

ITEM: 6.7	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A061/25
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Report Date: Friday, June 13, 2025

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Engineering	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Forestry	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Metrolinx	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
<p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p>				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Applicant			06/09/2025	Application Presentation

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<p><small>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</small></p>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY	
<small>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</small>	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A061/25

CITY WARD #:	1
APPLICANT:	Malgorzata Monika Rustami & Navid Ahmad Rustami
AGENT:	Anthony Zambri (LAND DESIGN CANADA)
PROPERTY:	5 Weller Crescent, Maple
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	N/A
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a cabana, increased lot coverage and reduced soft landscaping requirements.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1E(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.534 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The maximum Lot Coverage permitted is 20%. [Table 7-3, Note 2]	To permit a maximum Lot Coverage of 32.8%.
2	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 metres. [Section 4.1.4 1.]	To permit an accessory building (cabana) with a maximum height of 3.5 metres.
3	A residential accessory structure with a height greater than 2.8 metres shall not be located closer than 2.4 metres to any lot line. [Section 4.1.2 b.]	To permit a residential accessory structure (cabana) with a height greater than 2.8 metres to be located 1.22 metres from the interior side lot line.
4	In a R1E Zone, any portion of a yard in excess of 135 square metres shall be comprised of a minimum of 60% soft landscaping. [Section 4.19.1 1.]	To permit a minimum of 56.18% of the rear yard in excess of 135 square metres to be comprised of soft landscaping.

HEARING INFORMATION

DATE OF MEETING: Thursday, June 19, 2025

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

HEARING INFORMATION

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	June 5, 2025
Date Applicant Confirmed Posting of Sign:	May 16, 2025
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Proposed structures do not comply with zoning by-law
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
N/A	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments. Application under Review.	
Development Planning Recommended Conditions of Approval:	TBD

DEVELOPMENT ENGINEERING

Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
Application under Review.	
Development Engineering Recommended Conditions of Approval:	TBD

PARKS, FORESTRY & HORTICULTURE (PFH)

Recommended condition of approval listed below.	
PFH Recommended Conditions of Approval:	Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property. On May 29, 2025, the Parks, Forestry and Horticulture Operations Department noted that the

PARKS, FORESTRY & HORTICULTURE (PFH)

recommended condition of approval was fulfilled by the applicant.

DEVELOPMENT FINANCE

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Planning Alyssa.pangilinan@vaughan.ca	TBD
2	Development Engineering jonal.hall@vaughan.ca	TBD
3	TRCA yorkplan@trca.ca	1. That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority. 2. That the applicant obtains a permit for the proposed works pursuant to Conservation Authorities Act - Section 28.

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS

NOTE:

1. THE SCOPE OF WORK FOR THIS PROJECT ONLY INCLUDES THE PROPOSED ACCESSORY STRUCTURE.
2. ALL ELEVATIONS AND SETBACKS ARE TO BE CONFIRMED BY A REGISTERED PROFESSIONAL ENGINEER OR REGISTERED ONTARIO LAND SURVEYOR PRIOR TO THE PLACING OF ANY CONCRETE.
3. EXISTING DRAINAGE TO REMAIN UNALTERED.
4. ANY DISCREPANCY NOTED BY THE CONTRACTOR SHALL BE BROUGHT TO THE NOTICE OF THE ENGINEER BEFORE COMMENCING OR CONTINUING ANY WORKS.
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE ONTARIO OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS, AND ALL APPLICABLE CODES, ORDINANCES AND ACCEPTED INDUSTRY STANDARDS.
6. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS AND ESTABLISHING THE COMPATIBILITY OF ALL NEW WORK WITH THE EXISTING CONDITIONS.

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SITE STATISTICS:

LOT AREA	865.29 M ²
REAR YARD AREA	357.65 M ²
SOFT LANDSCAPING	
POOL	60.20 M ²
LAWN	42.37 M ²
GARDENS	82.17 M ²
SOFT LANDSCAPING TOTAL	185.29 M ²
SOFT LANDSCAPING PERCENTAGE	185.29/357.65 = 51.8%
HARD LANDSCAPING	
PAVERS/ CONCRETE / DECK	172.36 M ²
HARD LANDSCAPING TOTAL	172.36 M ²
HARD LANDSCAPING PERCENTAGE	172.36/357.65 = 48.2%

SITE STATISTICS:

LOT AREA	865.29 M ²
BUILDING AREA	206.20 M ² 23.83 %
PROPOSED LOGGIA	64.52 M ² 7.46 %
PROPOSED ACCESSORY BUILDING	13.11 M ² 1.51 %
TOTAL LOT COVERAGE	283.83 M ² 32.8 %

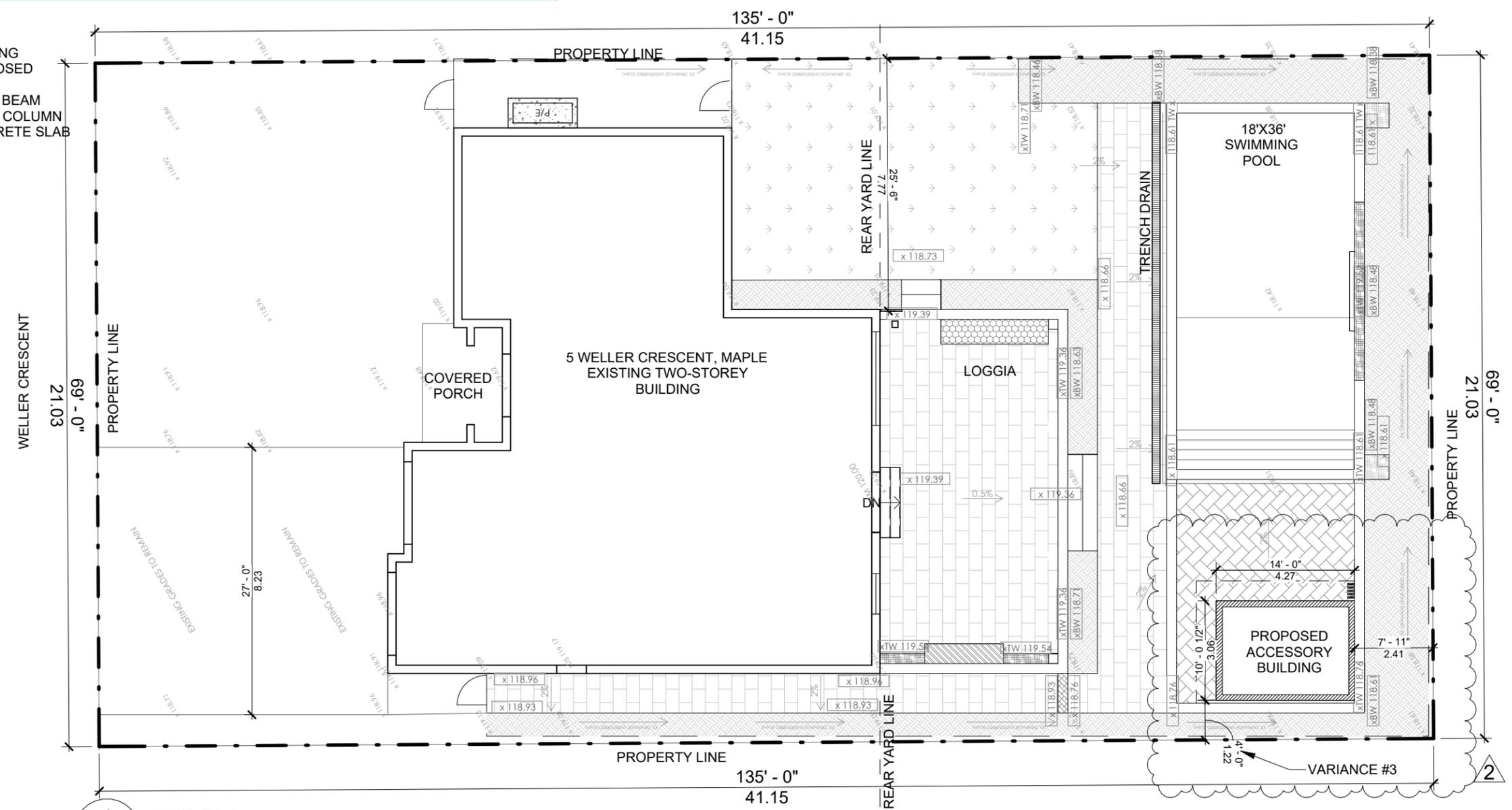
VARIANCE #1

VARIANCE #4



ABBREVIATIONS:

- EXT EXISTING
- PROP PROPOSED
- J JOIST
- WB WOOD BEAM
- WC WOOD COLUMN
- CS CONCRETE SLAB



1 SITE PLAN
A201 1 : 150



Tel: +1 (647) 877-7530
Email: info@deltoidconsulting.com

STAMP:



ISSUE		
NO.	DATE	ISSUED FOR
02	2025/05/03	ISSUED FOR PERMIT
01	2025/03/25	ISSUED FOR PERMIT
00	2024/12/14	ISSUED FOR PERMIT

DESIGNED BY:
N.MIRKHOSRAVI

CHECKED BY:
M.HAMEDANI

SCALE:
As indicated

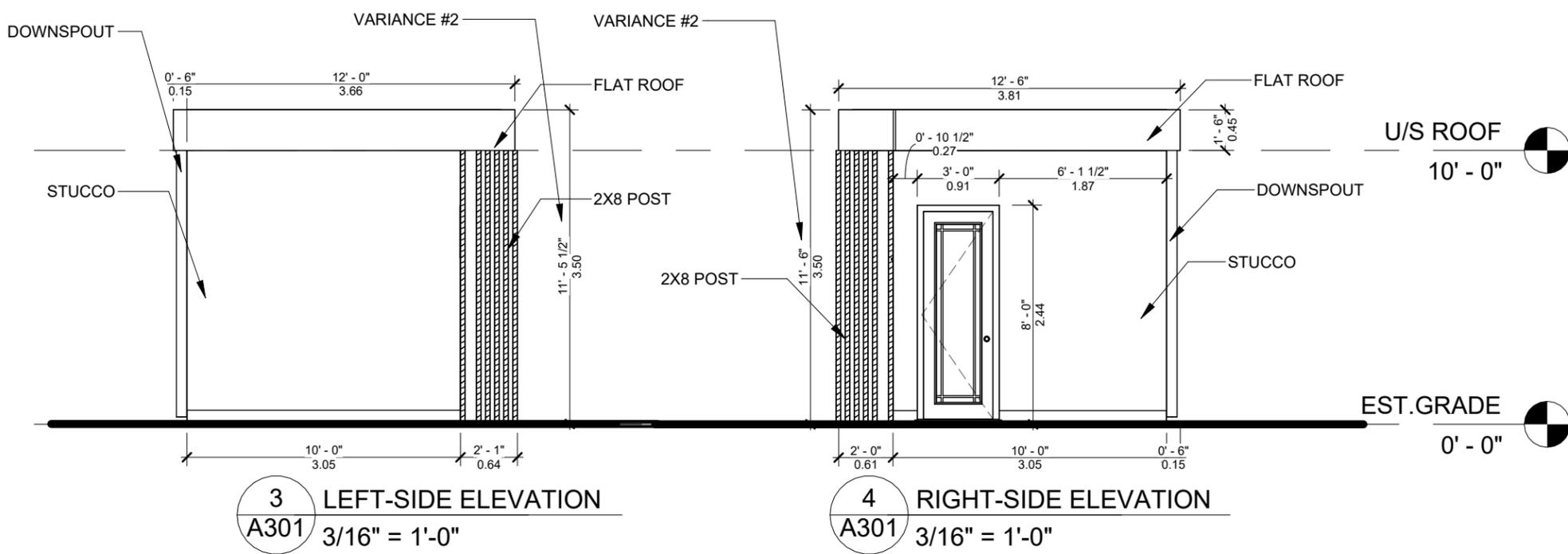
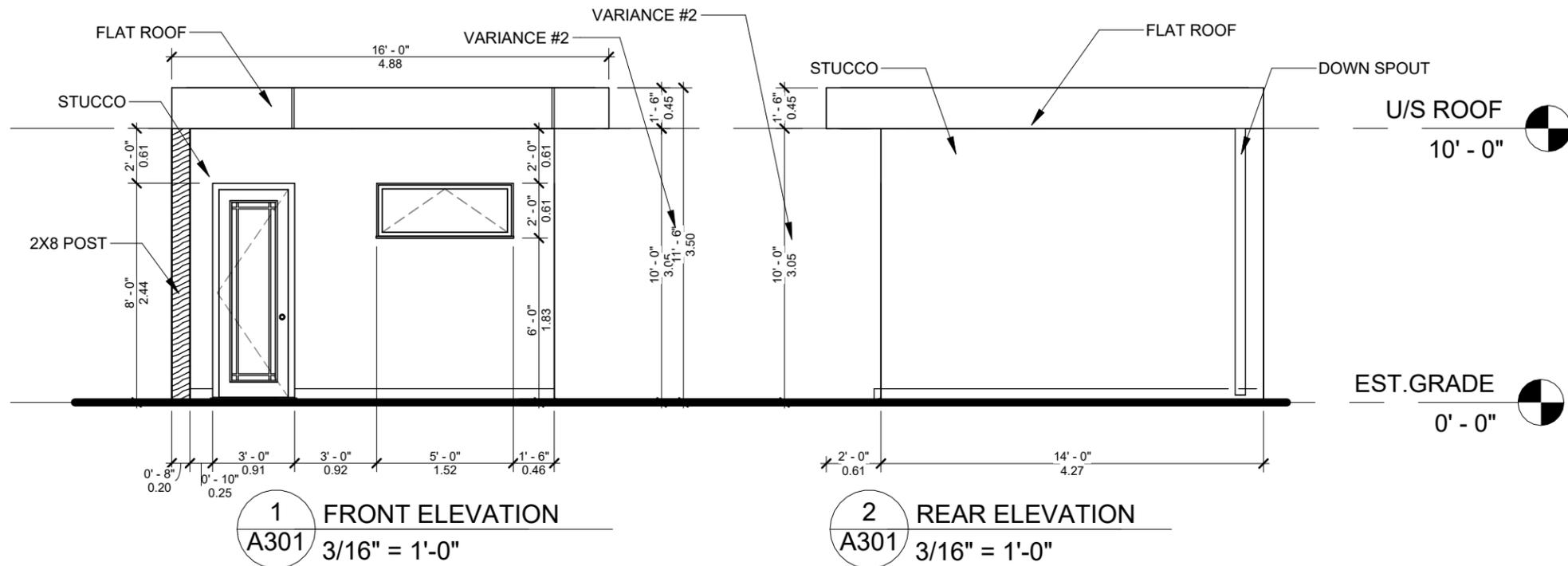
PROJECT TITLE
PROPOSED ACCESSORY STRUCTURE

PROJECT ADDRESS
5 WELLER CR., MAPLE

SHEET TITLE SITE PLAN	SHEET NO A201
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PAPER SIZE: 11"X17"

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Tel: +1 (647) 877-7530
Email: info@deltoidconsulting.com

STAMP:



ISSUE		
NO.	DATE	ISSUED FOR
00	2024/12/14	ISSUED FOR PERMIT

DESIGNED BY:
N.MIRKHOSRAVI

CHECKED BY:
M.HAMEDANI

SCALE:
3/16" = 1'-0"

PROJECT TITLE
PROPOSED ACCESSORY STRUCTURE

PROJECT ADDRESS
5 WELLER CR., MAPLE

SHEET TITLE ELEVATIONS	SHEET NO A301
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**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Metrolinx	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

From: [Zachary Guizzetti](#)
To: [Committee of Adjustment Mailbox](#)
Cc: [Christine Vigneault](#)
Subject: Condition Met (Gianluca Russo)
Date: Thursday, May 29, 2025 9:28:56 AM

Condition Title: Minor Variance Condition - Vaughan - Forestry

Condition Status: Condition Met

Condition Text: 1) Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.

