

ITEM: 6.3	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A049/25
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Report Date: Friday, June 13, 2025

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
By-law & Compliance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Metrolinx	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Applicant			04/25/2025	Application Cover Letter

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<small>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</small>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
B014/21	Refused by COA

ADJOURNMENT HISTORY	
<small>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</small>	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A049/25

CITY WARD #:	2
APPLICANT:	Angela Bruzzi Cardinale & Sante Cardinale
AGENT:	Bamdad (Ben) Baghdadi (BBA Design Studio Inc.)
PROPERTY:	160 Monsheen Drive, Woodbridge
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of an additional driveway.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1C(EN) – First Density Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A maximum of one driveway per lot shall be permitted. [6.7]	To permit a maximum of 2 driveways.

HEARING INFORMATION

DATE OF MEETING: Thursday, June 19, 2025
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

INTRODUCTION

That the general intent and purpose of the official plan will be maintained.
That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	June 5, 2025
Date Applicant Confirmed Posting of Sign:	June 1, 2025
Applicant Justification for Variances: <small>*As provided in Application Form</small>	This new driveway is for convenience to get access to the back of the house.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
N/A	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	None
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DEVELOPMENT ENGINEERING

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The Owner / Applicant shall ensure that the construction of the parking space does not negatively impact neighbours due to surface water runoff. The property should be properly graded, ensuring that surface water from the proposed addition does not flow onto adjacent lots. The Development Engineering Department does not object to the Minor Variance application A049/25, subject to the following condition(s):

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit a Grading Plan which include complete information regarding specifications and performance characteristics of the proposed permeable paver. The Owner/Applicant shall provide a Letter of Undertaking, in accordance with the City's template, confirming the installation of permeable pavers as per design drawing and Grading Plan to the satisfaction of the Development Engineering Department.
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PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date.

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

no comments

BCLPS Recommended Conditions of Approval:

None

BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:

None

FIRE DEPARTMENT

No comments received to date.

Fire Department Recommended Conditions of Approval:

None

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering Rex.bondad@vaughan.ca	The Owner/Applicant shall submit a Grading Plan which include complete information regarding specifications and performance characteristics of the proposed permeable paver. The Owner/Applicant shall provide a Letter of Undertaking, in accordance with the City's template, confirming the installation of permeable pavers as per design drawing and Grading Plan to the satisfaction of the Development Engineering Department.

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

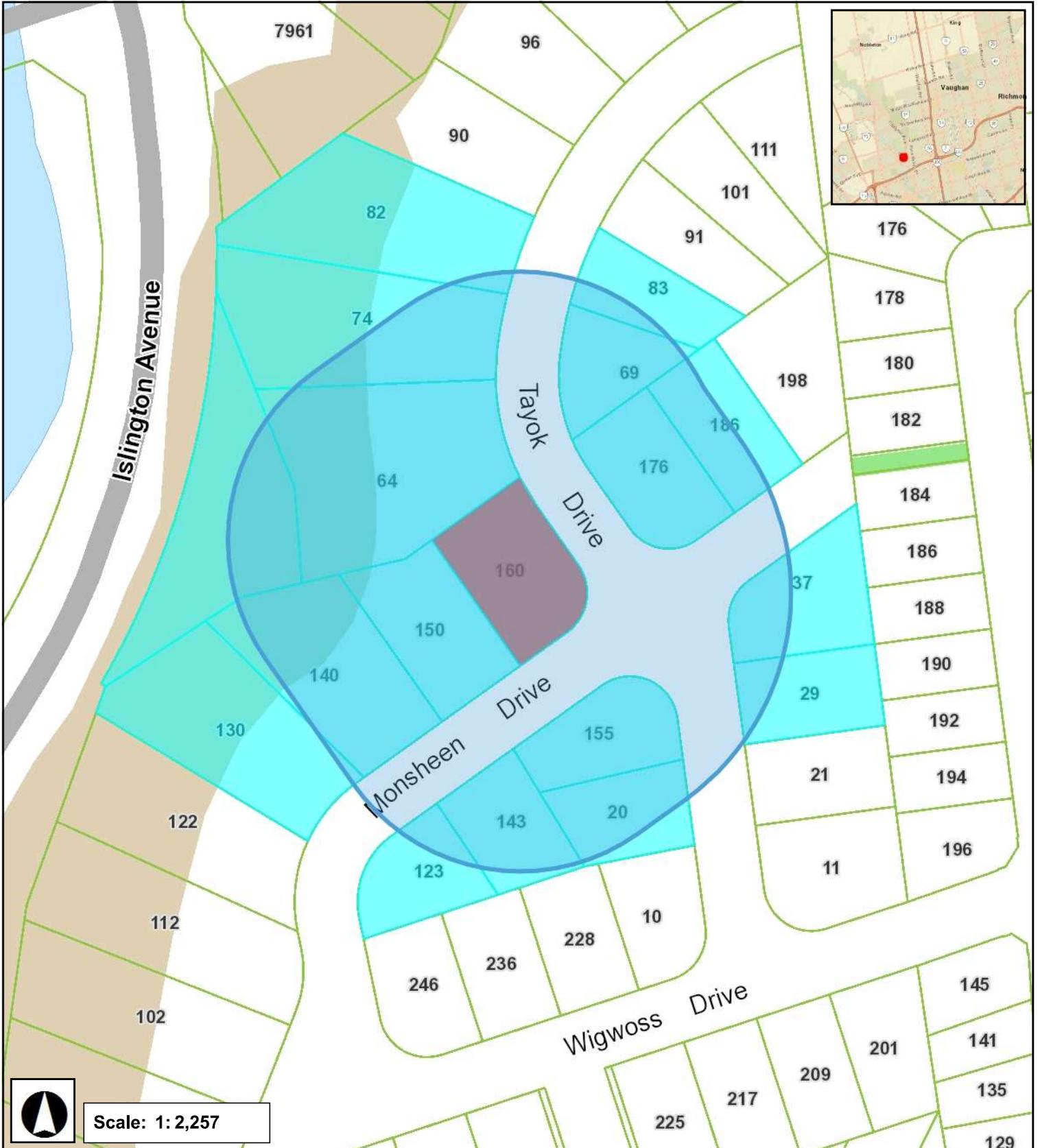
IMPORTANT INFORMATION

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



RECEIVED
By russog at 10:19 am, Jun 03, 2025

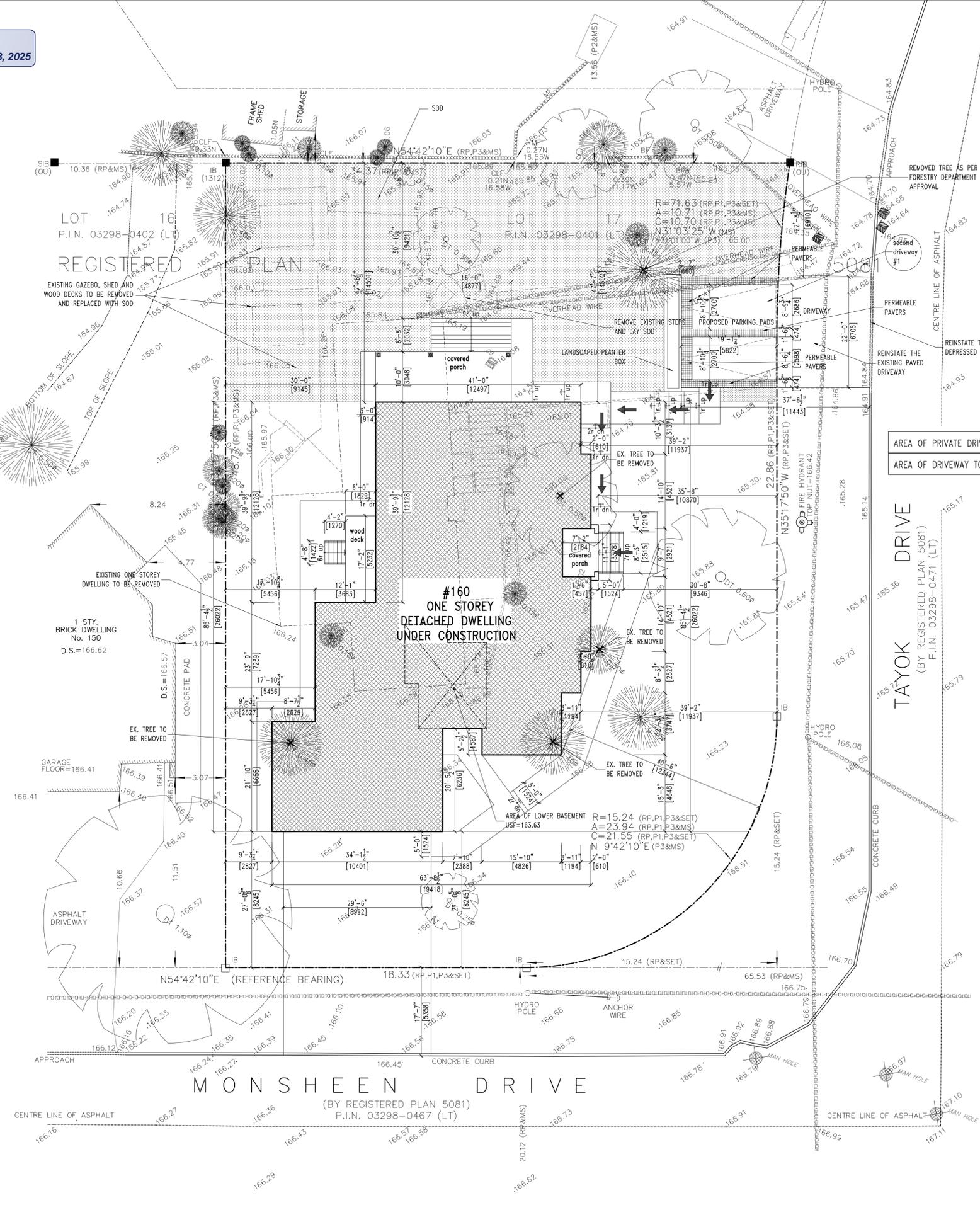
SEE SURVEY BY O.L.S FOR VERIFICATION SURVEY
INFORMATION TAKEN FROM SURVEYOR'S REAL PROPERTY
PART 1, PLAN OF SURVEY OF

