

ITEM: 6.4	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A050/25
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Report Date: Friday, June 13, 2025

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):

Additional comments from departments and agencies received after the publication of the report will be made available on the City’s [website](#).

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Development Engineering	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Metrolinx	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			04/25/2025	Application Cover Letter
Applicant			05/08/2025	Site Photos

BACKGROUND (SCHEDULE D, IF REQUIRED)	
* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.	
Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background

	MINOR VARIANCE APPLICATION FILE NUMBER A050/25
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CITY WARD #:	1
APPLICANT:	Perasanya Bakeerathan & Godfrey Bakeerathan
AGENT:	Alicia Dusil (Dusil Design And Landscape Inc.)
PROPERTY:	83 Lacrosse Trail, Kleinburg
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "KN Low-Rise Residential II" by Schedule B3 - North Kleinburg-Nashville Secondary Plan (Chapter 11.8, Volume 2)
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed inground pool, an existing deck in the rear yard, a residential accessory structure and reduced landscaping requirements.

The following variances have been requested from the City’s Zoning By-law:

The subject lands are zoned R3, Third Density Residential Zone and subject to the provisions of Exception 14.1041 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	An outdoor swimming pool shall be subject to the minimum 3.0 m exterior side yard requirement of the principal dwelling. [Section 4.21.5, 14.1041]	To permit a minimum 1.6 m exterior side yard to the swimming pool.
2	An uncovered platform with a floor height of 1.2 m or less is permitted a maximum rear yard encroachment of 2.4 m [Section 4.13, Table 4-1]	To permit a maximum encroachment of 5.7 m for an uncovered platform with a floor height of less than 1.2 m into the rear yard.
3	A minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line. [Section 4.13.3]	To permit a minimum distance of 0.3 m to a lot line from the uncovered platform.
4	A residential accessory structure with a height less than 2.8 m shall not be located closer than 0.6 m to any lot line. [Section 4.1.2.b]	To permit a minimum rear yard of 0.3 m to a residential accessory structure with a height less than 2.8 m.
5	A residential accessory structure shall be subject to the minimum 1.2 m interior side yard requirement for the principal building on the lot. [Section 4.1.2.1.a]	To permit a minimum interior side yard of 0.3 m to the residential accessory structure.
6	Where lot frontage is 12.0 m or greater, the minimum landscape requirement shall be 50%, of which 60% shall be soft landscaping. [Section 4.19.1.b]	To permit a minimum landscape requirement of 38% where a lot frontage is 12.0 m or greater.

HEARING INFORMATION
DATE OF MEETING: Thursday, June 19, 2025 TIME: 6:00 p.m. MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2 nd Floor), 2141 Major Mackenzie Drive LIVE STREAM LINK: Vaughan.ca/LiveCouncil
PUBLIC PARTICIPATION
If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the Request to Speak Form and submit to cofa@vaughan.ca

HEARING INFORMATION
<p>If you would like to submit written comments, please quote file number above and submit by mail or email to:</p> <p>Email: cofa@vaughan.ca</p> <p>Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1</p> <p>To speak electronically, pre-registration is required by completing the Request to Speak Form on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.</p> <p>THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.</p>

INTRODUCTION
<p>Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.</p> <p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:</p> <p>That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p>

COMMITTEE OF ADJUSTMENT	
Date Public Notice Mailed:	June 5, 2025
Date Applicant Confirmed Posting of Sign:	May 28, 2025
Applicant Justification for Variances: <small>*As provided in Application Form</small>	All yard is located at side. No backyard
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
N/A	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	That the Owner provide photo evidence of the removal of guardrails around the perimeter of the deck to the satisfaction of the Development and Parks Planning Department.

DEVELOPMENT ENGINEERING	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
The Owner/Applicant shall submit an application and obtain an approved Pool Permit before initiating any work on the property. The Lot Grading Plan will be required for the Pool Permit Application. Please visit the Permits page of the City of Vaughan's website: https://www.vaughan.ca/about-city-	

DEVELOPMENT ENGINEERING	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation vaughan/departments/development-engineering/engineering-permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca	
The Development Engineering Department does not object to the Minor Variance application A050/25.	
Development Engineering Recommended Conditions of Approval:	None

PARKS, FORESTRY & HORTICULTURE (PFH)	
No comments received to date.	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE	
No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES	
No comments received to date.	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC)	
No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

