ITEM: 6.8	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A062/25

Report Date: Friday, June 13, 2025

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING DEPARTMENTS & AGENCIES (SEE SCHEDULE B):

Additional comments from departments and agencies received after the publication of the report will be made available on the City's website.

Internal Departments *Comments Received	**Conditions Required**		**Nature of Comments**
Committee of Adjustment	Yes ☐	No ☒	General Comments
Building Standards (Zoning)	Yes ☐	No ☒	General Comments
Development Planning	Yes ☒	No ☐	Recommend Approval w/Conditions
Development Engineering	Yes ☐	No ☒	General Comments
Development Finance	Yes ☐	No ☒	General Comments
By-law & Compliance	Yes ☐	No ☒	General Comments

External Agencies *Comments Received	**Conditions Required**		**Nature of Comments** *See Schedule B for full comments
Alectra	Yes ☐	No ☒	General Comments
Region of York	Yes ☐	No ☒	General Comments
TRCA	Yes ☐	No ☒	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	**Name**	**Address**	**Date Received** (mm/dd/yyyy)	**Summary**
Applicant			05/08/2025	Application Cover Letter
Applicant			05/07/2025	Transportation Brief
Applicant			05/07/2025	Tree Inventory Plan

BACKGROUND (SCHEDULE D, IF REQUIRED)

* Background Information contains historical development approvals considered to be related to this file.
This information should not be considered comprehensive.

Application No. (City File)	**Application Description** (i.e. Minor Variance Application; Approved by COA / OLT)
B007/24 A079/23	Approved by COA; July 10, 2024

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

Hearing Date	**Reason for Adjournment** (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background

MINOR VARIANCE APPLICATION
FILE NUMBER A062/25

CITY WARD #:	2
APPLICANT:	3288212 Nova Scotia Ltd.
AGENT:	Sandra Patano (Weston Consulting)
PROPERTY:	6100 Langstaff Road, Vaughan
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Prestige Employment" by Chapter 11.9 (West Vaughan Employment Area Secondary Plan)
RELATED DEVELOPMENT APPLICATIONS:	DA.22.008; DA.24.070
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit reduced parking and loading space requirements to facilitate Site Development Application DA.24.070.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned EM1 – Prestige Employment Zone and subject to the provisions of Exception 14.1131 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The minimum number of parking spaces required is 239 spaces. [Table 6-2]	To permit a minimum of 147 parking spaces.
2	The minimum number of loading spaces required for non-residential buildings with a Gross Floor Area between 10,000 square metres and 19,999 square metres is 1 Type A and 3 Type B loading spaces. [Table 6-18]	To permit a minimum of 3 loading spaces (2 Type A and 1 Type B).

HEARING INFORMATION

DATE OF MEETING: Thursday, June 19, 2025
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: **Vaughan.ca/LiveCouncil**

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the **Request to Speak Form** and submit to **cofa@vaughan.ca**

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: **cofa@vaughan.ca**

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the **Request to Speak Form** on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.
That the general intent and purpose of the official plan will be maintained.
That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	June 5, 2025
Date Applicant Confirmed Posting of Sign:	June 3, 2025
Applicant Justification for Variances: *As provided in Application Form	Please refer to the enclosed cover letter which details the requested variances
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: *ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.	Yes ☐ No ☒
COMMENTS:	
N/A	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	That all comments on Site Development Application DA.24.070 be addressed to the satisfaction of the Development and Parks Planning Department.

DEVELOPMENT ENGINEERING

Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation

The study adopts a conservative assumption that all employees will commute by car. Based on this, a total of 147 parking spaces are recommended. The site plan allocates 59 parking spaces for Phase 1 and 88 spaces for Phase 2, resulting in a combined total of 147 spaces. This estimate is informed by parking demand data from similar facilities located at 48 Lowe's Place and 3650 Danforth Avenue in Toronto.

The Development Engineering Department does not object to the Minor Variance application A062/25.

Development Engineering Recommended Conditions of Approval:	None

PARKS, FORESTRY & HORTICULTURE (PFH)

No comments received to date.	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE

No comment no concerns

DEVELOPMENT FINANCE	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES	
no comments	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC)	
No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT	
No comments received to date.	
Fire Department Recommended Conditions of Approval:	None

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Planning Harry.zhao@vaughan.ca	That all comments on Site Development Application DA.24.070 be addressed to the satisfaction of the Development and Parks Planning Department.

*All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval **"if required"**. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.*

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency **(see condition chart above for contact).** This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

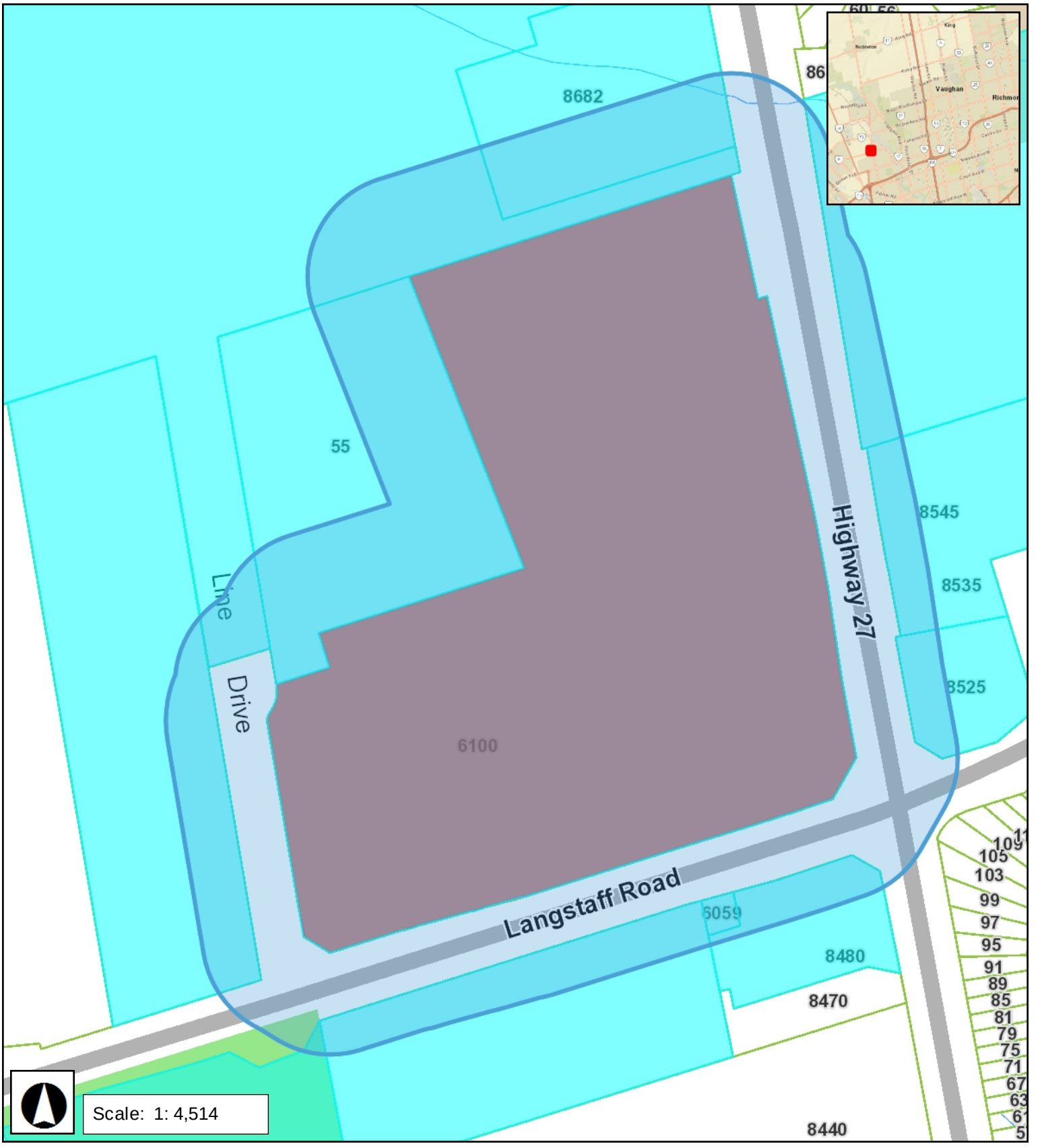
DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