File No: A061/25

Type: Minor Variance - Minor Type 1

Address: 5 Weller Cr

Date: May 12th 2025

Attention: **Christine Vigneault**

RE: Request for Comments

File No.:

Related Files: **A061-25**

Applicant: Land Design Canada

Location 5 Weller Crescent



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

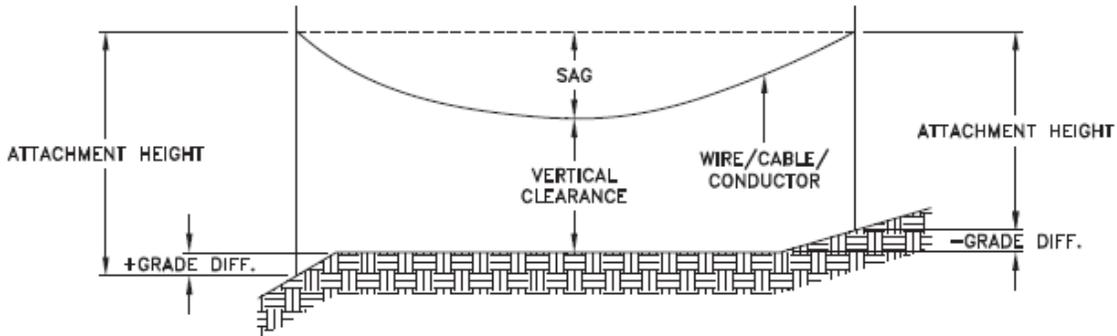
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

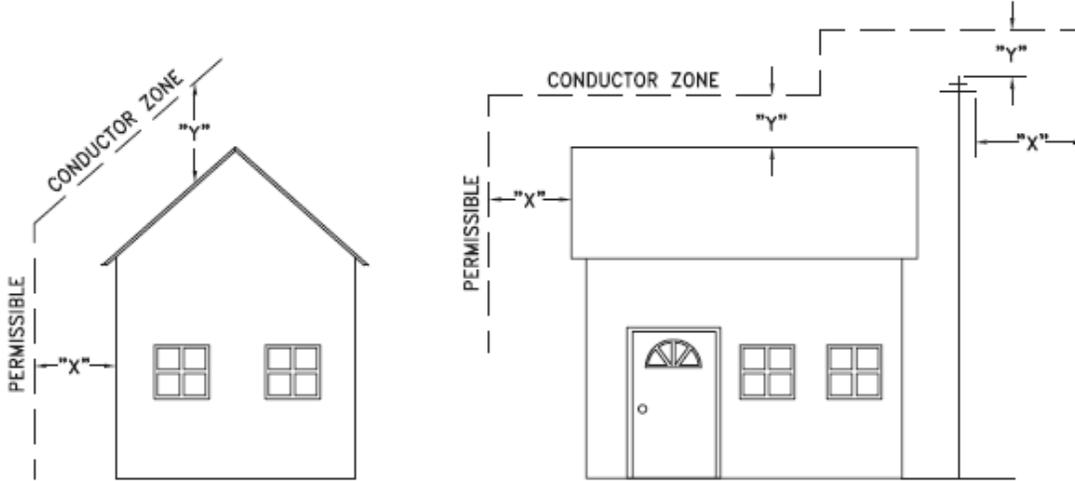
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Christian Tinney, Building Standards Department
Date: May 29, 2025
Applicant: LAND DESIGN CANADA
Location: 5 Weller Crescent
 PLAN RP5590 Lot 172
File No.(s): A061/25

Zoning Classification:

The subject lands are zoned R1E(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.534 under Zoning By-law 001-2021, as amended.

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2	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 metres . [Section 4.1.4 1.]	To permit an accessory building (cabana) with a maximum height of 3.5 metres .
3	A residential accessory structure with a height greater than 2.8 metres shall not be located closer than 2.4 metres to any lot line. [Section 4.1.2 b.]	To permit a residential accessory structure (cabana) with a height greater than 2.8 metres to be located 1.22 metres from the interior side lot line.
4	In a R1E Zone, any portion of a yard in excess of 135 square metres shall be comprised of a minimum of 60% soft landscaping. [Section 4.19.1 1.]	To permit a minimum of 56.18% of the rear yard in excess of 135 square metres to be comprised of soft landscaping.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

Building Permit No. 03-004959 for Single Detached Dwelling - Alteration, Issue Date: Dec 22, 2003
 Building Permit No. 24-138543 for Single Detached Dwelling - Alteration, Issue Date: (Not Yet Issued)
 Building Permit No. 24-141422 for Shed/Gazebo - New, Issue Date: (Not Yet Issued)

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

From: [development.coordinator](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A061/25 (5 Weller Crescent) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: May-16-25 1:44:06 PM
Attachments: [image001.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Afternoon Vaughan CofA,

Thanks for circulating to Metrolinx. Please be advised the subject lands (5 Weller Cres) fall outside our designated review zones. As such, we have no comments/concerns with this Minor Variance application.

Thank you,

Farah Faroque (she/her)

Project Analyst, Adjacent Construction Review

Real Estate & Development

Metrolinx

20 Bay Street – Suite 600 | Toronto | Ontario | M5J 2W3

T: 437.900.2291

 **METROLINX**

May 21, 2025

PAR-DPP-2025-00764

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Christine Vigneault
Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A061/25
Lot 172, Registered Plan 5590
5 Weller Crescent
City of Vaughan, Regional Municipality of York
Applicant: Land Design Canada.**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on May 16, 2025. TRCA staff have reviewed the application and offer the following comments for the consideration of the Committee of Adjustment.

Purpose of the Application

It is our understanding that the purpose of the above noted application is to request the following variance under By-law 001-2021, as amended:

By-Law 001-2021:

- To permit a maximum Lot Coverage of 32.4%;
- To permit an accessory building (cabana) with a maximum height of 3.5 metres;
- To permit a residential accessory structure (cabana) with a height greater than 2.8 metres to be located 1.22 metres from the interior side lot line; and,
- To permit a minimum of 51.8% of the rear yard in excess of 135 square metres to be comprised of soft landscaping.

The noted variances are being requested to facilitate the construction of a cabana and associated hard landscaping and grading in the rear yard.

Conservation Authorities Act – Section 28

A portion of the rear yard is within TRCA's Regulated Area due to a Regional Storm floodplain associated with a tributary of the Don River Watershed. As such, a TRCA permit pursuant to Section 28 of the Conservation Authorities Act is required for any development and site alteration within TRCA's Regulated Area. Further details regarding TRCA's permitting requirements have been provided in Appendix 'A' for the proponent's reference.

Application-Specific Comments

The subject property is partially within TRCA's Regulated Area due to a Regional Storm flood plain to the east of the subject lands. Based on TRCA's review of Minor Variance A061/25, it appears that a portion of the proposed development is within TRCA's Regulated Area. A TRCA permit pursuant to Section 28 of the Conservation Authorities Act and Ontario Regulation 41/24 is required for the proposed works.

A list of materials required to initiate the permit application process are included in Appendix 'A'.

Fees

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$660.00 (Minor Variance – Residential – Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

Recommendations

Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A061/25 subject to the following conditions:

1. That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.
2. That the applicant obtains a permit for the proposed works pursuant to Conservation Authorities Act - Section 28.

We trust these comments are of assistance. Should you have any questions, please contact Cameron McDonald, Planner I at 437-880-1925 or at cameron.mcdonald@trca.ca.

Sincerely,

Cameron McDonald

Cameron McDonald
Planner I

Development Planning and Permits | Development and Engineering Services
cameron.mcdonald@trca.ca, 437-880-1925

Appendix 'A': TRCA Permit Application Requirements

In order to initiate the permit review process, the following materials must be provided to TRCA:

1. Complete Permit Application pursuant to Section 28.1 of the Conservation Authorities Act. The application can be downloaded from the following website: <https://trcaca.s3.ca-central-1.amazonaws.com/app/uploads/2024/05/13102126/FA-TRCA-Development-Permit-Application-Form-UPDATED-May8-2024.pdf>
2. A digital copy of the following finalized plans/drawings are required:
 - **Site Plan** showing the location and dimension of all proposed works;
 - **Architectural / Elevation Drawings** (if applicable);
 - **Grading Plan**, if no grading is proposed, please add a note to the plan indicating the same;
 - **Ontario Land Survey**, identifying the entire subject property;
3. Permit review fee of \$240 (Private Residential – Minor Ancillary) consistent with TRCA's fee schedule.

From: [Development Services](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A061/25 (5 Weller Crescent) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Wednesday, May 21, 2025 11:49:41 AM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good morning,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Regards,

Gabrielle

Gabrielle Hurst MCIP, RPP | Associate Planner, Development Planning, Economic and Development Services Branch | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			06/09/2025	Application Presentation

WELLER CRESCENT



PROPOSED 1.8m WOODEN SELF CLOSING AND SELF LOCKING POOL GATE

PROPOSED 1.8m WOODEN SELF CLOSING AND SELF LOCKING POOL GATE

PROPOSED RAISED LOGGIA - SEE ENG. DWGS. FOR DETAIL

REFER TO ENG. DWGS. FOR LOGGIA DIMENSIONS

PROPOSED STRIP DRAIN TO PREVENT RUN OFF INTO POOL

PROPOSED ACCESSORY STRUCTURE - REFER TO ENG. DWGS.

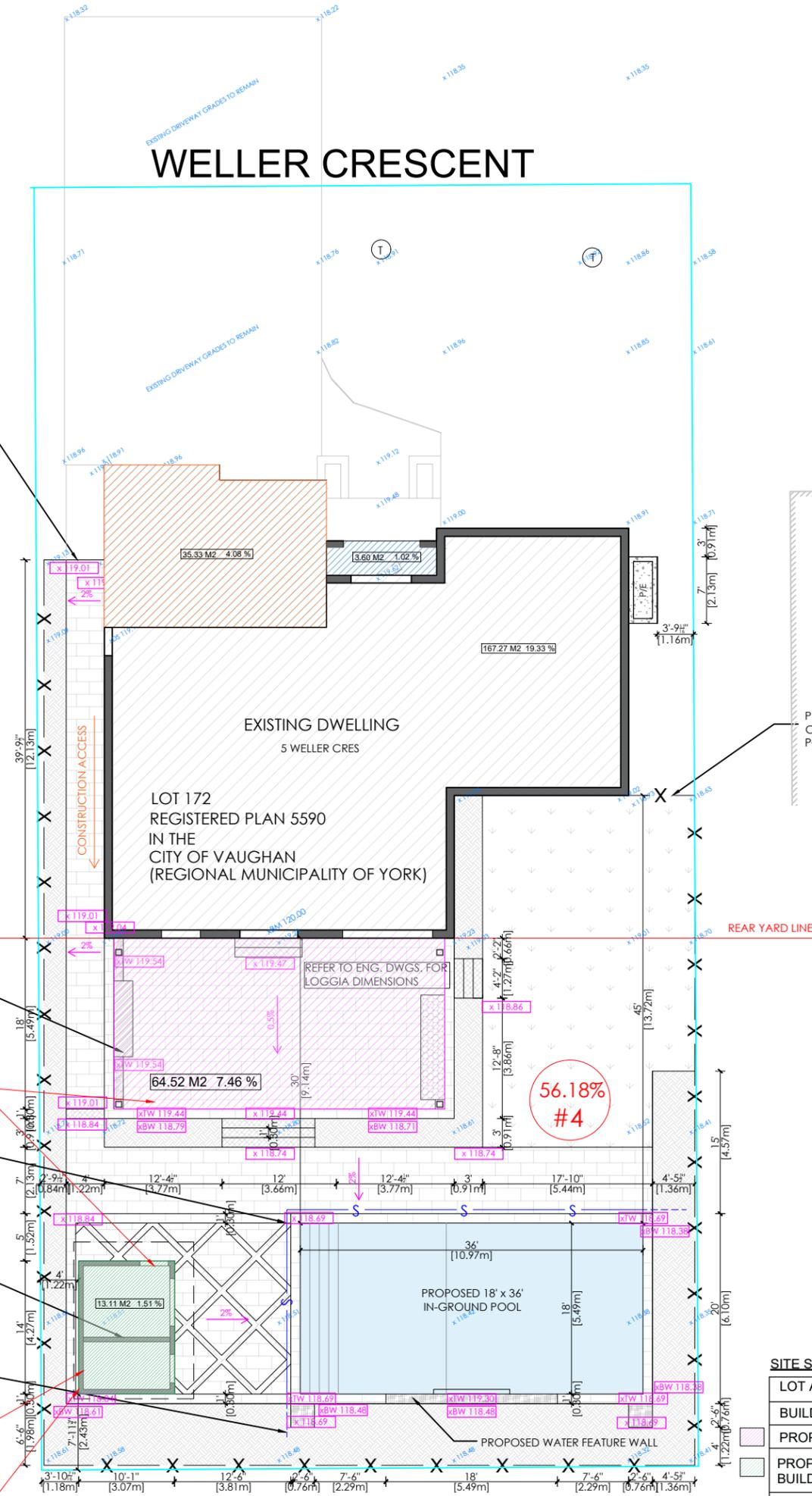
STRIP DRAIN OUTLET (TYP.)

32.8% #1

56.18% #4

3.5M #2

1.22M #3



HARDSCAPE CALCULATIONS	
LOT AREA	865.29m2
REAR YARD AREA	357.65m2
SOFT LANDSCAPING	
POOL	60.20m2
LAWN	42.37m2
GARDENS	82.71m2
SOFT LANDSCAPING TOTAL	185.29m2
SOFT LANDSCAPING PERCENTAGE	185.29/357.65 = 51.8%
HARD LANDSCAPING	
PAVERS / CONCRETE / DECK	172.36m2
HARD LANDSCAPING TOTAL	172.36m2
HARD LANDSCAPING PERCENTAGE	172.36/357.65 = 48.2%
SITE STATISTICS	
METRIC	
TOTAL LOT AREA	865.29 m2
TOTAL EXISTING DWELLING AREA	202.85 m2
REAR YARD TOTAL AREA	357.65 m2
POOL	60.20 m2
LOT COVERAGE (ACCESS + DWELLING)	280.58/865.29 = 32.4%
SOFT LANDSCAPING	322.09 m2
TOTAL PROPERTY	382.29 m2
% SOFT LANDSC. COVER REAR YARD	185.29/357.65 = 51.8%
HARD LANDSCAPING OF REAR YARD	172.36 m2
% HARD LANDSC. COVER REAR YARD	172.36/357.65 = 48.2%
TOTAL LOT AREA (EXCLUDING DWELLING)	
% LOT SOFT LANDSCAPING	382.29/658.83 = 58.0%
% LOT HARD LANDSCAPING	276.54/658.83 = 42.0%
HOUSE FOOTPRINT (INCLUDING DWELLING)	
DRIVEWAY	75.11 m2
PORCHES/LOGGIAS/DECKS (PROPOSED)	64.52 m2
PROP. ACCESSORY STRUCTURE	13.21 m2
WALKWAYS	22.96 m2
POOL	60.20 m2
POOL EQUIPMENT PAD	1.67 m2
INTERLOCK/CONCRETE/PAVERS	109.25 m2

SITE STATISTICS:

LOT AREA	865.29 M2
BUILDING AREA (INCL. PORCHES/ EXCL. EAVES)	206.20 M2 23.83 %
PROPOSED LOGGIA	64.52 M2 7.46 %
PROPOSED ACCESSORY BUILDING	13.11 M2 1.51 %
TOTAL LOT COVERAGE	283.83 M2 32.80 %

BUILDING AREA (INCL. PORCHES- EXCL. EAVES)	206.20 M2	23.83 %
HOUSE EXCL GARAGE	167.27 M2	19.33 %
PORCHES	3.60 M2	0.42 %
GARAGE	35.33 M2	4.08 %

#	Zoning By-law 001-2021	Variance requested
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3	A residential accessory structure with a height greater than 2.8 metres shall not be located closer than 2.4 metres to any lot line. [Section 4.1.2 b.]	To permit a residential accessory structure (cabana) with a height greater than 2.8 metres to be located 1.22 metres from the interior side lot line.
4	In a R1E Zone, any portion of a yard in excess of 135 square metres shall be comprised of a minimum of 60% soft landscaping. [Section 4.19.1 1.]	To permit a minimum of 56.18% of the rear yard in excess of 135 square metres to be comprised of soft landscaping.

THE DRAWING SERVICES AND ASSURANCE OF THE PROPERTY OF LANDDESIGNCA INC. THE ASSUME RESPONSIBILITY FOR ALL DIMENSIONS AND CONSTRUCTION ON SITE. PROBABLY DEVIATIONS FROM THE SHOWN INFORMATION NOT TO BE CALLED.

THE DESIGNER'S ASSUMES RESPONSIBILITY FOR THE ACCURACY OF SURVEY, STRUCTURAL, PRESENTED ON THE DRAWING. REFERENCE TO THE APPROPRIATE CONSULTING SERVICES TO WORK. CONSTRUCTION MUST REFER TO ALL REQUIREMENTS OF ALL APPLICABLE REGULATIONS AND BY-LAWS.

CONTRACTORS WORKING FROM DRAWINGS MUST BE AWARE OF ANY CHANGES TO THE ORIGINAL DRAWING. ANY CHANGES MUST BE RECORDED IN THE DRAWING. ANY CHANGES TO THE ORIGINAL DRAWING MUST BE RECORDED IN THE DRAWING. ANY CHANGES TO THE ORIGINAL DRAWING MUST BE RECORDED IN THE DRAWING.