LOT 17
REGISTERED PLAN 5081
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK
AS PREPARED BY ALTIMAP LAND SURVEYORS INC.
(O.L.S.) ONTARIO LAND SURVEYOR
DATED: OCTOBER 31, 20212

GENERAL NOTES:

- no work to encroach on adjoining properties
- every excavation shall be undertaken in such a manner so as to prevent damage to existing structures, adjacent properties and utilities
- where depth of excavation exceeds 1200mm (4'-0") excavate at 45° angle or in accordance with approved shoring details.
- backfill against foundation walls in a manner that the level of backfill on one side is never more than 500mm (20") above the level of backfill on the other side of the wall, unless temporary supports for the wall is provided.
- downspouts not directly connected to a storm sewer shall have extensions to carry water away from building and provisions shall be made to prevent soil erosion
- the building shall be graded so that surface, sump and roof drainage will not accumulate at or near the building and not adversely affect adjacent properties.
- the topsoil and vegetable matter in all unexcavated areas under the building shall be removed.
- excavations shall be free from standing water and the bottom shall be kept free from freezing throughout the entire construction period.
- surface drainage shall not be discharged directly or indirectly onto a sidewalk, driveway, stairway or an adjoining property.
- min. soil bearing capacity assumed 75kPa.
- soil is not peat, fill or sensitive clay. the distance between the bottom of footings and the water table is equal to or greater than the width of the footings.

DO NOT SCALE DRAWINGS.
CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY OMISSIONS OR DISCREPANCIES TO BBA DESIGN STUDIO INC. BEFORE PROCEEDING WITH WORK. ALL PRINTS AND SPECIFICATIONS ARE THE PROPERTY OF BBA DESIGN STUDIO INC.



AREA OF PRIVATE DRIVEWAY= 422.13 SQ. FT (39.21 m²)
AREA OF DRIVEWAY TO BE PERMEABLE= 127.00 SQ. FT (11.79 m²) 30.08%

LOT AREA= 17,117.31 SQ. FT. (1,590.25 m²)

SITE STATISTICS	PROPOSED	
	SQ. FT.	m ²
FIRST FLOOR AREA	3,032.83	281.76
TOTAL	3,032.83	281.76

MAX. COVERAGE PERMITTED (30%) = 5,135.93 SQ. FT. (477.07 m²)
PROP. COVERAGE (INCLUDING THE REAR COVERED PORCH) = 4,095.86 SQ. FT. (380.52 m²) (23.93%)

FRONT YARD LANDSCAPING AREA	AREA (m ²)	
FRONT YARD AREA	230.84	
AREA OF DRIVE WAY	74.14	
LANDSCAPED AREA REQUIRED	115.42	(50.00%)
LANDSCAPED AREA PROVIDED	156.70	(67.88%)
SOFT LANDSCAPED AREA REQUIRED	69.25	
SOFT LANDSCAPED AREA PROVIDED	151.89	

FLANKAGE LANDSCAPING AREA	AREA (m ²)
FLANKAGE AREA	290.88
LANDSCAPED AREA REQUIRED	145.44
LANDSCAPED AREA PROVIDED	285.50

REAR YARD SOFT LANDSCAPING AREA	AREA (m ²)
REAR YARD AREA	489.65
EXCESS OF 135 m ² (489.65-135)	354.65
SOFT LANDSCAPED AREA REQUIRED	212.79
SOFT LANDSCAPED AREA PROVIDED	389.69

1 SITE PLAN
A-1 scale : 3/32"=1'-0"
metric 1:125

Should archaeological resources be found on the property during construction activities, all work must cease, and both the Ontario Ministry of Tourism, Culture and Sport and the City of Vaughan's Planning Department, Urban Design and Cultural Heritage Division shall be notified immediately.
If human remains are encountered during construction activities, the proponent must immediately cease all construction activities and shall contact the York Regional Police Department, the Regional Coroner and the Registrar of the Cemeteries at the Ministry of Consumer Services.

No. Revision	Date

BBA
Design Studio Inc.
Bamdad (Ben) Baghdadi
Architect, M.Arch, OAA
Phone: 416 456 5197
Email: bbadesignstudio@gmail.com
13 HOLLYBERRY TRAIL, Toronto, ON, M2H 2N9



PROJECT:
PROP. TWO PARKING PADS
AT 160 MONSHEEN DRIVE
CITY OF VAUGHAN

DRAWING TITLE: SITE PLAN	
DESIGNED BY: B. B.	DATE: NOVEMBER 07, 2022
DRAWN BY: B. B.	SCALE: AS NOTED
APPROVED BY: B. BAGHDADI	DRAWING No.: A-1
PROJECT No.: 2022-39	

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Metrolinx	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: May 1st 2025

Attention: **Christine Vigneault**

RE: Request for Comments

File No.:

Related Files: **A049-25**

Applicant: BBA Design Studio Inc

Location 160 Monsheen Drive



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

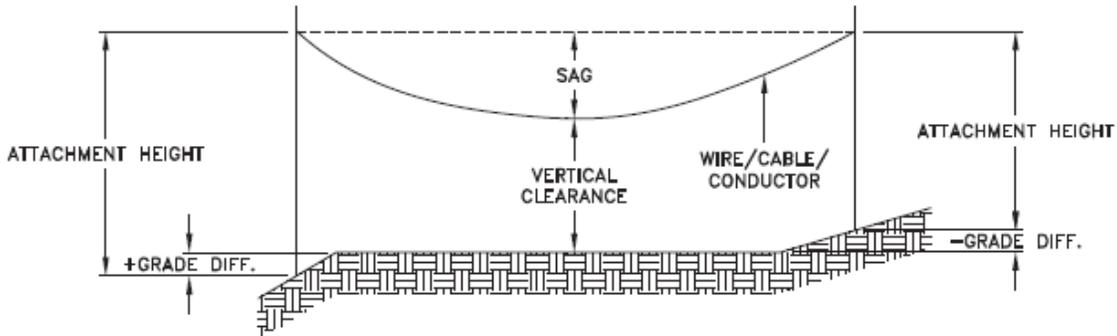
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier

To: Committee of Adjustment
From: Sean Fitzpatrick, Building Standards Department
Date: June 03, 2025
Applicant: BBA Design Studio Inc.
Location: 160 Monsheen Drive
 PLAN RP5081 Lot 17
File No.(s): A049/25

Zoning Classification:

The subject lands are zoned R1C(EN) – First Density Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A maximum of one driveway per lot shall be permitted. [6.7]	To permit a maximum of 2 driveways .

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit is not required for the proposed work.

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

From: [development.coordinator](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A049/25 - 160 MONSHEEN DRIVE - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Thursday, May 1, 2025 10:04:22 AM
Attachments: [image001.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Morning CofA Vaughan,

Please be advised that the subject lands (160 Monsheen Dr) fall outside of the designated Metrolinx review zones. Metrolinx therefore has no comments and / or concerns on this Minor Variance application.

