

Attachment 3

SURVEYOR'S REAL PROPERTY REPORT OF
PART 1:
PLAN OF LOTS 12 & 13
REGISTERED PLAN 268
AND
PART OF LOT 19
REGISTERED PLAN 210
AND
PART OF LOTS 24 & 25
CONCESSION 8
CITY OF VAUGHAN
(REGIONAL MUNICIPALITY OF YORK)

SCALE = 1 : 500
A. AZIZ SURVEYORS INC., O.L.S.
METRIC: DISTANCES SHOWN HEREON ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

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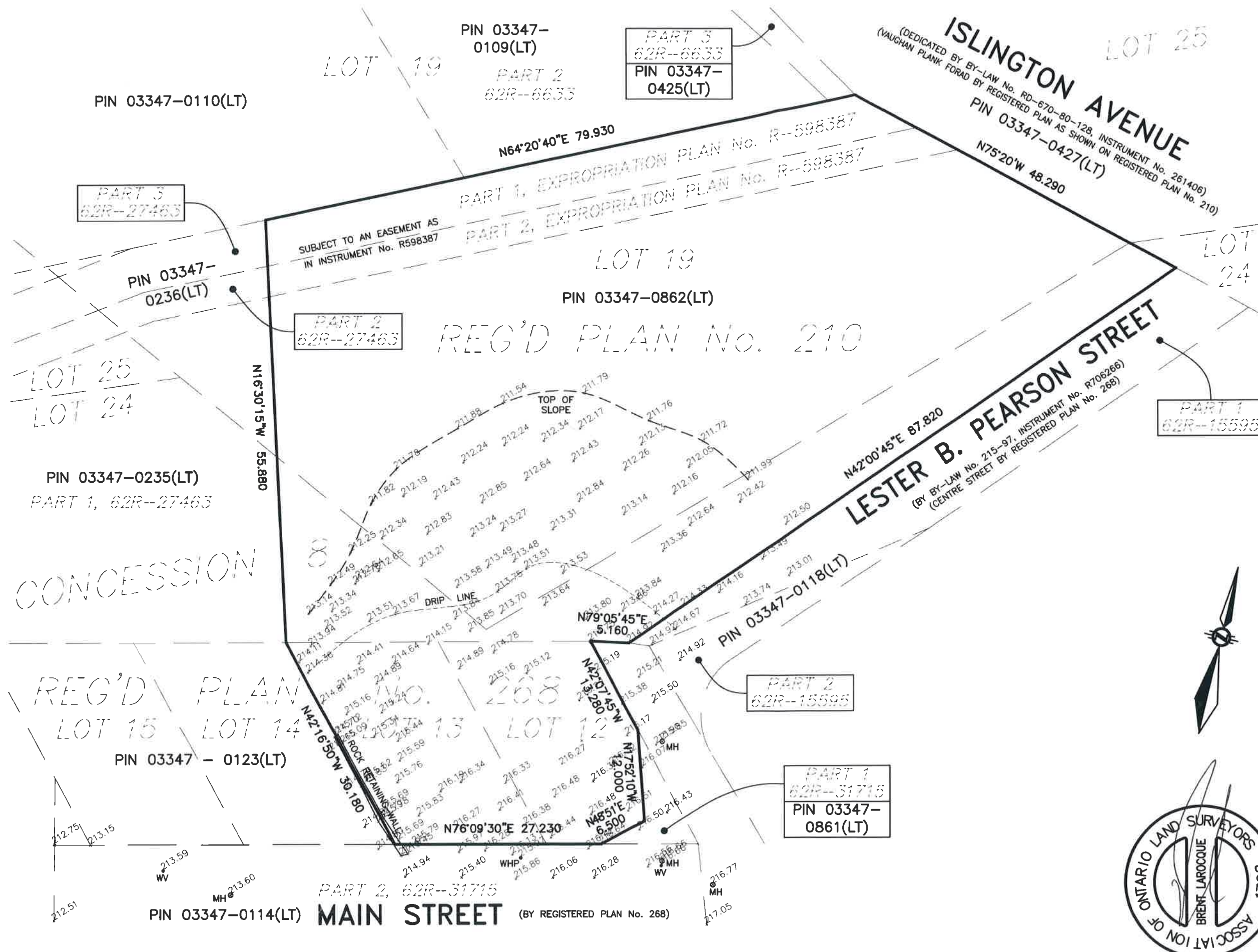
REPORT
• THIS REPORT WAS PREPARED FOR TRIPRA IMPROVEMENT, AND THE UNDERSIGNED
ACCEPTS NO RESPONSIBILITY FOR ITS USE BY OTHER PARTIES.
BOUNDARIES
• PART OF LOT 12 & LOT 13, REGISTERED PLAN 268 & PART OF 24, CONCESSION 8
TITLE SEARCH INDICATES
• TITLE SEARCH INDICATES THAT THE SUBJECT PROPERTY IS SUBJECT TO AN
EASEMENT OVER PART 1 & PART 2, PLAN 598387
ZONING
• NO INVESTIGATION WITH RESPECT TO MUNICIPAL ZONING BY LAW HAS BEEN MADE
FOR THE SUBJECT PROPERTY (PROPERTIES).
FENCES
• PLEASE NOTE THE POSITION OF THE FENCES IN RELATION TO THE NORTHERLY
& WESTERLY BOUNDARIES; THEY ARE LOCATED OVER THE SUBJECT BOUNDARIES
TO THE EXTENT SHOWN ON THE PLAN.
BEARING NOTE
• BEARING ARE ASTROMONIC AND ARE REFERRED TO THE NORTHERLY LIMIT
OF MAIN STREET HAVING A BEARING OF N80°00'00"E AS SHOWN ON
PLAN 65R-31715
GEODETTIC
• ELEVATIONS SHOWN GEODETTIC DRIVEN FROM CITY OF VAUGHAN
BENCH MARK # 00819708050, ELEVATION 183.937 M

LEGEND:
■ DENOTES SURVEY MONUMENT FOUND
□ SURVEY MONUMENT SET
SIB STANDARD IRON BAR
N.E.S.W. NORTH-EAST, SOUTH, WEST
BF BOARD FENCE
WF WIRE FENCE
P SURVEY BY VLADIMIR DOSEN SURVEYING,
O.L.S., DATED OCTOBER 26, 2016
P1 PLAN 598387
P2 PLAN 65R-31715
1188 SEXTON MOXAY LTD., O.L.S.
1215 OTTO EYLL, O.L.S.
967 WIL. WILMAN, O.L.S.
1457 RONALD JAMES STEWARD, O.L.S.
1440 HOLDING JONES WANDERVEN INC., O.L.S.
W HAROLD WHEELER, O.L.S.
NTS NOT TO SCALE
IT IRON TUBE
IB DENOTES IRON BAR
MH MANHOLE
OU ORIGIN UNKNOWN
MS MEASURED
ODT DECIDUOUS TREE
WCT CONIFEROUS TREE
CS DOOR SILL
CB CATCH BASIN
S SOLI
HP/LP HYDRO POLE/LAMP POST
TTH TOP OF FIRE HYDRANT
OHV OVERHEAD WIRES
RW RETAINING WALL
WV WATER VALVE

SURVEYOR'S CERTIFICATE
I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE
REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 31st DAY OF OCTOBER, 2020

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
2141602
THE PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR.
In accordance with
Regulation 1026, Section 29(3).

DATE: NOVEMBER 10, 2020
A. ABDEL SHAHID
ONTARIO LAND SURVEYOR
A. AZIZ SURVEYORS INC
120 NEWKIRK ROAD #31, RICHMOND HILL, ONT. L4C-9S7
Tel: (905) 237-8224 Fax: (416) 477-5465
Website: M-Azizsurveyors.ca
E-Mail: aziz@m-azizsurveyors.ca
PROJECT NUMBER PROJECT
20-230 8 MAIN STREET (SR-PR)
DRAWN BY: C.H. CHECKED BY: A.A.



CITY OF VAUGHAN
INDIVIDUAL LOT GRADING CERTIFICATE
PART OF LOTS 24 & 25
CONCESSION 8
(GEOGRAPHIC TOWNSHIP OF VAUGHAN)
PART OF LOT 19
REGISTERED PLAN No. 210
LOT 13 & PART OF LOT 12
REGISTERED PLAN No. 268
SCALE 1:500 METRIC
BENCHMARK: ELEVATIONS HEREON ARE ORTHO-METRIC AND ARE RELATED TO CGVD28, HT2, AS PREVIOUSLY ESTABLISHED BY THE LAROCQUE GROUP.
CAUTION: THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED FOR TRANSACTION OR MORTGAGE PURPOSES.

METRIC NOTE DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

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LEGEND		
90.00	DENOTES	EXISTING ELEVATION
(90.00)	DENOTES	PROPOSED ELEVATION
[90.00]	DENOTES	FINISHED ELEVATION
←	DENOTES	DRAINAGE DIRECTION
• DS	DENOTES	DOWNSPOUT
MH	DENOTES	MANHOLE
WHP	DENOTES	WOOD HYDRO POLE
WV	DENOTES	WATER VALVE

PROPOSED GRADING CERTIFICATE
I HEREBY CERTIFY THAT THE PROPOSED GRADING SHOWN DOES NOT ADVERSELY AFFECT THE ADJACENT PROPERTIES AND THIS LOT WILL DRAIN SATISFACTORILY.

NAME: BRENT LAROCQUE
FIRM: RICHARD LAROCQUE LIMITED
SIGNATURE: _____
DATE: JULY 17, 2023
FILED BY TOWN: _____
DATE: _____

AS CONSTRUCTED GRADING CERTIFICATE
I HEREBY CERTIFY THAT THE FINISHED GRADES SHOWN GENERALLY CONFORM WITH WHAT WAS PROPOSED.