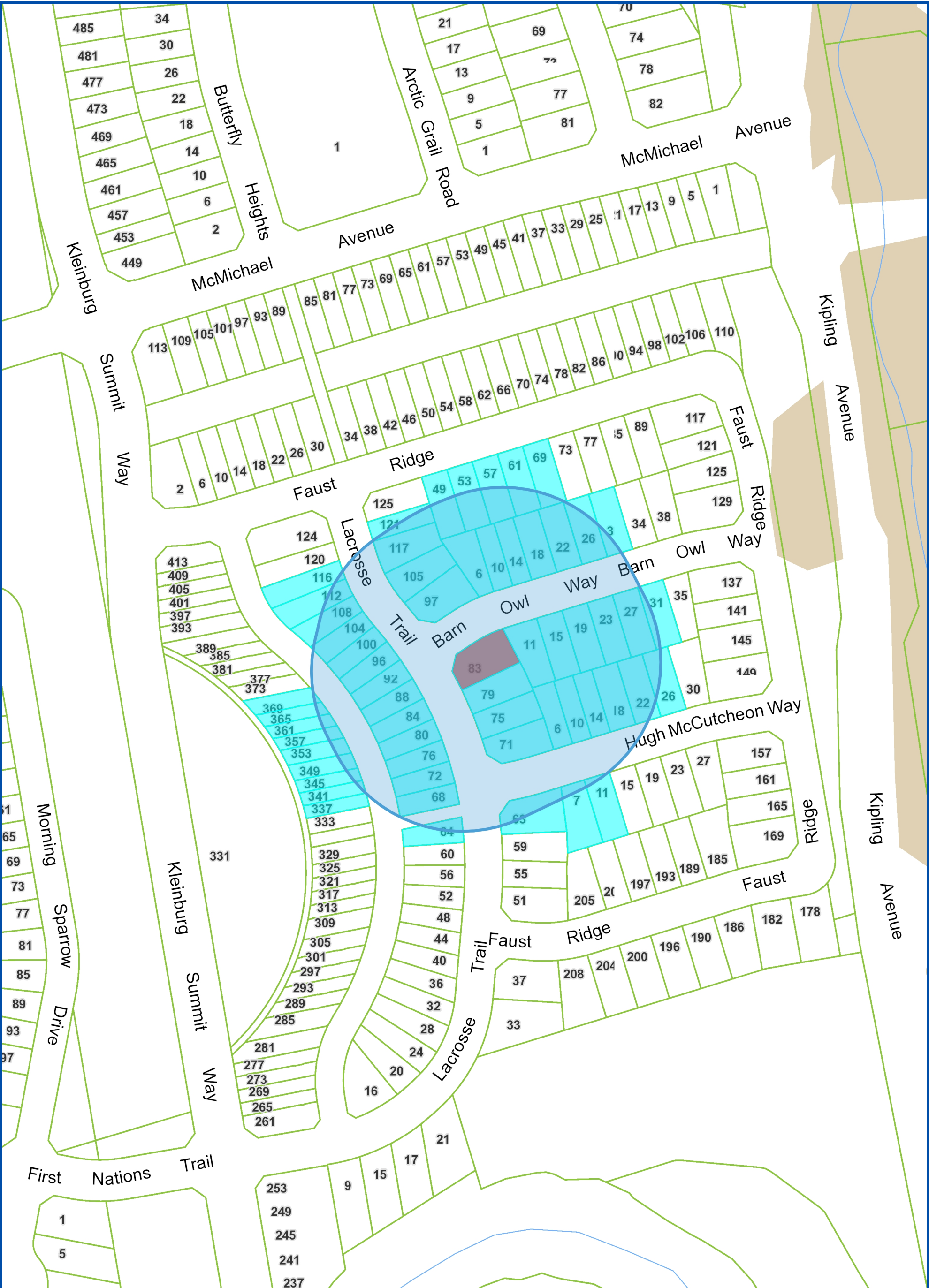
FIRE DEPARTMENT	
No comments received to date.	
Fire Department Recommended Conditions of Approval:	None

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY		
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:		
#	DEPARTMENT / AGENCY	CONDITION
1	Development Planning Harry.zhao@vaughan.ca	That the Owner provide photo evidence of the removal of guardrails around the perimeter of the deck to the satisfaction of the Development and Parks Planning Department.
<i>All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.</i>		

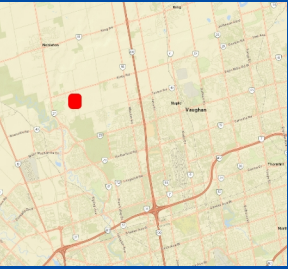
IMPORTANT INFORMATION
CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION	
<p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>	
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>	
<p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.</p>	