Thank you,
Farah Faroque (she/her)
Project Analyst, Third Party Projects Review
Real Estate & Development
Metrolinx
10 Bay Street | Toronto | Ontario | M5J 2N8
T: 437.900.2291



To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development and Parks Planning
Date: June 6, 2025
Name of Owners: Sante Cardinale, Angela Bruzzi Cardinale
Location: 160 Monsheen Drive
File No.(s): A049/25

Proposed Variance(s):

1. To permit a maximum of **two driveways**.

By-Law 001-2021 Requirement(s):

1. A maximum of **one driveway** per lot shall be permitted.

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Low Rise Residential".

Comments:

The Owners are seeking relief to permit a second driveway with the above noted variance.

The Development and Parks Planning Department has no objections to Variance 1 to permit a second driveway to be located in the eastern exterior side yard connecting to Tayok Drive in addition to an existing driveway located in the front yard connecting to Monsheen Drive. The intent of the zoning provision is to ensure there is a clear access to the property preventing potential vehicular and pedestrian conflicts and to ensure that sufficient landscaping and stormwater management capacity are provided along the front and exterior side yards.

Development and Transportation Engineering staff have reviewed the application and are satisfied that that the additional driveway connection to Tayok Drive is not anticipated to incur transportation and stormwater management impacts. The proposed driveway is not anticipated to impact the streetscape from the public realm as the remaining exterior side yard has sufficient soft landscaping and mature vegetation.

Accordingly, the Development and Parks Planning Department supports the requested variance and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development and Parks Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

Comments Prepared by:

Harry Zhao, Planner
Janany Nagulan, Senior Planner

From: [Cameron McDonald](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A049/25 - 160 MONSHEEN DRIVE - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Monday, May 5, 2025 9:48:45 AM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from the TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:(437)880-1925)

E: cameron.mcdonald@trca.ca

A: [5 Shoreham Drive, Toronto, ON, M3N 1S4](#) | trca.ca



From: [Development Services](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A049/25 - 160 MONSHEEN DRIVE - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Friday, May 2, 2025 8:08:45 AM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good morning,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Many thanks,

Gabrielle

Gabrielle Hurst MCIP, RPP | Associate Planner, Development Planning, Economic and Development Services Branch | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			04/25/2025	Application Cover Letter



Date: April 25, 2025

Architectural services

To: Development Engineering, Rex Bondad

Re: application A049/25, 160 Monsheen Drive, Vaughan, ON

The purpose of this application is to add a side parking pad for a newly built home. This is a corner property. Most corner properties have their entrance on the flankage street due to the length of the house and the design. This is what almost all corner properties share. The house is situated along the longer side of the lot and for proper access, the entrance is in the middle. On one side of the house, the private rooms located like bedrooms and on the other side, the public rooms are located like kitchen and living room.

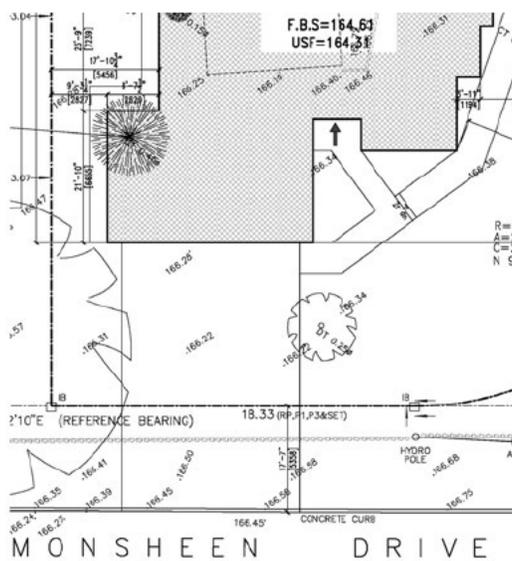
To properly access the backyard, the garages are on the front of the house and will get access to the private rooms. This will provide proper backyard and access from the kitchen and living space to the back.

Guests, public, deliveries and so on, have to park on the main front driveway and walk all the way to the side to gain access to the house or just park on the flanking street and walk over the grass and land to get to the main entrance.

Below we are describing the main reasons for the added driveway:

1- Functionality:

The house is an a large (100 x 160 feet) corner lot with the garage on the south side and the main entrance on the east side of the property. Homeowners always use the garage to enter the home. Guests, public and deliveries will use the front (side) of the house to enter with a shorter line to the front door. Having the garage on a different side of the home results in the underutilization of the main entrance of the home.



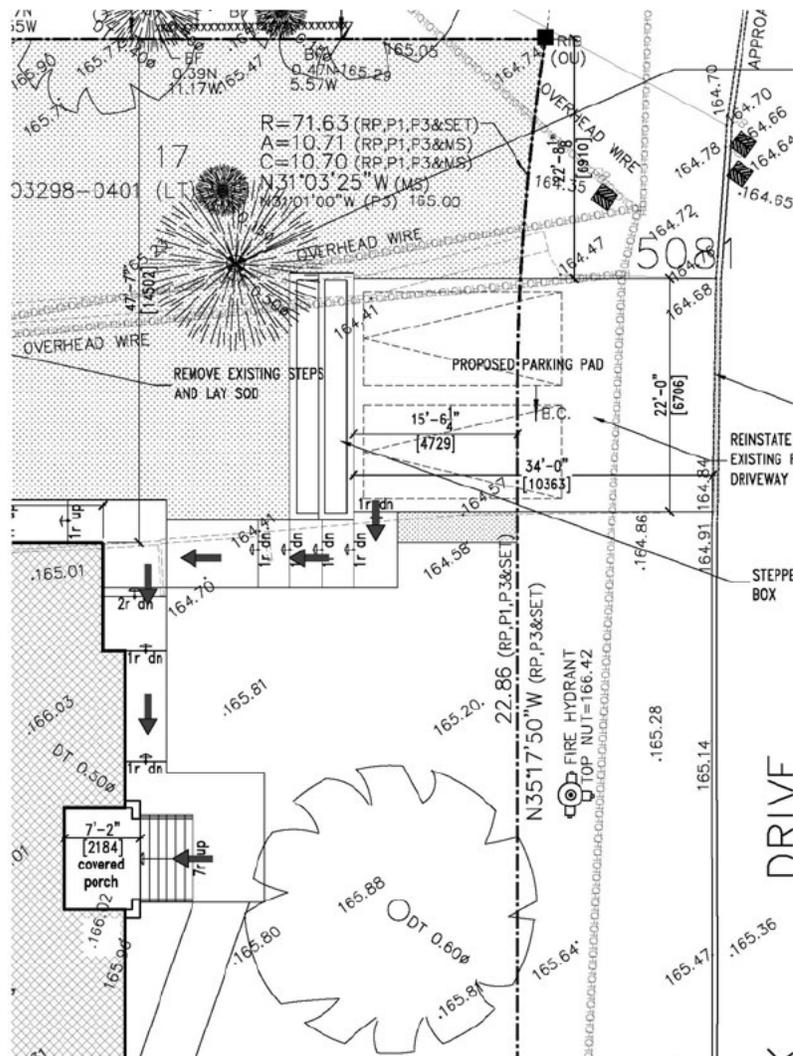
Private access to the house

13 Hollyberry Trail, North York, M2H 2N95,
Phone: [REDACTED]
Email: [REDACTED]

Architectural services

2- Accessibility:

There is a large mature maple tree and fire hydrant directly in front of the main entrance to the house and a walkway from the side of the lot is not a feasible option. There is quite a bit of confusion for package and other deliveries to get to the main entrance. It is very typical for those approaching the main entrance to walk across the lawn regardless of conditions (mud, snow, rain). Connecting the walkway and side stairs to a lower-level parking pad will allow vehicles to park and approach the house in an appropriate way. It provides for a proper front of the home access and pathway.