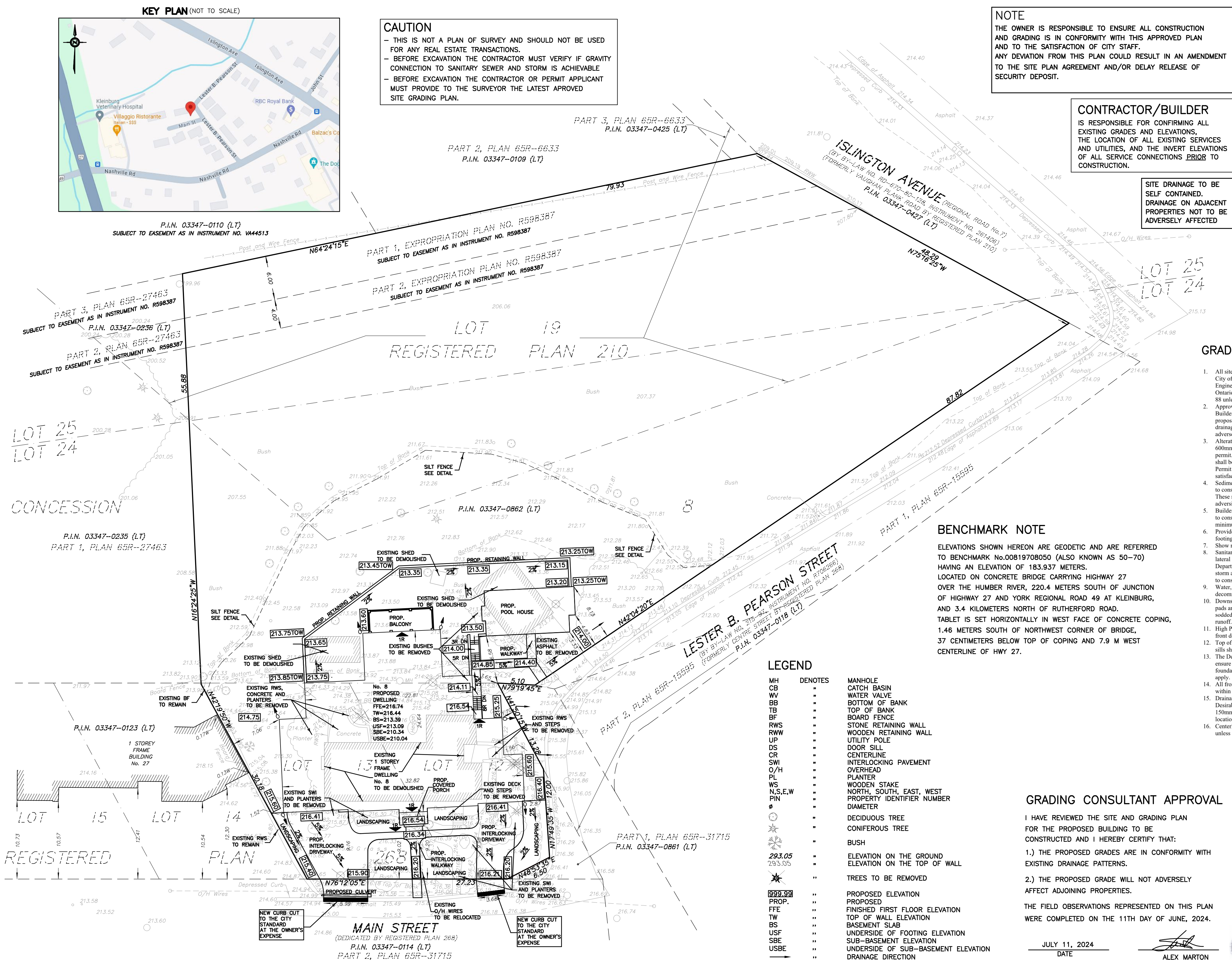
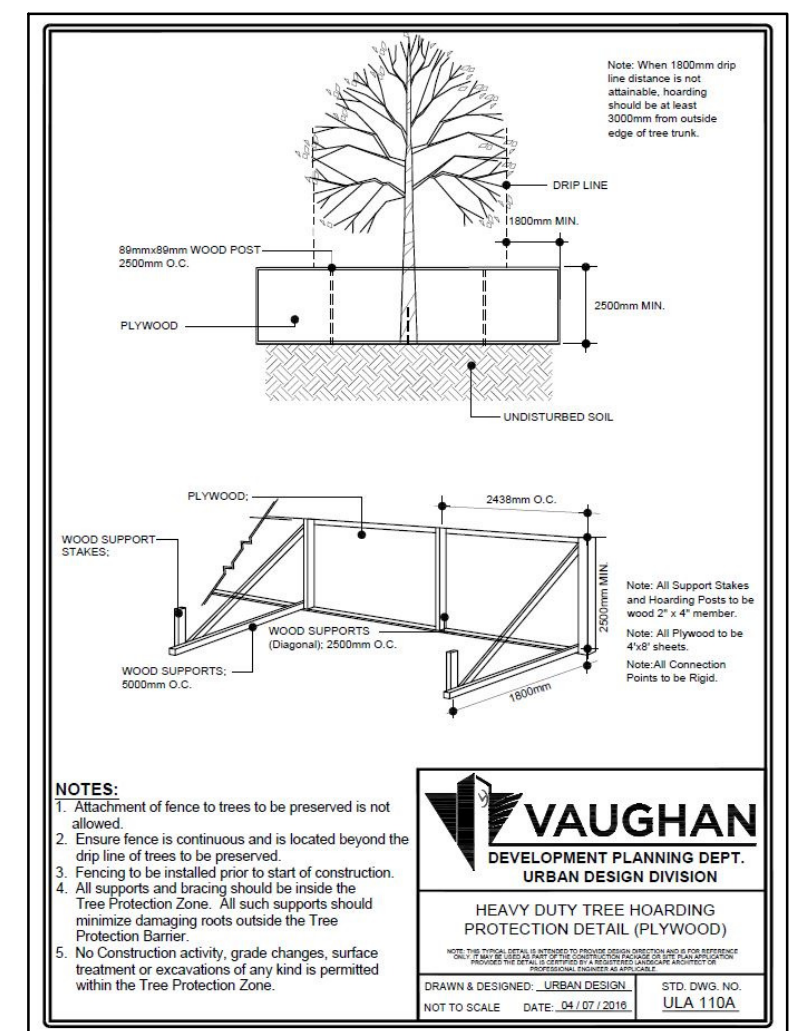
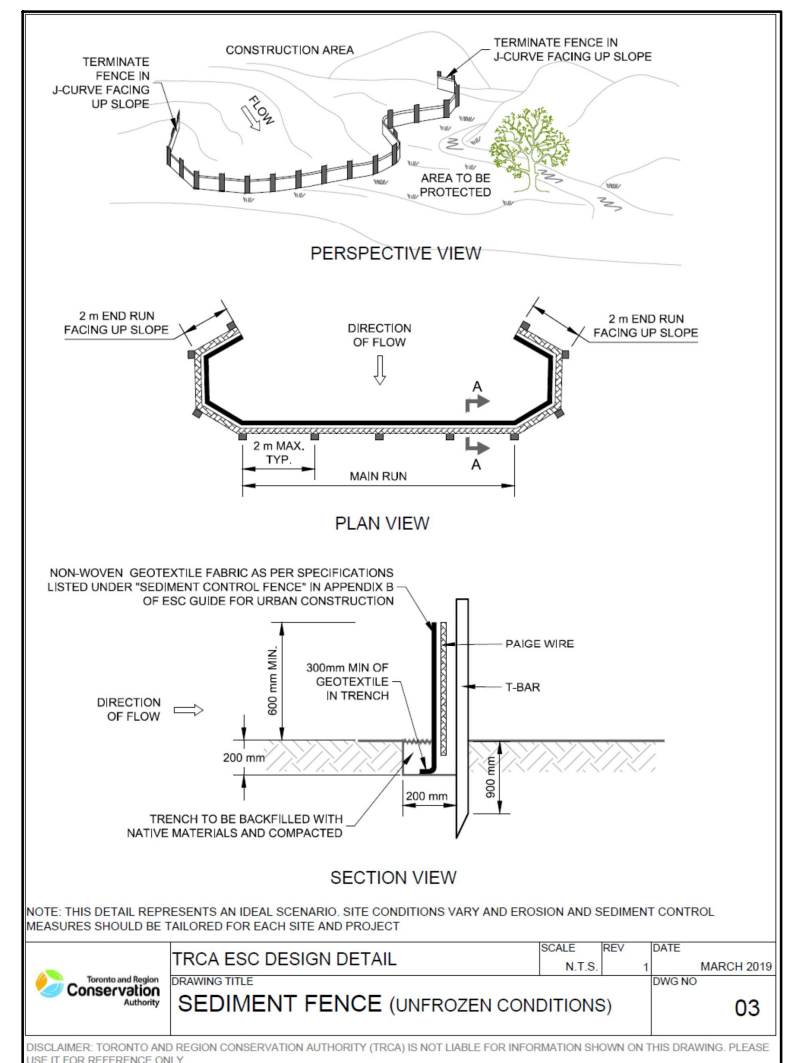
NAME: _____
FIRM: _____
SIGNATURE: _____
DATE: _____
FILED BY TOWN: _____
DATE: _____

RICHARD LAROCQUE LIMITED
ONTARIO LAND SURVEYORS & CONSULTANTS
12 LYMAN STREET, ST. CATHARINES, ONTARIO
905-888-1413
6385 COLBORNE STREET, NIAGARA FALLS, ONTARIO
905-358-8400
www.larocquegroup.ca
DATE: JULY 17, 2023 FILE No. : 2023-039
DWG No. : 2023-039-01



