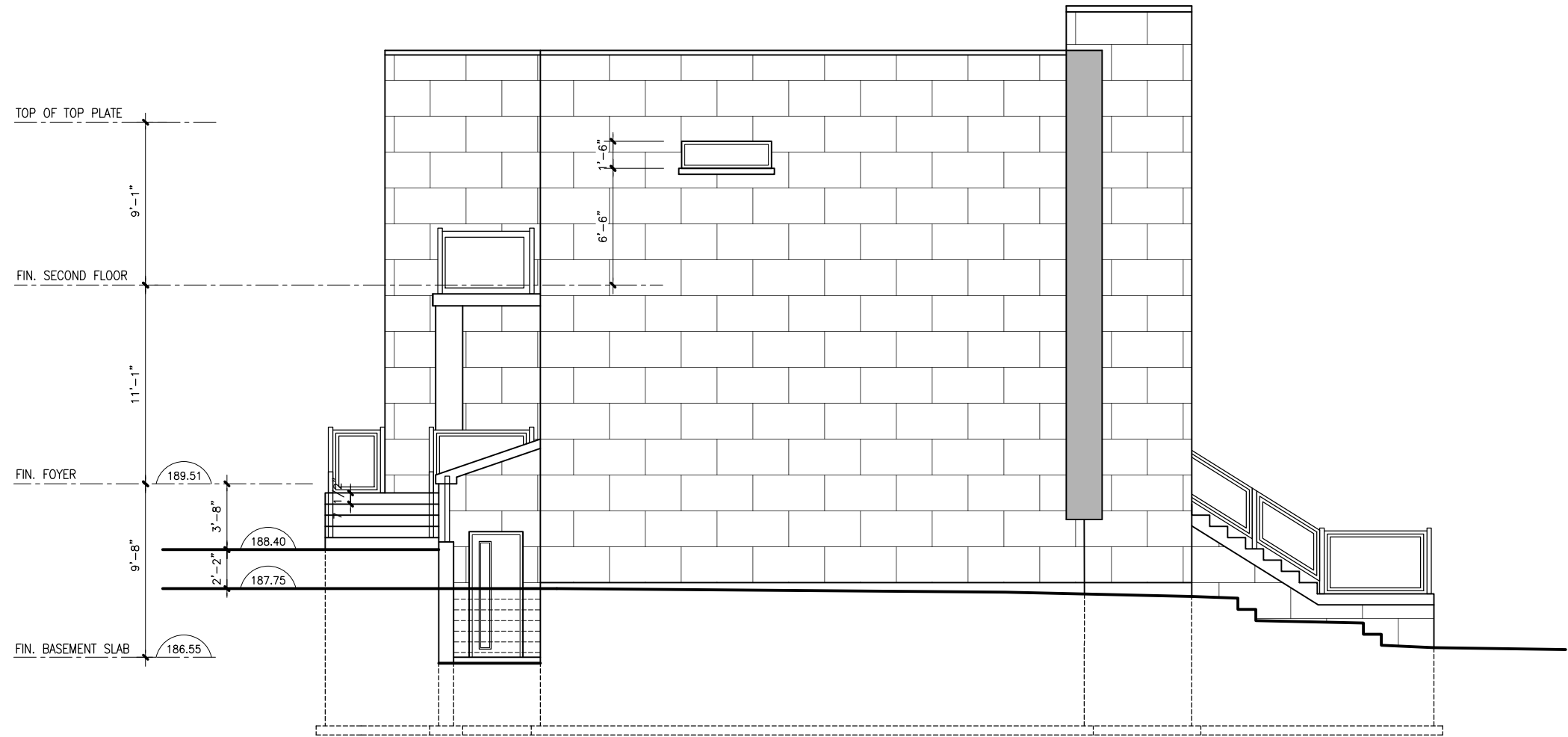


Project Architect:
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66 Raintree Cres.,
Richmond Hill, ON. L4E 3T6
(416) 358-1103
frankrotundo@rogers.com