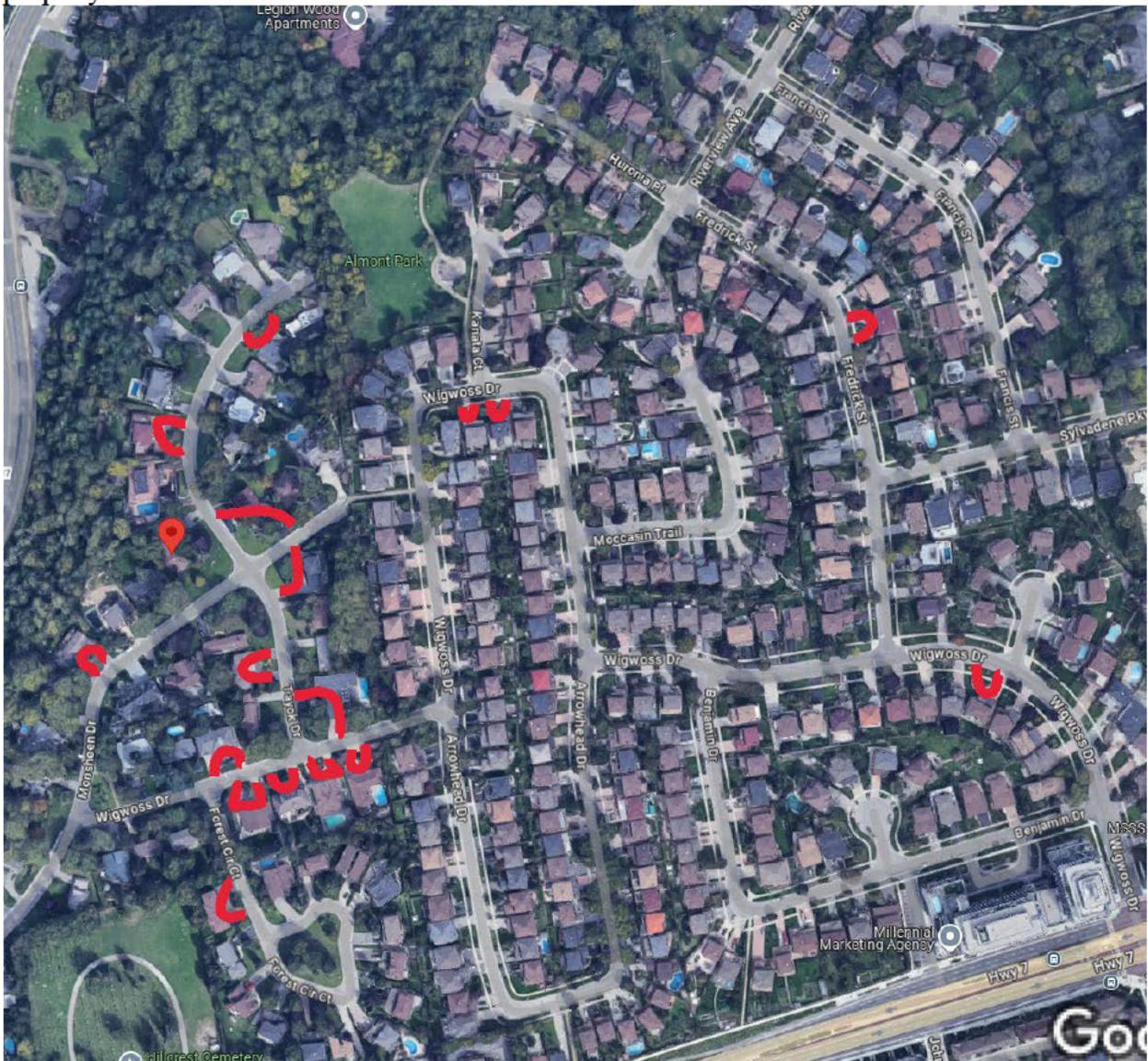
Proper side access from the side through the proposed driveway

Architectural services

3- Curb Appeal/Aesthetics:

The parking pad will complete the softscape and hardscape design for the north east side of the property. The parking pad will lead to side steps (as mentioned above) as well as a 2-Tiered brick flower bed with emerald cedars overlooking the area. The parking pad will tie together the various design elements already in place (walkway, flower bed and trees).

4- There are many examples of properties with two driveways in this neighbourhood and across the City. Below is a map to demonstrate these properties and their vicinity to our property.



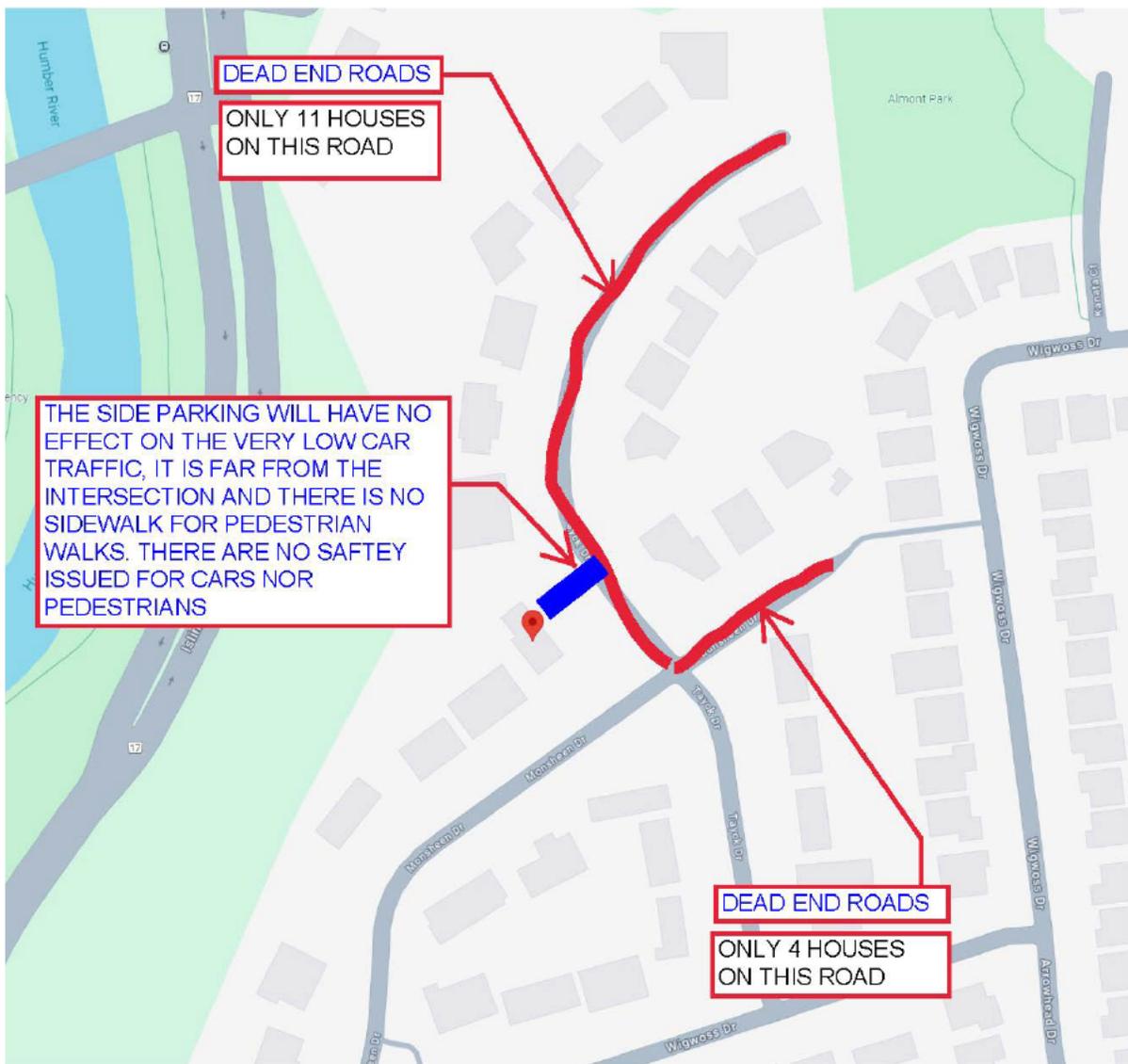
13 Hollyberry Trail, North York, M2H 2N95,
Phone: [REDACTED]
Email: [REDACTED]

Architectural services

Regarding the impact of this added driveway to the traffic, we believe that the impact is none.

The Tayok Drive accessing this side driveway is dead end and only 11 houses are being serviced by this road. The extension of Monshen Drive on the east side of Tayok Drive is also a dead-end road and only three properties are being access by. There is no sidewalk on Tayok Drive so pedestrians won't walk close to the driveway.

This driveway is about 40m away from the intersection which provides ample distance for the stopped cars at the stop sign. Below is a graphic demonstration of the said reasons.





Date: April 25, 2025

Architectural services

We hope this information and analysis give more insight to the engineering and development staff to make an informed decision regarding our proposal that we think has no impact to this neighbourhood.

Thank you

Bamdad (Ben) Baghdadi,

A handwritten signature in black ink that reads 'Bamdad (Ben) Baghdadi'.

Architect, OAA, principal
BBA Design Studio Inc.

13 Hollyberry Trail, North York, M2H 2N95,
Phone: [REDACTED] 7
Email: [REDACTED]

SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
B014/21	Refused by COA

NOTICE OF DECISION
Consent Application B014/21
 Section 53 of the Planning Act, R.S.O, 1990, c.P.13

DATE OF HEARING:	Thursday, July 28, 2022
APPLICANT:	Concetta Petruccli-Defina
AGENT:	Humphries Planning Group Inc (Rosemarie Humphries)
PROPERTY:	160 Monsheen Drive, Woodbridge
ZONING DESIGNATION:	The subject lands are zoned R1 and subject to the provisions of Exception under By-law 1-88 as amended.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Consent is being requested to sever a parcel of land for residential purposes approximately 794.00 square metres, while retaining a parcel of land approximately 794.00 square metres. Both the severed and retained land will have frontage onto Tayok Drive and the existing single family dwelling on the subject land is to be demolished.