TRCA NOTES

Section 1: Site Management	Standard Notes
1	"Erosion and Sediment Control (ESC) measures will be implemented prior to, and maintained during the construction phases, to prevent entry of sediment into the water. All damaged erosion and sediment control measures should be repaired and/or replaced within 48 hours of the inspection."
2	"disturbed areas will be minimized to the extent possible, and temporarily or permanently stabilized or restored as the work progresses."
3	"All in-water and near water works will be conducted in the dry with appropriate erosion and sediment controls."
4	"The erosion and sediment control strategies outlined on the plans are not static and may need to be upgraded/amended as site conditions change to minimize sediment laden runoff from leaving the work areas. If the prescribed measures on the plans are not effective in preventing the release of a deleterious substance, including sediment, then alternative measures must be implemented immediately to minimize potential ecological impacts. TRCA Enforcement Officer should be immediately contacted. Additional ESC measures to be kept on site and used as necessary."
5	"An Environmental Monitor will attend the site to inspect all new controls, as well as on a regular basis, or following rain/environment event, to monitor all works, and in particular works related to erosion and sediment controls, dewatering or unwatering, restoration and in- or near- water works. Should concerns arise on site the Environmental Monitor will contact the TRCA Enforcement Officer as well as the proponent."
6	"All activities, including maintenance procedures, will be controlled to prevent the entry of petroleum products, debris, rubble, concrete or other deleterious substances into the water. Vehicular refueling and maintenance will be conducted a minimum of 30 metres from the water."
7	"All grades within the Regulatory Flood Plain will be maintained or matched."
8	"The proponent/contractor shall monitor the weather several days in advance of the onset of the project to ensure that the works will be conducted during favourable weather conditions. Should an unexpected storm arise, the contractor will remove all unfixed items from the Regional Storm Flood Plain that would have the potential to cause a spill or an obstruction to flow, e.g. fuel tanks, portable, machinery, equipment, construction materials, etc."
9	"All dewatering/unwatering shall be treated and released to the environment at least 30 metres from a watercourse or wetland and allowed to drain through a well-vegetated area. No dewatering effluent shall be sent directly to any watercourse, wetland or forest, or allowed to drain onto disturbed soils within the work area. These control measures shall be monitored for effectiveness and maintained or revised to meet the objective of preventing the release of sediment laden water."
10	"All access to the work site shall be from either side of the watercourse. No equipment or vehicles are permitted to cross through the watercourse unless approved by TRCA."
Section 2: Construction Timing	
11	"In order to comply with the Migratory Birds Convention Act, TRCA recommends that tree removals be completed between August 1 and April 11."
12	"To protect local fish populations during their spawning, nursery and migratory periods, <u>all watercourse/water activities must only occur</u> during the following time period (TRCA TO CONFIRM TIMING WINDOW DURING REVIEW OF FIRST SUBMISSION):"
Section 3: Fish and Wildlife Relocation	
13	"Fish and wildlife stranded within the work area shall be captured and released live in suitable habitat upstream of the work area under the supervision of a qualified aquatic biologist. A permit from the Ministry of Natural Resources is required."
Section 4: Environmental Compliance	
14	"Please notify TRCA Enforcement Officer (xxx at 416 xxx cell) and TRCA Project Manager (xxx at 416 691 6600) x xx 148 hours prior to commencing construction."
15	"An Environmental Monitor will be on site, and provide advice, to ensure that activities that could have a negative impact to the natural environment are effectively mitigated as construction proceeds. The Environmental Monitor shall notify the TRCA Enforcement Officer and Project Manager if an issue arises."



SITE AND GRADING PLAN FOR
PART OF LOTS 24 AND 25
CONCESSION 8
PART OF LOT 19
REGISTERED PLAN 210
LOT 13 AND PART OF LOT 12
REGISTERED PLAN 268
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK

SCALE 1 : 300

ALEX MARTON LIMITED
ONTARIO LAND SURVEYORS

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METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

GRADING CRITERIA

- All site plans, drawings and construction shall comply with the City of Vaughan Lot Grading Criteria, City of Vaughan Engineering Standards, and applicable Provincial Standards, the Ontario Building Code, Subdivision Agreement and By-Law 1-88 unless otherwise approved.
- Approval of this site plan does not release the Builder/Applicant/Owner of their responsibilities to ensure the proposed drainage works are compatible with the overall drainage within the subdivision. Proposed lot drainage shall not adversely affect adjacent properties.
- Alterations to existing grades shall not be permitted within 600mm of lot lines unless specifically approved as part of this permit. The approved grading/drainage pattern shall be maintained and alterations not approved as part of this Permit shall be restored by the Builder/Applicant/Owner to the satisfaction of the City of Vaughan.
- Sedimentation/siltation control measures shall be installed prior to construction and offset a minimum of 600mm from lot lines. These measures shall be maintained in order to prevent adverse impacts to adjacent lands. Refer to attached sample drawing.
- Builder shall verify existing and proposed grade elevations prior to construction. Footings to bear on undisturbed soil and be a minimum of 1.22m below finished grade.
- Provide elevation for top of foundation wall, underside of footing, top of basement floor and finish floor.
- Show reverse veneer wall where applicable.
- Sanitary and Storm Invert Elevation shall be shown at main lateral connection and at property line. City Engineering Department/York Region approval is required for sanitary, storm and water box location and installation to the lot line prior to construction.
- Water, storm and sanitary services that are to be reused or decommissioned are to be identified on the drawing.
- Downspouts of Rain water Leaders shall discharge onto splash pads and drain towards the street. Splash pads shall outlet over wooded land where possible to encourage infiltration of surface runoff.
- High point on split lot drainage to be a minimum of 2.0m behind front downspout location to ensure drainage outlets to street.
- Top of foundation walls, exterior cladding, window and door sills shall be a minimum of 150mm above finished grade.
- The Designer/Consultant/Engineer/Architect is responsible to ensure that height, thickness, lateral bracing, etc. of all foundation walls conform to OBC OBC subsection 9.15.4 shall apply.
- All front and rear yards shall be graded at a 2% - 5% gradient within 5m of the building.
- Drainage swales shall be graded with a 2% - 5% gradient. Desirable swale depth is 250mm. Minimum swale depth is 150mm. Maximum swale depth is variable and depends on location and safety considerations, but must not exceed 450mm.
- Centerline of swales shall be located 600mm from lot lines unless otherwise approved.
- Centerline of swales must not be located less than 600mm from any foundation wall.
- Artificial embankments and or retaining walls shall not be permitted unless approved as part of this Permit. The maximum embankment slope shall be 3:1 (horizontal to vertical) with a maximum grade differential of 600mm.
- Proposed retaining walls are to be constructed in accordance with the City of Vaughan Lot Grading Criteria and By-Law 1-88. Retaining walls exceeding 1.0 metre in height shall be designed, inspected and certified by a Professional Engineer and shall be served by guards or otherwise treated to reduce of any public hazard. All retaining walls shall be constructed of stone, precast blocks or concrete. A retaining wall which exceeds 1.0 metre in height must be set back from the nearest property line or distance equal to its height.
- Driveway grades shall be 1.5% - 8% and compatible with approved sidewalk grades. Boulevard grades shall be 2% - 5%.
- Driveways shall be a minimum of 1.0m from any tree, catch basin or above ground utility or other obstruction.
- Water service stops are to be located in the grass portion of the front yard, as per City of Vaughan Standard I-1.
- Driveways, curb cuts and driveway culverts shall be located, approved and constructed in accordance with the requirements of the City Engineering Department, York Region and By-Law 1-88. A separate permit is required from the City's Engineering/Public Works Department for curb cuts and/or proposed culverts.
- Footings constructed next to catch basin lead pipe or other excavation. Footings must be constructed on undisturbed soil or Soil Consultants verification required.
- If the proposed construction is in an area of fill a Professional Engineer is to inspect the excavation and certify the stability and bearing capacity of the soil prior to construction.
- Prior to Letter of Credit release the Owner shall submit an as-built survey illustrating both proposed and as-constructed grade elevations. A Storm Water Management report authored by a Professional Engineer and/or Lot Grading Certification by a Professional Engineer or Ontario Land Surveyor shall be submitted to the City upon their request.
- Post construction flows, from a 5 year storm frequency, shall not exceed the flows for preconstruction conditions, for the same storm, unless it is demonstrated to the satisfaction of the City that uncontrolled flows will not adversely affect the existing drainage patterns. (These flows shall be computed using the rational method only.)
- The building shall be located or the building site graded so that water will not accumulate at or near the building and will not adversely affect adjacent properties." OBC 9.14.6.1 (1)
- TRCA approval required where grade changes will occur that sub regulated areas, existing natural or artificial watercourse, open channel, swale or ditch used to drain land.

CAUTION

- THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED FOR MORTGAGE OR TRANSACTION PURPOSES.
 - EXISTING SANITARY AND STORM INVERT TO BE CONFIRMED PRIOR TO CONSTRUCTION.
 - ARCHITECT TO CHECK THE ZONING AND SETBACKS AND ELEVATIONS.
 - ARCHITECT TO CONFIRM DESIGN CONFORMS WITH ARCHITECTURAL PLANS.
 - THE EXISTING STORM AND SANITARY SERVICE LATERAL MUST BE INSPECTED AT THE PROPERTY LINE BY THE BUILDER AND THE INVERT ELEVATION MUST BE VERIFIED BEFORE DO ANY EXCAVATION MINIMUM 2.0% FALL REQUIRED. OTHERWISE SUMP PUMP TO BE INSTALLED BY THE BUILDER.
- BUILDER MUST VERIFY SEWER INVERTS AT TIME OF EXCAVATION.

ALEX MARTON LIMITED ONTARIO LAND SURVEYORS 160 APPLEWOOD CRESCENT, UNIT 22, CONCORD, ONTARIO, L4K 4H2 PHONE: 905-879-9889 FAX: 905-879-0770 E-MAIL: alex@amsurveying.ca WEBSITE: www.amsurveying.ca	
PARTY CHIEF: P.C.	FILE NAME: 2024-096.DWG
DRAWN : X.Z.	PLOT SCALE: 1:300
CHECKED : A.M.	PROJECT No. 2024-096

NOTE

THE OWNER IS RESPONSIBLE TO ENSURE ALL CONSTRUCTION AND GRADING IS IN CONFORMITY WITH THIS APPROVED PLAN AND TO THE SATISFACTION OF CITY STAFF.
ANY DEVIATION FROM THIS PLAN COULD RESULT IN AN AMENDMENT TO THE SITE PLAN AGREEMENT AND/OR DELAY RELEASE OF SECURITY DEPOSIT.

CONTRACTOR/BUILDER

IS RESPONSIBLE FOR CONFIRMING ALL EXISTING GRADES AND ELEVATIONS, THE LOCATION OF ALL EXISTING SERVICES AND UTILITIES, AND THE INVERT ELEVATIONS OF ALL SERVICE CONNECTIONS PRIOR TO CONSTRUCTION.