IMPORTANT INFORMATION
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.
NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

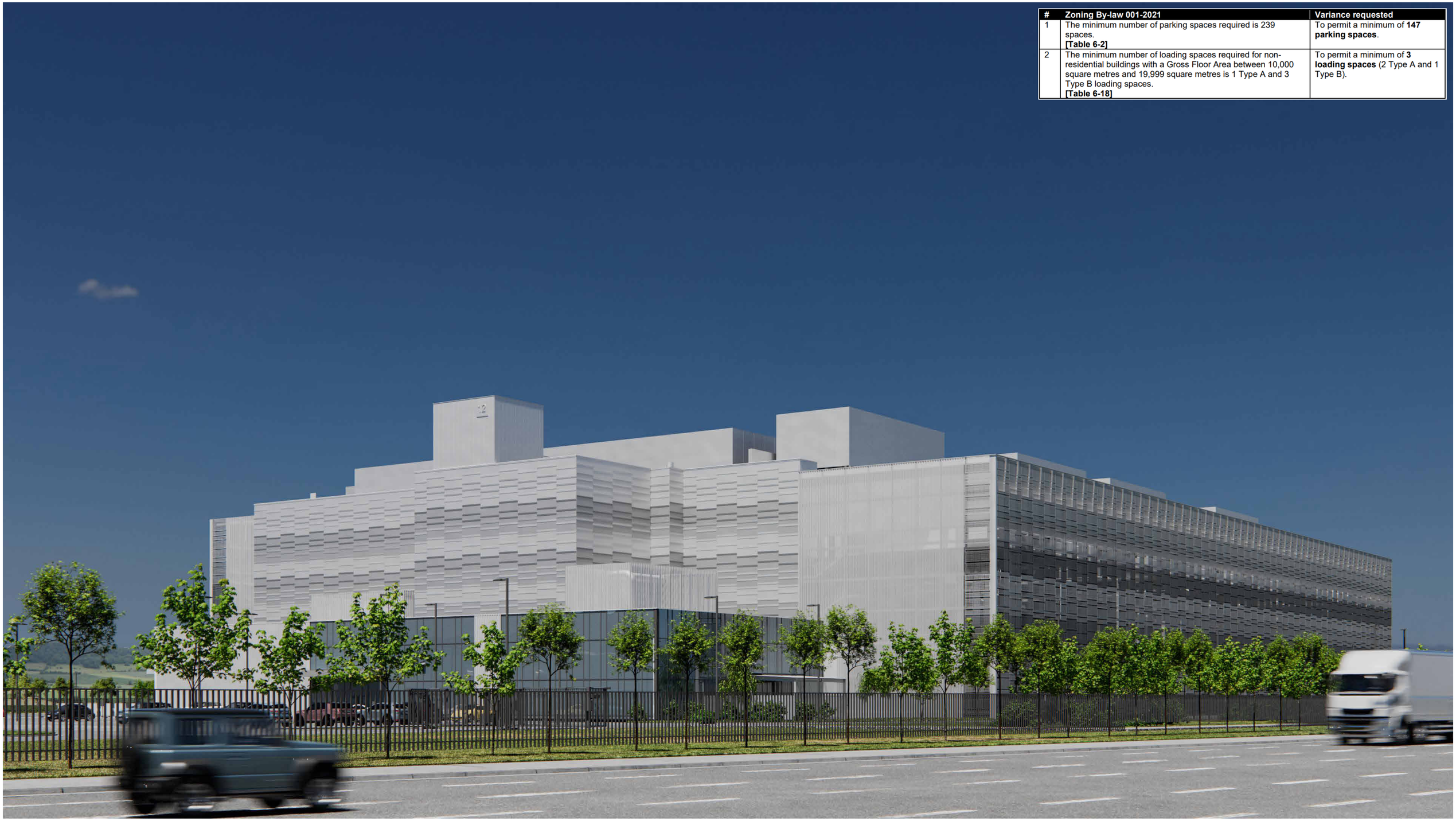
SCHEDULE A: DRAWINGS & PLANS

Minor Variance Application A062/25



June 4, 2025 9:15 AM

#	Zoning By-law 001-2021	Variance requested
1	The minimum number of parking spaces required is 239 spaces. **[Table 6-2]**	To permit a minimum of **147 parking spaces**.
2	The minimum number of loading spaces required for non-residential buildings with a Gross Floor Area between 10,000 square metres and 19,999 square metres is 1 Type A and 3 Type B loading spaces. **[Table 6-18]**	To permit a minimum of **3 loading spaces** (2 Type A and 1 Type B).