SUBMISSION

SCALE: 1:175
DATE: MAY 30, 2025

5 WELLER CRESCENT
MAPLE, ON, CANADA

S1

- LEGEND
- BM DENOTES BENCHMARK
- XTW DENOTES TOP/BOT. WALL
- XP DENOTES EX. SPOT ELEV.
- X120 DENOTES PROP. SPOT ELEV.
- △ R DENOTES STEP UP/DOWN
- DENOTES PROPERTY LINE
- - - DENOTES STRIP DRAIN
- - - DENOTES STRIP FENCE
- - - DENOTES INTERLOCK
- - - DENOTES RETAINING WALL
- - - DENOTES STAIRS
- - - DENOTES POOL COPIING
- - - DENOTES CONCRETE
- - - DENOTES WOOD
- - - DENOTES ARMOUR STONE
- SOFT LANDSCAPING
- DENOTES POOL
- DENOTES GARDENS
- DENOTES SOD
- HARD LANDSCAPING
- DENOTES INTERLOCK
- DENOTES RETAINING WALL
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- DENOTES POOL COPIING
- DENOTES CONCRETE
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NO.	DATE	REVISION
7	MAY 30/25	REVISION
5	APR 23/25	REVISION
6	APR 23/25	REVISION

DRAWN BY: AZ

NOTE:

1. THE SCOPE OF WORK FOR THIS PROJECT ONLY INCLUDES THE PROPOSED ACCESSORY STRUCTURE.
2. ALL ELEVATIONS AND SETBACKS ARE TO BE CONFIRMED BY A REGISTERED PROFESSIONAL ENGINEER OR REGISTERED ONTARIO LAND SURVEYOR PRIOR TO THE PLACING OF ANY CONCRETE.
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SITE STATISTICS:

LOT AREA	865.29 M ²
REAR YARD AREA	357.65 M ²
SOFT LANDSCAPING	
POOL	60.20 M ²
LAWN	42.37 M ²
GARDENS	82.17 M ²
SOFT LANDSCAPING TOTAL	185.29 M ²
SOFT LANDSCAPING PERCENTAGE	185.29/357.65 = 51.8%
HARD LANDSCAPING	
PAVERS/ CONCRETE / DECK	172.36 M ²
HARD LANDSCAPING TOTAL	172.36 M ²
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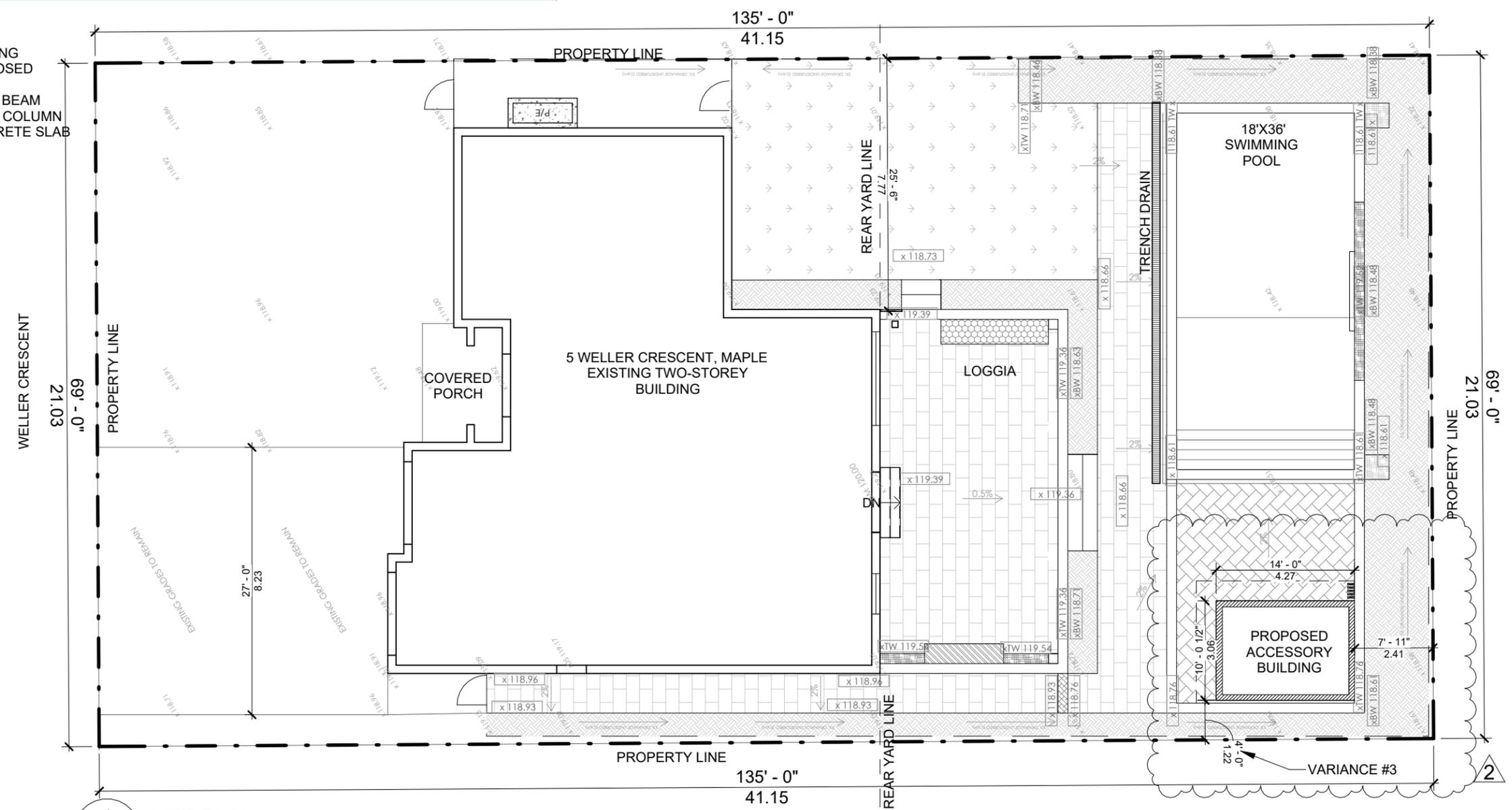
VARIANCE #1

VARIANCE #4



ABBREVIATIONS:

- EXT EXISTING
- PROP PROPOSED
- J JOIST
- WB WOOD BEAM
- WC WOOD COLUMN
- CS CONCRETE SLAB



1 SITE PLAN
A201 1 : 150



STAMP:



ISSUE		
NO.	DATE	ISSUED FOR
02	2025/05/03	ISSUED FOR PERMIT
01	2025/03/25	ISSUED FOR PERMIT
00	2024/12/14	ISSUED FOR PERMIT

DESIGNED BY:
N.MIRKHOSRAVI

CHECKED BY:
M.HAMEDANI

SCALE:
As indicated

PROJECT TITLE
PROPOSED ACCESSORY STRUCTURE

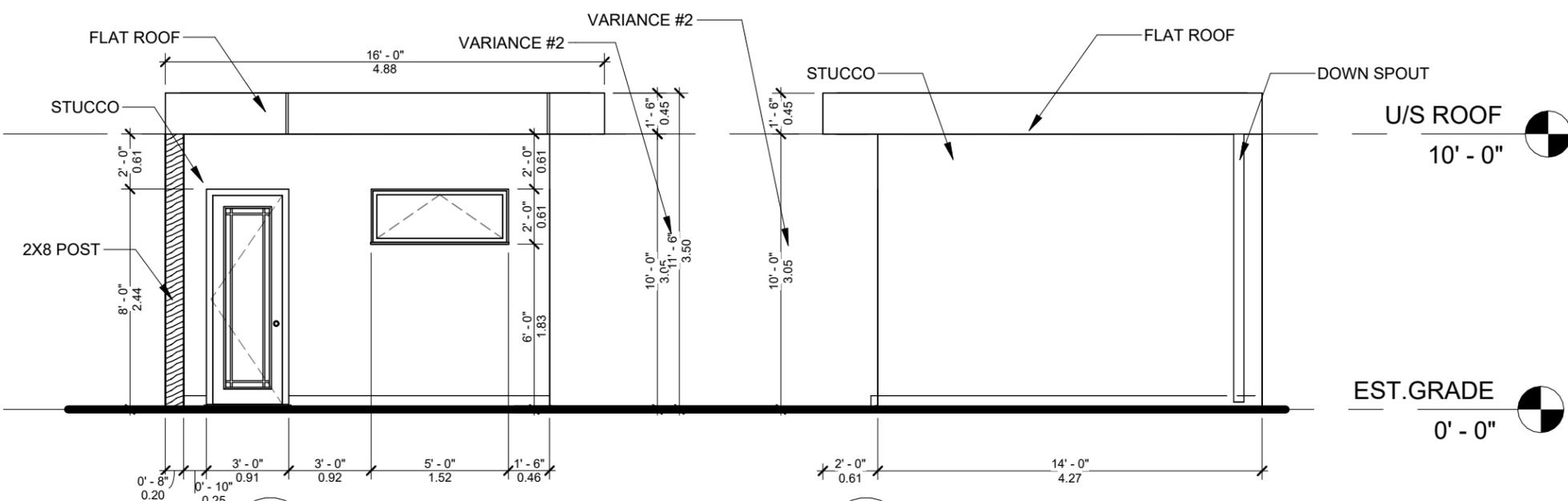
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5 WELLER CR., MAPLE

SHEET TITLE
SITE PLAN

SHEET NO
A201

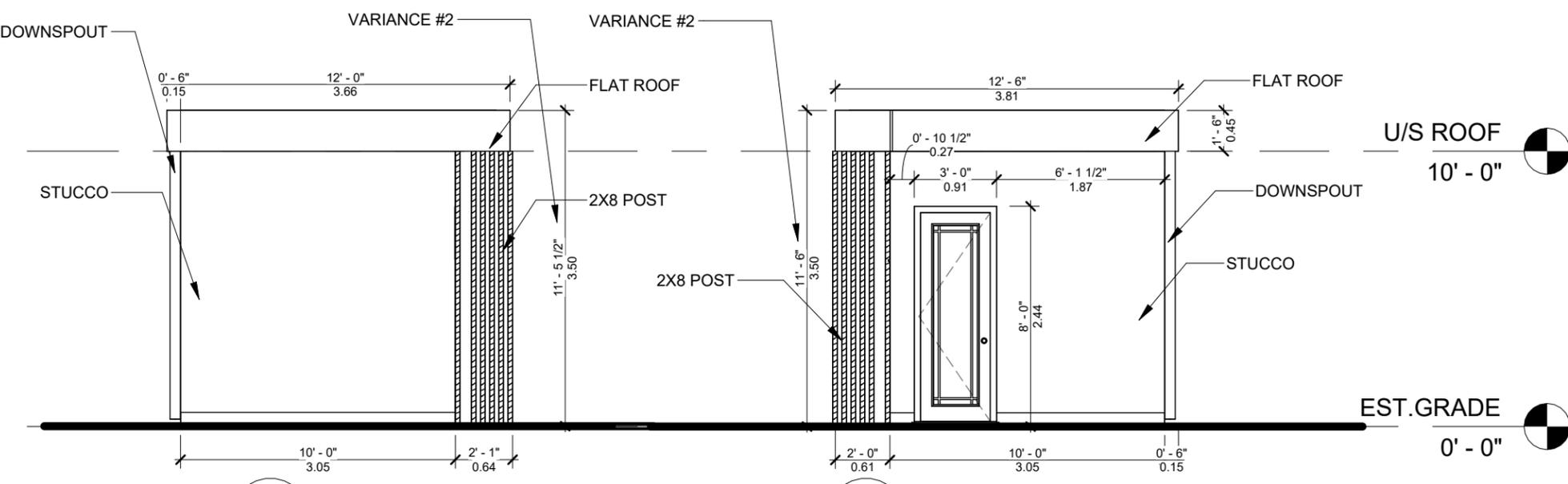
PAPER SIZE: 11"X17"

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A301 3/16" = 1'-0"

2 REAR ELEVATION
A301 3/16" = 1'-0"



3 LEFT-SIDE ELEVATION
A301 3/16" = 1'-0"

4 RIGHT-SIDE ELEVATION
A301 3/16" = 1'-0"



Tel: +1 (647) 877-7530
Email: info@deltoidconsulting.com

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NO.	DATE	ISSUED FOR
00	2024/12/14	ISSUED FOR PERMIT

DESIGNED BY:
N.MIRKHOSRAVI

CHECKED BY:
M.HAMEDANI

SCALE:
3/16" = 1'-0"

PROJECT TITLE
PROPOSED ACCESSORY STRUCTURE

PROJECT ADDRESS
5 WELLER CR., MAPLE

SHEET TITLE
ELEVATIONS

SHEET NO
A301

NOTE:

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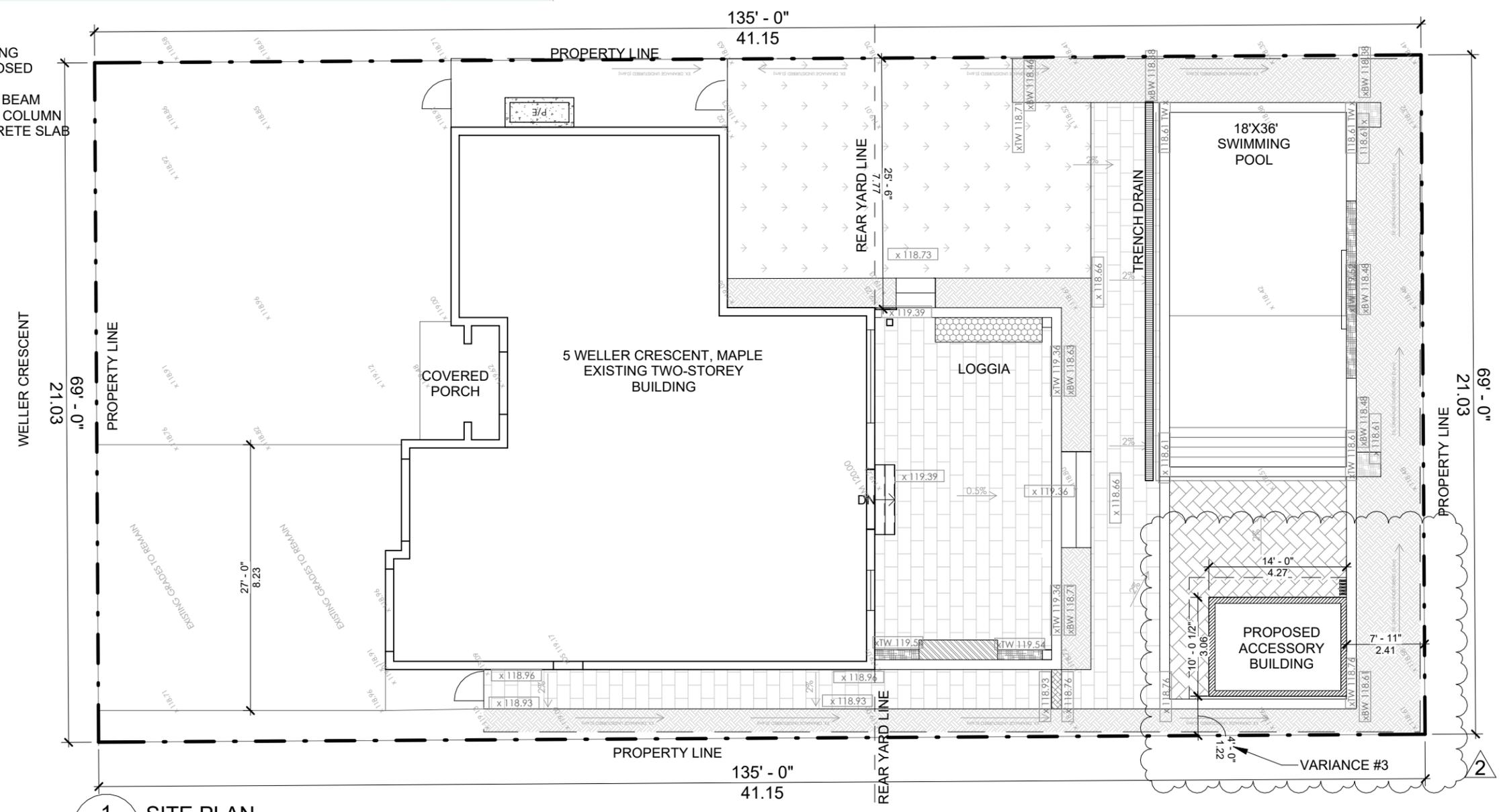
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DESIGNED BY:
N.MIRKHOSRAVI