SITE DRAINAGE TO BE SELF CONTAINED. DRAINAGE ON ADJACENT PROPERTIES NOT TO BE ADVERSELY AFFECTED

BENCHMARK NOTE

ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE REFERRED TO BENCHMARK No.00819708050 (ALSO KNOWN AS 50-70) HAVING AN ELEVATION OF 183.937 METERS.
LOCATED ON CONCRETE BRIDGE CARRYING HIGHWAY 27 OVER THE HUMBER RIVER, 220.4 METERS SOUTH OF JUNCTION OF HIGHWAY 27 AND YORK REGIONAL ROAD 49 AT KLEINBURG, AND 3.4 KILOMETERS NORTH OF RUTHERFORD ROAD.
TABLET IS SET HORIZONTALLY IN WEST FACE OF CONCRETE COPING, 1.46 METERS SOUTH OF NORTHWEST CORNER OF BRIDGE, 37 CENTIMETERS BELOW TOP OF COPING AND 7.9 M WEST CENTERLINE OF HWY 27.

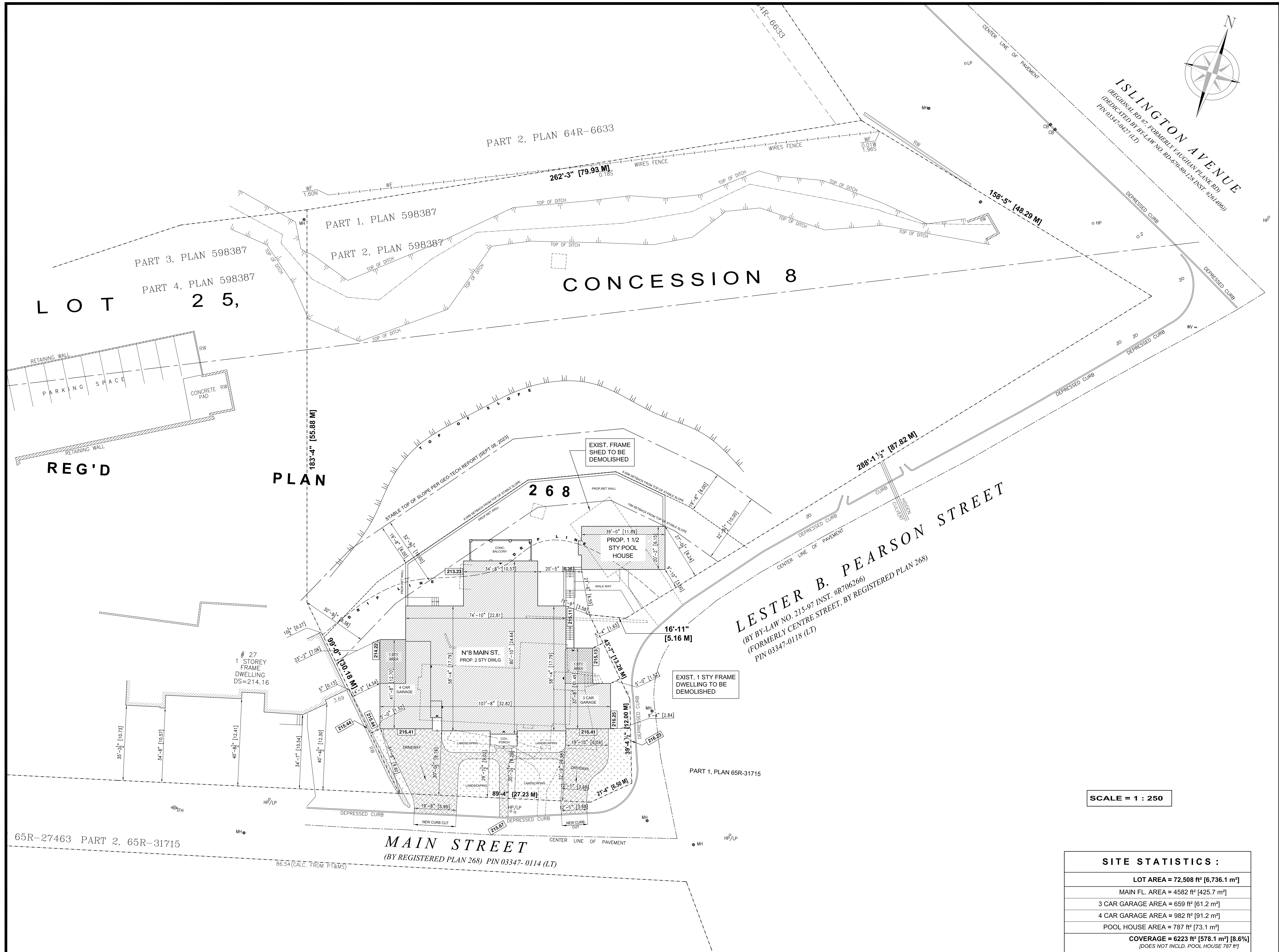
LEGEND

SYMBOL	NOTES
MH	MANHOLE
CB	CATCH BASIN
WV	WATER VALVE
BB	BOTTOM OF BANK
TB	TOP OF BANK
BF	BOARD FENCE
RWS	STONE RETAINING WALL
RWW	WOODEN RETAINING WALL
UP	UTILITY POLE
DS	DOOR SILL
CR	CENTERLINE
SWI	INTERLOCKING PAVEMENT
O/H	OVERHEAD
P	PLANTER
WS	WOODEN STAKE
N.S.E.W	NORTH, SOUTH, EAST, WEST
PI	PROPERTY IDENTIFIER NUMBER
D	DIAMETER
DT	DECIDUOUS TREE
CT	CONIFEROUS TREE
B	BUSH
293.05	ELEVATION ON THE GROUND
293.05	ELEVATION ON THE TOP OF WALL
293.05	TREES TO BE REMOVED
293.05	PROPOSED ELEVATION
293.05	PROPOSED FINISHED FIRST FLOOR ELEVATION
293.05	TOP OF WALL ELEVATION
293.05	BASEMENT SLAB
293.05	UNDERSIDE OF FOOTING ELEVATION
293.05	SUB-BASEMENT ELEVATION
293.05	UNDERSIDE OF SUB-BASEMENT ELEVATION
293.05	DRAINAGE DIRECTION

GRADING CONSULTANT APPROVAL

I HAVE REVIEWED THE SITE AND GRADING PLAN FOR THE PROPOSED BUILDING TO BE CONSTRUCTED AND I HEREBY CERTIFY THAT:
1) THE PROPOSED GRADES ARE IN CONFORMITY WITH EXISTING DRAINAGE PATTERNS.
2) THE PROPOSED GRADE WILL NOT ADVERSELY AFFECT ADJOINING PROPERTIES.

THE FIELD OBSERVATIONS REPRESENTED ON THIS PLAN WERE COMPLETED ON THE 11TH DAY OF JUNE, 2024.
JULY 11, 2024
DATE
ALEX MARTON
ONTARIO LAND SURVEYOR



SCALE = 1 : 250

SITE STATISTICS :	
LOT AREA = 72,508 ft² [6,736.1 m²]	
MAIN FL. AREA = 4582 ft² [425.7 m²]	
3 CAR GARAGE AREA = 659 ft² [61.2 m²]	
4 CAR GARAGE AREA = 982 ft² [91.2 m²]	
POOL HOUSE AREA = 787 ft² [73.1 m²]	
COVERAGE = 6223 ft² [578.1 m²] [8.6%] [DOES NOT INCLUDE POOL HOUSE 787 ft²]	
MAIN FL. AREA = 4582 ft² [425.7 m²]	
2ND FL. AREA = 5456 ft² [506.9 m²]	
2ND FL. [OPEN TO BELOW] AREAS = 336 ft² [31.2 m²] [NOT INCLUDED IN GFA]	
GFA MAIN HOUSE = 10038 ft² [932.6 m²] GFA POOL HOUSE = 1574 ft² [146.2 m²]	
TOTAL GFA [POOL HOUSE + MAIN HOUSE] = 11,612 ft² [1078.8 m²]	

The **Rubinoff Design Group** are referred to as the Designer.

This drawing, as an instrument of service, is provided by and is the property of the Designer.

The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the Designer of any variations from the supplied information.

This drawing is not to be scaled.

The company is not responsible for the accuracy of survey, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

The contractor working from drawings that are not city stamped permit plans must assume full responsibility and bare costs for any corrections or damages resulting from his work.

The designer retains ownership of copyright in all these drawings.

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For greater clarity the Designer shall not be liable, directly or indirectly, in any manner whatsoever by any party by reason of the use of the drawings and materials referred to herein.

ISSUES:		
No.	Date	Description
REVISIONS:		
No.	Date	Description
1	AUG/18/2023	ADDED DRIP LINE PER STAKE OUT FROM TRCA
2	AUG/28/2023	ADDED TOP OF SLOPE PER STAKE OUT JULY 14, 2023

**Rubinoff Design Group**

400 - 18 Gloucester Lane,
Toronto, Ontario M4Y 1L5

TEL. 416.667-0322 FAX.416.667.0751 EMAIL. info@rubinoffdesign.com

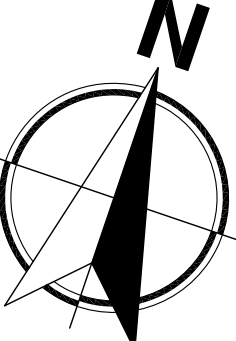
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.5.1. OF THE BUILDING CODE