No.	Date	Revision
8	JUN. 26/25	VERIFIED ALL VARIANCES
7	JUN. 24/25	REDUCED DWELLING FOOTPRINT
6	MAY. 21/25	REVISED ESTABLISHED GRADE
5	MAY. 09/25	REVISED AS PER CITY ZONING COMMENTS
4	APR. 25/25	REVISED AS PER CITY ZONING COMMENTS
3	MAR. 25/25	ISSUED FOR COMMITTEE OF ADJUSTMENT
2	JAN. 30/25	ISSUED FOR REVIEW
1	NOV. 22/24	ISSUED FOR REVIEW

Project:
49 LONGBRIDGE RD
PROPOSED
2 STOREY RESIDENTIAL
VAUGHAN, ON.

Drawing Title		
FRONT ELEVATION		
Scale	AS SHOWN	Drawing Number A.6
Date		
Project Number		



LEFT SIDE ELEVATION (EAST ELEVATION)

SCALE: 1/8"=1'-0"



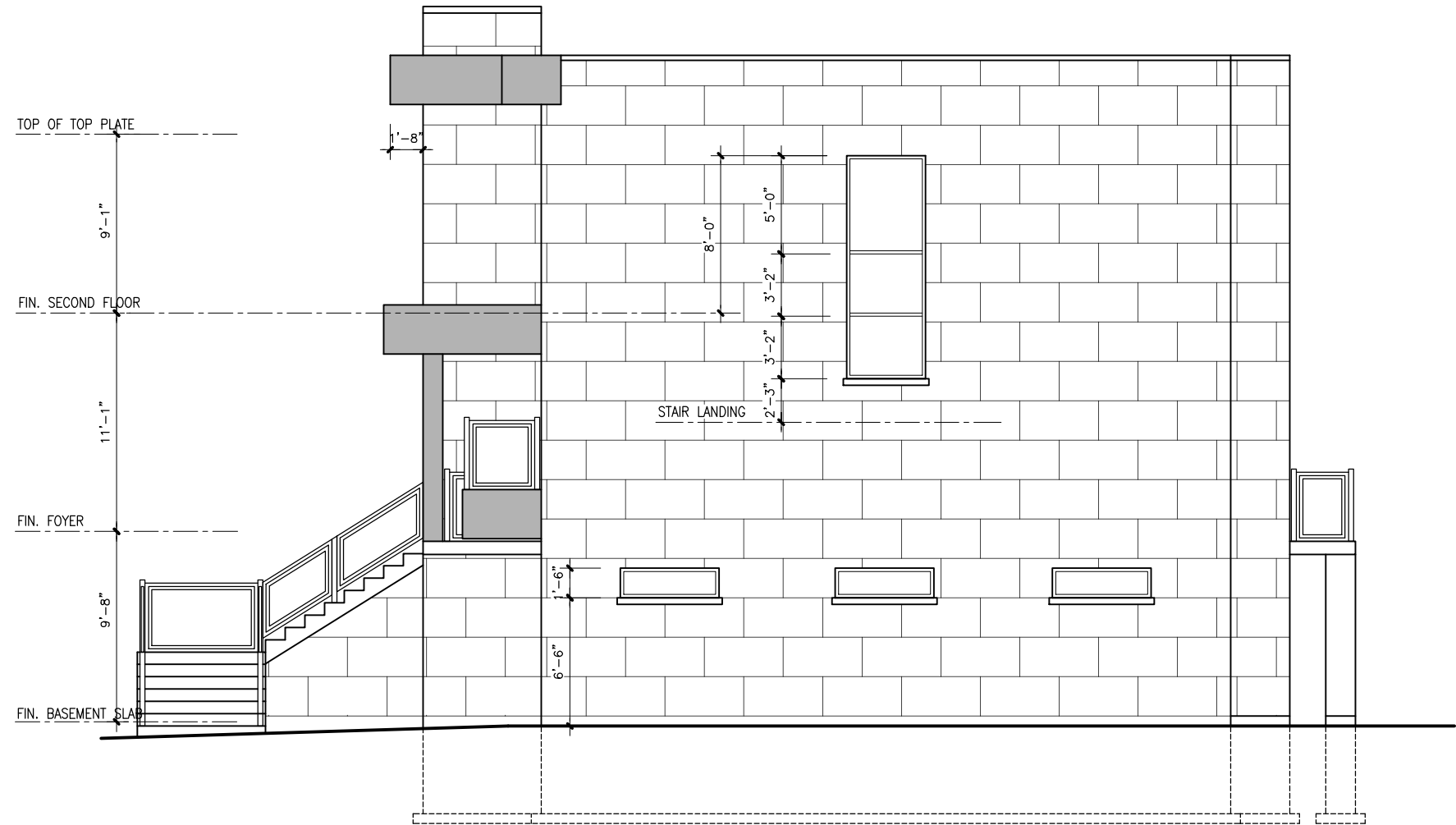
Project Architect:
Frank Rotundo Architect Inc.
66 Raintree Cres.,
Richmond Hill, ON. L4E 3T6
(416) 358-1103
frankrotundo@rogers.com