CHECKED BY:
M.HAMEDANI

SCALE:
As indicated

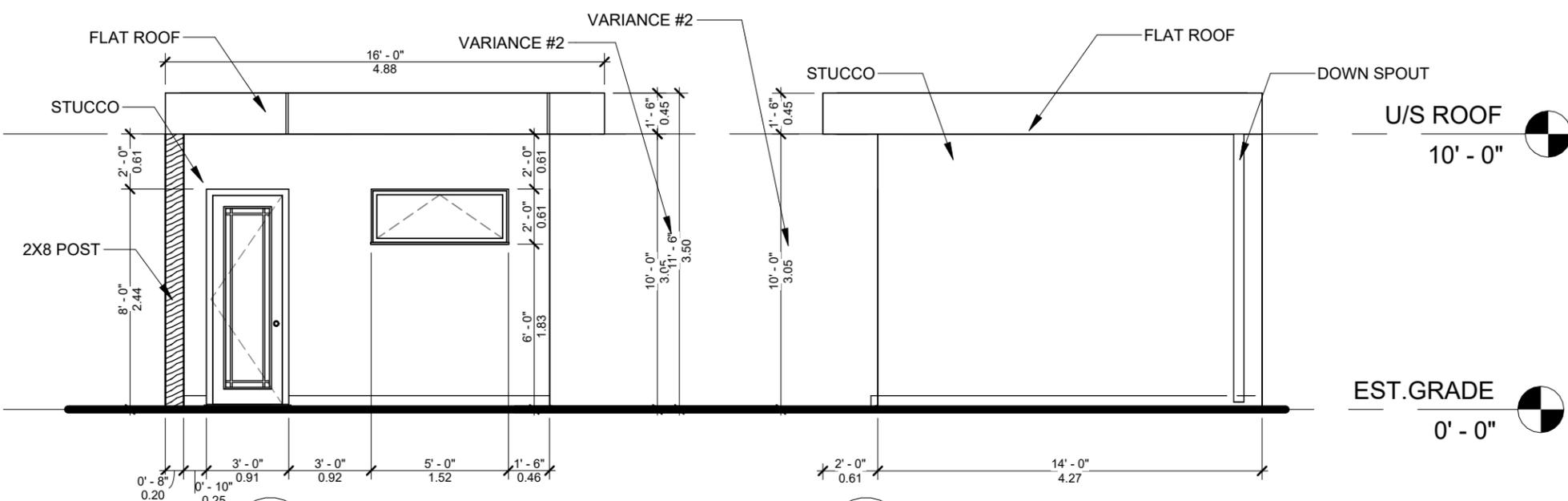
PROJECT TITLE
PROPOSED ACCESSORY STRUCTURE

PROJECT ADDRESS
5 WELLER CR., MAPLE

SHEET TITLE SITE PLAN	SHEET NO A201
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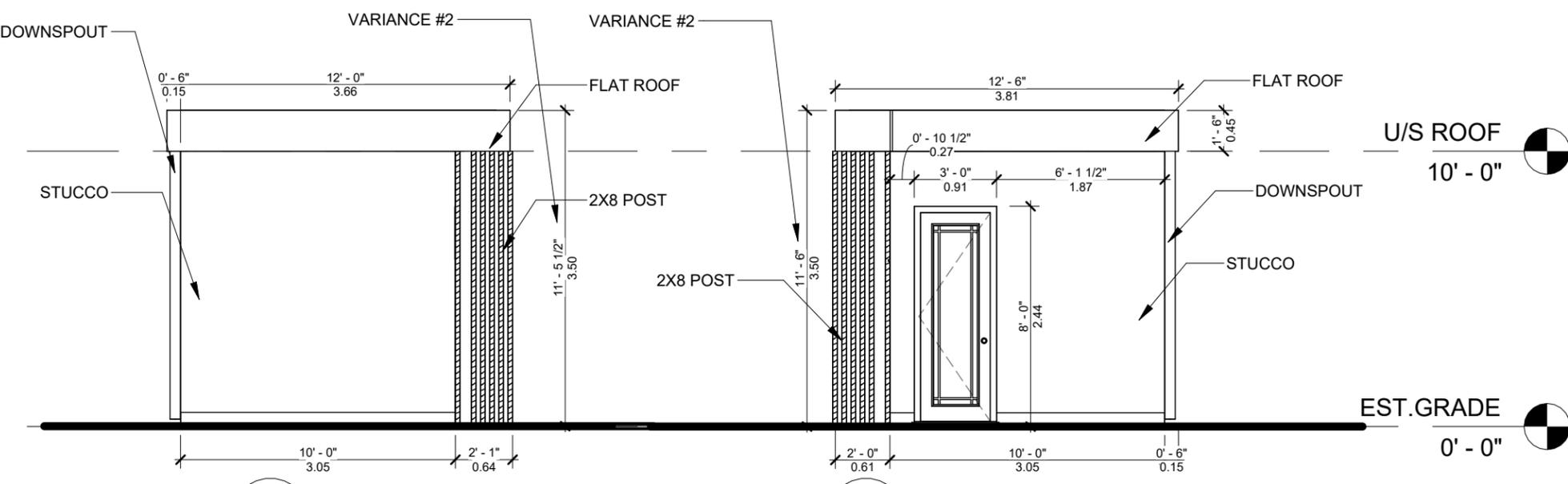
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Tel: +1 (647) 877-7530
Email: info@deltoidconsulting.com

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DESIGNED BY:
N.MIRKHOSRAVI

CHECKED BY:
M.HAMEDANI

SCALE:
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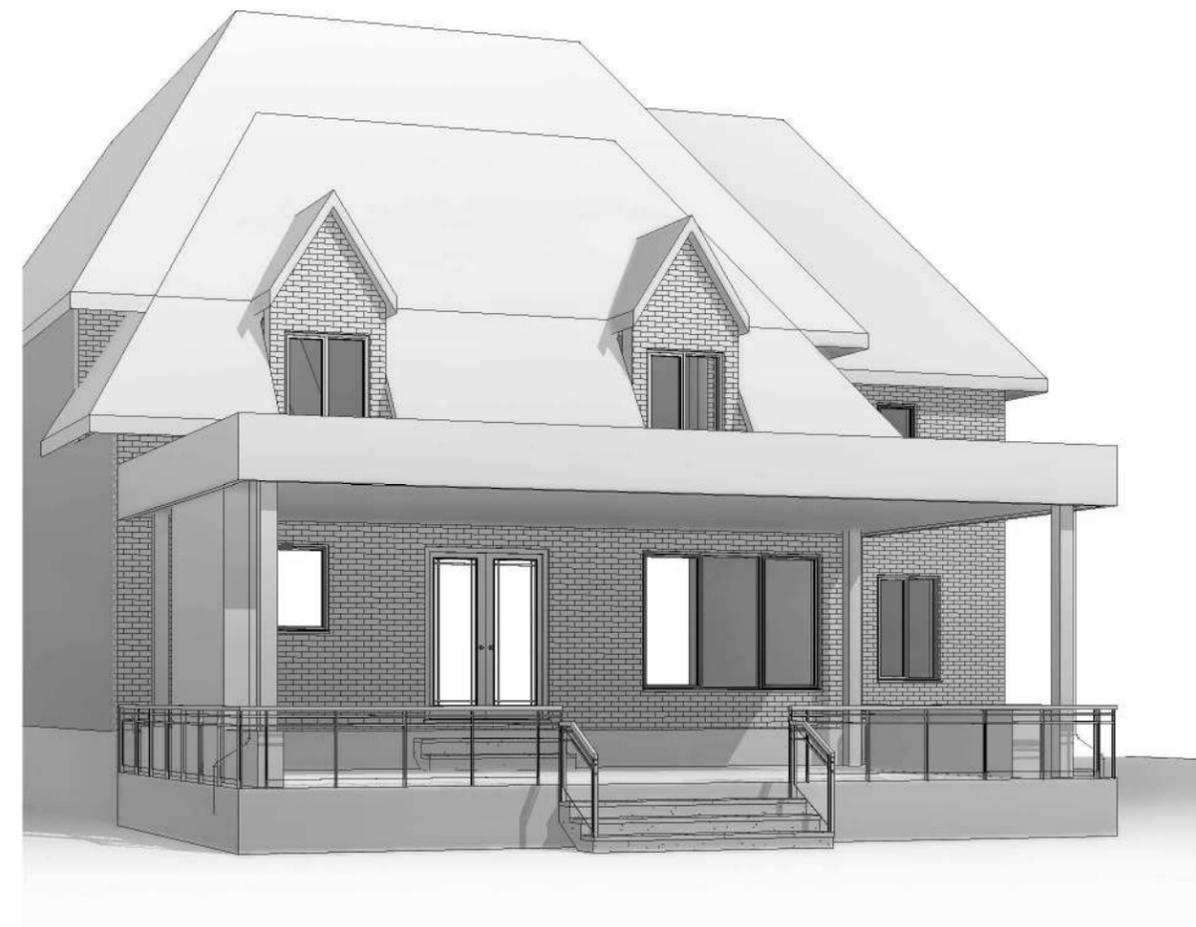
SHEET TITLE
ELEVATIONS

SHEET NO
A301

PAPER SIZE: 11"X17"

DELTOID CONSULTING

PROPOSED LOGGIA AT 5 WELLER CRESCENT, MAPLE



**DELTOID
CONSULTING**

Tel: +1 (647) 877-7530
Email: info@deltoidconsulting.com

STAMP:



ISSUE		
NO.	DATE	ISSUED FOR
00	2024/11/05	ISSUED FOR PERMIT

DESIGNED BY:
N.MIRKHOSRAVI

CHECKED BY:
M.HAMEDANI

SCALE:

PROJECT TITLE
PROPOSED LOGGIA

PROJECT ADDRESS
5 WELLER CR., MAPLE

SHEET TITLE COVERPAGE	SHEET NO A100
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DRAWING LIST	
Sheet Number	Sheet Name
A100	COVERPAGE
A101	GENERAL NOTES 1
A102	GENERAL NOTES 2
A201	SITE PLAN
A202	LOGGIA LAYOUT

DRAWING LIST	
Sheet Number	Sheet Name
A203	ROOF PLAN
A301	REAR ELEVATION
A302	LEFT-SIDE AND RIGHT-SIDE ELEVATION
S101	FOUNDATION LAYOUT
S102	FRAMING PLAN
S201	STRUCTURAL DETAILS

PAPER SIZE: 11"X17"

GENERAL NOTES:

- THESE NOTES ARE A PART OF ALL DRAWINGS THAT REFER TO THEM. WHERE DISCREPANCIES EXIST BETWEEN DRAWINGS, NOTES OR THE CODE, THE MOST RESTRICTIVE SHALL APPLY.
- ALL DIMENSIONS ARE SHOWN IN BOTH METRIC AND IMPERIAL AND ALL LEVELS AND CO-ORDINATES ARE SHOWN IN METERS.
- DO NOT SCALE THE DRAWINGS.
- ALL STRUCTURAL DRAWINGS SHALL BE IN CONJUNCTION WITH RELEVANT ARCHITECTURAL, MECHANICAL AND LANDSCAPE DRAWINGS.
- ANY DISCREPANCY NOTED SHALL BE BROUGHT TO THE NOTICE OF THE ENGINEER BEFORE COMMENCING ANY WORKS.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE ONTARIO OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS, AND ALL APPLICABLE CODES, ORDINANCES AND ACCEPTED INDUSTRY STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS AND ESTABLISHING THE COMPATIBILITY OF ALL NEW WORK WITH THE EXISTING CONDITIONS.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS SO AS NOT TO DAMAGE THE EXISTING STRUCTURES.
- ALL DRAWINGS ARE THE PROPERTY OF THE OWNER AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM THE ENGINEER.
- ANY FIELD MODIFICATIONS NOT IN ACCORDANCE WITH THE ORIGINAL SEALED DRAWINGS SHALL BE APPROVED BY THE ENGINEERING DEPARTMENT. A MODIFICATION WITHOUT ITS APPROVAL SHALL VOID THE ENGINEER'S RESPONSIBILITY.

FOUNDATIONS:

- SUBGRADES TO BE ASSESSED BY GEOTECHNICAL ENGINEER BEFORE CASTING FOUNDATION OR SLAB. REMOVE LOOSE, UNSUITABLE SOILS AND REPLACE WITH ENGINEERED FILLS AS SPECIFIED.
- FOOTING SHALL REST ON UNDISTURBED SOIL, CAPABLE OF SUSTAINING 75 kPa (1500 psf) AT SERVICEABILITY LIMIT STATES (SLS) OR ROCK.
- IF WATER TABLE IS WITHIN A DISTANCE BELOW THE BEARING SURFACE EQUAL TO THE WIDTH OF THE FOOTING, THE AREA OF THE FOOTING SHALL BE DOUBLED. CONTRACTOR SHOULD VERIFY THE ELEVATION OF WATER TABLE.
- THE BOTTOM OF EXCAVATION SHALL BE FREE OF ALL ORGANIC MATERIAL.
- FOUNDATION SHOULD BE PLACED AT A MINIMUM DEPTH OF 4'-0" BELOW FINISHED OUTSIDE GRADE.
- PROTECT ALL FOOTING, WALLS, SLAB ON GRADE AND ADJACENT SOIL AGAINST FROST ACTION AND FREEZING AT ALL TIME DURING CONSTRUCTION.
- PROOF-ROLL SUBGRADE TO THE SATISFACTION OF THE GEOTECHNICAL CONSULTANTS PRIOR TO PLACING FOUNDATION OR SLAB.
- THE MAXIMUM SLOPE BETWEEN ADJACENT EXCAVATIONS FOR FOOTINGS OR ALONG STEPPED FOOTINGS SHALL NOT EXCEED A RISE OF 7 IN A RUN OF 10 MAXIMUM STEP OF APPROXIMATELY 24".
- ALL FOUNDATION WALLS TO EXTEND A MINIMUM OF 6" ABOVE GRADE.
- BASEMENT AND GROUND FLOOR FRAMING MUST BE IN PLACE BEFORE BACK FILLING.
- BACKFILL AGAINST FOUNDATION WALL AND RETAINING WALL SHALL BE PLACED AFTER THE CONCRETE GOT CURED AT LEAST FOR THREE DAYS AND FRAMING ON TOP OF THE FOUNDATION WALL INSTALLED COMPLETELY. BACKFILL WITHIN 24" OF THE FOUNDATION SHALL BE FREE OF DELETERIOUS DEBRIS AND BOULDERS LARGER THAN 10" DIAMETER.
- EXTERIOR SURFACE OF FOUNDATION WALL BELOW GROUND LEVEL, (EXCLUDE IN GARAGES, UNENCLOSED PORTION, OR INSTALLED OVER GRANULAR FILL,) SHALL BE DAMP-PROOFED. MINIMUM OVERLAPPED IS 4".
- WHERE HYDROSTATIC OCCURS, WATERPROOFING IS REQUIRED FOR EXTERNAL SURFACE WHICH SHALL BE PREPARED BY PARGING/MORTAR AND BE FREE OF PROJECTIONS.
- SLAB-ON-GRADE SHALL BE 5" THICK AND REINFORCED WITH 152X152 MW18.7XMMW18.7 U.N.O. PROVIDE MINIMUM 300MM OF 3/4" SIZE CRUSHER RUN LIMESTONE COMPACTED TO 98% MODIFIED PROCTOR DRY DENSITY (MPDD).
- UNLESS STATED OTHERWISE, SLAB-ON-GRADE SHALL BE PLACED ON SUB-GRADE CAPABLE OF SAFELY SUPPORTING 25 kPa (500 psf) WITHOUT RELATIVE SETTLEMENT WITH RESPECT TO BUILDING FOOTINGS.
- FOUNDATION WALL STEPPING AS PER ELEVATION CONFIRM WITH GRADING PLAN.
- ALL FOOTING ABOVE FREEZING DEPTH TO BE COVERED PROPERLY DURING WINTER TIME.
- IF POUNDING HAPPENS LOCATION OF FOOTING BECAUSE OF RAINING OR WATER TABLE, THEE ENGINEER SHALL BE INFORMED TO REVISE THE FOOTING SIZE ACCORDINGLY.
- POURING CONCRETE SHALL TAKE PLACE IMMEDIATELY AFTER EXCAVATION.
- SUMP PIT IS REQUIRED IF BOTTOM OF FOOTING IS ABOVE STORM SEWER.
- LOCATE UTILITY PENETRATION BEFORE CONCRETE POURING.
- ALL UTILITY MUST BE DISCONNECTED PRIOR TO COMMENCING ANY EXCAVATION TO DETERMINE THE LOCATION OF ANY NEARBY UNDER GROUND SERVICES.