SCHEDULE A: DRAWINGS & PLANS



Map Information:



Title:

A050_25 Minor Variance Application

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1: 2,257

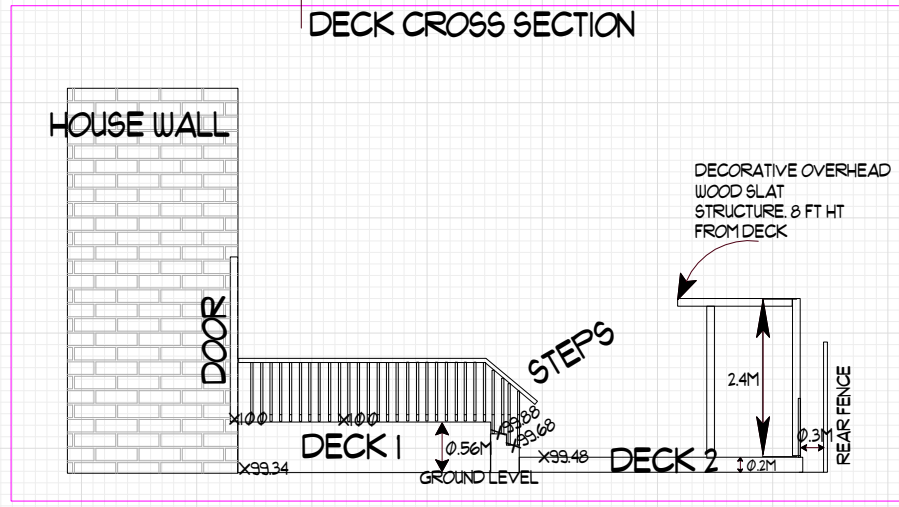
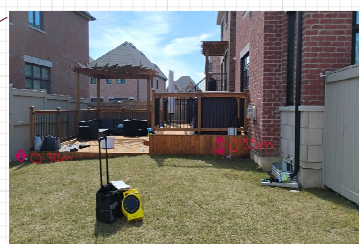
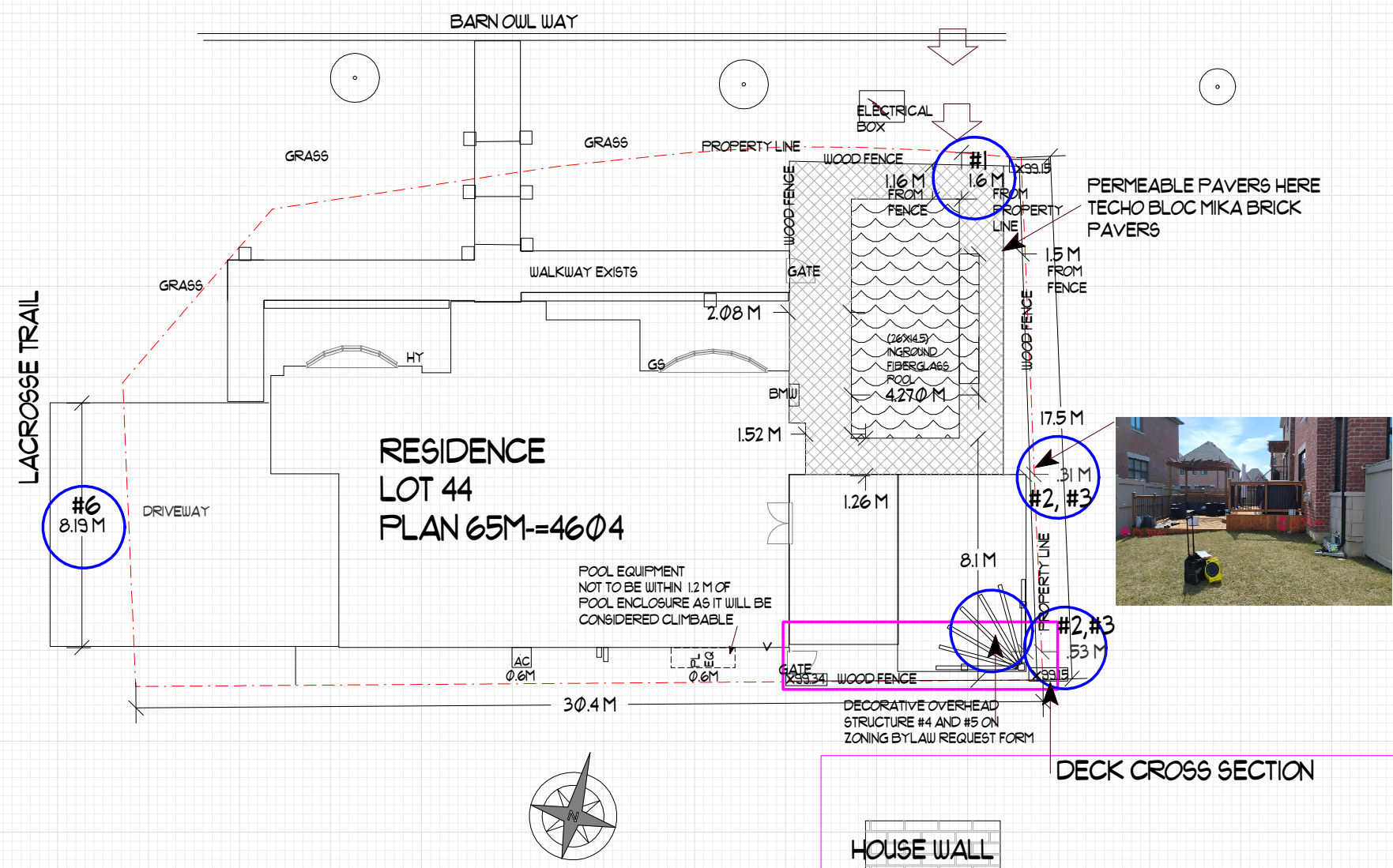
0 0.04 km