No.	Date	Revision
5	JUN. 24/25	REDUCED DWELLING FOOTPRINT
4	MAY. 09/25	REVISED AS PER CITY ZONING COMMENTS
3	MAR. 25/25	ISSUED FOR COMMITTEE OF ADJUSTMENT
2	JAN. 30/25	ISSUED FOR REVIEW
1	NOV. 22/24	ISSUED FOR REVIEW

Project:
49 LONGBRIDGE RD
PROPOSED
2 STOREY RESIDENTIAL
VAUGHAN, ON.

Drawing Title	
LEFT SIDE ELEVATION	
Scale	AS SHOWN
Date	
Project Number	

A.7



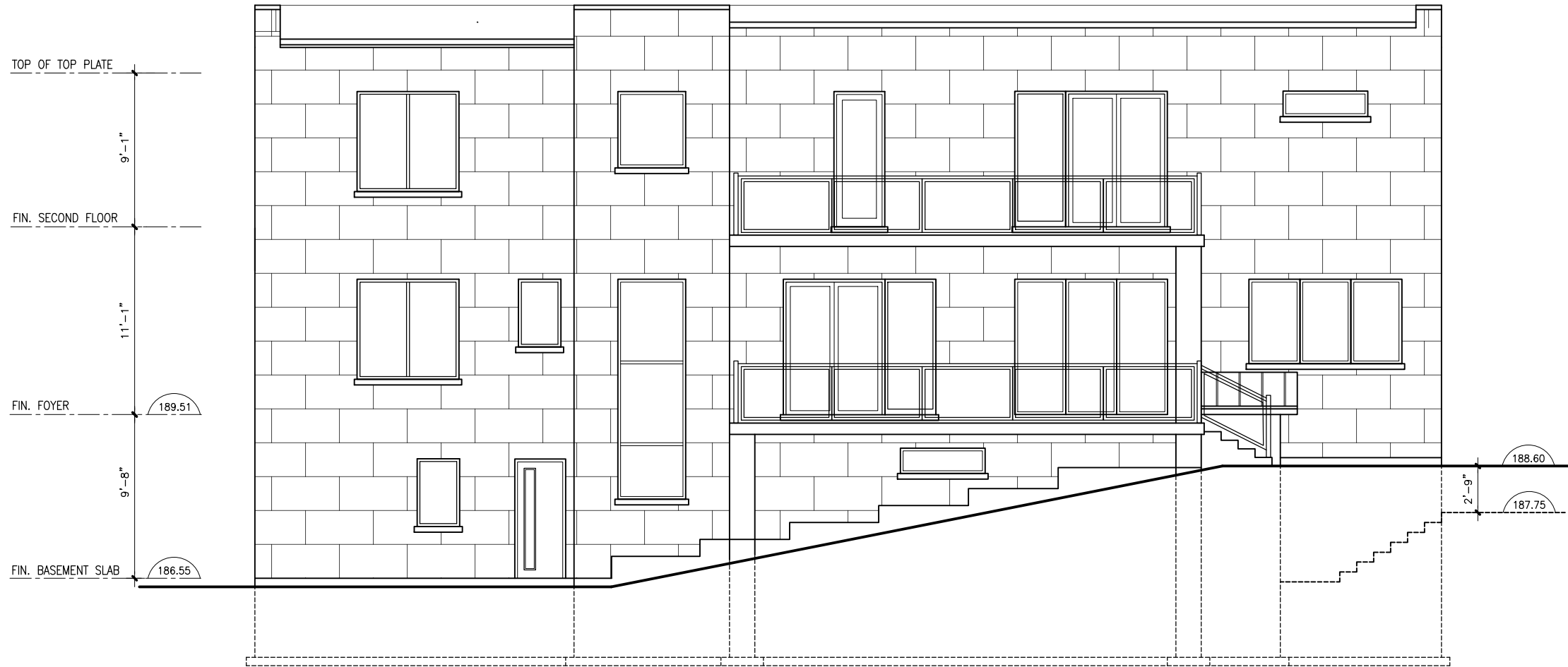
RIGHT SIDE ELEVATION (WEST ELEVATION)