YTO12
ISSUE S4 FOR COMMITTEE OF ADJUSTMENT

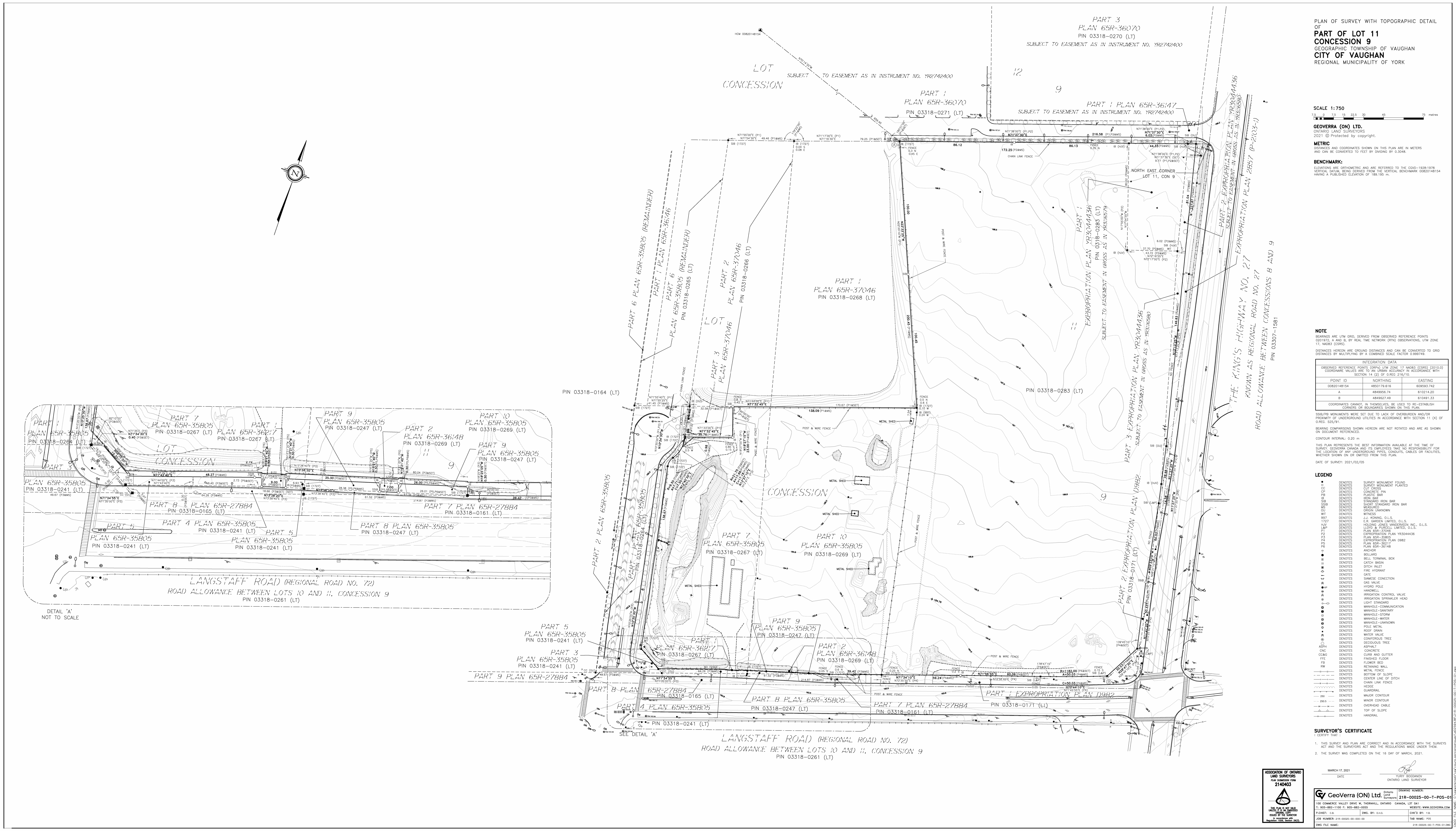
2025.04.30

DRAWING LIST - SPA	
SHEET NUMBER	**SHEET NAME**
SPA-A000	COVER PAGE
SPA-A001	SURVEY
SPA-A002	CONTEXT PLAN
SPA-A003	ARCHITECTURAL - SITE STATISTICS
SPA-A004	ARCHITECTURAL - GENERAL - OVERALL SITE PLAN
SPA-A005	ARCHITECTURAL - ENLARGED SITE PLAN
SPA-A101	ARCHITECTURAL - OVERALL GROUND FLOOR PLAN
SPA-A102	ARCHITECTURAL - OVERALL SECOND FLOOR PLAN
SPA-A103	ARCHITECTURAL - OVERALL THIRD FLOOR PLAN
SPA-A104	ARCHITECTURAL - OVERALL ROOF PLAN
SPA-A105	ARCHITECTURAL - OVERALL ROOFTOP CHILLER PLATFORM PLAN
SPA-A400	ARCHITECTURAL - OVERALL BUILDING ELEVATIONS
SPA-A401	ARCHITECTURAL - OVERALL BUILDING ELEVATIONS - BIRD FRIENDLY DESIGN

DRAWING LIST - SPA	
SHEET NUMBER	**SHEET NAME**
SPA-A402	ARCHITECTURAL - SOUTH & NORTH - ENLARGED ELEVATION
SPA-A403	ARCHITECTURAL - EAST - ENLARGED ELEVATION
SPA-A404	ARCHITECTURAL - WEST - ENLARGED ELEVATION
SPA-A405	ARCHITECTURAL - OVERALL GENERATOR YARD SCREEN ELEVATIONS
SPA-A406	ARCHITECTURAL - EAST GENERATOR YARD SCREEN ELEVATIONS
SPA-A407	ARCHITECTURAL - WEST GENERATOR YARD SCREEN ELEVATIONS
SPA-A410	ARCHITECTURAL - BUILDING CROSS SECTIONS
SPA-A900	ARCHITECTURAL - MATERIAL BOARD - EXTERIOR FINISHES
SPA-A901	ARCHITECTURAL - MATERIAL BOARD - EXTERIOR FINISHES
SPA-A902	ARCHITECTURAL - AERIAL VIEW
SPA-A903	ARCHITECTURAL - PERSPECTIVE VIEWS
SPA-A904	ARCHITECTURAL - PERSPECTIVE VIEWS
TOTAL SHEETS: 25	

#	Zoning By-law 001-2021	Variance requested
1	The minimum number of parking spaces required is 239 spaces. **[Table 6-2]**	To permit a minimum of **147 parking spaces**.
2	The minimum number of loading spaces required for non-residential buildings with a Gross Floor Area between 10,000 square metres and 19,999 square metres is 1 Type A and 3 Type B loading spaces. **[Table 6-18]**	To permit a minimum of **3 loading spaces** (2 Type A and 1 Type B).

- **NOT TO SCALE**
- **CONTRACTOR TO OBTAIN THE MOST CURRENT VERSION OF THIS DRAWING FROM THE AUTHOR OF THIS SURVEY PRIOR TO COMPLETING ANY WORK ON SITE -THIS SURVEY IS SHOWN FOR REFERENCE ONLY**
- **EXISTING BUILDING TO BE DEMOLISHED**



MEP & Structural Engineer
Suite 300,
125 Commerce Valley Dr W
Markham, Ontario, Canada
Tel: 416-499-3110

Architect / Landscape Architect
95 St Clair Ave W #1500
Toronto, Ontario, Canada
Tel: 416-961-4111

Civil / Geotechnical Engineer
100 Commerce Valley Dr W
Thornhill, ON L3T A1, Canada
Tel: 905-882-1100

Security Engineer
380 Wellington Street West
Toronto, ON M5V 1E3
Tel: 416.488.4425

Audio & Visual Engineer
1 World Wide Way
Maryland Heights, MO 63146
Tel 314.569.7000

YTO12
DATA CENTER

6100 Langstaff Road, L4L 1A5, Vaughan, Ontario

Design	Designer
Drawn	Author
Checked	Checker
Client Project No.	YTO12 - P.21286
AE Project No.	YTO12 - 8584

CLIENT TEAM

Design Manager	
Layout Manager	
Civil, Site Survey, Landscaping Technical Lead	
Architectural & Structural Technical Lead	
Mech, Plumbing & Fire Protection Technical Lead	
Building Automation Systems (BAS) Technical Lead	
Electrical Technical Lead	
Electrical Power Management Systems (EPMS) Technical Lead	
Telecommunications / Network Technical Lead	
Security Design Manager	

DESIGN TEAM

Civil Engineering Lead	MICHAEL OLDHAM
Architectural Lead	ZENON RADEWYCH
Structural Engineering Lead	PHILLIP KWAN
Mechanical Engineering Lead	SHAUNAK PANDIT
Plumbing Engineering Lead	SHAUNAK PANDIT
Fire Protection Engineering Lead	MOHAMMAD DADGARDOUST
BAS Engineering Lead	PAUL HO
Electrical Engineering Lead	NASH MARTIS
Telecommunications Engineering Lead	TODD GRIMES
Security Systems Engineering Lead	MIRCEA BARBAT

Revisions

No.	Date	Description
3	2024.12.11	ISSUE S2 FOR SPA
7	2025.04.02	ISSUE S3 FOR SPA RESUBMISSION
8	2025.04.30	ISSUE S4 FOR COMMITTEE OF ADJUSTMENT

Registration

NOT FOR CONSTRUCTION

Package

Sheet Title/Number

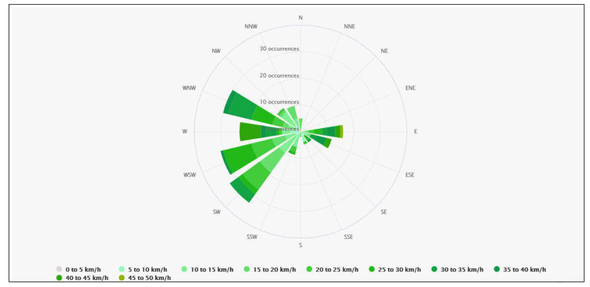
SURVEY

YTO12-SPA-A001

Autodesk Docs://YTO12/YTO12-ARCH-R25.rvt

2025-04-11 11:28:40 PM

#	Zoning By-law 001-2021	Variance requested
1	The minimum number of parking spaces required is 239 spaces. **[Table 6-2]**	To permit a minimum of **147 parking spaces**.
2	The minimum number of loading spaces required for non-residential buildings with a Gross Floor Area between 10,000 square metres and 19,999 square metres is 1 Type A and 3 Type B loading spaces. **[Table 6-18]**	To permit a minimum of **3 loading spaces** (2 Type A and 1 Type B).