Created By:

Infrastructure Delivery
Department
April 24, 2025 10:15 AM

Projection:
NAD 83
UTM Zone
17N



LOT TOTAL : 501.92M²
HOUSE: 160.85M²
SURROUND: 341.07 M²
BACKYARD (FENCED IN AREA): 143.22M²
POOL= 31.42M²
POOL SURROUND= 41.95M²
DECK= 48.17M²

Revision #: REV 5.5.25
5.9.25 (ATTN HARRY ZHAO)
Date: 2025-06-02

Scale:
1:200

Landscape Plan: BAKEERATHAN PROPERTY
83 LACROSSE TRAIL
VAUGHN ONTARIO
L4H 4S8



Landscape Design by: DUSIL DESIGN AND LANDSCAPE INC
DUSILDESIGN@GMAIL.COM
905-333-3683

SCHEDULE B:

COMMENTS FROM AGENCIES, BUILDING STANDARDS & DEVELOPMENT PLANNING

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Metrolinx	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: May 7th 2025

Attention: **Christine Vigneault**

RE: Request for Comments

File No.:

Related Files: **A050-25**

Applicant: Dusil Design And Landscape Inc

Location 83 Lacrosse Trail

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

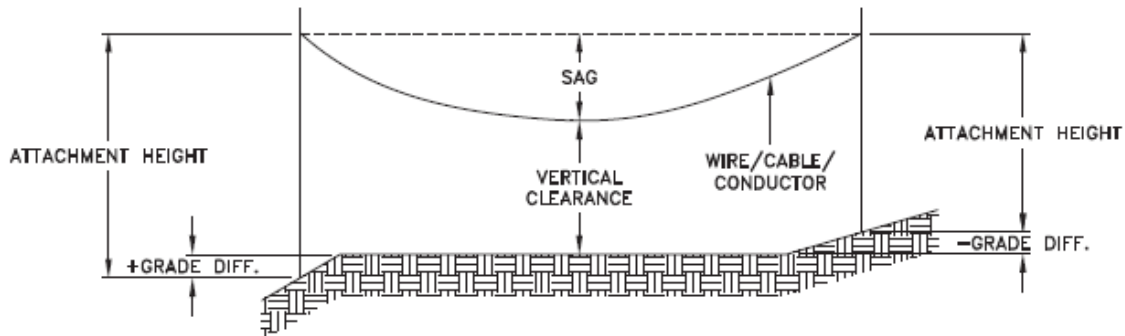
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS</u> AND <u>BICYCLES</u> ONLY	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 + GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