GLENN RUBINOFF 22370
NAME SIGNATURE BCIN/BCDN

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.4.1. OF THE BUILDING CODE

RUBINOFF DESIGN GROUP 27293
FIRM NAME BCIN/BCDN



CLIENT:
PRIVATE RESIDENCE

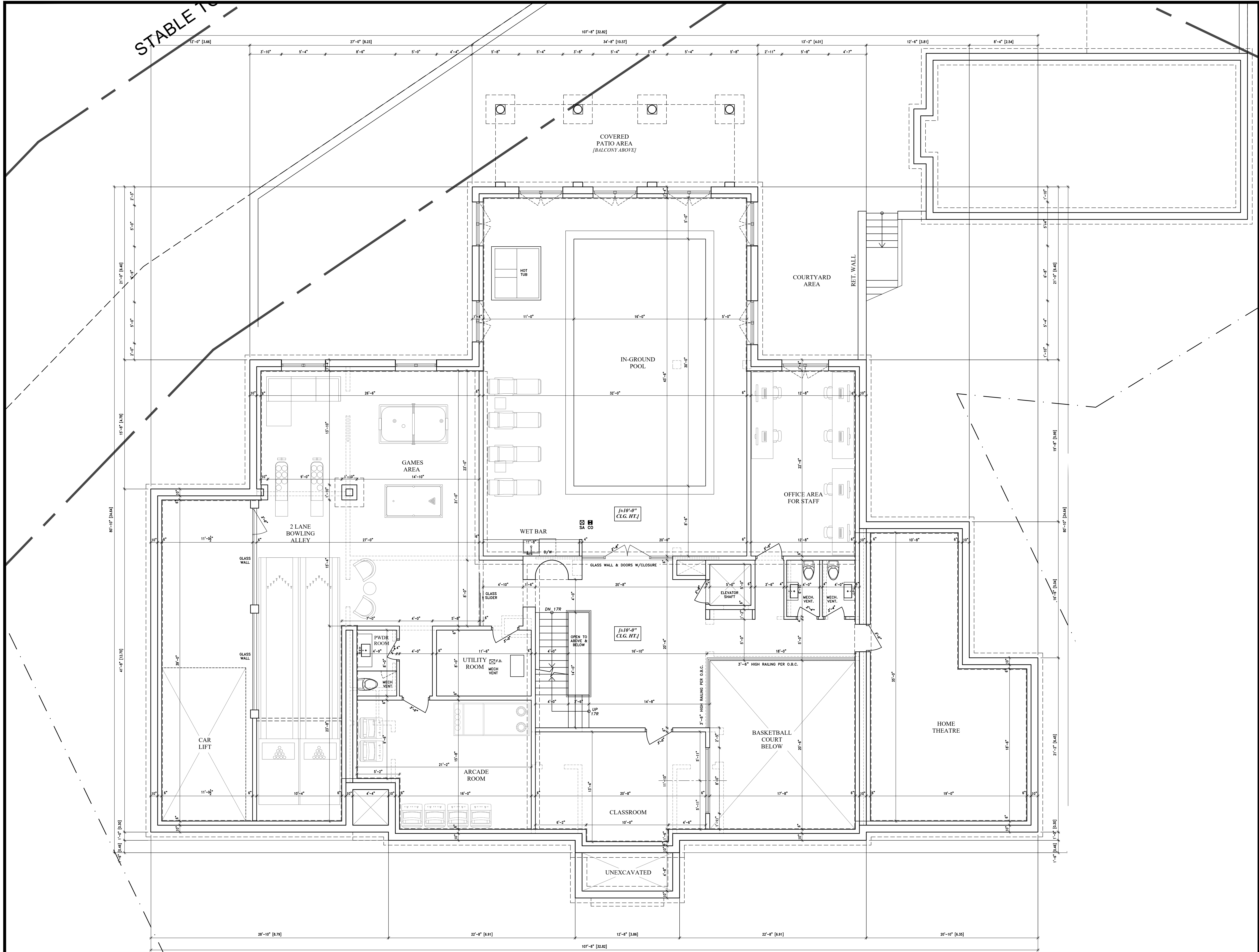
PROJECT:
**8 MAIN STREET
VAUGHAN, ONTARIO**

DRAWING:
PROPOSED NEW SITE PLAN

PROJECT DESIGNER: G. RUBINOFF	PROJECT NO.	DRAWING NO.
DRAWN BY: P. NARANJO	DATE: FEB/07/2025	
CHECKED BY: G. R.	SCALE: AS NOTED	



CLIENT:		
PRIVATE RESIDENCE		
PROJECT:		
8 MAIN STREET		
VAUGHAN, ONTARIO		
DRAWING:		
PROPOSED NEW SUB-BASEMENT FLOOR PLAN		
PROJECT DESIGNER: G.RUBINOFF	PROJECT NO.	DRAWING NO. A0
DRAWN BY: P. NARANJO	DATE: FEB/24/2025	
CHECKED BY: G.R.	SCALE: 3/16" = 1'-0"	



BASEMENT FLOOR PLAN
- 8 MAIN STREET -

INTERIOR FIN. BSMT AREA = 5713 ft² [530.8 m²]

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This drawing, as an instrument of service, is provided by and is the property of the Designer.
The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the Designer of any variations from the supplied information.
This drawing is not to be scaled.
The company is not responsible for the accuracy of survey, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction.
The contractor working from drawings that are not city stamped permit plans must assume full responsibility and bare costs for any corrections or damages resulting from his work.
The designer retains ownership of copyright in all these drawings.
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For greater clarity the Designer shall not be liable, directly or indirectly, in any manner whatsoever by any party by reason of the use of the drawings and materials referred to herein.

ISSUES:		
No.	Date	Description

REVISIONS:		
No.	Date	Description

**Rubinoff Design Group**

2 St. Clair Avenue West, Suite 1836
Toronto, Ontario M4V 1L5

TEL. 416.667-0322 FAX.416.667.0751 EMAIL. info@rubinoffdesign.com

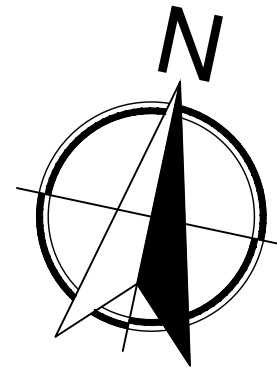
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.5.1. OF THE BUILDING CODE

GLENN RUBINOFF 22370
NAME SIGNATURE BCIN/BCDN

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.4.1. OF THE BUILDING CODE

RUBINOFF DESIGN GROUP 27293
FIRM NAME BCIN/BCDN



CLIENT:
PRIVATE RESIDENCE

PROJECT:
8 MAIN STREET
VAUGHAN, ONTARIO

DRAWING:
PROPOSED NEW BASEMENT FLOOR PLAN

PROJECT DESIGNER: G.RUBINOFF	PROJECT NO.	DRAWING NO. A1
DRAWN BY: P.NARANJO	DATE: FEB/24/2025	
CHECKED BY: G.R.	SCALE: 3/16" = 1'-0"	



SITE STATISTICS :	
LOT AREA = 72,508 ft ² [6,736.1 m ²]	
MAIN FL. AREA = 4582 ft ² [425.7 m ²]	
3 CAR GARAGE AREA = 659 ft ² [61.2 m ²]	
4 CAR GARAGE AREA = 982 ft ² [91.2 m ²]	
POOL HOUSE AREA = 787 ft ² [73.1 m ²]	
COVERAGE = 6223 ft² [578.1 m²] [8.6%] <i>(DOES NOT INCLD. POOL HOUSE 787 ft²)</i>	
MAIN FL. AREA = 4582 ft ² [425.7 m ²]	
2ND FL. AREA = 5456 ft ² [506.9 m ²]	
2ND FL. [OPEN TO BELOW] AREAS = 336 ft ² [31.2 m ²]	
<i>[NOT INCLUDED IN GFA]</i>	
GFA MAIN HOUSE = 10038 ft ² [932.6 m ²]	
GFA POOL HOUSE = 1574 ft ² [146.8 m ²]	
TOTAL GFA [POOL HOUSE + MAIN HOUSE] = 11,612 ft ² [1078.7 m ²]	

® Rubinoff Design Group
2 St. Clair Avenue West, Suite 1836
Toronto, Ontario M4V 1L5
EL. 416.667-0322 FAX. 416.667.0751 EMAIL. info@rubinoffdesign.com

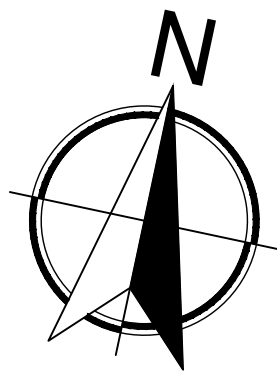
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GLENN RUBINOFF 2237
NAME SIGNATURE BCIN/BCI

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER
2.17.4.1. OF THE BUILDING CODE

RUBINOFF DESIGN GROUP	2729.
FIRM NAME	BCIN/BCI



CLIENT: PRIVATE RESIDENCE

PROJECT:

8 MAIN STREET

VAUGHAN, ONTARIO

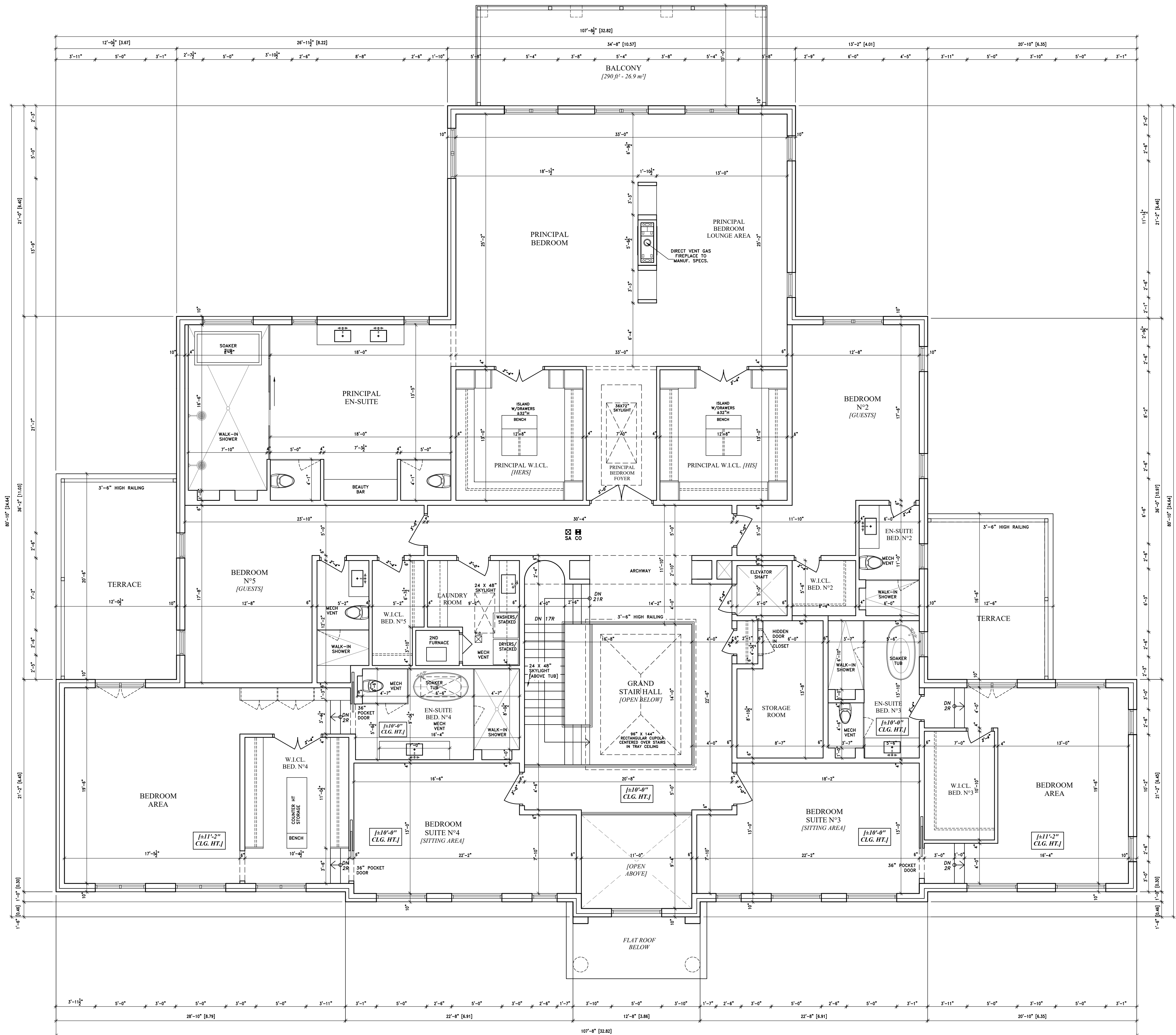
DRAWING:

**PROPOSED NEW MAIN
FLOOR PLAN**

PROJECT DESIGNER: G.RUBINOFF	PROJECT NO.
DRAWN BY: P.NARANJO	DATE: FEB/24/20
CHECKED BY: G.R.	SCALE: 3/16" = 1'

DRAWING NO.

A2



SECOND FLOOR PLAN
- 8 MAIN STREET -

2ND FL. AREA = 5456 ft ² [506.9 m ²]
2ND FL. [OPEN TO BELOW] AREAS = 336 ft ² [31.2 m ²] [NOT INCLD. IN GFA]

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REVISIONS:		
No.	Date	Description

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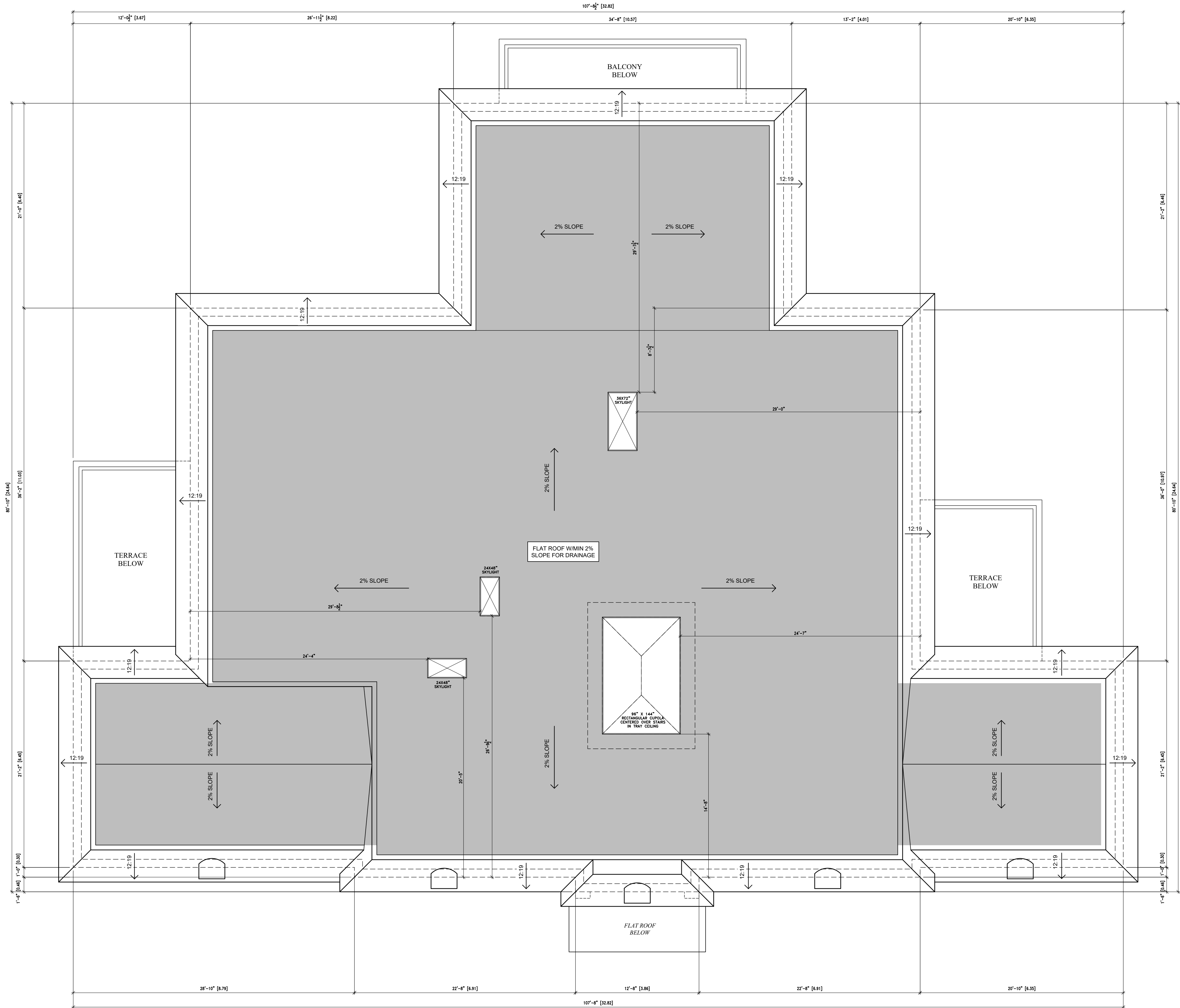
RUBINOFF DESIGN GROUP 27293
FIRM NAME BCIN/BCDN

CLIENT:
PRIVATE RESIDENCE

PROJECT:
8 MAIN STREET
VAUGHAN, ONTARIO

DRAWING:
PROPOSED NEW SECOND FLOOR PLAN

PROJECT DESIGNER: G.RUBINOFF	PROJECT NO.	DRAWING NO. A3
DRAWN BY: P.NARANJO	DATE: FEB/24/2025	
CHECKED BY: G.R.	SCALE: 3/16" = 1'-0"	



ROOF FRAMING PLAN
- 8 MAIN STREET -

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NAME

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RUBINOFF DESIGN GROUP

FIRM NAME

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BCIN/BCDN

CLIENT:
PRIVATE RESIDENCE

PROJECT:
8 MAIN STREET
VAUGHAN, ONTARIO

DRAWING:
PROPOSED NEW ROOF FRAMING PLAN

PROJECT DESIGNER:
G.RUBINOFF

DRAWN BY:
P.NARANJO

CHECKED BY:
G.R.

PROJECT NO.

DATE:
FEB/24/2025

SCALE:
3/16" = 1'-0"

DRAWING NO.

A4



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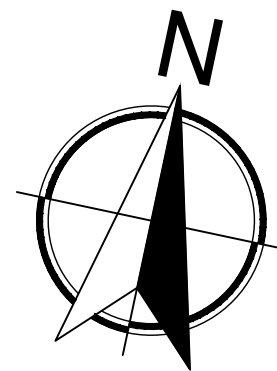
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PROJECT:
8 MAIN STREET
VAUGHAN, ONTARIO

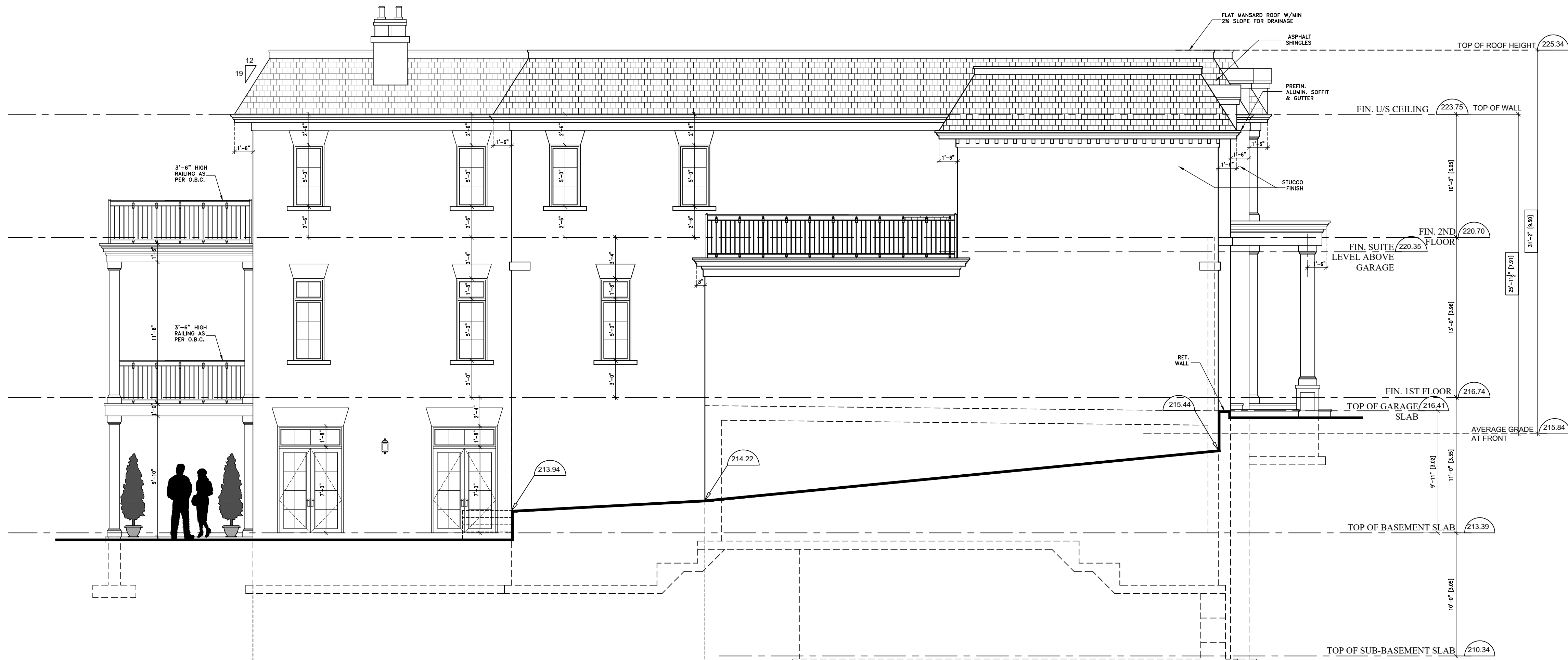
DRAWING:
PROPOSED NEW FRONT
ELEVATION OPTIONS

PROJECT DESIGNER: G.RUBINOFF	PROJECT NO.	DRAWING NO.
DRAWN BY: P.NARANJO	DATE: FEB/24/2025	A5
CHECKED BY: G.R.	SCALE: 3/16" = 1'-0"	