WOOD:

- ALL FABRICATION, ERECTION AND DESIGN TO CONFORM TO CSA CAN3-086.1 (LATEST EDITION), CODE OF RECOMMENDED PRACTICE FOR ENGINEERING DESIGN IN WOOD.
- MATERIAL SHALL BE IDENTIFIED BY A GRADE STAMP:
 - REGULAR LUMBER : SPF No. 1/No.2
 - ENGINEERED LUMBER: LVL GRADE 2.0E, Fb=2900
 - GLULAM: SPRUCE-FINE 20F-E,
 - LSL: 2360Fb-1.3E
- MOISTURE CONTENT OF LUMBER SHALL NOT MORE THAN 19% AT TIME OF INSTALLATION.
- WOOD FRAME CONSTRUCTION SHALL BE IN ACCORDANCE WITH SECTION 9.23 OF THE ONTARIO BUILDING CODE 2012.
- BUILDING FRAMES SHALL BE ANCHORED TO THE FOUNDATION.
- ALL EXTERIOR EXPOSED WOOD TO BE NON-INCISED, PRESSURE TREATED.
- NAILS AND SPIKES TO CSA STANDARD B111 (LATEST EDITION).
- ALL WOOD COLUMNS TO BE CONTINUOUS TO FOUNDATION WALL OR SUPPORTING BEAM.
- ALL WOOD COLUMNS ON FOOTING OR FOUNDATION WALLS SHALL BE CONNECTED WITH GALVANIZED METAL SHOE BY SIMPSON STRONG TIE OR EQUIVALENT.
- ALL HARDWARE EXPOSED TO HUMIDITY INCLUDING BOLTS, LAGS, PINS, ETC. SHALL BE HOT DIP GALVANIZED.
- LOAD BEARING WALLS SHALL BE 2"x6" @ 16" o/c UNLESS OTHERWISE NOTED.
- ALL LINTELS IN LOAD BEARING WALLS SHALL BE 2-2"x8" MIN. UNLESS OTHERWISE SPECIFIED.
- PROVIDE FULL WIDTH SILL PLATES, MIN. 38x89 (2x4) ANCHORED TO FOUNDATION WITH 1/2" DIAMETER BOLTS x 8" LONG SET IN CONCRETE.
- ALL PARTITIONS TO BE SUPPORTED WITH DOUBLE JOISTS.
- DOUBLE TOP PLATE FOR ALL BEARING PARTITIONS. DOUBLE STUDS AT ALL CORNERS AND EACH SIDE OF OPENINGS. DOUBLE JOIST UNDER ALL NON-BEARING PARTITIONS. TRIMMER JOISTS AROUND FLOOR OPENINGS SHALL BE DOUBLED.
- JOIST SHALL HAVE MINIMUM 11/2" BEARING. BEAMS TO HAVE 3" BEARING.
- ALL JOIST TO HAVE BRIDGING MAXIMUM 7'-0" O.C. WITH 1"x3" OR 1 1/2"x1 1/2" CROSS BRIDGING.
- WHERE JOISTS FRAME INTO THE SIDE OF A STEEL BEAM, JOISTS OR LEDGER BLOCKING SHALL BE SUPPORTED ON THE BOTTOM FLANGE OF THE BEAM OR ON NOT LESS THAN 2"x3" LUMBER BOLTED TO THE FLANGE WITH MINIMUM 1/4" DIAMETER BOLTS AT MAX. 24" CENTRES UNLESS NOTED OTHERWISE.
- HEADER JOISTS OVER 4'-0" TO A MAXIMUM 10'-8" TO BE DOUBLED. TRIMMER JOIST TO BE DOUBLED IF SUPPORTED HEADER IS BETWEEN 2'-8" AND 6'-8" LONG. JOIST PARALLEL TO WALLS TO HAVE LATERAL SUPPORT MAXIMUM 6'-8" O.C.
- ALL WOOD IN CONTACT WITH CONCRETE SLAB TO HAVE MINIMUM 2 mm POLYETHYLENE FILM OR TYPE S ROLL ROOFING UNDERNEATH.
- PROVIDE SOLID STUDDING UNDER ALL BEAMS, LINTELS AND DOUBLE JOIST U.N.O.
- HOLES DRILLED IN ROOF, FLOOR OR CEILING FRAMING MEMBERS SHALL BE NOT LARGER THAN ONE-QUARTER THE DEPTH OF THE MEMBER AND SHALL BE LOCATED NOT LESS THAN 50 MM FROM THE EDGES, UNLESS THE DEPTH OF THE MEMBER IS INCREASED BY THE SIZE OF THE HOLE.
- FLOOR, ROOF AND CEILING FRAMING MEMBERS ARE PERMITTED TO BE NOTCHED PROVIDED THE NOTCH IS LOCATED ON THE TOP OF THE MEMBER WITHIN HALF THE JOIST DEPTH FROM THE EDGE OF BEARING AND IS NOT DEEPER THAN ONE-THIRD THE JOIST DEPTH, UNLESS THE DEPTH OF THE MEMBER IS INCREASED BY THE SIZE OF THE NOTCH.
- WALL STUDS SHALL NOT BE NOTCHED, DRILLED, INCISED OR OTHERWISE DAMAGED SO THAT THE UNDAMAGED PORTION OF THE STUD IS LESS THAN TWO-THIRDS THE DEPTH OF THE STUD IF THE STUD IS LOAD-BEARING OR 40 mm IF THE STUD IS NON-LOADBEARING, UNLESS THE WEAKENED STUDS ARE SUITABLY REINFORCED.

- STUD WALLS DESIGNED FOR DRY SERVICE CONDITION AND SHOULD EFFECTIVELY PINNED AND Laterally RESTRAINED AT BOTH ENDS, AND PREVENT FROM BUCKLING ABOUT THE WEAK AXIS BY WALL SHEATHING.
- STUD WALL SYSTEM CONSIST OF AT LEAST 3 STUDS SPACED NO FARTHER APART THAN 610 mm.
- MINIMUM DOUBLE STUDS AT OPENINGS AND TRIPLE STUDS AT CORNERS UNLESS OTHERWISE SPECIFIED.
- PROVIDE MID-HEIGHT BLOCKING FOR ALL STUD WALLS, UNLESS AT LEAST ONE SIDE IS SHEATHED.
- TOP PLATES IN WALLS SHALL NOT BE NOTCHED, DRILLED, INCISED OR OTHERWISE WEAKENED TO REDUCE THE UNDAMAGED WIDTH TO LESS THAN 50 MM UNLESS THE WEAKENED PLATES ARE SUITABLY REINFORCED.
- THE EXISTING FLOOR JOISTS SHALL BE SHORED ON BOTH SIDES OF THE WALL TO BE CUT. SHORES CAN BE REMOVED ONLY AFTER ALL THE NEW BEAMS ARE IN PLACE.

TIMBER FRAMING NOTES:

- ALL TIMBER SHALL BE D. FIR No.1 OR BETTER UNLESS OTHERWISE NOTED.
- TIMBER FRAMING SUPPLIER SHALL SUBMIT SHOP DRAWINGS SHOWING ALL CONNECTIONS FOR APPROVAL PRIOR TO FABRICATION.THESE DRAWINGS MUST BEAR THE STAMP OF A PROFESSIONAL ENGINEER LICENSED IN ONTARIO.
- WOOD IS NOT PERMITTED TO BEAR DIRECTLY ON MASONRY OR CONCRETE WITHOUT PROTECTION.
- A TOLERANCE OF 1/16" IS TO BE USED FOR ALL JOINTERY.
- ALL TIMBER SIZES INDICTED ON THE DRAWINGS ARE NOMINAL AND ACTUAL FINISHED SIZES ARE 1/2" SMALLER UNLESS OTHERWISE SPECIFIED.

MASONRY:

- MASONRY IS DESIGNED WITH THE REQUIREMENTS OF CSA-S304.1-04.
- MASONRY CONSTRUCTION AND REINFORCEMENT SHALL CONFORM TO THE REQUIREMENTS OF CSA-CAN3-A371-04.
- MASONRY CONNECTORS SHALL CONFORM TO CSA-CAN3-A370-04.
- REINFORCING FOR MASONRY WALLS SHALL CONFORM TO CSA-CAN3-S304-M84 (R1994).
- LOAD BEARING SOLID CONCRETE BLOCK TO CSA-A165.1-04, TYPE S/15/A/M.
- LOAD BEARING HOLLOW CONCRETE BLOCK TO CSA/A165.1-04, TYPE H/15/A/M.
- MORTAR SHALL CONFORM TO CSA-A179-04, TYPE 'S'.
- GROUT FILL SHALL BE OF HIGH SLUMP (225mm ±25mm)CONCRETE WITH A COMPRESSIVE STRENGTH OF 20MPa AT 28 DAYS.
- PROVIDE VERTICAL REINFORCING 15M@24" FOR ALL 10" BLOCK WALLS.
- UNDERTAKE METHODS OF LAYING MASONRY FOR WEATHER PROTECTION IN ACCORDANCE WITH CSA-CAN3-A371-04.
- PROVIDE ADDITIONAL 1-15M VERTICAL FULL HEIGHT COMPLETE WITH MATCHING DOWELS AT CORNERS, INTERSECTIONS, EACH SIDE OF OPENINGS, AND EACH SIDE OF CONTROL JOINTS U.N.O.
- FULLY GROUT CONCRETE MASONRY BLOCK CELLS WHERE WITH REINFORCEMENT.
- MASONRY WALLS SHOWN ON STRUCTURAL DRAWINGS ARE LOAD BEARING U.N.O.
- GROUT SOLID AROUND ALL BEAM AND CHANNEL BEARING LOCATIONS IN MASONRY WALLS AS PER STANDARD DETAILS.
- BLOCKS SUPPORTING CONCENTRATED LOADS TO BE GROUTED SOLID 2 BLOCK COURSES BELOW BEARING U.N.O.
- NO MASONRY WORK PERMITTED WITH TEMPERATURES BELOW 5°C UNLESS PROVISIONS ARE MADE FOR HEATING THE MATERIALS AND PROTECTING THE WORK.
- PROVIDE PRIMED/PAINTED LINTELS OVER ALL OPENINGS OR RECESSES IN MASONRY WALLS WITH EVEN AND LEVEL BEARING NOT LESS THAN 150 mm LENGTH.
- PROVIDE CHASES AND POCKETS IN WALLS FOR STRUCTURAL STEEL BEARING AND INSTALL ALL BEARING PLATES.
- ALL OPENINGS IN MASONRY WALLS SHALL BE SPANNED BY LINTELS AS REQUIRED BY THE SPECIFICATIONS, UNLESS OTHERWISE NOTED.

DESIGN CODES AND LOADS:

- STRUCTURAL DESIGN IS BASED ON NATIONAL BUILDING CODE OF CANADA, 2015 AND ONTARIO BUILDING CODE REGULATIONS, 2012.
- LOADS SHOWN ON STRUCTURAL DRAWINGS ARE UNFACTORED U.N.O.
- DESIGN LOADS AS SHOWN ON STRUCTURAL DRAWINGS SHALL NOT BE EXCEEDED DURING CONSTRUCTION.
- CLIMATIC LOADS (BASED ON SUPPLEMENTARY STANDARD SB-1, TABLE 1.2):
 - LOCATION: TORONTO, ONTARIO
 - WIND PRESSURE (1/50): 0.50 kPa
 - SNOW LOAD (1/50): Ss=1.2 kPa , Sr=0.4 kPa
- DESIGN LOADS (SERVICE):
 - LIVE LOAD = 100 psf FOR OFFICE SPACES.
 - FLOOR DEAD LOAD (HARDWOOD FLOORING) = 15 psf
 - FLOOR DEAD LOAD (3/8" CERAMIC FLOORING FLOORING) = 22 psf
 - EXTERNAL WALL DEAD LOAD = psf
 - PARTITION LOAD= 5 psf
 - ROOF DEAD LOAD= 15 psf
 - SNOW LOAD=40 psf
 - WIND LATERAL LOAD= psf
 - WIND UPLIFT LOAD= psf

STRUCTURAL STEEL:

- DESIGN:
 - DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL IN ACCORDANCE WITH CSA-S16 "DESIGN OF STEEL STRUCTURES", LAST EDITION
 - SHEAR CONNECTIONS SHALL BE DESIGNED BASED ON 50% OF BEAM'S SHEAR CAPACITY , NOT LESS THAN 50 KN FOR SHEAR CONNECTIONS.
 - MOMENT CONNECTION SHALL BE DESIGNED BASED ON 100% OF BEAM'S MOMENT CAPACITY.
- MATERIAL:
 - ROLLED W SHAPES SECTIONS: CSA G40.21, GRADE 350W
 - PLATES, ANGLES AND CHANNELS: CSA G40.21, GRADE 300W
 - HSS : CSA-G40.21, GRADE 350W CLASS H
 - ROUND BAR: CSA G30.18, GRADE 400W AND SHALL BE SMOOTH/DEFORMED BAR
 - WELDED WIRE FABRIC: SMOOTH WIRE (CSA G30.3-M1983) , DEFORMED WIRE (CSA G30.14-M1983)
 - BOLTS AND NUTS: A325M
 - CORROSION PROTECTION:
 - STEELWORK TO BE COATED SHALL, AS A MINIMUM, BE GIVEN A ONE-COAT SHOP PAINT THAT MEETS THE REQUIREMENTS OF CISC/CPMA STANDARD 1-73A AND 2-75. THE COATING SHALL BE APPLIED THOROUGHLY AND EVENLY TO DRY, CLEAN SURFACES. (CSA/S16-28.8.3.3)
 - EXTERIOR STEEL BEAMS SUSCEPTIBLE TO CORROSION SHALL BE SHOP PRIMED WITH RUST-INHIBITIVE PAINT.
 - STEEL ANGLE LINTELS SUPPORTING MASONRY SHALL BE PRIMED OR PAINTED OR OTHERWISE PROTECTED FROM CORROSION.
 - EXTERIOR STEEL COLUMNS SUSCEPTIBLE TO CORROSION SHALL BE TREATED ON THE OUTSIDE SURFACE WITH AT LEAST ONE COAT OF RUST-INHIBITIVE PAINT. (9.17.3.3)
 - MATERIAL TO BE HOT-DIP GALVANIZED SHALL COMPLY WITH CSA STANDARD G164. (CSA/S16-28.8.7.1)
 - ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BEFORE FABRICATION.
 - ALL FIELD BOLTED CONNECTIONS WILL BE BEARING TYPE U.N.O USING ASTM A325 BOLTS M20 MINIMUM DIAMETER (U.N.O.) C/W NUT AND ONE HARDENED WASHER, MINIMUM TWO BOLTS PER CONNECTION.
 - BURNING OF HOLES FOR BOLTED CONNECTIONS WILL NOT BE PERMITTED.
 - MINIMUM CONNECTION MATERIAL THICKNESS 3/8"
 - WELDING CONFORM TO CSA W59, USING E49XX ELECTRODES, AND TO BE UNDERTAKEN BY A FABRICATOR FULLY APPROVED BY THE CANADIAN WELDING BUREAU TO THE REQUIREMENTS OF THE CSA SPECIFICATION W47.



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PROJECT TITLE PROPOSED LOGGIA	
PROJECT ADDRESS 5 WELLER CR., MAPLE	
SHEET TITLE GENERAL NOTES 1	SHEET NO A101

PAPER SIZE: 11"X17"

- 9.MINIMUM SHOP/FIELD WELD SHALL BE 1/4" CONTINUOUS FILLET U.N.O.
- 10.ALL WELDS OF STEEL MEMBERS SHALL BE TOUCHED-UP WITH PAINT COAT.
- 11.PROVIDE WELDED STIFFENER PLATES ON BOTH SIDES OF BEAMS AT POINTS OF CONCENTRATED LOADS INCLUDING BEAMS SUPPORTING COLUMNS OR RUNNING OVER TOP OF COLUMNS.
- 12.ALL WELDS SHALL BE VISUAL INSPECTED. COMPLETE PENETRATION JOINTS SHALL BE NDT TESTED.
- 13.DEBURR AND REMOVE ALL SHARP EDGES.
- 14.ATTACHMENTS TO STRUCTURAL STEEL AND OPEN WEB STEEL JOIST FOR MECHANICAL, ELECTRICAL AND OTHER SERVICES SHALL BE MADE BY APPROVED CLAMPING DEVICES OR U-BOLT TYPE CONNECTORS. NO CUTTING, DRILLING OR WELDING OF STEEL MEMBERS WILL BE PERMITTED UNLESS.
- 15.GROUT UNDER BASE PLATES TO BE NON-METALIC TYPE (SIKA TYPE 211 OR STRENSON TYPE M-BED). AFTER GROUT HAS CURED, THE ANCHOR BOLTS ARE TO BE BACKED OFF AND RE-TIGHTENED IN ORDER TO OBTAIN A PRE-TENSION. NOMINAL GROUT THICKNESS = 1" U.N.O.
- 16.PROVIDE TEMPORARY SUPPORTS, SUCH AS TEMPORARY GRIPS, BRACES, FLATWORK, CRIBBING, OR OTHER ELEMENTS REQUIRED FOR THE ERECTION OPERATION, THESE TEMPORARY SUPPORTS WILL SECURE THE STEEL FRAMING, OR ANY PARTLY ASSEMBLED STEEL AGAINST LOADS COMPARABLE IN INTENSITY TO THOSE FOR WHICH THE STRUCTURE WAS DESIGNED, RESULTING FROM WIND, SEISMIC AND ERECTION OPERATION.
- 17.PROVIDE MINIMUM LENGTH OF BEARING OF 4" FOR ALL STEEL BEAM BEARINGS ON CONCRETE/CONCRETE BLOCK U.N.O.
- 18.MAINTAIN TEMPORARY BRACING UNTIL COMPLETION OF ENTIRE STRUCTURE ELEMENTS, WHICH OF PART OF THE LATERAL LOAD RESISTING SYSTEM.
- 19.THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS IN POURING CONCRETE OVER JOISTS TO AVOID LATERAL DEFLECTION AND TWISTING OF JOISTS.THIS APPLIES PARTICULARLY TO THE FREE ENDS OF JOIST RUNS AND LOOSE SUPPORTS.
- 20.WHERE JOISTS BEAR ON STEEL, EVERY JOIST SHALL BE WELDED TO THE STEEL.