Having regard to the written and oral submissions related to this application as required by Section 53(18), the requirements of Section 51(24) as required by Section 53(12) and matters of Provincial interest (Provincial Policy Statement) as required by Section 3(1) of the Planning Act, R.S.O. 1990, c. P. 13, as amended, it is the decision of the Committee that provisional consent of the application:

THAT Application No. B014/21 on behalf of 160 Monsheen Drive, Woodbridge, be, **REFUSED** for the following reasons:

1. The proposal does not conform to Section 51(24) as required by Section 53(12) of the Planning Act.
2. The proposal does not conform with the City of Vaughan Official Plan
3. The proposal does not conform to the Provincial Policy Statements as required by Section 3(1) of the Planning Act.
4. The general intent and purpose of the by-law will not be maintained.
5. The proposed severance is not desirable for the appropriate development of the land.

PUBLIC WRITTEN & ORAL SUBMISSIONS

Public correspondence considered by the Committee of Adjustment in the making of this decision.

WRITTEN SUBMISSIONS:

Name	Address	Date Received (mm/dd/yyyy)	Summary
SUBMISSIONS PROCESSED FOR THE OCTOBER 28, 2021 HEARING (APPLICATION ADJOURNED)			
F. Rasetta	155 Monsheen Drive, Woodbridge	07/12/2021	Support Letter
B. Scalzitti	176 Monsheen Drive, Woodbridge	07/08/2021	Support Letter
L. Suppo	69 Tayok Drive, Woodbridge	07/12/2021	Support Letter
G. Lepore	37 Tayok Drive, Woodbridge	08/12/2021	Support Letter
C. Phan and T. Truong	64 Tayok Drive, Woodbridge	07/12/2021	Support Letter
M. Carlone	150 Monsheen Drive, Woodbridge	07/13/2021	Support Letter
B. Roulston	Forest Circle Court, Woodbridge, c/o 7694 Islington Ave.	10/15/2021	Objection Letter
G. Vecchiato & Family	20 Tayok Drive, Woodbridge	10/16/2021	Objection Letter

Name	Address	Date Received (mm/dd/yyyy)	Summary
P. Deiana	74 Tayok Drive, Woodbridge	10/18/2021	Objection Letter
I. Vialykh	228 Wigwoss Drive, Woodbridge	10/18/2021	Objection Letter
M. Celina	11 Tayok Drive, Woodbridge	10/19/2021	Objection Letter
David/Sara	21 Tayok Drive, Woodbridge	10/19/2021	Objection Letter
D. McLay	31 Forest Circle, Woodbridge	10/18/2021	Objection Letter
J. Lam	10 Tayok Drive, Woodbridge	10/18/2021	Petition in Objection
J. Lam and D. Peng	10 Tayok Drive, Woodbridge	10/19/2021	Objection Letter
D. Peng	10 Tayok Drive, Woodbridge	10/20/2021	Revised Objection Letter
J. Lam	10 Tayok Drive, Woodbridge	10/25/2021	Petition in Objection
A. Furlan	45 Forest Circle, Woodbridge	10/18/2021	Objection Letter
M. Mauti	Vaughanwood Ratepayers Association	10/20/2021	Objection Letter
E. and K. Ambtman	90 Tayok Drive Woodbridge	10/24/2021	Objection Letter
S. and C. Chiappetta	82 Tayok Drive, Woodbridge	10/26/2021	Objection Letter
O. Dawson	82 Monsheen Drive, Woodbridge	10/27/2021	Objection Letter
A. Darwiche	209 Wigwoss Drive, Woodbridge	10/26/2021	Objection Letter
B. Racki	201 Wigwoss Drive, Woodbridge	10/28/2021	Objection Letter
Resident Petition	10, 11, 20, 21, 29, 37, 69, 74, 82, 83, 90, 101, 111, 116 Tayok Drive; 41, 46, 57, 62, 82, 102, 122, 123, 140, 143, 186 Monsheen Drive; 25, 31, 37, 41, 42, 45 Forest Circle Court; 201, 209, 217, 225, 228, 241, 249, 257 Wigwoss Drive)	10/18/2021 10/25/2021	Petition in Objection
SUBMISSIONS PROCESSED FOR THE JULY 7, 2022 HEARING (APPLICATION ADJOURNED)			
Francis Dawson	57 Monsheen Drive, Woodbridge	06/26/2022	Seneca Heights Information
Humphries Planning Group	160 Monsheen Drive	07/06/2022	Presentation to Committee
Judy Lam	10 Tayok Drive, Woodbridge	07/06/2022	Presentation to Committee
Douglas Peng	10 Tayok Drive, Woodbridge	07/06/2022	Presentation to Committee
David Rembacz	21 Tayok Drive, Woodbridge	07/06/2022	Presentation to Committee
Francis Dawson	57 Monsheen Drive, Woodbridge	07/05/2022	Presentation to Committee
Pierino & Mary Jane Deiana	74 Tayok Drive, Woodbridge	07/06/2022	Objection Letter
Sam & Cheryl Chiappetta	82 Tayok Drive, Woodbridge	07/06/2022	Objection Letter
Mary Mauti	Vaughanwood Ratepayers Association	07/06/2022	Objection Letter
Mary Mauti	Vaughanwood Ratepayers Association	07/06/2022	Presentation to Committee
SUBMISSIONS PROCESSED FOR THE JULY 28, 2022 HEARING			
Francis Dawson	57 Monsheen Drive, Woodbridge	07/17/2022	Presentation to Committee
Francis Dawson	57 Monsheen Drive, Woodbridge	07/17/2022	Objection Letter
Pierino & Jane Deiana	74 Tayok Drive	07/21/2022	Objection Letter
Francis Dawson	57 Monsheen Drive, Woodbridge	07/22/2022	Objection Letter
Douglas Peng	10 Tayok Drive, Woodbridge	07/27/2022	Presentation to Committee
Resident Petition	10, 11, 20, 21, 29, 74, 82, 90, 101, 111 Tayok Drive; 41, 57, 82, 92, 102, 143, 186 Monsheen Drive; 31 Forest Circle Court; 201, 209, 217, 241, 249, 257 Wigwoss Drive and Vaughanwood Ratepayers)	07/27/2022	Petition in Objection
Judy Lam	10 Tayok Drive, Woodbridge	07/27/2022	Presentation to Committee
Sandra Milligan and Nico Fiorentino	186 Monsheen Drive, Woodbridge	07/27/2022	Objection Letter
David Rembacz	21 Tayok Drive, Woodbridge	07/27/2022	Presentation to Committee

In accordance with Procedural By-law 069-2019, public written submissions on an Application shall only be received by the Secretary Treasurer until **noon** on the last business day prior to the day of the scheduled Meeting.

WRITTEN SUBMISSIONS RECEIVED PAST DEADLINE FOR JULY 28, 2022 HEARING:

Name	Address	Date Received (mm/dd/yyyy)	Summary
Sam & Cheryl Chiappetta	82 Tayok Drive, Woodbridge	07/27/2022	Objection Letter

Name	Address	Date Received (mm/dd/yyyy)	Summary
Mary Mauti	Vaughanwood Ratepayers Association	07/27/2022	Objection Letter
Mary Mauti	Vaughanwood Ratepayers Association	07/27/2022	Presentation to Committee
Tony Carella	Ward 2 / Woodbridge West Councillor	07/28/2022	Objection Letter

**Late submissions are provided to the Committee of Adjustment at the hearing for consideration.*

ORAL SUBMISSIONS:

Name	Address	Submission (Hearing) Date (mm/dd/yyyy)	Summary
Mary Mauti	Vaughanwood Ratepayers Association	10/28/2021 07/28/2022	Spoke in Objection
David Rembacz	21 Tayok Drive, Woodbridge	10/28/2021 07/28/2022	Spoke in Objection
Judy Lam	10 Tayok Drive, Woodbridge	10/28/2021 07/28/2022	Spoke in Objection
Francis Dawson	57 Monsheen Drive, Woodbridge	07/28/2022	Spoke in Objection
Douglas Peng	10 Tayok Drive, Woodbridge	10/28/2021 07/28/2022	Spoke in Objection
Joanna Smith	92 Monsheen Drive, Woodbridge	07/28/2022	Spoke in Objection
Dennis Pasquali	37 Forest Circle Court, Woodbridge	10/28/2021	Spoke in Objection

ALL MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

<i>H. Zheng</i>	<i>A. Perrella</i>	<i>R. Buckler</i>
H. Zheng Vice Chair	A. Perrella Chair	R. Buckler Member
<i>S. Kerwin</i>		OPPOSED
S. Kerwin Member		A. Antinucci Member

DATE OF HEARING:	Thursday, July 28, 2022
DATE OF NOTICE:	August 4, 2022
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	August 24, 2022 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan's Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.  _____ Christine Vigneault, ACST Manager Development Services & Secretary-Treasurer Committee of Adjustment	

Appealing to The Ontario Land Tribunal

The *Planning Act*, R.S.O. 1990, as amended, Section 53

The applicant, the Minister or any other person or public body who has an interest in the matter may within **20 days after** the giving of notice appeal to the Ontario Land Tribunal (OLT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Ontario Land Tribunal Act*.