1 SPA-A002 WINDROSE DIAGRAM
1:1

2 SPA-A002 ARCHITECTURAL - CONTEXT PLAN
1 : 2000

MEP & Structural Engineer
Suite 300,
125 Commerce Valley Dr W
Markham, Ontario, Canada
Tel: 416-499-3110

Architect / Landscape Architect
95 St Clair Ave W #1500
Toronto, Ontario, Canada
Tel: 416-961-4111

Civil / Geotechnical Engineer
100 Commerce Valley Dr W
Thornhill, ON L3T A1, Canada
Tel: 905-882-1100

Security Engineer
380 Wellington Street West
Toronto, ON M5V 1E3
Tel: 416.488.4425

Audio & Visual Engineer
1 World Wide Way
Maryland Heights, MO 63146
Tel 314.569.7000

YTO12 DATA CENTER

6100 Langstaff Road, L4L 1A5, Vaughan, Ontario

Design	Designer
Drawn	Author
Checked	Checker
Client Project No.	YTO12 - P.21286
AE Project No.	YTO12 - 8584

CLIENT TEAM

Design Manager	
Layout Manager	
Civil, Site Survey, Landscaping Technical Lead	
Architectural & Structural Technical Lead	
Mech, Plumbing & Fire Protection Technical Lead	
Building Automation Systems (BAS) Technical Lead	
Electrical Technical Lead	
Electrical Power Management Systems (EPMS) Technical Lead	
Telecommunications / Network Technical Lead	
Security Design Manager	

DESIGN TEAM

Civil Engineering Lead	MICHAEL OLDHAM
Architectural Lead	ZENON RADEWYCH
Structural Engineering Lead	PHILLIP KWAN
Mechanical Engineering Lead	SHAUNAK PANDIT
Plumbing Engineering Lead	SHAUNAK PANDIT
Fire Protection Engineering Lead	MOHAMMAD DADGARDOUST
BAS Engineering Lead	PAUL HO
Electrical Engineering Lead	NASH MARTIS
Telecommunications Engineering Lead	TODD GRIMES
Security Systems Engineering Lead	MIRCEA BARBAT

Revisions

No.	Date	Description
3	2024.12.11	ISSUE S2 FOR SPA
7	2025.04.02	ISSUE S3 FOR SPA RESUBMISSION
8	2025.04.30	ISSUE S4 FOR COMMITTEE OF ADJUSTMENT

Registration

NOT FOR CONSTRUCTION

Package

Sheet Title/Number

CONTEXT PLAN

YTO12-SPA-A002

Autodesk Docs://YTO12/YTO12-ARCH-R25.rvt
2025-04-11 10:56:19 PM

LOT STATISTICS - BY ZONING - YTO11 (EXISTING) + YTO12 (PROPOSED)

	REQUIRED ZONING BY-LAW No. 001-2021	PROPOSED
USE		
USE	DATA PROCESSING CENTRE	
LOT AREA (YTO11 + YTO12)		
TOTAL LOT AREA (EXCLUDING YTO11 UTILITY SUBSTATION AREA)	1,800 m²	111,584 m²
TOTAL LOT AREA (INCLUDING YTO11 UTILITY SUBSTATION AREA)	1,800 m²	113,384 m²
LOT COVERAGE (YTO11 + YTO12)		
TOTAL LOT COVERAGE (EXCLUDING YTO11 UTILITY SUBSTATION AREA)	MAX. 60%	21.13%
TOTAL LOT COVERAGE (INCLUDING UTILITY SUBSTATION AREA)	MAX. 60%	20.79%
OPEN AREA (YTO11 + YTO12)		
TOTAL HARD LANDSCAPING AREA	-	21,364.03 m²
TOTAL SOFT LANDSCAPING AREA		32,585.58 m²
TOTAL OPEN AREA (EXCLUDING YTO11 UTILITY SUBSTATION AREA)		53,949.61 m²
LANDSCAPE STRIP	MIN. 3 m	3 m

BUILDING STATISTICS - BY ZONING - YTO11 (EXISTING) + YTO12 (PROPOSED)

	REQUIRED ZONING BY-LAW No. 001-2021	PROPOSED
BUILDING AREA - YTO11 +YTO12		
PROCESSING FACILITY + ACCESSORY OFFICES	-	42,649.1 m²
FLOOR SPACE INDEX (FSI) - YTO11 + YTO12		
TOTAL FLOOR SPACE INDEX (FSI) (EXCLUDING YTO11 UTILITY SUBSTATION AREA)	-	**0.38**
TOTAL FLOOR SPACE INDEX (FSI) (INCLUDING YTO11 UTILITY SUBSTATION AREA)	-	**0.38**

ZONING BY-LAW No. 001-2021

NOTE #		ZONING BY-LAW No. 001-2021
1	TOTAL GROSS FLOOR AREA	AGGREGATE OF THE FLOOR AREAS OF ALL STOREYS OF A BUILDING MEASURED FROM THE OUTSIDE OF THE EXTERIOR WALLS, BUT EXCLUDING ANY BASEMENT, ATTIC, MECHANICAL ROOM, ELECTRICAL ROOM, ELEVATOR SHAFT, REFUSE CHUTE, ESCALATORS, VEHICLE AND BICYCLE PARKING AREAS, LOADING AREAS LOCATED ABOVE OR BELOW GRADE. EXCLUDED AREAS: ELECTRICAL ROOMS MECHANICAL ROOMS LOADING DOCK VERTICAL CIRCULATION
2	BUILDING HEIGHT	VERTICAL DISTANCE MEASURED FROM ESTABLISHED GRADE TO IN CASE OF A FLAT ROOF THE HIGHEST POINT OF THE ROOF SURFACE OR PARAPET, WHICHEVER IS THE GREATER. ESTABLISHED GRADE IS DEFINED AS AVERAGE LEVEL OF THE GROUND AT THE FRONT OF THE BUILDING OR STRUCTURE. BY- LAW HAS THE FOLLOWING HEIGHT EXEMPTIONS: 4.7.1.h: A PARAPET WALL UP TO 1.5m IS EXEMPTED FROM BUILDING HEIGHT CALCULATIONS. 4.7.2 & 4.20: MECHANICAL PENTHOUSE SHALL BE PERMITTED TO EXCEED MAXIMUM HEIGHT REQUIRED BY THE BY-LAW TO A MAXIMUM OF 8.0 M
3	PARKING	6.3.5: PARKING SPACE RATES, TABLE 6-2: MANUFACTURING OR PROCESSING FACILITY: 0.5 SPACES PER 100 m2 OFFICE: 3 SPACES PER 100 m2 6.4: BARRIER-FREE PARKING SPACE REQUIREMENTS, TABLE 6-4: 4% OF TOTAL PARKING (EQUAL NUMBER OF TYPE A & B)
4	BICYCLE PARKING	6.5.3: MINIMUM BICYCLE PARKING SPACE RATES, TABLE 6-8: SHORT TERM PARKING (OFFICE) : 0.1 SPACES PER 100 m2 OR 3 WHICHER IS GREATER LONGTERM PARKING (OFFICE) : 0.1 SPACES PER 100 m2

LOT STATISTICS - BY ZONING - YTO12 - PHASE 2 (PROPOSED)