CONCRETE:

- 1.CONCRETE MEMBERS ARE DESIGNED IN ACCORDANCE WITH CSA-A23.3-04 "DESIGN OF CONCRETE STRUCTURES"
- 2.THE CONSULTANT'S APPROVAL SHALL BE OBTAINED PRIOR TO PLACEMENT OF ANY CONCRETE.
- 3.CONCRETE: TO CSA-A23.1-04 "CONCRETE MATERIALS AND METHODS OF CONCRETE CONSTRUCTION"

	CLASS OF EXPOSURE	MAXIMUM WATER/CEMENTING MATERIALS (W/C RATIO)	MINIMUM 28d COMPRESSIVE STRENGTH (MPa)	AIR CONTENT (%)	SPECIFIED SLUMP (mm)
FOOTING	R-1	0.70	25	3-6	100
FOUNDATION WALL	R-2	0.70	25	4-7	80
INTERIOR SLAB	R-3	0.65	25	-	60
GARAGE FLOOR, WALKWAY, RAISING AND PORCH	C-2	0.45	32	5-8	70

- NOTE: CONCRETE FOR WALLS TO BE MINIMUM 12 MPa PRIOR TO STRIPPING FORMS.
- 4.USING NORMAL PORTLAND CEMENT TYPE GU, U.N.O.
 - 5.ADDITION OF FLY ASH TO THE CONCRETE MIXES IS NOT PERMITTED. ADMIXTURES CONTAINING CALCIUM CHLORIDE ARE NOT PERMITTED.
 - 6.ABSORPTION TO BE A MAXIMUM OF 5%.
 - 7.MIX DESIGN FOR CONCRETE WALLS PROPORTIONED IN ORDER TO MEET FREEZE THAW DURABILITY REQUIREMENTS.
 - 8.MAXIMUM AGGREGATE SIZE IS 19 mm (3/4")
 - 9.WHEN AIR TEMPERATURE IS BELOW 5°C, CONCRETE SHALL BE KEPT AT A TEMPERATURE OF NOT LESS THAN 10°C OR MORE THAN 25°C WHILE BEING MIXED AND PLACED, AND MAINTAINED AT A TEMPERATURE OF NOT LESS THAN 10°C FOR 28 AFTER PLACING.
 - 10.NOT FROZEN MATERIAL OR ICE SHALL BE USED IN CONCRETE.
 - 11.SLAB ON GRADE 4" THICK AS SHOWN ON THE DRAWINGS SHALL BE REINFORCED WITH WWM152X152 MW18.7XMW18.7 CONCRETE U.N.O. PROVIDE MINIMUM OF MIN. 5" DEEP OF GRANULAR SUB-GRADE MATERIAL COMPACTED TO 98% MODIFIED PROCTOR DENSITY.
 - 12.CONCRETE FOR WALLS SHALL BE DEPOSITED CONTINUOUSLY IN APPROXIMATELY EQUAL HORIZONTAL LIFTS NOT EXCEEDING 4'.
 - 13.REINFORCING STEEL : Fy = 400 MPa
ANCHOR BOLTS : ASTM - A307 (MIN.)
EMBEDDED STEEL : Fy = 300 MPa
WELDED WIRE FABRIC : Fy = 440 MPa
 - 14.REINFORCING FOR MASONRY WALLS SHALL CONFORM TO CSA-CAN3-S304, LATEST REVISION.
 - 15.NON-CONTACT LAP SPLICING IS RECOMMENDED. WHEN LAPS ARE NECESSARY REFER TO CSA-A23.3-94. NOT MORE THAN 50% OF REBAR TO BE SPLICED AT ANY ONE LOCATION. MINIMUM LENGTH OF OVERLAP LISTED BELOW:
 ·10M _____ 23"
 ·15M _____ 33"
 ·20M _____ 40"
 - 16.ALL EXPOSED EDGES TO BE CHAMFERED 3/4" x 3/4"
 - 17.CLEAR COVER TO PRIMARY REINFORCEMENT. TO CSA-A23.1-04 U.N.O:
 ·CONCRETE DEPOSITED AGAINST EARTH _____ 3"
 ·BEAMS, COLUMNS _____ 2"
 ·WALLS _____ 1 1/2"
 ·SLAB _____ 1"
 - 24.WHERE THE STRUCTURAL THICKNESS OF A SLAB VARIES OR WHERE THE TOP SURFACE OF A SLAB IS SHOWN SLOPED, MAINTAIN CONSTANT COVER TO THE REINFORCING STEEL.
 - 25.AT OPENINGS IN CONCRETE WALLS, ADD 2-15M BARS AT HEADS, JAMBS AND SILLS UNLESS OTHERWISE NOTED.
 - 26.GIVE TOP OF FOUNDATION A TROWEL FINISH. IT MUST BE LEVEL AND SMOOTH.
 - 27.ANCHOR BOLT MUST BE LOCATED BY MEANS OF A TEMPLATE. DO NOT HAND SET ANCHOR BOLTS. USE REINFORCING STEEL AS REQUIRED TO PROVIDE HORIZONTAL LOAD ON ANCHOR BOLT.
 - 28.PROPER CONSOLIDATION BY VIBRATION DURING POURING CONCRETE IS REQUIRED OTHERWISE SELF-COMACTING CONCRETE WITH SUPERPLASTICIZERS AND VISCOSITY-MODIFY ADMIXTURES (VMAs) IN ACCORDANCE WITH CSA/A23.1 (8.b) SHALL BE USED.

ITEM	CONSTRUCTION DETAIL	MINIMUM LENGTH OF NAILS	MINIMUM NUMBER OR MAXIMUM SPACING OF NAILS
1	FLOOR JOIST TO PLATE – TOE NAIL	3 1/4"	2
2	WOOD OR METAL STRAPPING TO UNDERSIDE OF FLOOR JOISTS	2 1/4"	2
3	CROSS BRIDGING TO JOISTS	2 1/4"	2 at each end
4	DOUBLE HEADER OR TRIMMER JOISTS	3"	11 1/8" (o.c.)
5	FLOOR JOIST TO STUD (BALLOON CONSTRUCTION)	3"	2
6	LEDGER STRIP TO WOOD BEAM	3 1/4"	2 per joist
7	JOIST TO JOIST SPLICE (SEE ALSO TABLE 9.23.13.8.)	3"	2 at each end
8	HEADER JOIST END NAILED TO JOISTS ALONG PERIMETER	4"	3
9	TAIL JOIST TO ADJACENT HEADER JOIST (END NAILED) AROUND OPENINGS	3 1/4"	5
10	EACH HEADER JOIST TO ADJACENT TRIMMER JOIST (END NAILED) AROUND OPENINGS	3 1/4"	5
		4"	3
11	STUD TO WALL PLATE (EACH END) TOE NAIL OR END NAIL	2 7/16"	4
		3 1/4"	2
12	DOUBLED STUDS AT OPENINGS, OR STUDS AT WALLS OR WALL INTERSECTIONS AND CORNERS	3"	29 1/2" (o.c.)
13	DOUBLED TOP WALL PLATES	3"	23 5/8" (o.c.)
14	BOTTOM WALL PLATE OR SOLE PLATE TO JOISTS OR BLOCKING (EXTERIOR WALLS)(1)	3 1/4"	15 3/4" (o.c.)
15	INTERIOR WALLS TO FRAMING OR SUBFLOORING	3 1/4"	23 5/8" (o.c.)
16	HORIZONTAL MEMBER OVER OPENINGS IN NON-LOADBEARING WALLS – EACH END	3 1/4"	2
17	LINTELS TO STUDS	3 1/4"	2 at each end
18	CEILING JOIST TO PLATE – TOE NAIL EACH END	3 1/4"	2
19	ROOF RAFTER, ROOF TRUSS OR ROOF JOIST TO PLATE – TOE NAIL	3 1/4"	3
20	RAFTER PLATE TO EACH CEILING JOIST	4"	2
21	RAFTER TO JOIST (WITH RIDGE SUPPORTED)	3"	3
22	RAFTER TO JOIST (WITH RIDGE UNSUPPORTED)	3"	See Table 9.23.13.8.
23	GUSSET PLATE TO EACH RAFTER AT PEAK	2 1/4"	4
24	RAFTER TO RIDGE BOARD – TOE NAIL – END NAIL	3 1/4"	3
25	COLLAR TIE TO RAFTER – EACH END	3"	3
26	COLLAR TIE LATERAL SUPPORT TO EACH COLLAR TIE	2 1/4"	2
27	JACK RAFTER TO HIP OR VALLEY RAFTER	3 1/4"	2
28	ROOF STRUT TO RAFTER	3"	3
29	ROOF STRUT TO LOADBEARING WALL – TOE NAIL	3 1/4"	2
30	2X6 OR LESS PLANK DECKING TO SUPPORT	3 1/4"	2
31	PLANK DECKING WIDER THAN 2X6 TO SUPPORT	3 1/4"	3
32	2" EDGE LAID PLANK DECKING TO SUPPORT (TOE NAIL)	3"	1
33	2" EDGE LAID PLANK TO EACH OTHER	3"	17 3/4" (o.c.)



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DESIGNED BY:
N.MIRKHOSRAVI

CHECKED BY:
M.HAMEDANI

SCALE:
1 : 40

PROJECT TITLE
PROPOSED LOGGIA

PROJECT ADDRESS
5 WELLER CR., MAPLE

SHEET TITLE
GENERAL NOTES 2

SHEET NO
A102

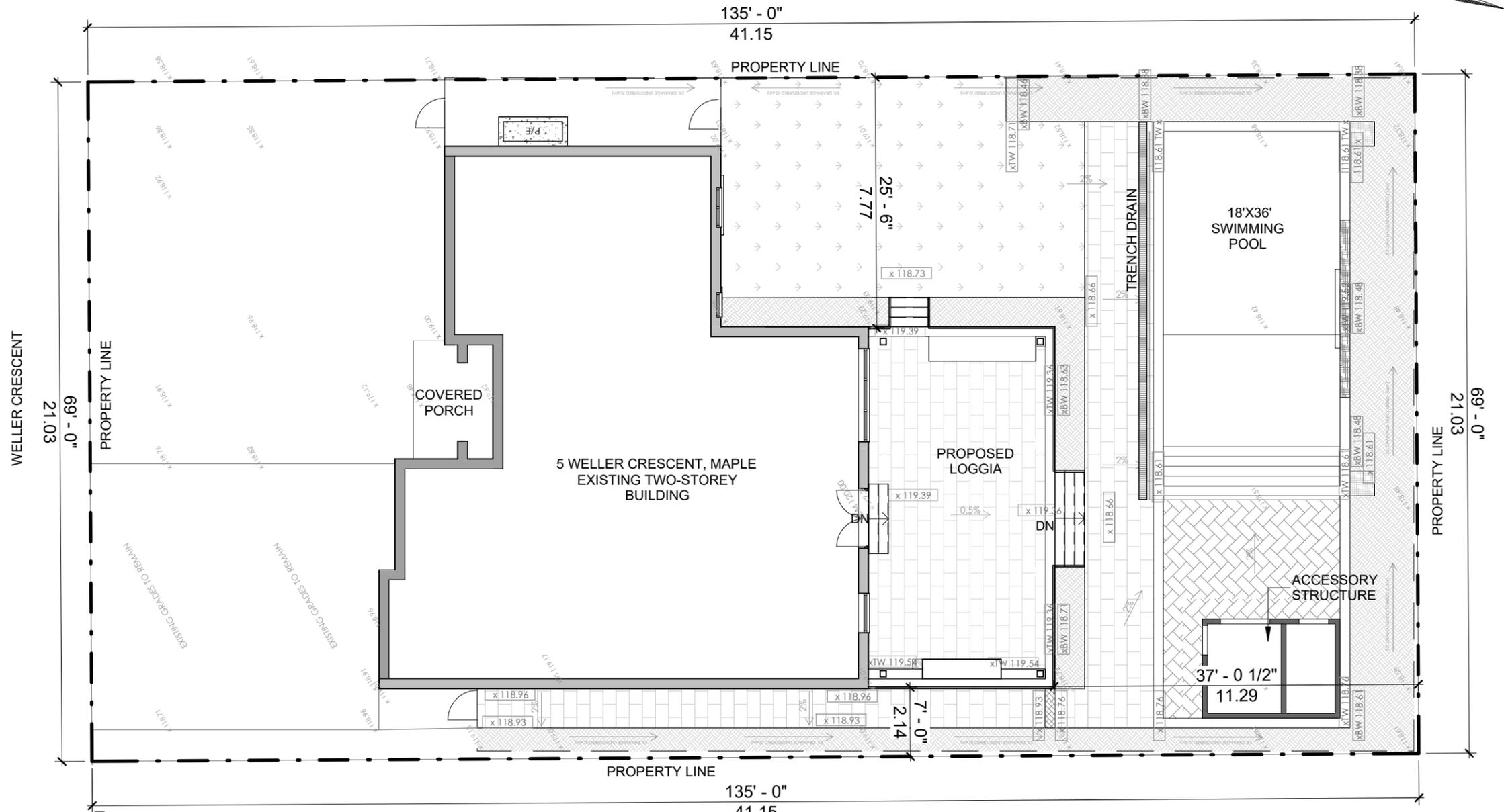
NOTE:

1. THE SCOPE OF WORK FOR THIS PROJECT ONLY INCLUDES THE PROPOSED LOGGIA.
2. ALL ELEVATIONS AND SETBACKS ARE TO BE CONFIRMED BY A REGISTERED PROFESSIONAL ENGINEER OR REGISTERED ONTARIO LAND SURVEYOR PRIOR TO THE PLACING OF ANY CONCRETE.
3. EXISTING DRAINAGE TO REMAIN UNALTERED.
4. ANY DISCREPANCY NOTED BY THE CONTRACTOR SHALL BE BROUGHT TO THE NOTICE OF THE ENGINEER BEFORE COMMENCING OR CONTINUING ANY WORKS.
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE ONTARIO OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS, AND ALL APPLICABLE CODES, ORDINANCES AND ACCEPTED INDUSTRY STANDARDS.
6. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS AND ESTABLISHING THE COMPATIBILITY OF ALL NEW WORK WITH THE EXISTING CONDITIONS.

ABBREVIATIONS:

EXT	EXISTING
PROP	PROPOSED
J	JOIST
DJ	DOUBLE JOIST
WB	WOOD BEAM
SB	STEEL BEAM
SC	STEEL COLUMN
F	FOUNDATION
T.W	TOP OF THE WALL
B.W	BOTTOM OF THE WALL

PAPER SIZE: 11"X17"



1 SITE PLAN
A201 1 : 150

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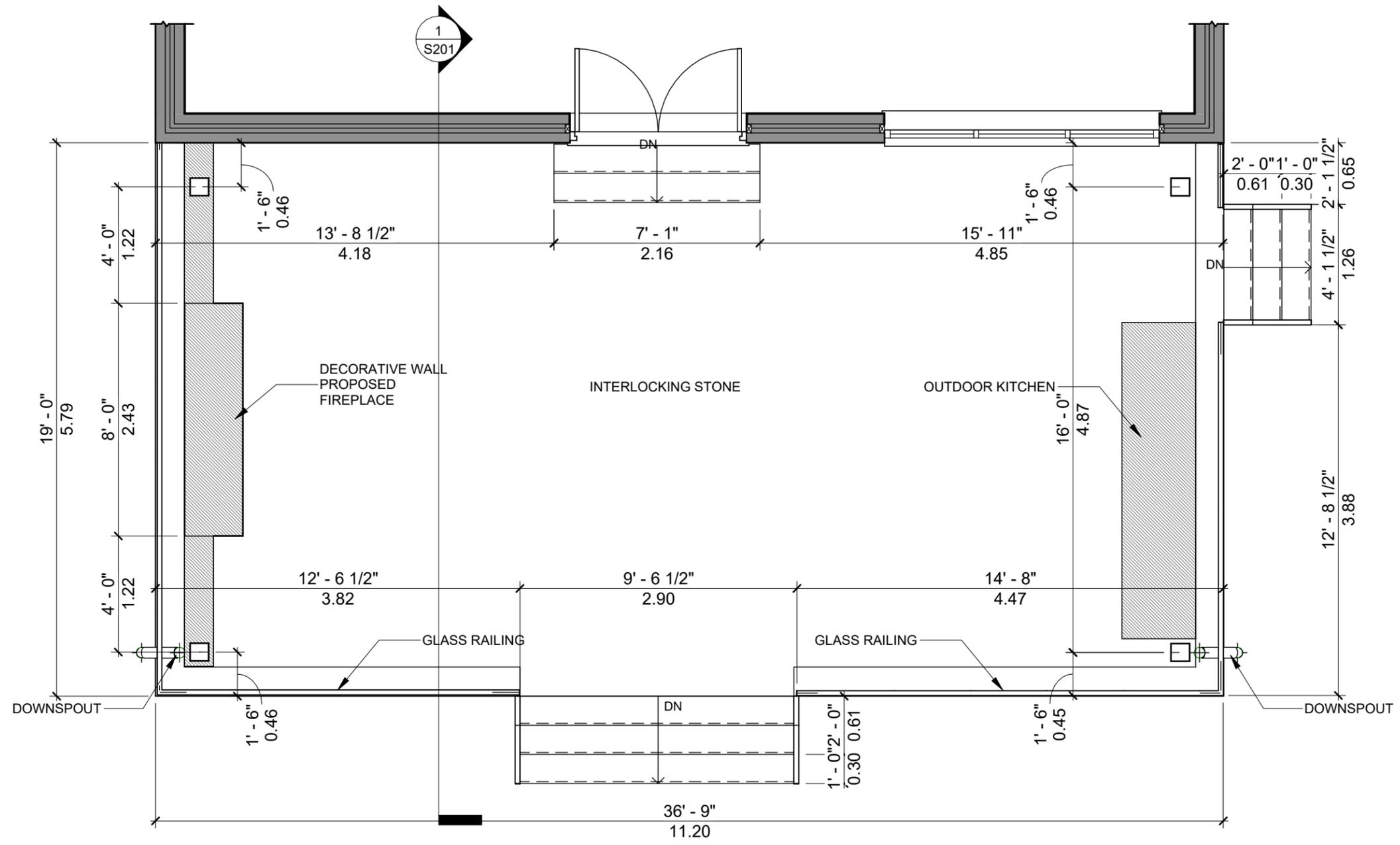
CHECKED BY:
M.HAMEDANI