REAR ELEVATION

* 8 MAIN STREET *
[NORTH ORIENTATION]



LIMITING DISTANCE CALCULATION: [4.34m]
WALL FACE AREA = 1400 R² [130.1 m²]
18% WINDOW ALLOWANCE = 252 R² [23.4 m²]
WINDOW AREAS [224 x 0.9] = 201.6 R² [18.7 m²]

LEFT SIDE ELEVATION

* 8 MAIN STREET *
[WEST ORIENTATION]

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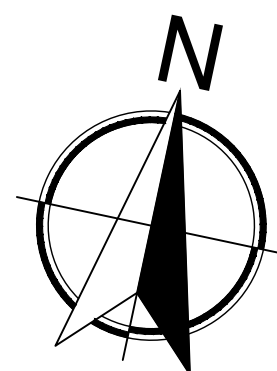
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FIRM NAME BCIN/BCDN



CLIENT:

PRIVATE RESIDENCE

PROJECT:

8 MAIN STREET
VAUGHAN, ONTARIO

DRAWING:

PROPOSED NEW FRONT & RIGHT
SIDE ELEVATIONS

PROJECT DESIGNER:
G.RUBINOFF

PROJECT NO.

DRAWING NO.

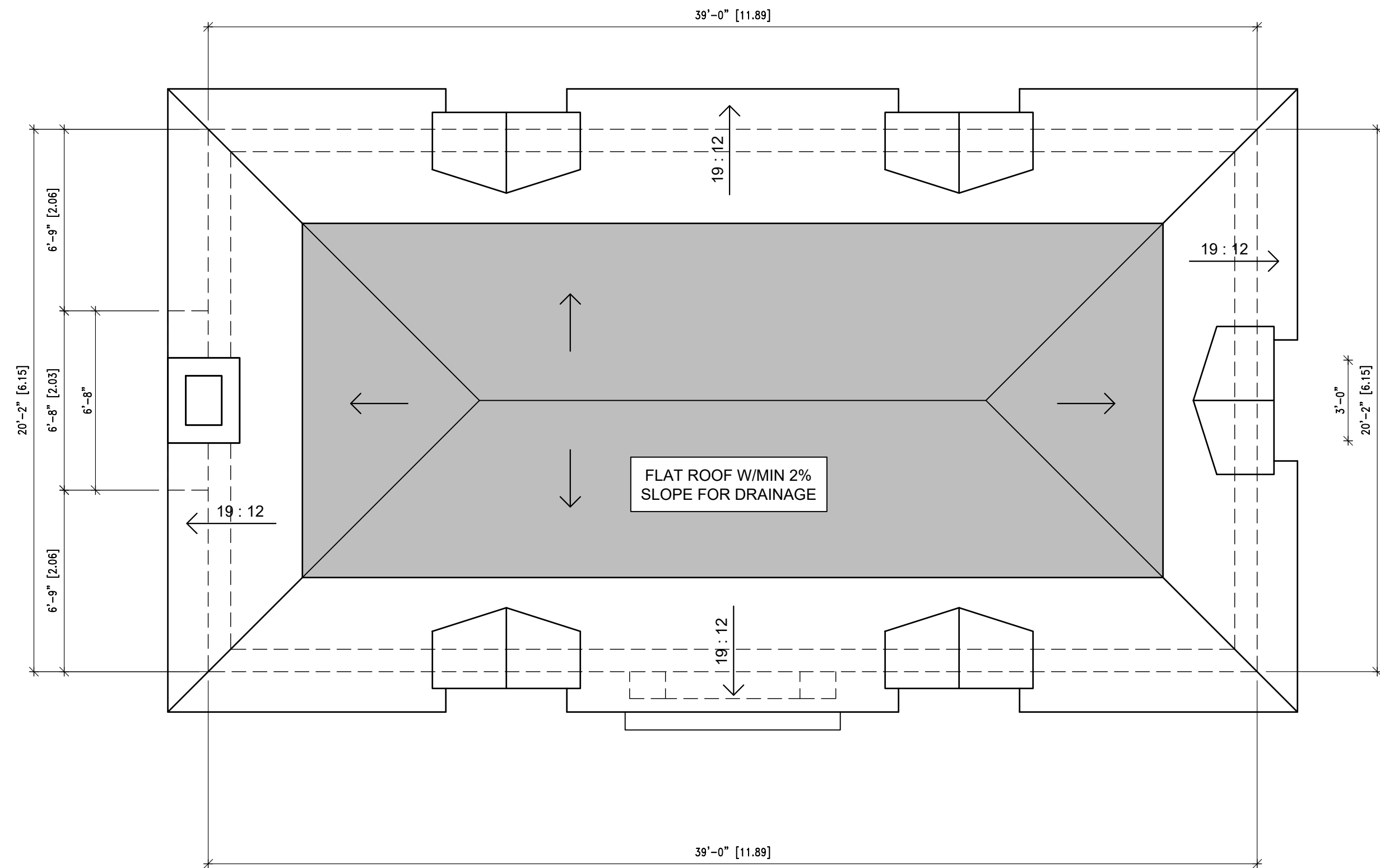
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DATE:
FEB/24/2025

A6

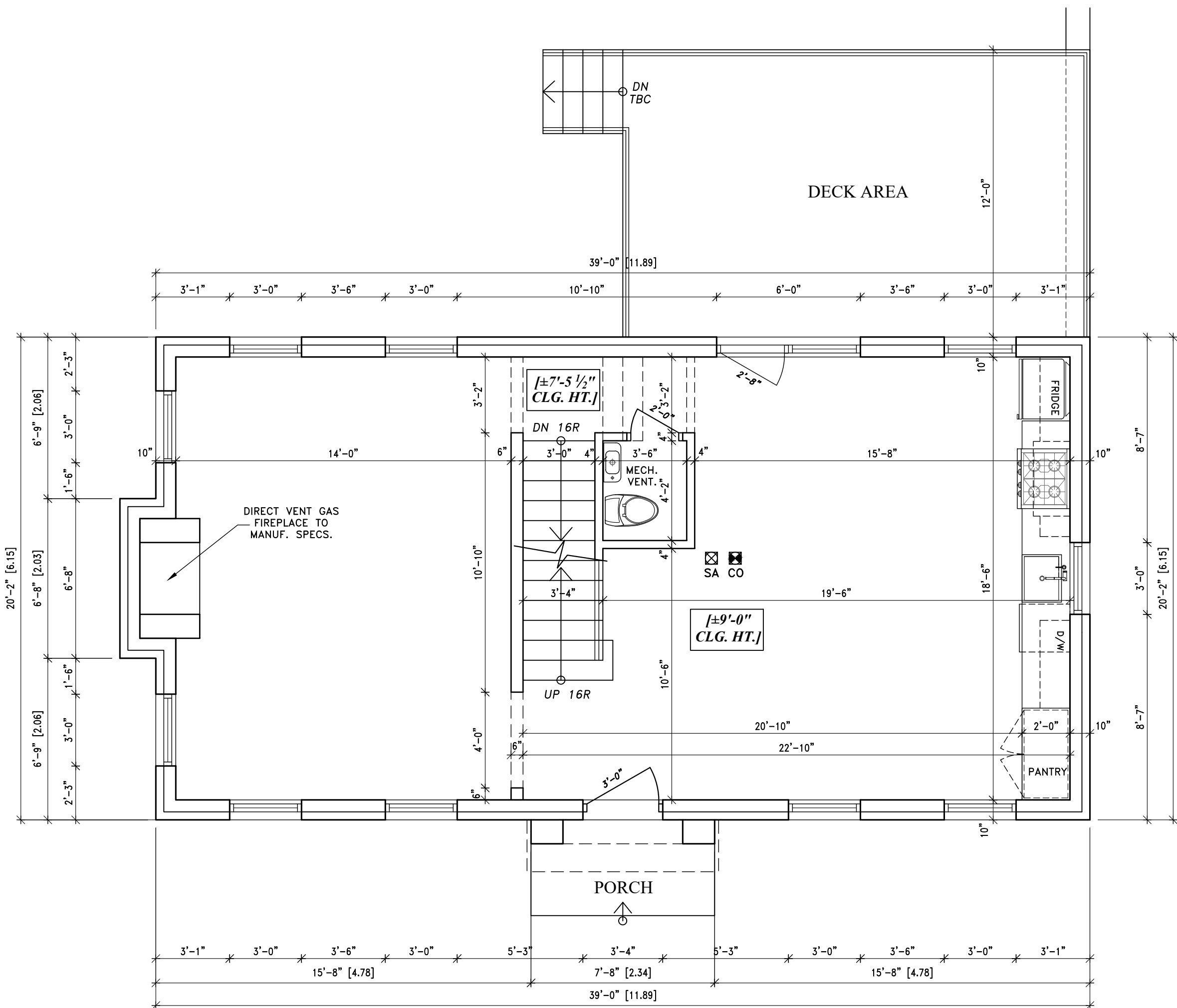
CHECKED BY:
G.R.