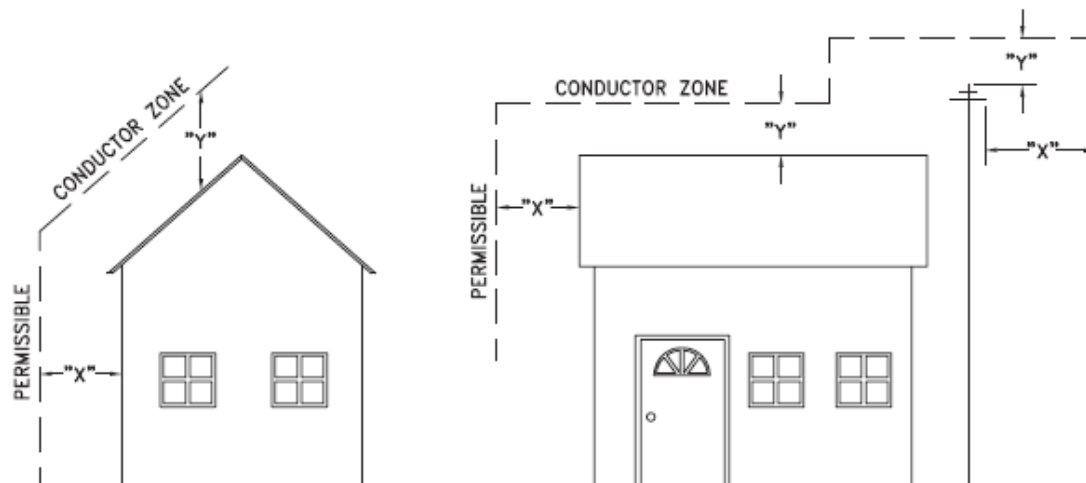
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P.Eng. Approval By: D. Dadwani

To: Committee of Adjustment

From: Gregory Seganfreddo, Building Standards Department

Date: May 20th, 2025

Applicant: DUSIL DESIGN AND LANDSCAPE INC

Location: 83 Lacrosse Trail
PLAN 65M4604 Lot 22

File No.(s): A050/25

Zoning Classification:

The subject lands are zoned R3, Third Density Residential Zone and subject to the provisions of Exception 14.1041 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	An outdoor swimming pool shall be subject to the minimum 3.0 m exterior side yard requirement of the principal dwelling. [Section 4.21.5, 14.1041]	To permit a minimum 1.6 m exterior side yard to the swimming pool.
2	An uncovered platform with a floor height of 1.2 m or less is permitted a maximum rear yard encroachment of 2.4 m [Section 4.13, Table 4-1]	To permit a maximum encroachment of 5.7 m for an uncovered platform with a floor height of less than 1.2 m into the rear yard.
3	A minimum distance of 0.6 m shall be required from any permitted encroachment to the nearest lot line. [Section 4.13.3]	To permit a minimum distance of 0.3 m to a lot line from the uncovered platform.
4	A residential accessory structure with a height less than 2.8 m shall not be located closer than 0.6 m to any lot line. [Section 4.1.2.b]	To permit a minimum rear yard of 0.3 m to a residential accessory structure with a height less than 2.8 m .
5	A residential accessory structure shall be subject to the minimum 1.2 m interior side yard requirement for the principal building on the lot. [Section 4.1.2.1.a]	To permit a minimum interior side yard of 0.3 m to the residential accessory structure.
6	Where lot frontage is 12.0 m or greater, the minimum landscape requirement shall be 50% , of which 60% shall be soft landscaping. [Section 4.19.1.b]	To permit a minimum landscape requirement of 38% where a lot frontage is 12.0 m or greater.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2

Other Comments:

Zoning By-law 001-2021	
1	None.

General Comments	
2	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.
 * Comments are based on the review of documentation supplied with this application.

From: [development.coordinator](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A050/25 - 83 LACROSSE TRAIL - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Thursday, May 8, 2025 10:09:12 AM
Attachments: [image001.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Morning Vaughan CofA,

Please be advised that the subject lands (83 Lacrosse Trail) fall outside of the designated Metrolinx review zones. Metrolinx therefore has no comments and / or concerns on this Minor Variance application.

Thank you,
Farah Faroque (she/her)
Project Analyst, Adjacent Construction Review
Real Estate & Development
Metrolinx
10 Bay Street | Toronto | Ontario | M5J 2N8
T: 437.900.2291



To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development and Parks Planning

Date: June 6, 2025

Name of Owners: Godfrey Bakeerathan, Perasanya Bakeerathan

Location: 83 Lacrosse Trail

File No.(s): A050/25

Proposed Variance(s):

1. To permit a minimum **1.6 m** exterior side yard to the swimming pool.
2. To permit a maximum encroachment of **5.7 m** for an uncovered platform with a floor height of less than 1.2 m into the rear yard.
3. To permit a minimum distance of **0.3 m** to a lot line from the uncovered platform.
4. To permit a minimum rear yard of **0.3 m** to a residential accessory structure with a height less than 2.8 m.
5. To permit a minimum interior side yard of **0.3 m** to the residential accessory structure.
6. To permit a minimum landscape requirement of **38%** where a lot frontage is 12.0 m or greater.