SCALE:
1 : 150

PROJECT TITLE
PROPOSED LOGGIA

PROJECT ADDRESS
5 WELLER CR., MAPLE

SHEET TITLE SITE PLAN	SHEET NO A201
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1 LOGGIA LAYOUT
A202 1 : 50



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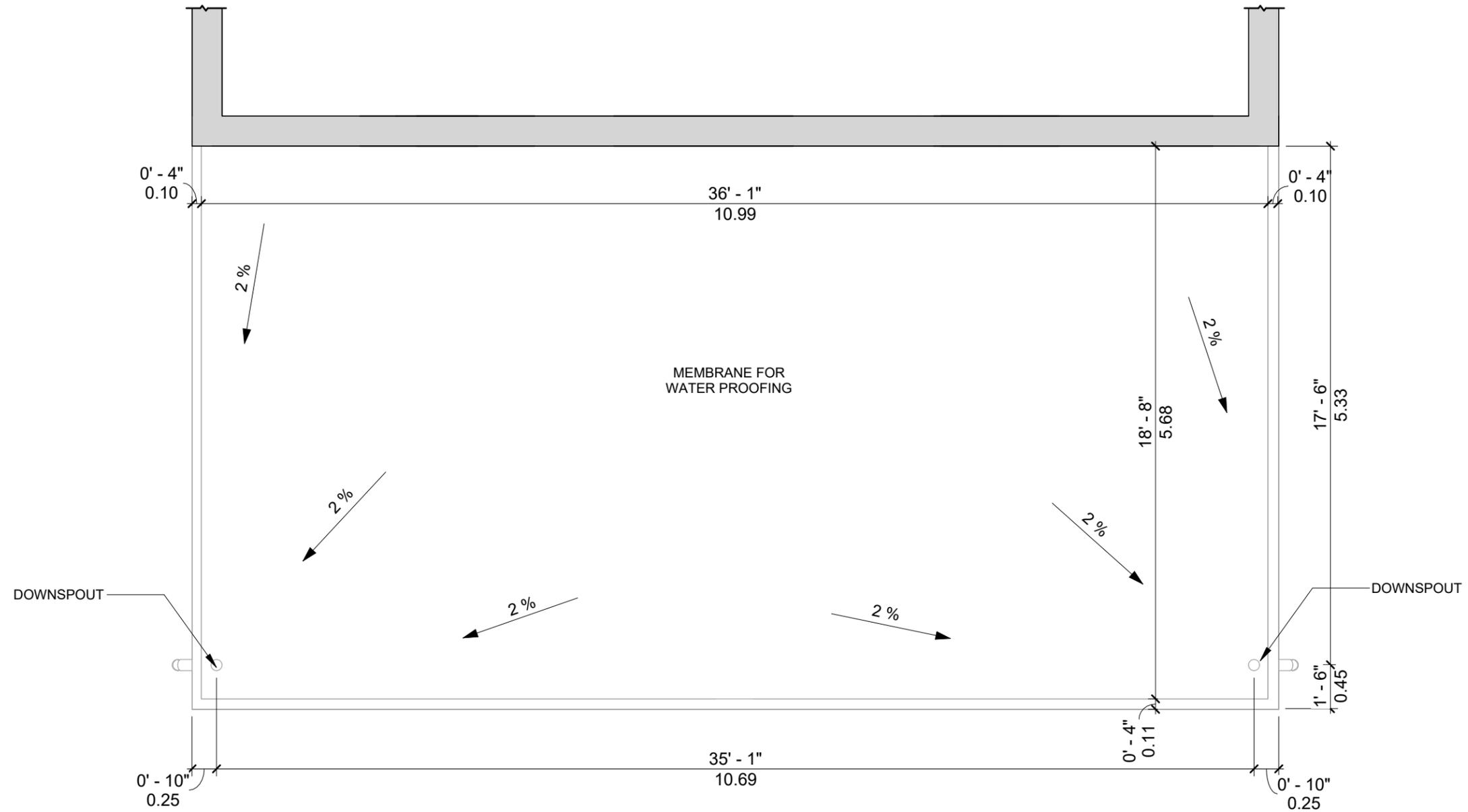
CHECKED BY:
M.HAMEDANI

SCALE:
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PROJECT TITLE
PROPOSED LOGGIA

PROJECT ADDRESS
5 WELLER CR., MAPLE

SHEET TITLE LOGGIA LAYOUT	SHEET NO A202
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1 ROOF PLAN
A203 1 : 50

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SCALE:
1 : 50

PROJECT TITLE
PROPOSED LOGGIA

PROJECT ADDRESS
5 WELLER CR., MAPLE

SHEET TITLE ROOF PLAN	SHEET NO A203
--------------------------	------------------

NOTE:
THE ELEVATION FOR TOP OF THE LOGGIA ROOF SHALL EXACTLY MATCH WITH THE ELEVATION OF TOP OF THE SECOND FLOOR.

PAPER SIZE: 11"X17"



2 REAR ELEVATION
A301 1 : 100

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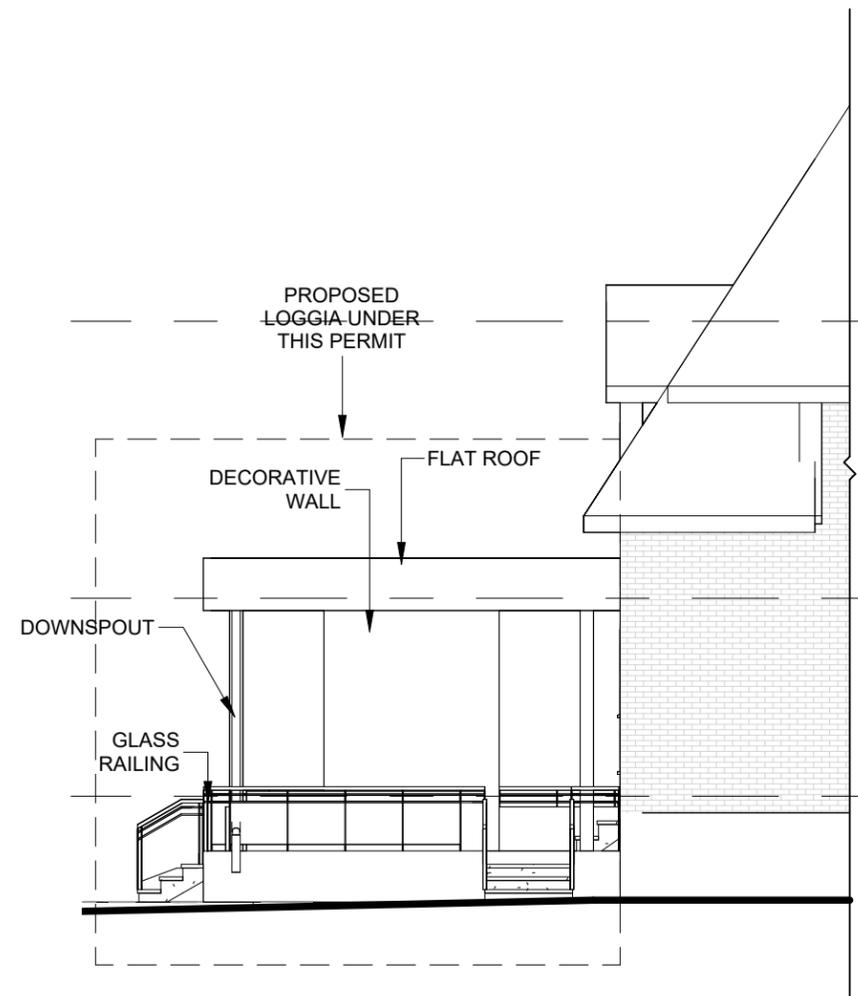
CHECKED BY:
M.HAMEDANI

SCALE:
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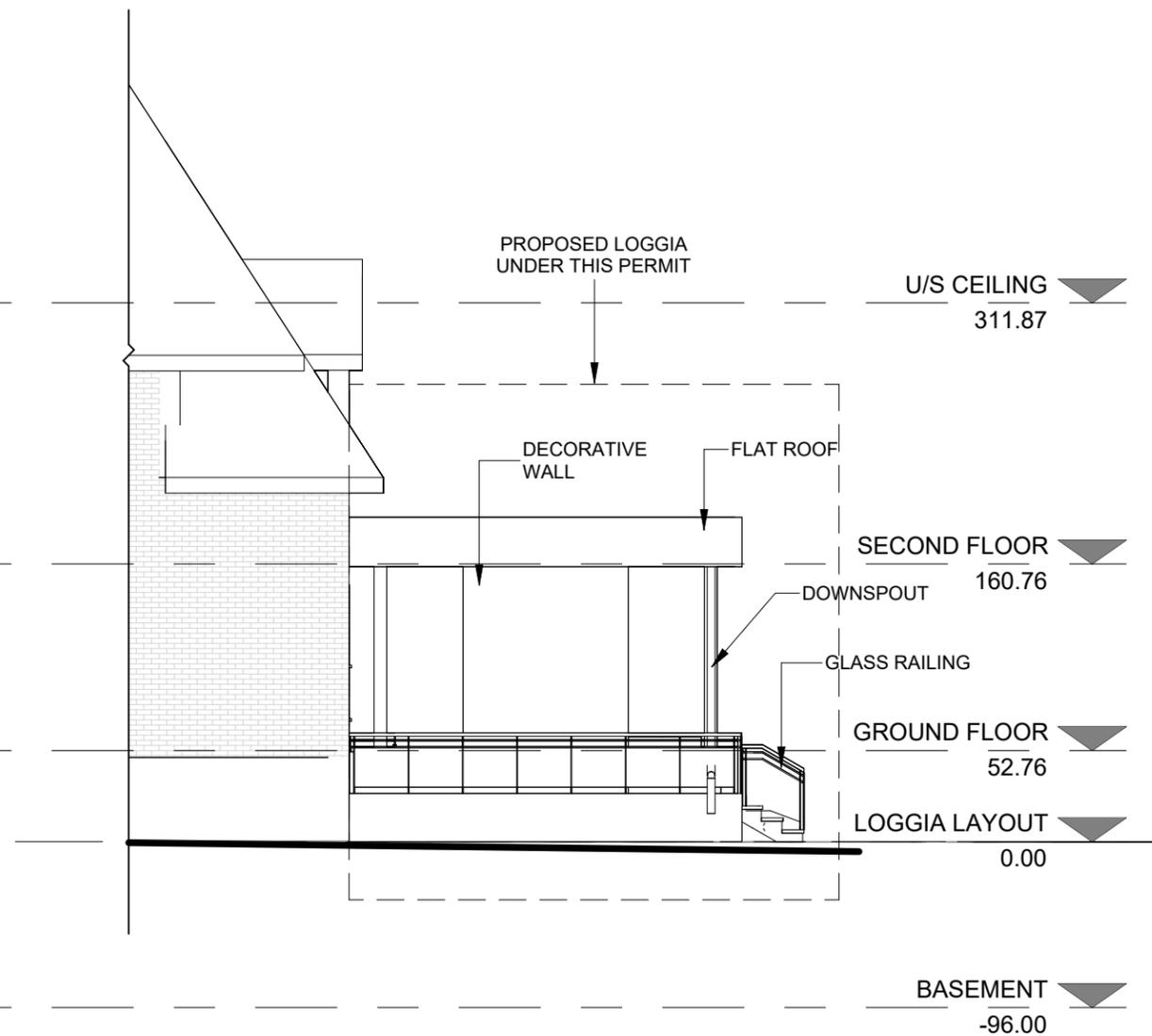
PROJECT TITLE
PROPOSED LOGGIA

PROJECT ADDRESS
5 WELLER CR., MAPLE

SHEET TITLE REAR ELEVATION	SHEET NO A301
-------------------------------	------------------



2 RIGHT-SIDE ELEVATION
A302 1:100



1 LEFT-SIDE ELEVATION
A302 1:100

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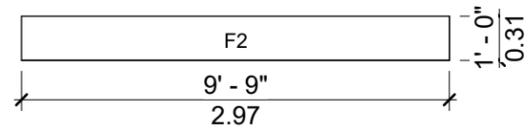
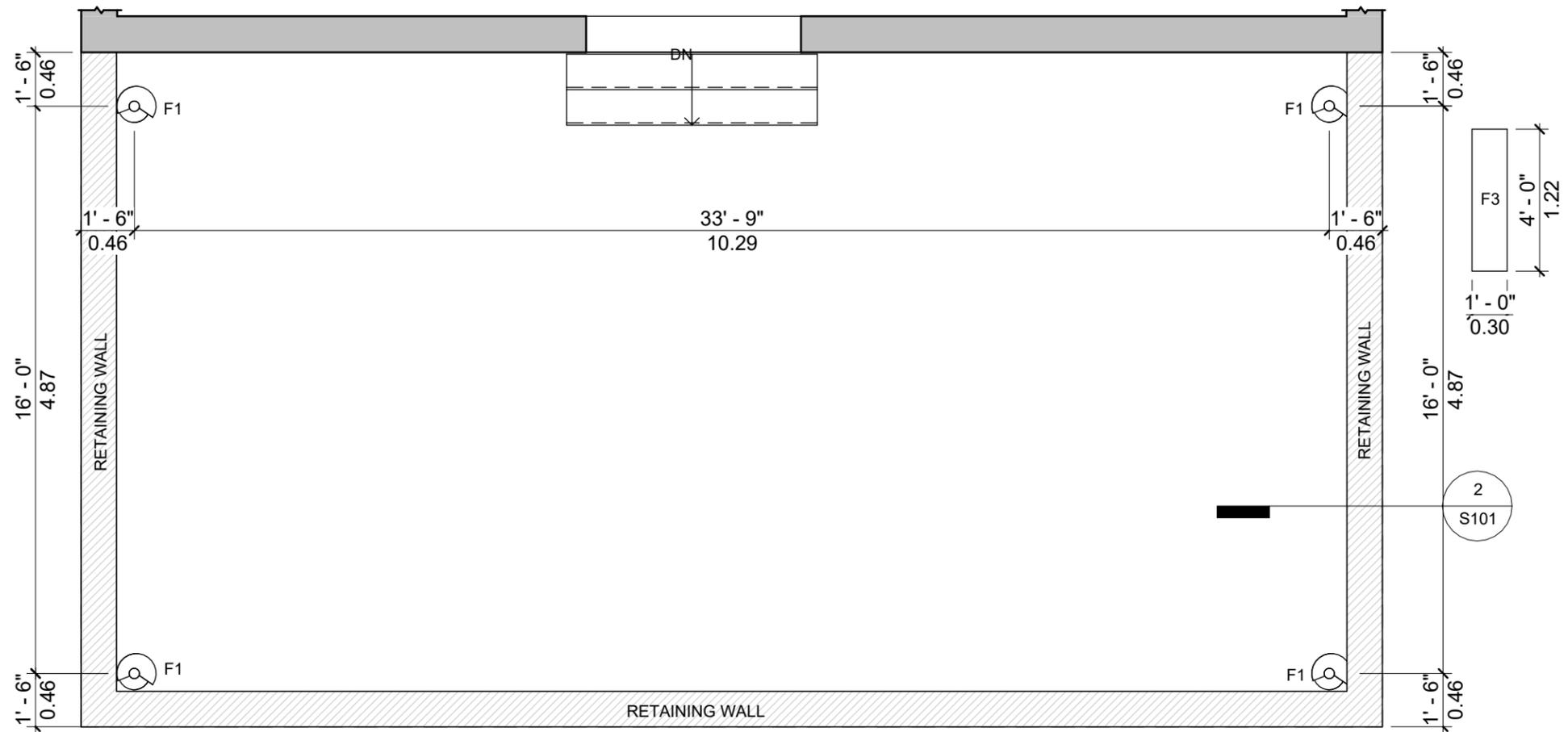
SCALE:
1 : 100