SCALE: 1/8"=1'-0"



Project Architect:					
Frank Rotundo Architect Inc.					
66 Raintree Cres., Richmond Hill, ON. L4E 3T6					
(416) 358-1103					
frankrotundo@rogers.com					
5	JUN. 24/25	REDUCED DWELLING FOOTPRINT			
4	MAY. 09/25	REVISED AS PER CITY ZONING COMMENTS			
3	MAR. 25/25	ISSUED FOR COMMITTEE OF ADJUSTMENT			
2	JAN. 30/25	ISSUED FOR REVIEW			
1	NOV. 22/24	ISSUED FOR REVIEW			
No.	Date	Revision			

Project:		Drawing Title	
49 LONGBRIDGE RD PROPOSED 2 STOREY RESIDENTIAL VAUGHAN, ON.		RIGHT SIDE ELEVATION	
Scale		Drawing Number	
AS SHOWN		A.8	
Date			
Project Number			



REAR ELEVATION (SOUTH ELEVATION)

SCALE: 1/8"=1'-0"



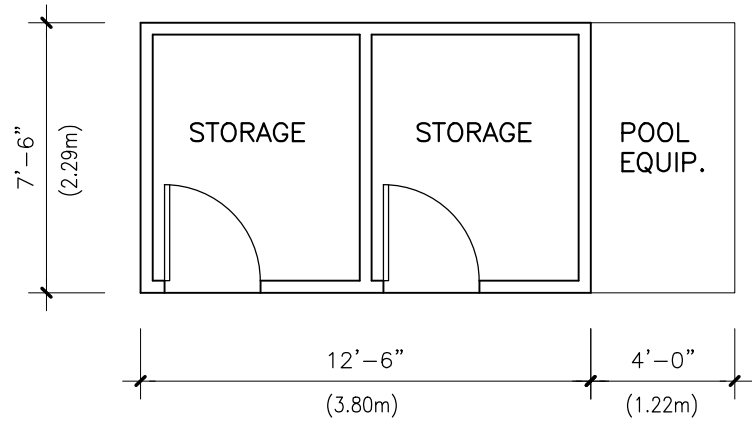
Project Architect:
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66 Raintree Cres.,
Richmond Hill, ON. L4E 3T6
(416) 358-1103
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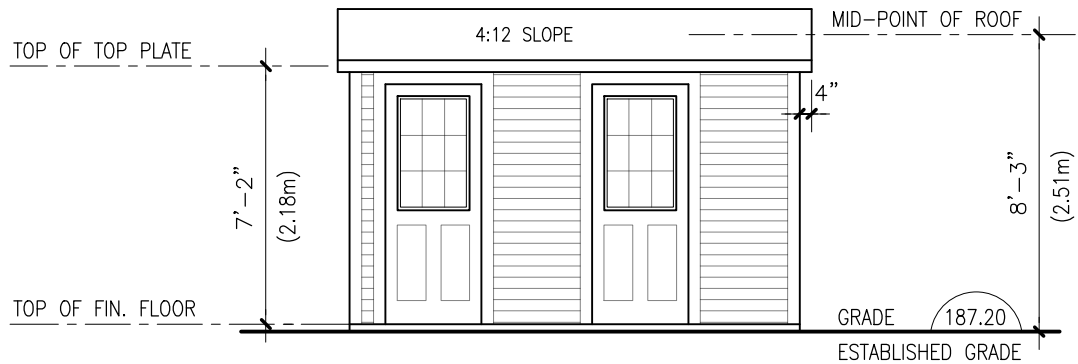
Project:
49 LONGBRIDGE RD
PROPOSED
2 STOREY RESIDENTIAL
VAUGHAN, ON.