Note: A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days after the giving of notice the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

PLEASE NOTE: Please notify the Secretary Treasurer by email at cofa@vaughan.ca that you will be filing an appeal and mail or courier appeals and prescribed fees to:

Office of the City Clerk - Committee of Adjustment
 2141 Major Mackenzie Drive
 Vaughan Ontario, L6A 1T1

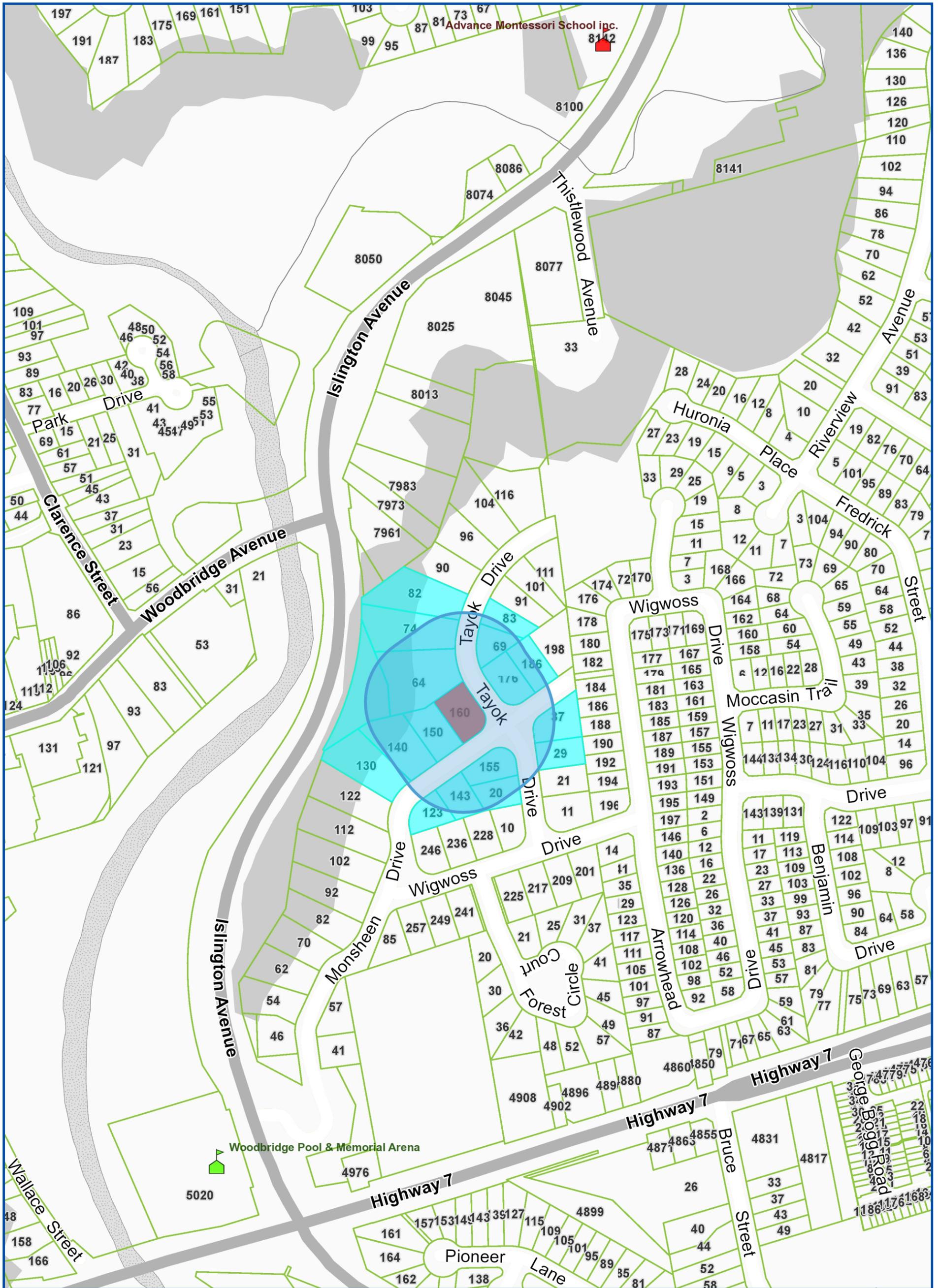
If you have questions regarding the appeal process, please email cofa@vaughan.ca

Appeal Fees & Forms

ONTARIO LAND TRIBUNAL (OLT): The OLT appeal fee is \$400 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The OLT Appeal Fee must be paid by certified cheque or money order payable to the "Minister of Finance". OLT appeals must be filed with the Secretary Treasurer, City of Vaughan.

City of Vaughan OLT Processing Fee: \$892.00 per application

*Please note that all fees are subject to change.



Map Information:



Title:

160 MONSHEEN DRIVE, WOODBRIDGE

NOTIFICATION MAP - B014/21

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1: 4,652

0 0.07 km



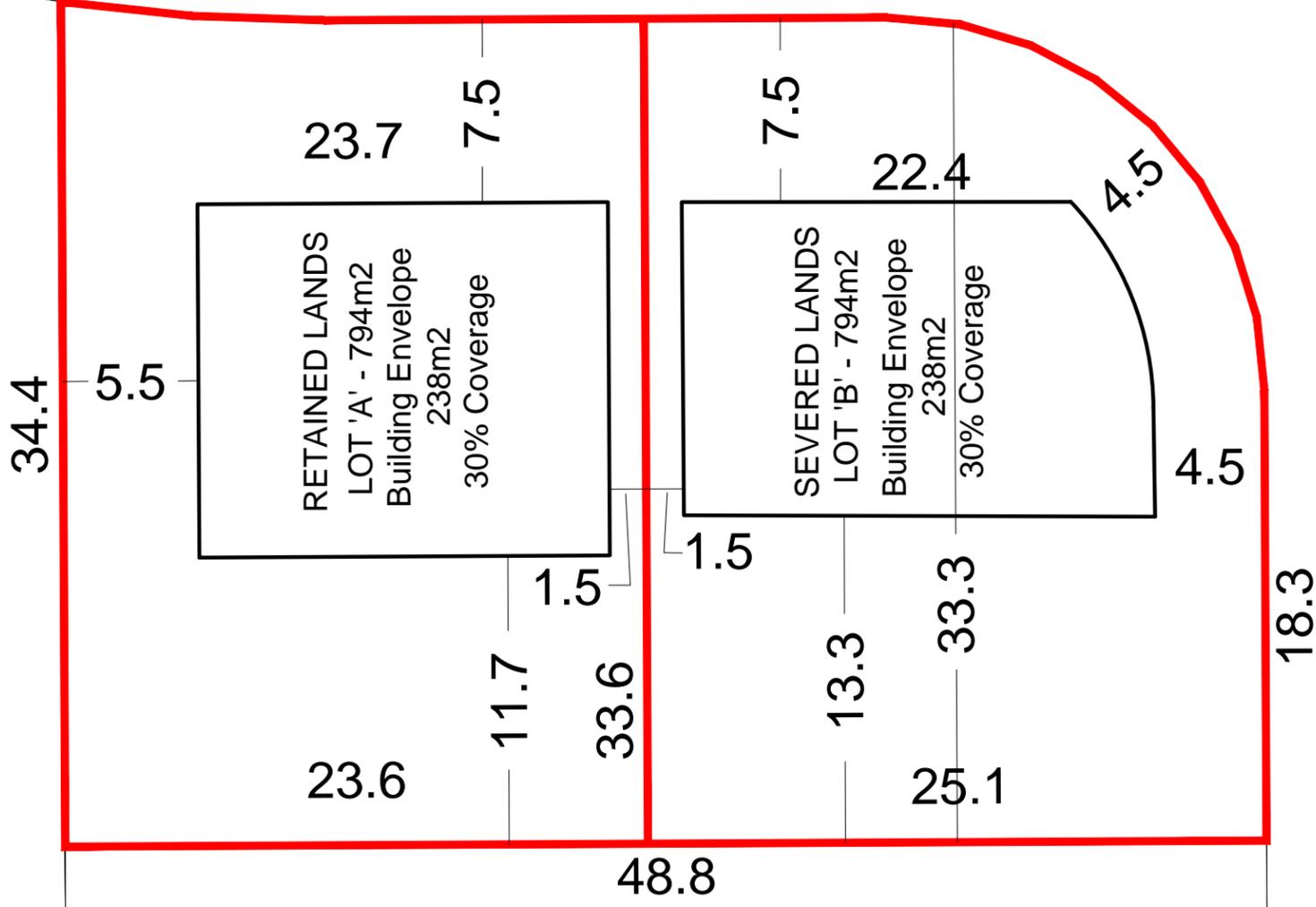
Created By:

Infrastructure Delivery
Department
August 23, 2021 5:05 PM

Projection:
NAD 83
UTM Zone
17N

TAYOK DRIVE

B014/21



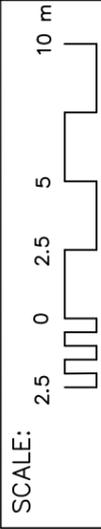
HUMPHRIES PLANNING GROUP INC.
 160 PIPPA ROAD, SUITE A, VAUGHAN, ONTARIO, L4K 4G9
 TEL: (905) 884-2878, FAX: (905) 884-8073
 www.humphriesplanning.com

SUBJECT LANDS - 1588m²

ZONING COMPLIANCE TABLE - LOT A		
	REQUIRED	PROVIDED
Frontage	18.0m	23.7m
Lot Area	700m ²	794m ²
Coverage	30%	30%
Front Yard Setback	7.5m	7.5m
Rear Yard Setback	7.5m	11.7m
Exterior Yard Setback	4.5m	n/a
Interior Yard Setback	1.5m	1.5m

ZONING COMPLIANCE TABLE - LOT B		
	REQUIRED	PROVIDED
Frontage	18.0m	22.4m
Lot Area	700m ²	794m ²
Coverage	30%	30%
Front Yard Setback	7.5m	7.5m
Rear Yard Setback	7.5m	13.3m
Exterior Yard Setback	4.5m	4.5m
Interior Yard Setback	1.5m	1.5m

SEVERANCE PLAN
 160 MONSHEEN DRIVE
 LOT 17
 REGISTERED PLAN 5081
 CITY OF VAUGHAN
 REGIONAL MUNICIPALITY OF YORK



HUMPHRIES PLANNING GROUP INC.
 160 PIPPA ROAD, SUITE A, VAUGHAN, ONTARIO, L4K 4G9
 TEL: (905) 884-2878, FAX: (905) 884-8073
 www.humphriesplanning.com

File Number:	28 AUG 17
Date Drawn:	BT
Drawn By:	R.H.
Checked By:	
Date Revised:	
CAD File No.:	A1

MONSHEEN DRIVE

SURVEYOR'S REAL PROPERTY REPORT - PART 1

PLAN OF
LOT 17
REGISTERED PLAN 5081
CITY OF VAUGHAN
REGIONAL MUNICIPALITY
OF YORK

SCALE : 1 Inch = 30 Feet

© J. STEL OLS
1995

SURVEYOR'S REAL PROPERTY REPORT - PART 2

THIS PLAN MUST BE READ IN CONJUNCTION WITH A
SURVEY REPORT DATED JUNE 19, 1995.

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM

1002526



THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR

In accordance with Regulation 1020 Section 20(3).



LOT 18
INST. No. 6198 (W)

BLOCK D

IB Fence 0.8' NW

N54°42'10"E

112.75' (P&Meas)

CC on Condo Sidewalk 0.85's

CHAIN LINK FENCE

NO FENCE RAIL FENCE

8.77'

1.85'

21.28'

FRAME SHED

DECK With Roof

DECK

BRICK ADDITION

1 STOREY BRICK HOUSE

Instrument No. 160

66.93'

(PC)

Set Nail in Asphalt Drive

R=235.00'(P)
A=55.12'(P&V_{93a})
C=35.09' (Calc from N31°01'00"W P & Set)

LOT 17
INSTRUMENT No. 575219

TAYOK DRIVE
(BY REGISTERED PLAN 5081)

160.00'

FENCE

9.29'

10.98'

21.13' W

21.21'

N55°17'50"W

1 STY. FR. HO. No. 150

62.18'

IP (Deep) Leaning 0.20' NW Pitd IB Over (PC)

R=50.00'(P)
A=78.54'(P&Meas)
C=70.71'
N09°42'10"E

REGISTERED PLAN 5081

90°0'0" (P & Set)

IP (OU) 0.05' NW

Set Large Spike (PC)

90° (Calc from P & Set)

60.14' (P & Meas)
N54°42'10"E (REFERENCE BEARING)

50.00' (P & SET)

MONSHEEN DRIVE
(BY REGISTERED PLAN 5081)

SIB (PC) (P)

SIB (P)

(NOT TO SCALE) (P & SET) 66.00'

EASTERLY LIMIT OF REG. PLAN 5081

B014/21



LEGAL DESCRIPTION:
 160 MONSHEEN DRIVE
 LOT 17; REGISTERED PLAN 5081
 CITY OF VAUGHAN
 REGIONAL MUNICIPALITY OF YORK REGION

SPECIAL NOTES:
 PROPOSED SITE GRADING AND DRAINAGE SHALL NOT ADVERSELY AFFECT ADJACENT LANDS.

A TOPOGRAPHIC SURVEY SHALL BE COMPLETED TO VERIFY EXISTING GRADES AND TO PREPARE FINAL SITE PLAN DRAWINGS FOR REVIEW AND APPROVAL BY CONDELAND ENGINEERING LTD.

INDIVIDUAL SITE GRADING PLANS TO BE REVIEWED AND APPROVED BY CONDELAND ENGINEERING LTD. PRIOR TO SUBMISSION FOR BUILDING PERMIT APPLICATION.

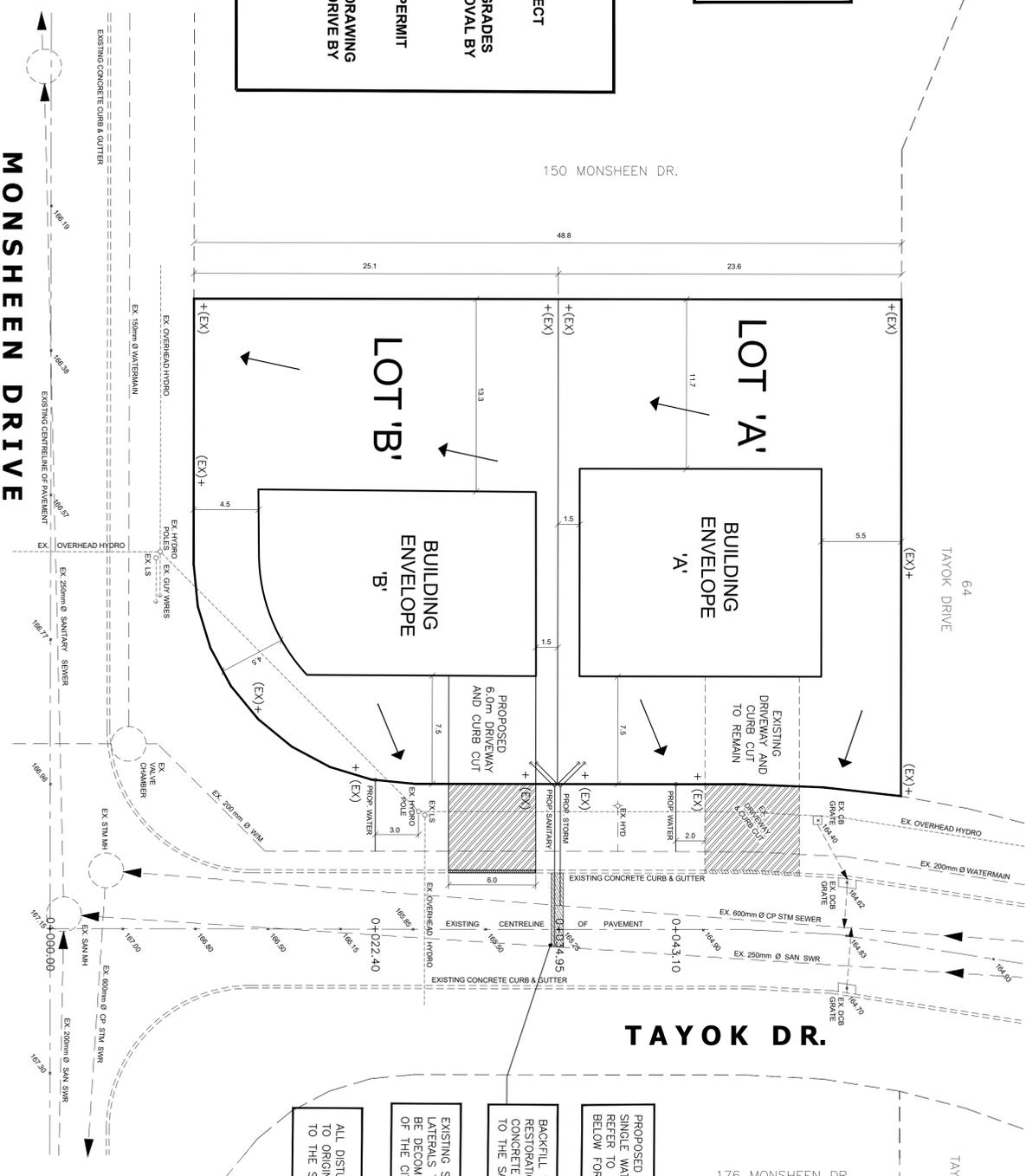
EXISTING SERVICING AND GRADING INFORMATION AS SHOWN ON THIS DRAWING IS BASED ON AS-BUILT DRAWINGS FOR MONSHEEN DRIVE AND TAYOK DRIVE BY AECOM CANADA LTD; DATED JULY 2012.