	REQUIRED ZONING BY-LAW No. 001-2021	PROPOSED
USE		
USE	DATA PROCESSING CENTRE	
LOT AREA - YTO12 (PROPOSED)		
LOT AREA - YTO12	-	46,432.66 m²
LOT COVERAGE - YTO12 (PROPOSED)		
LOT COVERAGE - YTO12 (EXCLUDING YTO11 UTILITY SUBSTATION AREA)	-	9.02%
LOT COVERAGE - YTO12 (INCLUDING YTO11 UTILITY SUBSTATION AREA)	-	8.87%
OPEN AREA - YTO12 (PROPOSED)		
HARD LANDSCAPING AREA - YTO12	-	13,681.94 m²
SOFT LANDSCAPING AREA - YTO12	-	15,793.48 m²
TOTAL OPEN AREA - YTO12		**29,475.42 m²**
LANDSCAPE STRIP	MIN. 3 m	3 m
LOT FRONTAGE		
LOT FRONTAGE	MIN. 30 m	345 m
SETBACKS - YTO12 (PROPOSED)		
FRONT YARD SETBACK	MIN. 4.5 m	199.59 m
REAR YARD SETBACK	MIN. 7.5 m	34.87 m
INTERIOR SIDE YARD SETBACK	MIN 3 m	46.47 m
EXTERIOR SIDE YARD SETBACK	MIN. 4.5 m	43.5 m

BUILDING STATISTICS - BY ZONING - YTO12 - PHASE 2 (PROPOSED)

	REQUIRED ZONING BY-LAW No. 001-2021	PROPOSED
GROSS FLOOR AREA - YTO12 (PROPOSED) (SEE NOTE #1)		
PROCESSING FACILITY		
GROUND FLOOR	-	5,917.27 m²
SECOND FLOOR	-	5,900.62 m²
THIRD FLOOR	-	5,907.39 m²
TOTAL GROSS FLOOR AREA - PROCESSING FACILITY	-	**17,725.28 m²**
ACCESSORY OFFICE		
GROUND FLOOR	-	1,575.17 m²
SECOND FLOOR	-	466.03 m²
THIRD FLOOR	-	465.62 m²
TOTAL GROSS FLOOR AREA - ACCESSORY OFFICE	-	**2,506.82 m²**
TOTAL GROSS FLOOR AREA - PROCESSSING + ACCESSORY		**20,232.1 m²**
FLOOR SPACE INDEX (FSI) - YTO12 (PROPOSED)		
FLOOR SPACE INDEX - YTO12 (EXCLUDING YTO11 UTILITY SUBSTATION AREA)	-	0.18
FLOOR SPACE INDEX - YTO12 (INCLUDING YTO11 UTILITY SUBSTATION AREA)	-	0.18
BUILDING HEIGHT - YTO12 (PROPOSED)		
BUILDING HEIGHT (EXCLUDING ROOF TOP RAISED MECHANICAL PLATFORM AND ROOF TOP ELEVATOR PENTHOUSE. ROOF TOP ELEVATOR PENTHOUSE DOES NOT EXCEED PERMITTED HEIGHT OF 8.0 m. SEE NOTE 2)	MAX. 25.00 m	23.865 m

PARKING STATISTICS - BY ZONING - YTO12 - PHASE 2 (PROPOSED)

	REQUIRED ZONING BY-LAW No. 001-2021	PROPOSED
PARKING STATISTICS - YTO12		
TOTAL PARKING SPACES - YTO12 (SEE NOTE #3. 10 EV STALLS. 5 CAR POOLING STALLS)		72 (57.6 MW x 1.5 STALLS PER MW = 86.4 STALLS + 1 STALL FOR SECURITY)
DEDICATED TO PROCESSING FACILITY 1 SPACES PER 100 m² ACCESSORY OFFICE GFA	178	72
DEDICATED TO ACCESSORY OFFICE 3 SPACES PER 100 m² ACCESSORY OFFICE GFA	75	
TOTAL STANDARD CAR PARKING SPACES - YTO12 6.0 m (L) x 2.7 m (W)		68
TOTAL ACCESSIBLE CAR PARKING SPACES		4
TYPE A - 6.0 m (L) x 3.4 m (W) (SEE NOTE #3)	-	2
TYPE B - 6.0 m (L) x 2.4 m (W) (SEE NOTE #3)	-	2
TOTAL LOADING SPACES	-	3
TYPE A - 17.0 m (L) x 3.5 m (W)	-	2
TYPE B - 11.0 m (L) x 3.5 m (W)	-	1
TYPE C - 6.0 m (L) x 3.5 m (W)	-	-
TOTAL BICYCLE PARKING SPACES - 1.8 m (L) x 0.6 m (W) (SEE NOTE #4)	6	10
SHORT TERM AREA OF ACCESSORY OFFICE / 100 m² x 0.1	3	4 (BY-LAW MIN. + 20% FOR LEED)
LONG TERM AREA OF ACCESSORY OFFICE / 100 m² x 0.1	3	6 (80 DAY SHIFT EMPLOYEES x 1.5 + 5% FOR LEED)

LOT STATISTICS - BY ZONING - YTO11 (EXISTING)

	REQUIRED ZONING BY-LAW No. 001-2021	PROPOSED
USE		
USE	DATA PROCESSING CENTRE	
LOT AREA (YTO11 + YTO12)		
LOT AREA - YTO11 (EXISTING) (EXCLUDING UTILITY SUBSTATION AREA)	-	60,944.64 m²
LOT AREA -YTO11 (EXISTING) (UTILITY SUBSTATION AREA)	-	6,007 m²
LOT AREA - YTO11 (EXISTING) (INCLUDING UTILITY SUBSTATION AREA)	-	66,951.7 m²
LOT COVERAGE - YTO11 (EXISTING)		
LOT COVERAGE - YTO11 (EXISTING) (EXCLUDING UTILITY SUBSTATION AREA)	-	12.11%
LOT COVERAGE - YTO11 (EXISTING) (INCLUDING UTILITY SUBSTATION AREA)	-	11.92%
OPEN AREA - YTO11 (EXISTING)		
HARD LANDSCAPING AREA - YTO11 (EXISTING)	-	7,682.09 m²
SOFT LANDSCAPING AREA - YTO11 (EXISTING)	-	16,792.1 m²
TOTAL OPEN AREA (EXCLUDING YTO11 UTILITY SUBSTATION AREA)		24,474.19 m²
LANDSCAPE STRIP	MIN. 3 m	3 m
LOT FRONTAGE		
LOT FRONTAGE	MIN. 30 m	345 m
SETBACKS - YTO11 (EXISTING)		
FRONT YARD SETBACK	MIN. 4.5 m	35.38 m
REAR YARD SETBACK	MIN. 7.5 m	96.56 m
INTERIOR SIDE YARD SETBACK	MIN 3 m	- m
EXTERIOR SIDE YARD SETBACK	MIN. 4.5 m	56.61 m

BUILDING STATISTICS - BY ZONING - YTO11 - PHASE 1 (EXISTING)

	REQUIRED ZONING BY-LAW No. 001-2021	PROPOSED
BUILDING AREA - YTO11 (EXISTING)		
PROCESSING FACILITY + ACCESSORY OFFICE		
GROUND FLOOR	-	11,857 m²
SECOND FLOOR	-	10,709 m²
THIRD FLOOR	-	62 m²
TOTAL GROSS FLOOR AREA	-	22,627 m²
FLOOR SPACE INDEX (FSI) - YTO11 (EXISTING)		
FLOOR SPACE INDEX - YTO11 (EXCLUDING YTO11 UTILITY SUBSTATION AREA)	-	0.20
FLOOR SPACE INDEX - YTO11 (INCLUDING YTO11 UTILITY SUBSTATION AREA)	-	0.20
BUILDING HEIGHT - YTO11 (EXISTING)		
BUILDING HEIGHT	MAX. 25.00 m	16.10 m

#	Zoning By-law 001-2021	Variance requested
1	The minimum number of parking spaces required is 239 spaces. **[Table 6-2]**	To permit a minimum of **147 parking spaces**.
2	The minimum number of loading spaces required for non-residential buildings with a Gross Floor Area between 10,000 square metres and 19,999 square metres is 1 Type A and 3 Type B loading spaces. **[Table 6-18]**	To permit a minimum of **3 loading spaces** (2 Type A and 1 Type B).