Drawing Title	
REAR ELEVATION	
Scale	AS SHOWN
Date	
Project Number	

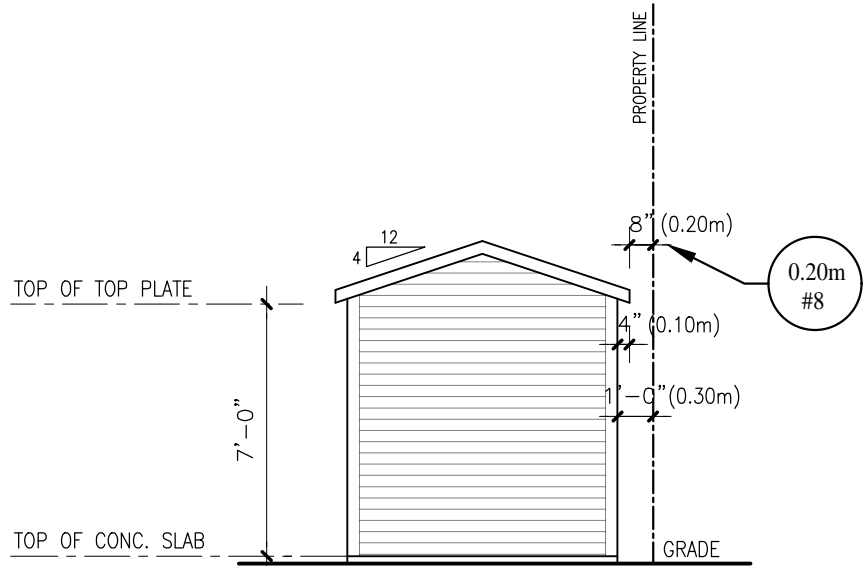
A.9



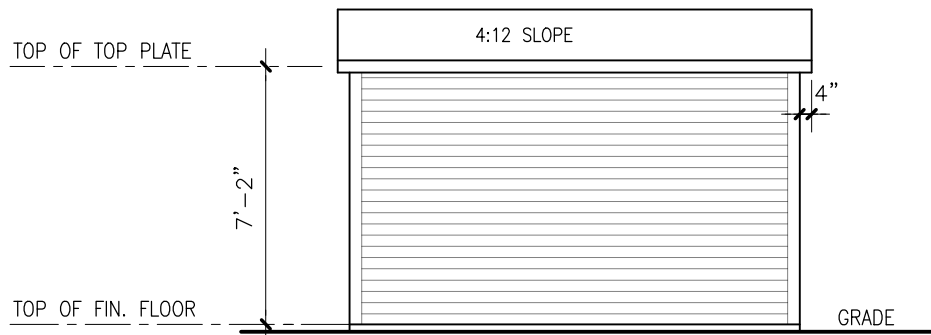
EX. SHED FLOOR PLAN
SCALE: 3/16"=1'-0"



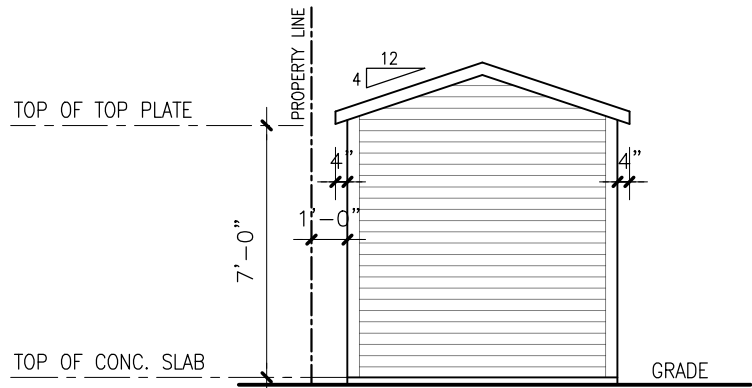
EAST ELEVATION
SCALE: 3/16"=1'-0"