PROJECT TITLE
PROPOSED LOGGIA

PROJECT ADDRESS
5 WELLER CR., MAPLE

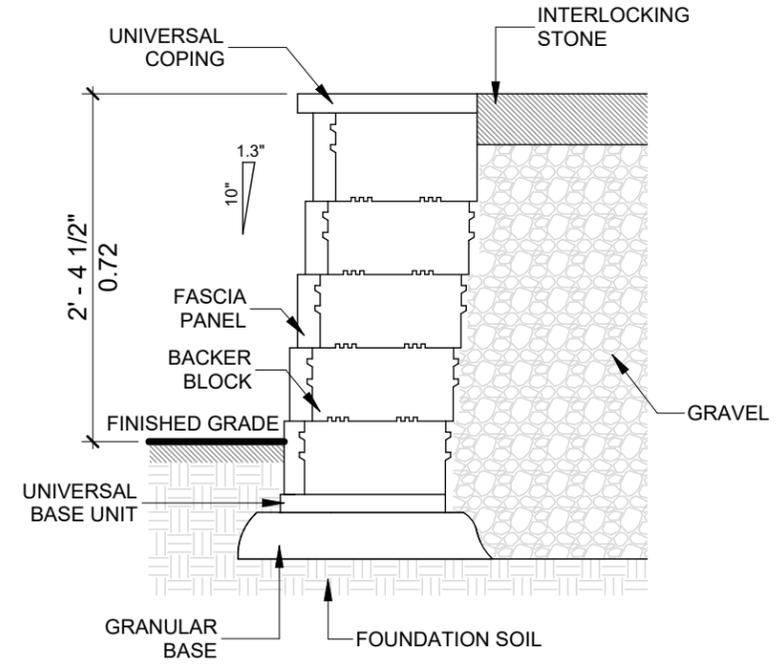
SHEET TITLE LEFT-SIDE AND RIGHT-SIDE ELEVATION	SHEET NO A302
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PAPER SIZE: 11"X17"



FOOTING SCHEDULE:

MARK	SIZE			BOTTOM REINFORCING		COMMENTS
	WIDTH	LENGTH	HEIGHT	LENGTH	HEIGHT	
F1	HELICAL PILE: TECHNO METAL POST P3 OR EQUIVALENT ROUND HSS OUTSIDE DIAMETER: 88.9 mm (3.5") LENGTH : TO BE SPECIFIED BY THE MANUFACTURER					
F2	9'-9"	1'	8"	2-15M	10M@10"	SHALLOW FOOTING
F3	4'	1'	8"	2-15M	10M@10"	SHALLOW FOOTING



1 FOUNDATION LAYOUT
S101 1 : 50

2 NON-STRUCTURAL SEGMENTAL RETAINING WALL DETAIL
S101 1 : 15



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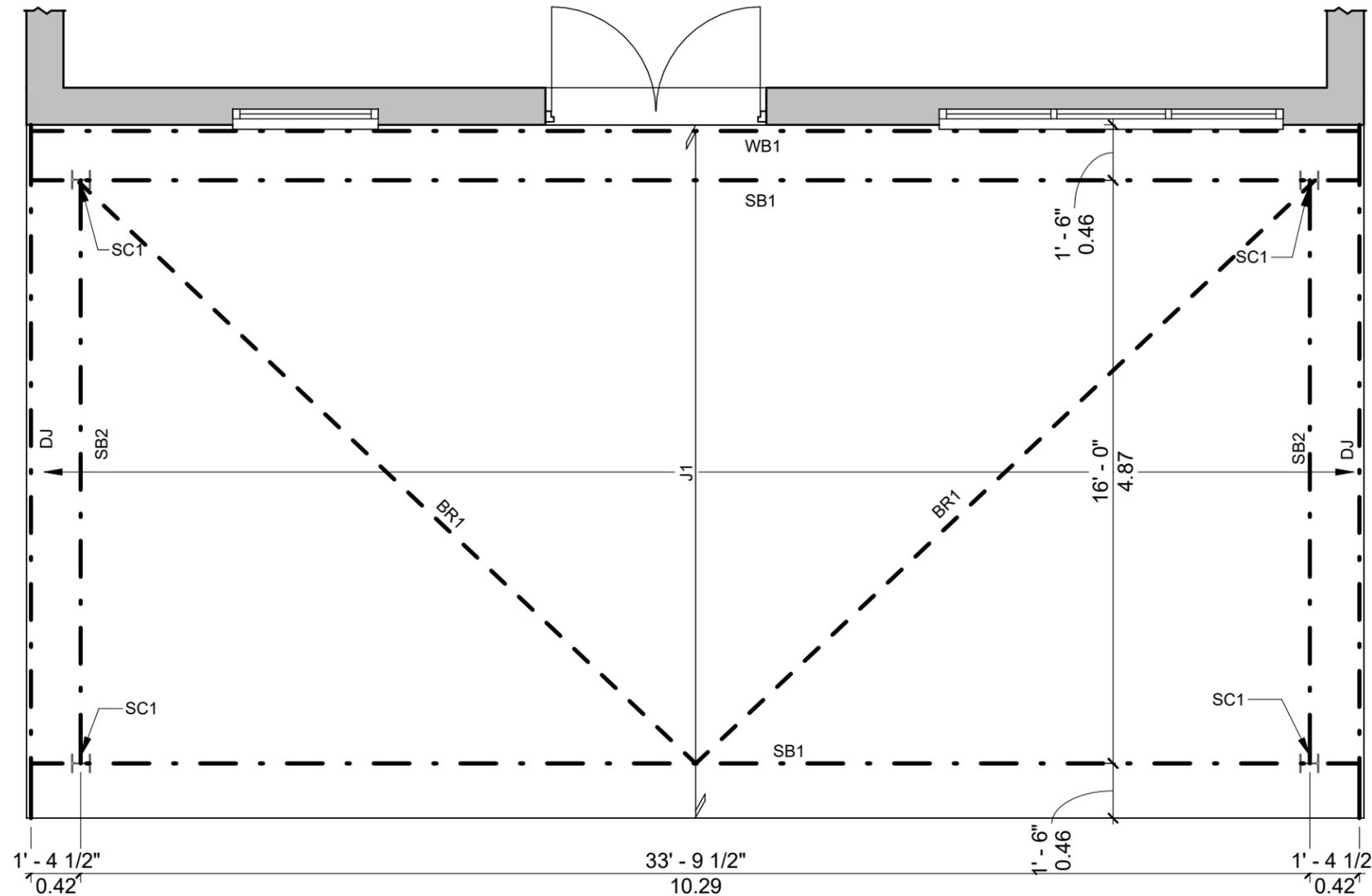
SCALE:
As indicated

PROJECT TITLE
PROPOSED LOGGIA

PROJECT ADDRESS
5 WELLER CR., MAPLE

SHEET TITLE
FOUNDATION LAYOUT

SHEET NO
S101



JOIST SCHEDULE:

MARK	SIZE	TYPE	SPACING	COMMENTS
J1	2"x12"	SPF GRADE SS	MAX. 16"	1- PRESSURE TREATED LUMBER 2- BRIDGING IS REQUIRED AT 48" FROM EACH END.

BRACING SCHEDULE:

MARK	SIZE	TYPE	COMMENTS
BR1	-	SB-16	GALVANIZED METAL SWAY BRACE (BAREFOOT DECKS)

STEEL AND WOOD BEAM SCHEDULE:

MARK	SIZE	TYPE	MIN. BEARING	COMMENTS
SB1	W12X72	STEEL GRADE 350W	-	-
SB2	W6X16 STEEL TIE	STEEL GRADE 350W	-	-
WB1	2X12 LEDGER BOARD	SPF GRADE SS	-	CONNECTER TO THE BRICK VENEER W/ SIMPSON STRONG TIES BLVZ

STEEL COLUMN SCHEDULE:

MARK	SIZE	TYPE	COMMENTS
SC1	W6X20	STEEL GRADE 350W	-

1 FRAMING LAYOUT
S102 1 : 50



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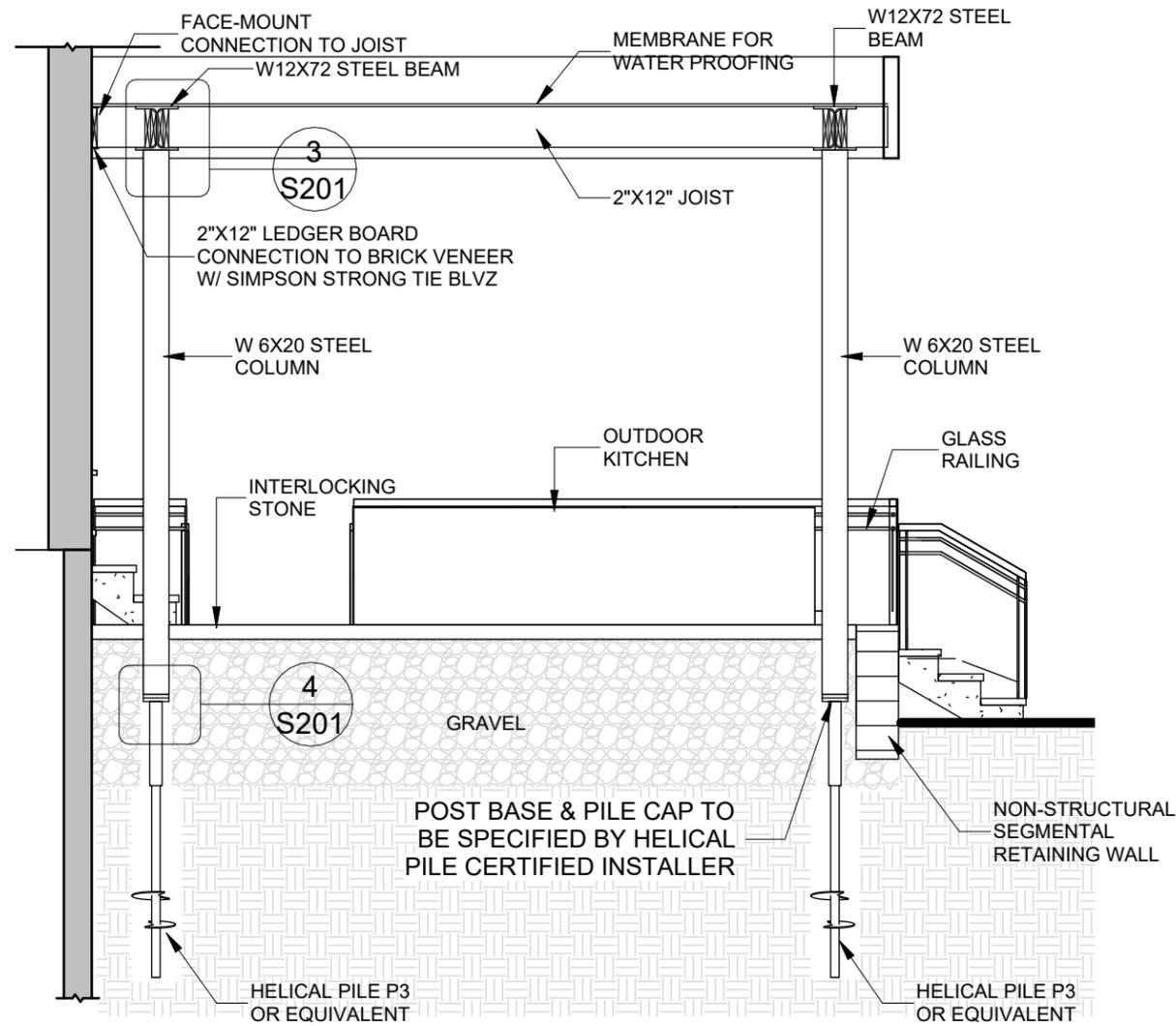
PROJECT TITLE
PROPOSED LOGGIA

PROJECT ADDRESS
5 WELLER CR., MAPLE

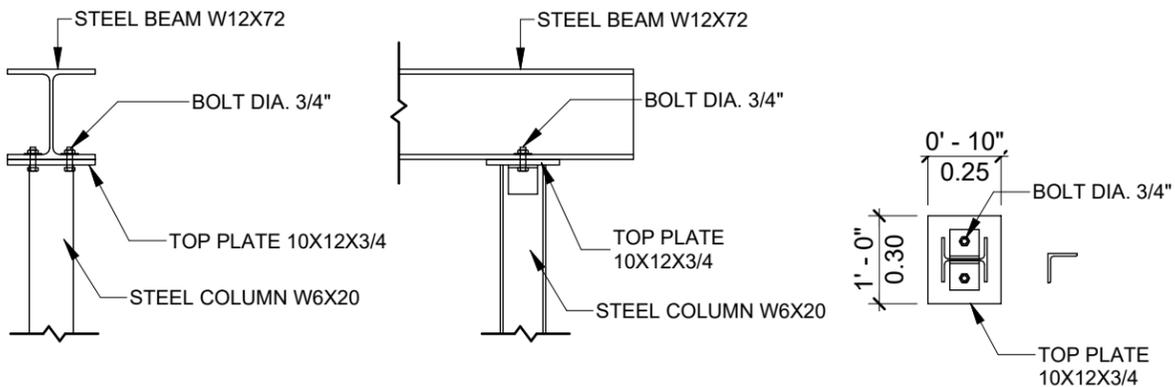
SHEET TITLE
FRAMING PLAN

SHEET NO
S102

PAPER SIZE: 11"x17"

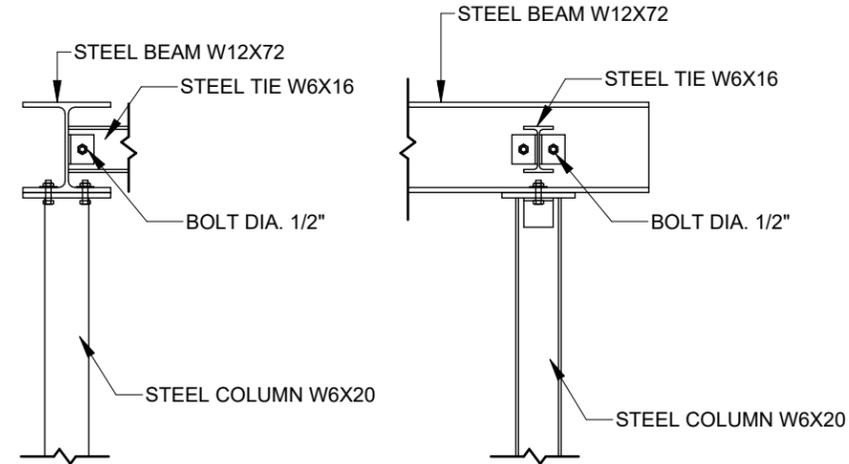


1 WALL SECTION
S201 1 : 50

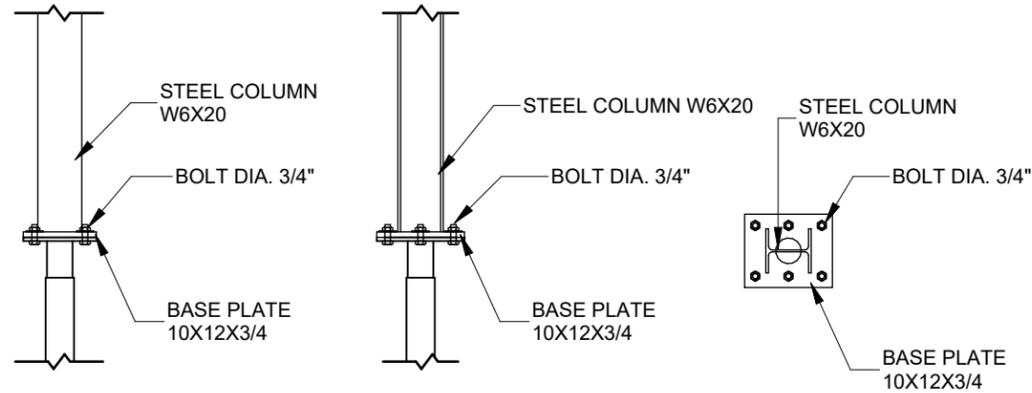


2 BEAM AND COLUMN CONNECTION
S201 1 : 25

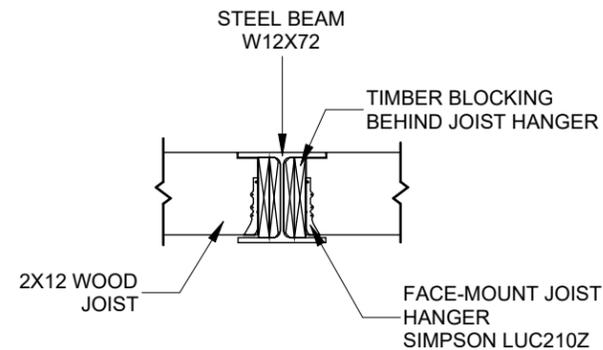
NOTE:
THE ELEVATION FOR TOP OF THE LOGGIA ROOF SHALL EXACTLY MATCH WITH THE ELEVATION OF TOP OF THE SECOND FLOOR.



5 STEEL TIE AND BEAM CONNECTION
S201 1 : 25



4 COLUMN AND HELICAL PILE CONNECTION
S201 1 : 25



3 JOIST AND BEAM CONNECTION
S201 1 : 25



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SCALE:
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PROJECT TITLE
PROPOSED LOGGIA

PROJECT ADDRESS
5 WELLER CR., MAPLE

SHEET TITLE
STRUCTURAL DETAILS

SHEET NO
S201







LD
landdesign CA



SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A