By-Law 001-2021 Requirement(s):

1. An outdoor swimming pool shall be subject to the minimum **3.0 m** exterior side yard requirement of the principal dwelling.
2. An uncovered platform with a floor height of 1.2 m or less is permitted a maximum rear yard encroachment of **2.4 m**.
3. A minimum distance of **0.6 m** shall be required from any permitted encroachment to the nearest lot line.
4. A residential accessory structure with a height less than 2.8 m shall not be located closer than **0.6 m** to any lot line.
5. A residential accessory structure shall be subject to the minimum **1.2 m** interior side yard requirement for the principal building on the lot.
6. Where lot frontage is 12.0 m or greater, the minimum landscape requirement shall be **50%**, of which **60%** shall be soft landscaping.

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "KN Low-Rise Residential II" by Schedule B3 - North Kleinburg-Nashville Secondary Plan (Chapter 11.8, Volume 2)

Comments:

The Owner is seeking relief to permit a deck, a pergola, and a swimming pool in the rear yard with the above noted variances.

The Development and Parks Planning Department has no objections to Variance 1 to reduce the exterior side lot line setback of the proposed swimming pool from 3 m to 1.6 m. The property is a corner lot, and a wooden fence exists along the exterior side lot line to provide buffer from the public realm and mitigate privacy concerns. The proposed 1.6 m setback provides sufficient space for access and maintenance.

The Development and Parks Planning Department has no objections to Variances 2 and 3 to permit the proposed encroachment of the deck into the rear yard. The two-tiered deck is tallest towards the dwelling and steps down to 0.2 m in height towards the rear lot line. Due to the minimal height of the deck, the proposed 0.3 m setback from the rear lot line does not impede access and maintenance, and does not incur massing impacts on the neighbouring properties.

The Development and Parks Planning Department has no objections to Variances 4 and 5 to reduce the minimum rear and side setbacks of the proposed pergola to 0.3 m. The proposed pergola is unenclosed, has a height of 2.6 m measured from grade, and is structural supported by three columns. The 0.3 m setback does not impede access and

maintenance around the pergola. The minimal mass of the pergola is not anticipated to incur negative impacts on neighbouring properties.

The Development and Parks Planning Department has no objections to Variance 6 to permit the proposed landscaping reduction in the front yard. The property, being a corner lot, is well vegetated in the exterior side yard. Additional soft landscaping exists within the City-owned portion of the boulevard. Development Engineering staff have reviewed the landscaping reduction and do not anticipate any stormwater runoff concerns.

Accordingly, the Development and Parks Planning Department supports the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development and Parks Planning Department recommends approval of the application, subject to the following condition:

Conditions of Approval:

If the Committee finds merit in the application, the following condition of approval is recommended:

1. That the Owner provide photo evidence of the removal of guardrails around the perimeter of the deck to the satisfaction of the Development and Parks Planning Department.

Comments Prepared by:

Harry Zhao, Planner

Janany Nagulan, Senior Planner

From: [Cameron McDonald](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A050/25 - 83 LACROSSE TRAIL - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: May-13-25 2:15:19 PM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from the TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:(437)880-1925)

E: cameron.mcdonald@trca.ca

A: [5 Shoreham Drive, Toronto, ON, M3N 1S4](#) | trca.ca



From: [Development Services](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A050/25 - 83 LACROSSE TRAIL - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: May-07-25 3:50:05 PM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good afternoon,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Regards,

Gabrielle

Gabrielle Hurst MCIP, RPP | Associate Planner, Development Planning, Economic and Development Services Branch | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca



SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			04/25/2025	Application Cover Letter
Applicant			05/08/2025	Site Photos





Property:
Bakeerathan Property
83 Lacrosse Trail
Kleinburg, Vaughan, Ontario

File# **A050/25**

Submitted 4.17.25

Dear Committee of Adjustments,

This property is looking to get a MV for the proposed pool location setback from the exterior lot line. It is a corner lot with no backyard, only side yard. We respectfully ask for the required **2.4 m setback** from Barn Owl Way (road) lot line to be changed to **1.6m**. This would allow this property to have a pool installed. We thank you for your consideration in the matter.

Applicant, Agent:

Alica Dusil-Dusil Design and Landscape Inc.

SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A