GENERAL NOTES:

- Standard drawings of the City of Vaughan constitute part of these drawings.
- All construction work to be carried out in accordance with the requirements of the Occupational Health and Safety Act and Regulations for construction projects.
- The Owner shall retain the services of a qualified professional/consultant to ensure required inspection reports and/or certification requirements are submitted to affected City Departments as necessary.
- All disturbed areas shall be rectified to original conditions or better and to the satisfaction of the City.
- The location of all under/above ground utilities and structures is approximate only and where shown on the drawing(s) the accuracy of the location of such utilities is not guaranteed. The Owner and/or representative shall determine the location of all such utilities and structures by consulting the appropriate authorities or utility companies concerned. The Owner shall prove the location of such utilities and structures and shall assume all liability for damage, restoration or adjustment of same.
- Any conflicts with existing services shall be rectified at the Owner's expense.
- Appropriate construction details should be provided for retaining walls higher than 1.0m. Details shall be designed and certified by a Professional Engineer upon approval. Handrail / guardrail / fence is required when height exceeds 0.60m (as per current City Standards or approved equivalent). Upon completion, retaining walls greater than 1.0m shall be certified by a structural and/or geotechnical engineer.
- Landscaping work shall not encroach onto boulevards nor shall boulevard grades be altered.
- Slopes in landscaped areas and on berms shall not exceed 3 horizontal to 1 vertical.
- Grassed drainage swale grades shall be minimum 2% and maximum 5%.
- Outside lighting shall be directed downward and inward and designed to maintain zero cut-off light level distribution at the property line.
- Site fence(s) and other erosion control measures to be installed and maintained to prevent silt flowing onto adjacent lands until the completion of sodding activities.

PROPOSED SERVICE CONNECTIONS:

SERVICE	CHANGAGE	INVERT AT EX. MAIN	INVERT AT STREETLINE
LOT 'A' WATER	0+043.10	N/A	N/A
LOT 'A' & 'B' STORM	0+034.95	163.47	163.70
LOT 'A' & 'B' SANITARY	0+034.95	162.45	162.75
LOT 'B' WATER	0+022.40	N/A	N/A



TAYOK DR.

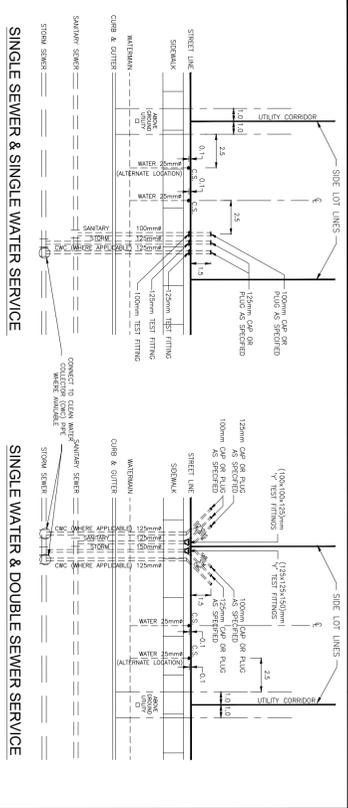
MONSHEEN DRIVE

PROPOSED DOUBLE SEWER AND SINGLE WATER SERVICE CONNECTIONS. REFER TO STANDARD DRAWING C-101 BELOW FOR ADDITIONAL DETAILS.

BACKFILL WITH UNSINKABLE FILL. ALL RESTORATION TO PAVEMENT STRUCTURE AND CONCRETE CURB/CUTTER TO BE COMPLETED TO THE SATISFACTION OF THE CITY.

EXISTING SEWER AND WATER SERVICE LATERALS TO 160 MONSHEEN DR. SHALL BE DECOMMISSIONED TO THE SATISFACTION OF THE CITY.

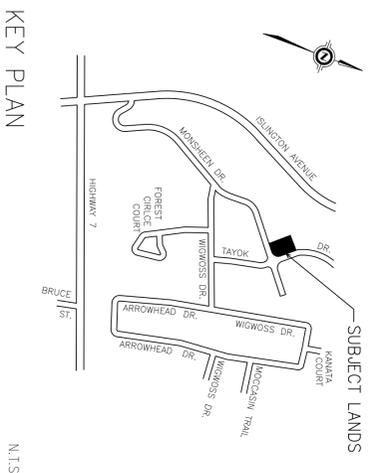
ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITIONS OR BETTER. ALL TO THE SATISFACTION OF THE CITY.



- NOTES:
- RESIDENTIAL DWELLING SHALL BE SERVICED WITH A MINIMUM 25mm (1") WATER SERVICE CONNECTION. DWELLING STRUCTURES THAT HAVE SPRINKLER SYSTEMS AND/OR HIGH RISE PRODUCE LOADS CITY'S APPROVAL.
 - WATER SERVICE CONNECTIONS (W.S.) SHALL BE SIZED TO THE CITY'S APPROVAL.
 - WATER SERVICE CONNECTIONS AND CURB STOPS SHALL BE AS DETAIL ON O.P.S.D. 1104.010 OR EXCEPT THAT THE CONNECTIONS SHALL EXTEND 1.5m BEYOND THE PROPERTY LINE AND SHALL BE AS DETAIL ON O.P.S.D. 1106.020
 - ALL PVC SANITARY LATERAL PIPE SHALL BE GREEN IN COLOR.
 - SANITARY TEST FITTINGS SHALL BE LETTERED 'SN'. FITTINGS AND FLUOS SHALL BE AS PER CITY REQUIREMENTS.
 - REQUIREMENTS TO BE PLACED AT ENDS OF 'SN' AND 'SW' CONNECTIONS.
 - WATER SERVICE CURB STOP SHALL BE LOCATED IN THE DISTURBED AREA OF THE R.O.W. ANY OTHER LOCATION SHALL BE SUBJECT TO THE CITY'S APPROVAL.
 - CONNECTIONS SHALL BE INSTALLED ON THE ROAD SIDE OF THE PROPERTY LINE TO GROUND SURFACE BY MEANS OF A SPRINKER PAD WHERE CMC ARE NOT AVAILABLE.

REVISIONS	DATE	BY	CHKD

CITY OF VAUGHAN ENGINEERING STANDARD
 RESIDENTIAL SERVICE CONNECTIONS
 NOT TO SCALE
 DESIGNER: [Signature]
 DATE: DEC 2020
 SHEET NO. C-101



LEGEND:

- DIRECTION OF EXISTING SHEET FLOW / DRAINAGE
- EXISTING GRADE TO REMAIN
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR / ELEVATION

NOTES:

- ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE NOTED.
- EXISTING TOPOGRAPHIC DATA COMPILED FROM AS-BUILT PLAN AND PROFILE DRAWINGS.

ADDITIONAL INFORMATION:

REFER TO SEVERANCE PLAN DRAWING A1 PREPARED BY HUMPHRIES PLANNING GROUP INC. FOR ADDITIONAL DETAILS/INFORMATION.

**- ISSUED FOR APPROVAL ONLY -
 - NOT FOR CONSTRUCTION -**

DESIGNED BY:	M.F.	DATE:	AUGUST 16, 2021	CHECKED BY:	R.D.
DRAWN BY:	M.F.	DRAWING NO.:	GS-01	MUNICIPALITY:	CITY OF VAUGHAN
SCALE:	1:200	SHEET NO.:	1 OF 1		

160 MONSHEEN DR. SEVERANCE

APPROVED: [Signature]

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