NORTH ELEVATION
SCALE: 3/16"=1'-0"



WEST ELEVATION
SCALE: 3/16"=1'-0"



SOUTH ELEVATION
SCALE: 3/16"=1'-0"



Project Architect:			Project:		
Frank Rotundo Architect Inc.			49 LONGBRIDGE RD		
66 Raintree Cres.,			PROPOSED		
Richmond Hill, ON. L4E 3T6			2 STOREY RESIDENTIAL		
(416) 358-1103			VAUGHAN, ON.		
frankrotundo@rogers.com					
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1	NOV. 22/24	ISSUED FOR REVIEW			
No.	Date	Revision			

Drawing Title		Drawing Number	
EXISTING SHED			
Scale	AS SHOWN	A.10	
Date			
Project Number			

SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
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TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: May 30th 2025

Attention: **Christine Vigneault**

RE: Request for Comments

File No.:

Related Files: **A042-25**

Applicant: Amin Niaziboroumand

Location 49 Longbridge Road

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

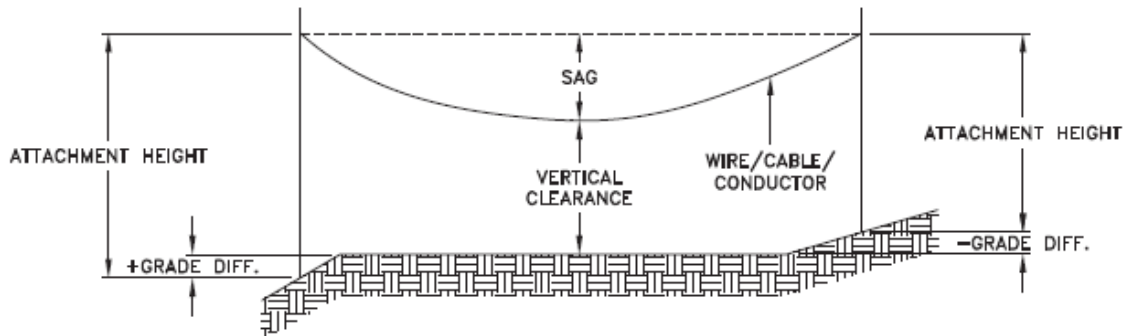
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 + GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

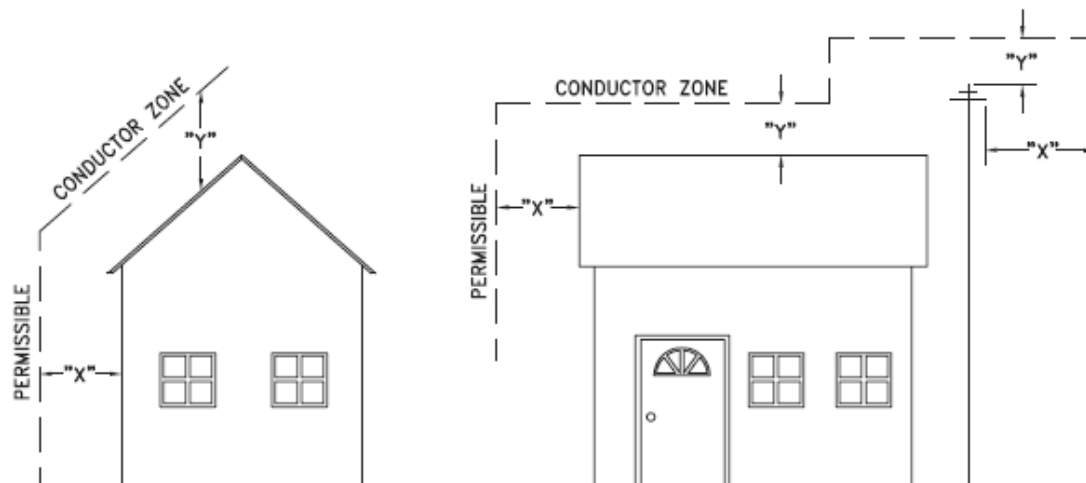
ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval

This construction Standard meets the safety requirements of Section 4 of Regulation 22/04

Joe Crozier, P.Eng. 2012-JAN-09
 Name Date

P.Eng. Approval By: Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Debbie Dadwani, P.Eng.	2010-MAY-05
Name	Date
P.Eng. Approval By: <u>D. Dadwani</u>	

To: Committee of Adjustment

From: Catherine Saluri, Building Standards Department

Date: June 24, 2025

Applicant: Amin Niaziboroumand

Location: 49 Longbridge Road
PLAN M681, Lot 36

File No.(s): A042/25

Zoning Classification:

The subject lands are zoned R1E (EN), First Density Residential Zone (Established Neighbourhood) under Zoning Bylaw 001-2021.

#	Zoning By-law 001-2021	Variance Requested
1	A minimum lot frontage of 30 m is required. [Table 7-3]	To permit a minimum lot frontage of 24.38 m .
2	A maximum lot coverage of 20% is permitted. [Table 7-3]	To permit a maximum lot coverage of 26.5% .
3	A maximum height of 8.50 m is permitted. [Table 7-3 and Section 4.5]	To permit a maximum height of 10.62 m for a dwelling.
4	A minimum westerly yard of 2.43 m is required. [Table 7-3 and Section 4.5]	To permit a minimum westerly yard of 1.78 m for a dwelling.
5	A minimum easterly yard of 2.13 m is required. [Table 7-3 and Section 4.5]	To permit a minimum easterly yard of 1.78 m for a dwelling.
6	A porch, including access stairs from grade, is permitted to encroach to a maximum of 2.0 m into the minimum required front yard of 9.0 m . (A 7.0 m setback from the front lot line is required). [4.13 and Table 4-1]	To permit a porch, including access stairs from grade, to encroach to a maximum of 3.93 m into the minimum required front yard of 9.0 m . (A 5.07 m setback from the front lot line is proposed).
7	A minimum westerly yard of 2.43 m is required. [4.1.2.1a and 4.5.2]	To permit a minimum westerly yard of 0.30 m for a residential accessory building (shed).
8	A minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line. [4.13.3]	To permit a minimum distance of 0.20 m from the residential accessory structure eaves to the interior side lot line.

Staff Comments:

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).
3	A permit (2012 004712) has been issued for an inground swimming pool.
4	The Agent has confirmed that the existing shed (noted to remain) as shown on the Site Plan, does not have any plumbing fixtures in it.
5	The Office/Den, as shown on the Ground Floor Plan, shall comply with Section 5.9 Home Occupation of the zoning bylaw.

6	The Applicant shall be advised that the high window wells as shown on the drawings submitted shall be setback an equal distance to the height of the highest portion where they are 1.0 m in height or greater.
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Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

None

* Comments are based on the review of documentation supplied with this application.

From: [Cameron McDonald](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A042/25 (49 Longbridge Road) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: May-30-25 3:54:29 PM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from the TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:(437)880-1925)

E: cameron.mcdonald@trca.ca

A: [5 Shoreham Drive, Toronto, ON, M3N 1S4](#) | trca.ca



From: [Development Services](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A042/25 (49 Longbridge Road) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Thursday, May 29, 2025 4:00:22 PM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good afternoon,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Regards,

Gabrielle Hurst MCIP, RPP

Associate Planner, Development Planning, Economic and Development Services Branch
Corporate Services Department

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 8V3

O: 905-830-4444 ext. 71538 | developmentservices@york.ca |

Our Mission: **Working together to serve our thriving communities – today and tomorrow**

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None

SCHEDULE D: BACKGROUND

None