MEP & Structural Engineer
Suite 300,
125 Commerce Valley Dr W
Markham, Ontario, Canada
Tel: 416-499-3110

Architect / Landscape Architect
95 St Clair Ave W #1500
Toronto, Ontario, Canada
Tel: 416-961-4111

Civil / Geotechnical Engineer
100 Commerce Valley Dr W
Thornhill, ON L3T A1, Canada
Tel: 905-882-1100

Security Engineer
380 Wellington Street West
Toronto, ON M5V 1E3
Tel: 416.488.4425

Audio & Visual Engineer
1 World Wide Way
Maryland Heights, MO 63146
Tel 314.569.7000

YTO12 DATA CENTER

6100 Langstaff Road, L4L 1A5, Vaughan, Ontario

Design	Designer
Drawn	Author
Checked	Checker
M.S. Project No.	YTO12 - P.21286
AE Project No.	YTO12 - 8584

CLIENT TEAM

Design Manager	HUGH MCBRATNEY
Layout Manager	
Civil, Site Survey, Landscaping Technical Lead	CRYSTAL EGGERS
Architectural & Structural Technical Lead	SANDRA SUSKIC
Mech, Plumbing & Fire Protection Technical Lead	SAMANTHA BISCOTTINI
Building Automation Systems (BAS) Technical Lead	BEN SCHWINDT
Electrical Technical Lead	SOLA MIATUDILA
Electrical Power Management Systems (EPMS) Technical Lead	MARCO LOMA JASSO
Telecommunications / Network Technical Lead	SARAH JANE WOODS
Security Design Manager	KATHRYN BARTLINEK

DESIGN TEAM

Civil Engineering Lead	MICHAEL OLDHAM
Architectural Lead	ZENON RADEWYCH
Structural Engineering Lead	PHILLIP KWAN
Mechanical Engineering Lead	SHAUNAK PANDIT
Plumbing Engineering Lead	SHAUNAK PANDIT
Fire Protection Engineering Lead	MOHAMMAD DADGARDOUST
BAS Engineering Lead	PAUL HO
Electrical Engineering Lead	NASH MARTIS
Telecommunications Engineering Lead	TODD GRIMES
Security Systems Engineering Lead	MIRCEA BARBAT

Revisions

No.	Date	Description
3	2024.12.11	ISSUE S2 FOR SPA
7	2025.04.02	ISSUE S3 FOR SPA RESUBMISSION
8	2025.04.30	ISSUE S4 FOR COMMITTEE OF ADJUSTMENT

Registration

NOT FOR CONSTRUCTION

Package

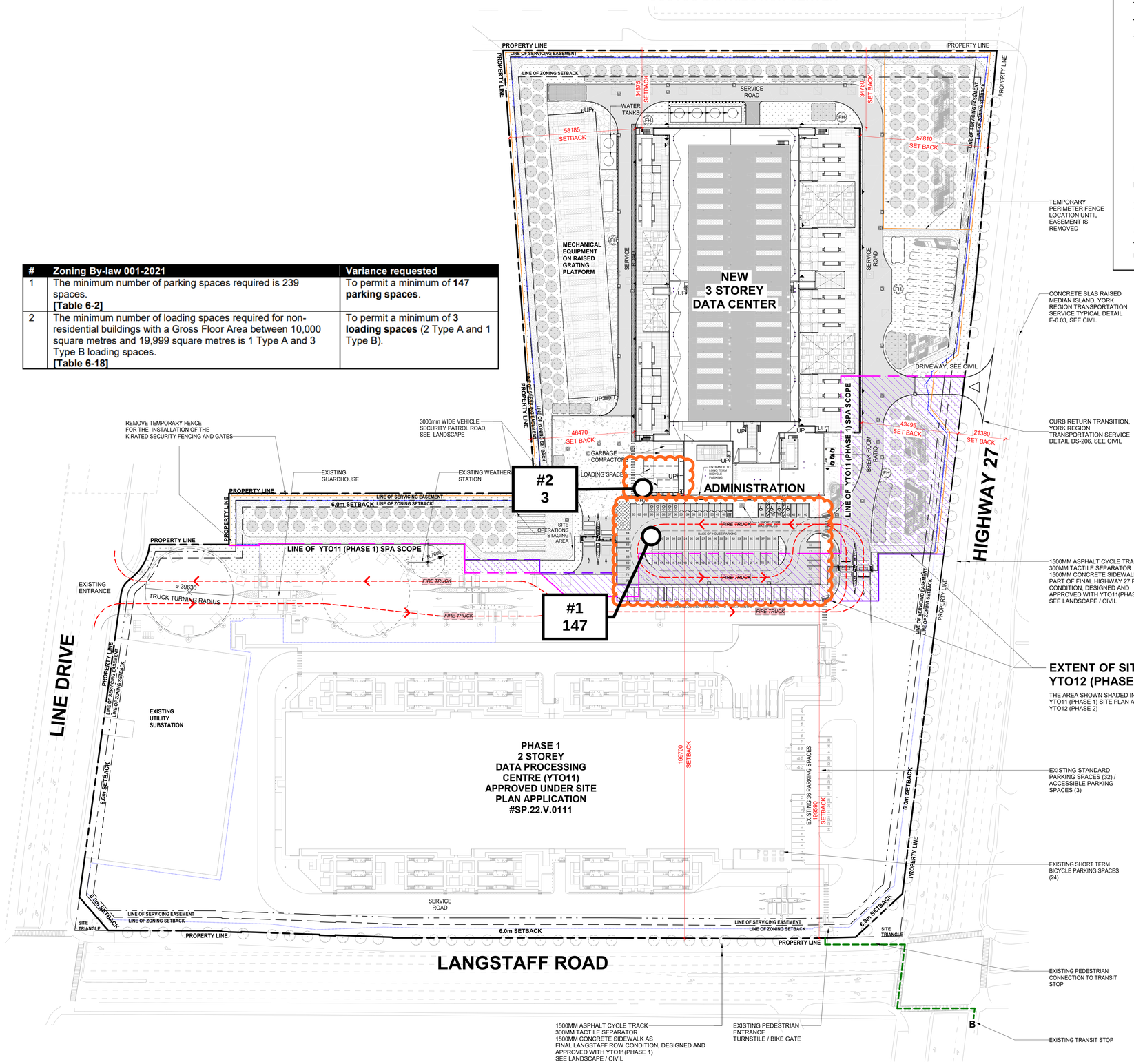
Sheet Title/Number

ARCHITECTURAL - SITE STATISTICS

YTO12-SPA-A003

COSTCO DISTRIBUTION CENTER

#	Zoning By-law 001-2021	Variance requested
1	The minimum number of parking spaces required is 239 spaces. **[Table 6-2]**	To permit a minimum of **147 parking spaces**.
2	The minimum number of loading spaces required for non-residential buildings with a Gross Floor Area between 10,000 square metres and 19,999 square metres is 1 Type A and 3 Type B loading spaces. **[Table 6-18]**	To permit a minimum of **3 loading spaces** (2 Type A and 1 Type B).



