

Gary McKinnon B.A. M.B.A.
5670 Steeles Avenue West
Woodbridge, Ontario
L4L 0L3

[REDACTED]

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Sent by registered mail

Office of the City Clerk
City of Vaughan
2141 Major Mackenzie Drive West
Vaughan, On.
L6A 1T1

August 1, 2024

Re: Intent to designate under the Ontario Heritage Act
5670 Steeles Ave West, Woodbridge

Dear Sir:

I am receipt of the intent to designate my property under the Ontario Heritage Act. I strongly object to this for the following reasons:

- 1) The property comprising some 18.5 acres was included in the Official Plan in 2010 to permit industrial development. Full services from Etobicoke have been paid for to allow such development. To my knowledge, this is the largest privately owned undeveloped parcel of land on Steeles Avenue.
- 2) I point out that my sisters and I owned the farm on highway 27, (#8682), from 1969 to 2006, where is now situated the Costco building. My late sister lived there the whole ownership period. I gather it was designated as a heritage site. The house built around 1870 has been left abandoned and some of the windows have been broken for years, allowing birds and other animals to enter. I think this is a blight on Vaughan to allow this to occur. The dwelling should either be renovated and sold or torn down. And I suspect that in due course, the dwelling will be enveloped by fire. I fear that designating my property may well repeat what has happened to the Costco land.

3) With respect to associating the property with William Hartman, I bet over 99.9% of Vaughan residents never heard of him and fewer even care. In my opinion, even if Sir John A. Macdonald had spent his summers there, there would be no valid reason for such a designation.

To try to preserve the agricultural heritage, the traces of farming economy, in a landscape that has rapidly changed with the development of residential and industrial properties, leaving behind little to celebrate, is foolhardy and pointless. Utopia is not attainable this late in the game. Properties designated for heritage designation should be on sites with a smaller footprint, ones that can be maintained and enjoyed by the populace, not allowed to linger as was allowed to happen with the property I referred to previously that sold in 2006.

4) I send you a copy of a January 21, 2020 recommendation by the Committee of the Whole, for a property not far from me, then owned by Janet Dobson (deceased). It was located at 7141, highway #50. That report recommended the removal of that property from the Listing of Property of Architectural and Historical Significance under Section 27(1.3) of the Ontario Heritage Act.

The background of that report mimics the characteristics of my property: age of building, exterior covering (stucco), and the addition to the original structure (36.6% of the total square footage). Page 3 of that report is particularly similar if not identical to my building. One could easily headline my dwelling as the subject in the report and the rest of the information would be pertinent.

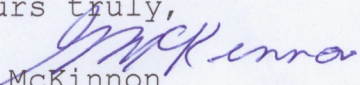
The Dobson building has since been demolished to allow for other uses. If one wants to return to yesteryear, recognizing the Georgian style of house, one would have to demolish almost 37% of the structure due to the addition built in 1978, as well as the covered veranda and office addition constructed in 1962.

I think council's subsequent decision in 2020 to remove the Dobson property set a precedent and by applying the legal concept of "stare decisis", I do not see why my property should be treated any differently than the Dobson dwelling. As a former real estate broker, I know that any future reduction in value of the property should this action occur

would give cause for legal action. I trust this will not be the case.

I submit all of the above for your consideration.

Yours truly,


G. McKinnon

Canada Post/Postes Canada
SHOPPERS DRUG MART #0753
5694 HWY 7
WOODBIDGE, ON L4L 1B0
GST/TPS#859340101

2024/08/01
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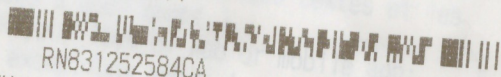
MARIANA

ONH 1 @ \$1.40 \$1.40
LETTERMAIL STD/LET STANDARD

Item Weight/Poids de l'article: 0.050
kg

Volumetric Equivalent (VE)/
Équivalent volumétrique (EV): 0.000
Kg

Destination: Canada
Postal code - ZIP Code/Code postal -
ZIP: L6A1T1



RN831252584CA

ONH \$10.50
REG DOMESTIC/COURRIER RECOMMANDE

ONH \$0.00
INSUR. PARC XP P/C/COLIS ASSUR XP P/C

Amount covered/Montant de la
couverture: \$100.00

W/ SUBTL/SOUS-TOTAL \$11.90
HST/TVH \$1.55
TOTAL \$13.45