SCALE:
3/16" = 1'-0"



ROOF PLAN

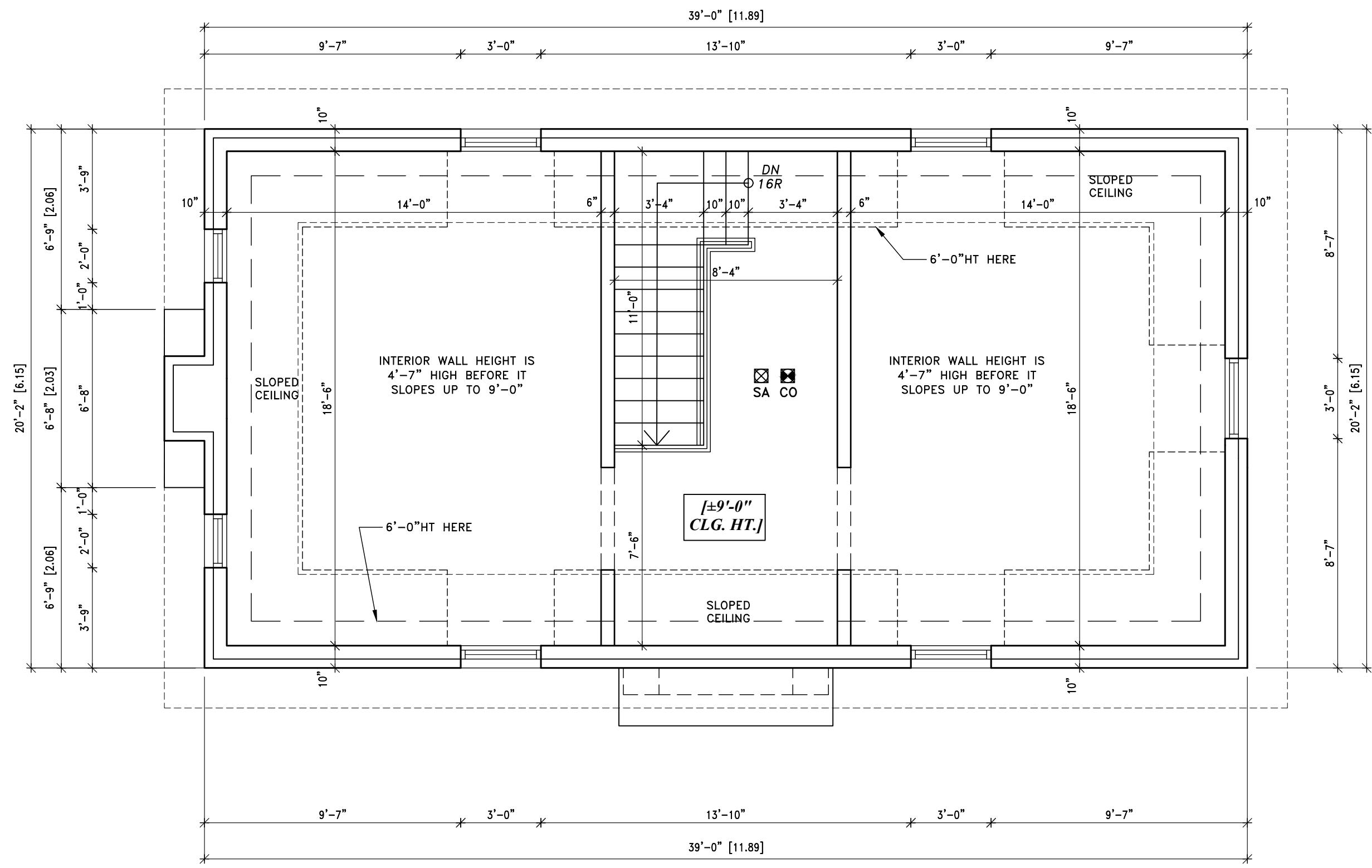
* 8 MAIN STREET - POOL HOUSE *



GROUND FLOOR PLAN

* 8 MAIN STREET - POOL HOUSE *

GROUND FL AREA = 787 ft² [73.1 m²]
2ND FL AREA = 787 ft² [73.1 m²]
TOTAL GFA = 1574 ft² [146.2 m²]



SECOND FLOOR PLAN

* 8 MAIN STREET - POOL HOUSE *

2ND FL AREA = 787 ft² [73.1 m²]

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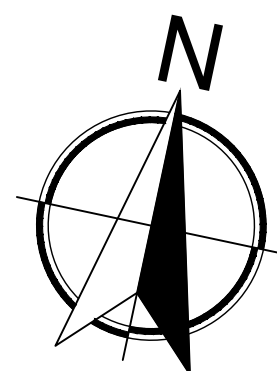
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FIRM NAME BCIN/BCDN



CLIENT:

PRIVATE RESIDENCE

PROJECT:

8 MAIN STREET
VAUGHAN, ONTARIO

DRAWING:

PROPOSED NEW POOL HOUSE FLOOR PLANS

PROJECT DESIGNER:
G.RUBINOFF

PROJECT NO.

DRAWN BY:
P.NARANJO

DATE:
FEB/24/2025

CHECKED BY:
G.R.

SCALE:
3/16" = 1'-0"

DRAWING NO.

A7

Attachment 3

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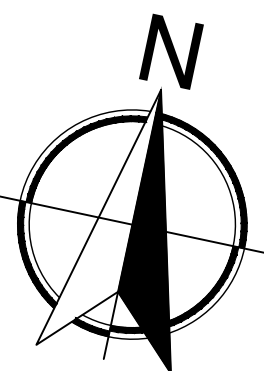
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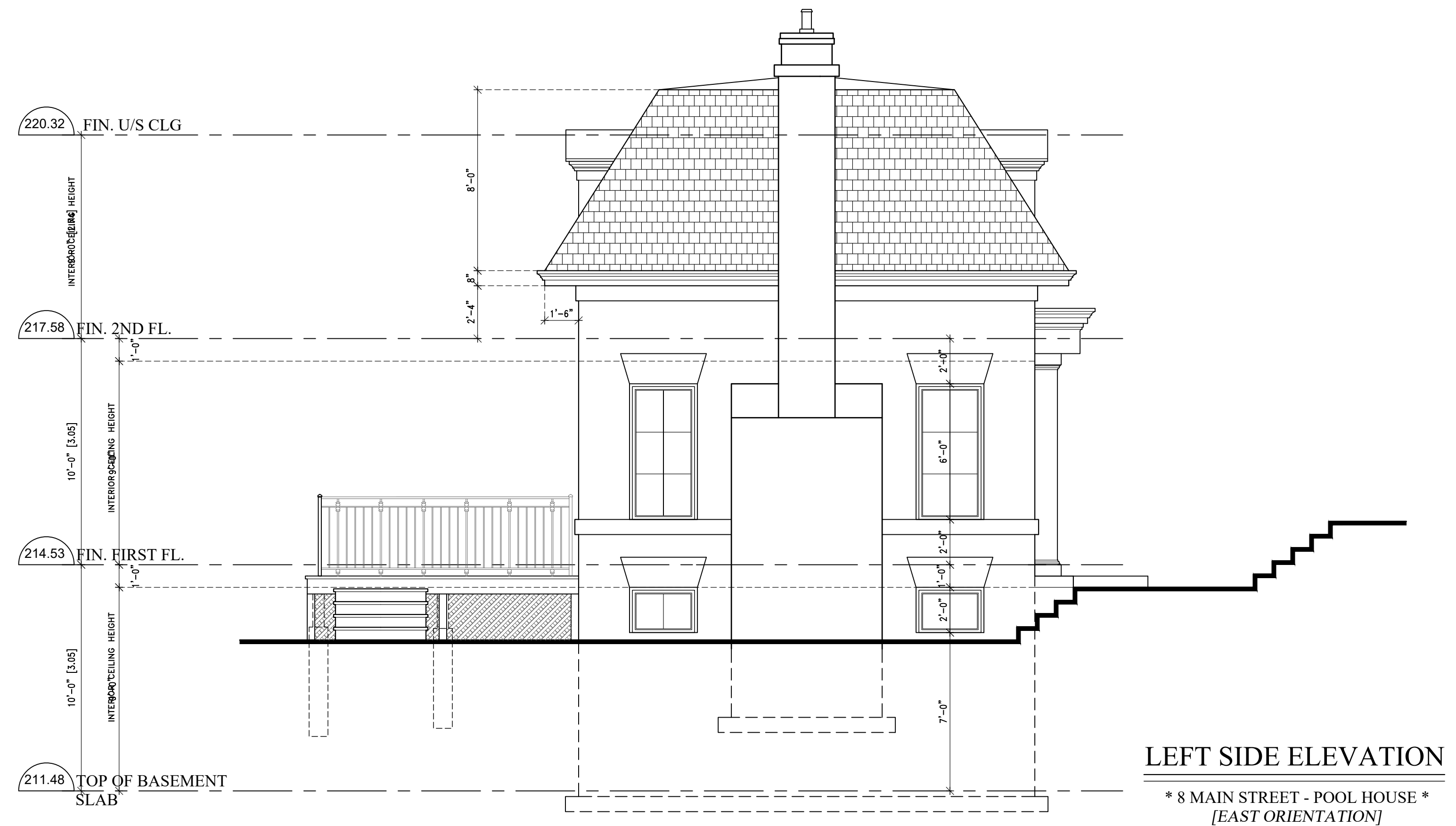
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[illegible][illegible]

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<p>REGISTRATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.4.1. OF THE BUILDING CODE</p> <p>RUBINOFF DESIGN GROUP 27293 FIRM NAME BCIN/BCDN</p>		

CLIENT: PRIVATE RESIDENCE		
PROJECT: 8 MAIN STREET VAUGHAN, ONTARIO		
DRAWING: PROPOSED NEW POOL HOUSE ELEVATIONS		
PROJECT DESIGNER: G. RUBINOFF	PROJECT NO.	DRAWING NO. <div style="font-size: 48px; font-weight: bold; margin-top: 20px;">A9</div>
DRAWN BY: P. NARANJO	DATE: FEB/24/2025	
CHECKED BY: G. R.	SCALE: 3/16" = 1'-0"	



REAR ELEVATION

* 8 MAIN STREET - POOL HOUSE
[NORTH ORIENTATION]