SITE PLAN LEGEND

- PROPOSED PROPERTY LINE
- UTILITY SUBSTATION PROPERTY LINE
- EXISTING PROPERTY LINE
- ENTRANCE
- EXIT ONLY
- FIRE HYDRANT, SEE CIVIL
- ELECTRIC VEHICLE CHARGING STATION PARKING SPACE, SEE ELECTRICAL
- BOLLARD
- CATCHBASIN, SEE CIVIL
- MANHOLE, SEE CIVIL
- SIAMESE CONNECTION, SEE CIVIL
- ASPHALT PAVING, SEE CIVIL
- CONCRETE PAVING, SEE CIVIL
- SOFT LANDSCAPE, SEE LANDSCAPE
- GRAVEL, SEE LANDSCAPE
- SERVICING EASEMENT
- ZONING SETBACK
- SNOW STORAGE, 965.84 M2
- EXISTING TREES TO REMAIN, SEE LANDSCAPE
- TREES, SEE LANDSCAPE
- TELECOM / ELECTRICAL VAULT, SEE CIVIL & TELECOM / ELECTRICAL
- TRUCK TURNING SIMULATION, SEE CIVIL
- STANDARD PARKING SPACE 2700mm X6000mm — CONCRETE PARKING STOP BLOCK, WHERE SHOWN, COORDINATE LOCATION ON SITE. PROVIDE SIGNAGE AS REQUIRED, SEE CIVIL
- ACCESSIBLE PARKING SPACE - TYPE A 3400mm X 6000mm — CONCRETE PARKING STOP BLOCK, WHERE SHOWN, COORDINATE LOCATION ON SITE. PROVIDE SIGNAGE AS REQUIRED, SEE CIVIL
- ACCESSIBLE PARKING SPACE - TYPE B 2400mm X 6000mm — CONCRETE PARKING STOP BLOCK, WHERE SHOWN, COORDINATE LOCATION ON SITE. PROVIDE SIGNAGE AS REQUIRED, SEE CIVIL
- SHORT TERM BIKE PARKING SPACE 600mm X 1800mm, SEE LANDSCAPE
- ROAD SURFACE MARKING - CROSSING
- ROAD SURFACE MARKING - PATHWAY
- CENTERLINE OF FIRE ROUTE
- 50' CRITICAL ASSET SECURITY SETBACK
- 2.4m HIGH K-RATED AMERISTAR SECURITY PERIMETER FENCE
- 2.4m HIGH NON-RATED AMERISTAR SECURITY PERIMETER FENCE
- UTILITY SUBSTATION PERIMETER FENCE (N.I.C.)
- 1.83m HIGH FOH/BOH CHAINLINK FENCE, SEE LANDSCAPE
- TEMPORARY FENCE / PHASING FENCE
- LIGHTING POLE, SEE ELECTRICAL
- SURFACE MOUNT LIGHTING FIXTURE, SEE ELECTRICAL
- CURB DEPRESSION, SEE CIVIL

1 SPA-A004 ARCHITECTURAL - OVERALL SITE PLAN
1:750

MEP & Structural Engineer
Suite 300,
125 Commerce Valley Dr W
Markham, Ontario, Canada
Tel: 416-499-3110

Architect / Landscape Architect
95 St Clair Ave W #1500
Toronto, Ontario, Canada
Tel: 416-961-4111

Civil / Geotechnical Engineer
100 Commerce Valley Dr W
Thornhill, ON L3T A1, Canada
Tel: 905-882-1100

Security Engineer
380 Wellington Street West
Toronto, ON M5V 1E3
Tel: 416.488.4425

Audio & Visual Engineer
1 World Wide Way
Maryland Heights, MO 63146
Tel 314.569.7000

YTO12 DATA CENTER

6100 Langstaff Road, L4L 1A5, Vaughan, Ontario

Design	Designer
Drawn	Author
Checked	Checker
M.S. Project No.	YTO12 - P.21286
AE Project No.	YTO12 - 8584

CLIENT TEAM

Design Manager	HUGH MCBRATNEY
Layout Manager	
Civil, Site Survey, Landscaping Technical Lead	CRYSTAL EGGERS
Architectural & Structural Technical Lead	SANDRA SUSKIC
Mech, Plumbing & Fire Protection Technical Lead	SAMANTHA BISCOTTINI
Building Automation Systems (BAS) Technical Lead	BEN SCHWINDT
Electrical Technical Lead	SOLA MIATUDILA
Electrical Power Management Systems (EPMS) Technical Lead	MARCO LOMA JASSO
Telecommunications / Network Technical Lead	SARAH JANE WOODS
Security Design Manager	KATHRYN BARTUNEK

DESIGN TEAM

Civil Engineering Lead	MICHAEL OLDHAM
Architectural Lead	ZENON RADEWYCH
Structural Engineering Lead	PHILLIP KWAN
Mechanical Engineering Lead	SHAUNAK PANDIT
Plumbing Engineering Lead	SHAUNAK PANDIT
Fire Protection Engineering Lead	MOHAMMAD DADGARDOUST
BAS Engineering Lead	PAUL HO
Electrical Engineering Lead	NASH MARTIS
Telecommunications Engineering Lead	TODD GRIMES
Security Systems Engineering Lead	MIRCEA BARBAT

Revisions

No.	Date	Description
3	2024.12.11	ISSUE S2 FOR SPA
7	2025.04.02	ISSUE S3 FOR SPA RESUBMISSION
8	2025.04.30	ISSUE S4 FOR COMMITTEE OF ADJUSTMENT

Registration

NOT FOR CONSTRUCTION

Package

Sheet Title/Number

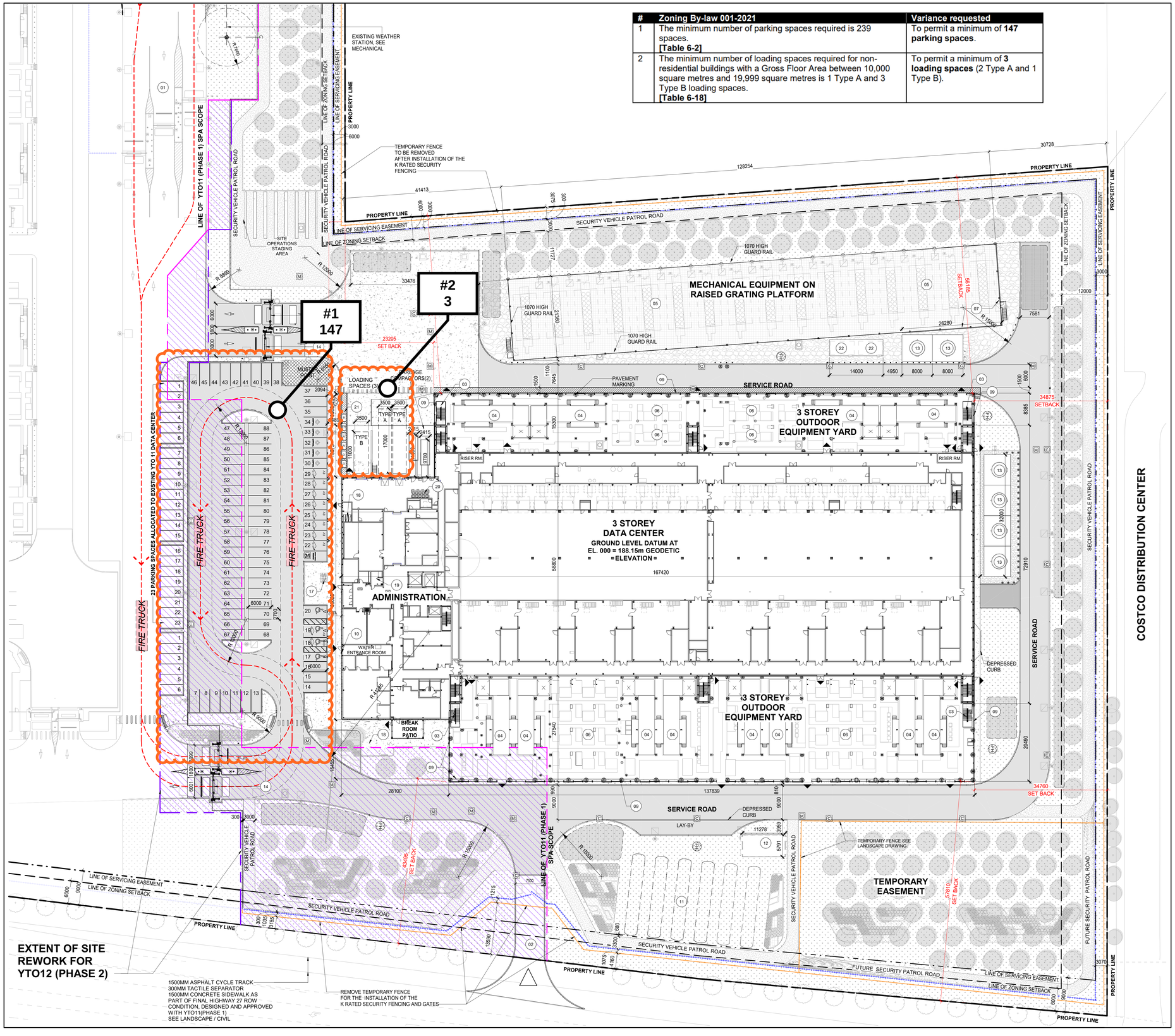
ARCHITECTURAL - GENERAL - OVERALL SITE PLAN

YTO12-SPA-A004

Autodesk Docs://YTO12/YTO12-ARCH-R25.rvt

2025-05-01 10:14:08 AM

#	Zoning By-law 001-2021	Variance requested
1	The minimum number of parking spaces required is 239 spaces. **[Table 6-2]**	To permit a minimum of **147 parking spaces**.
2	The minimum number of loading spaces required for non-residential buildings with a Gross Floor Area between 10,000 square metres and 19,999 square metres is 1 Type A and 3 Type B loading spaces. **[Table 6-18]**	To permit a minimum of **3 loading spaces** (2 Type A and 1 Type B).



1 SPA-A005 ARCHITECTURAL -ENLARGED BUILDING SITE PLAN
1 : 400

SITE PLAN LEGEND

- PROPOSED PROPERTY LINE
- UTILITY SUBSTATION PROPERTY LINE
- EXISTING PROPERTY LINE
- ENTRANCE
- EXIT ONLY
- FIRE HYDRANT, SEE CIVIL
- ELECTRIC VEHICLE CHARGING STATION PARKING SPACE, SEE ELECTRICAL
- BOLLARD
- CATCHBASIN, SEE CIVIL
- MANHOLE, SEE CIVIL
- SIAMESE CONNECTION, SEE CIVIL
- ASPHALT PAVING, SEE CIVIL
- CONCRETE PAVING, SEE CIVIL
- SOFT LANDSCAPE, SEE LANDSCAPE
- GRAVEL, SEE LANDSCAPE
- SERVICING EASEMENT
- ZONING SETBACK
- SNOW STORAGE
- EXISTING TREES, SEE LANDSCAPE
- TREES, SEE LANDSCAPE
- TELECOM / ELECTRICAL VAULT, SEE CIVIL & TELECOM / ELECTRICAL
- TRUCK TURNING SIMULATION, SEE CIVIL
- STANDARD PARKING SPACE 2700mm X6000mm — CONCRETE PARKING STOP BLOCK, WHERE SHOWN, COORDINATE LOCATION ON SITE. PROVIDE SIGNAGE AS REQUIRED, SEE CIVIL
- ACCESSIBLE PARKING SPACE - TYPE A 3400mm X 6000mm — CONCRETE PARKING STOP BLOCK, WHERE SHOWN, COORDINATE LOCATION ON SITE. PROVIDE SIGNAGE AS REQUIRED, SEE CIVIL
- ACCESSIBLE PARKING SPACE - TYPE B 2400mm X 6000mm — CONCRETE PARKING STOP BLOCK, WHERE SHOWN, COORDINATE LOCATION ON SITE. PROVIDE SIGNAGE AS REQUIRED, SEE CIVIL
- SHORT TERM BIKE PARKING SPACE 600mm X 1800mm, SEE LANDSCAPE
- ROAD SURFACE MARKING - CROSSING
- ROAD SURFACE MARKING - PATHWAY
- CENTERLINE OF FIRE ROUTE
- 50' CRITICAL ASSET SECURITY SETBACK
- 2.4m HIGH K-RATED AMERISTAR SECURITY PERIMETER FENCE
- 2.4m HIGH NON-RATED AMERISTAR SECURITY PERIMETER FENCE
- UTILITY SUBSTATION PERIMETER FENCE (N.I.C.)
- 1.83m HIGH FOH/BOH CHAINLINK FENCE, SEE LANDSCAPE
- TEMPORARY FENCE / PHASING FENCE
- LIGHTING POLE, SEE ELECTRICAL
- SURFACE MOUNT LIGHTING FIXTURE, SEE ELECTRICAL
- CURB DEPRESSION, SEE CIVIL

SITE PLAN NOTES

01 EXISTING PRIMARY VEHICULAR ENTRANCE
02 EXISTING SECONDARY VEHICULAR ENTRANCE
03 EXTERIOR METAL GRATE STAIRS
04 ACOUSTICALLY ENCLOSED DIESEL GENERATORS ON CONCRETE PADS
05 MECHANICAL EQUIPMENT ON RAISED STEEL GRATING PLATFORM
06 ELECTRICAL EQUIPMENT ON CONCRETE PADS
07 6.25 m ACOUSTIC BARRIER
09 PERFORATED OUTDOOR EQUIPMENT ALUMINUM SCREEN ENCLOSURE SEE ELEVATIONS FOR DESIGN PATTERN
10 SIAMESE CONNECTION
11 BURRIED DOUBLE-WALL FUEL TANKS, SEE CIVIL AND MECHANICAL
12 FUEL POLISHING STATION FOR DIESEL TANKS, SEE MECHANICAL
13 THERMAL ENERGY STORAGE TANKS ON CONCRETE PADS,
14 BI-FOLDING SPEED GATE
15 PEDESTRIAN SWING GATE
16 OUTDOOR SMOKING AREA, SEE LANDSCAPE
17 4 SHORT TERM BICYCLE PARKING RINGS, SEE LANDSCAPE
18 6 LONG TERM HORIZONTAL STACKED BICYCLE PARKING
19 UNISEX WASHROOM / SHOWER AND CHANGE AREA
20 10 m² WASTE STORAGE SPACE
21 DEDICATED WASTE STORAGE SPACE FOR 3 YD³ FRONT-END CONTAINERS
22 VALVE HOUSE

SITE PLAN GENERAL NOTES

1. SEE CIVIL FOR TRAFFIC SIGNAGE

MEP & Structural Engineer
Suite 300,
125 Commerce Valley Dr W
Markham, Ontario, Canada
Tel: 416-499-3110

Architect / Landscape Architect
95 St Clair Ave W #1500
Toronto, Ontario, Canada
Tel: 416-961-4111

Civil / Geotechnical Engineer
100 Commerce Valley Dr W
Thornhill, ON L3T A1, Canada
Tel: 905-882-1100

Security Engineer
380 Wellington Street West
Toronto, ON M5V 1E3
Tel: 416.488.4425

Audio & Visual Engineer
1 World Wide Way
Maryland Heights, MO 63146
Tel 314.569.7000

YTO12 DATA CENTER

6100 Langstaff Road, L4L 1A5, Vaughan, Ontario

Design	Designer
Drawn	Author
Checked	Checker
M.S. Project No.	YTO12 - P.21286
AE Project No.	YTO12 - 8584

CLIENT TEAM

Design Manager	HUGH MCBRATNEY
Layout Manager	
Civil, Site Survey, Landscaping Technical Lead	CRYSTAL EGGERS
Architectural & Structural Technical Lead	SANDRA SUSKIC
Mech, Plumbing & Fire Protection Technical Lead	SAMANTHA BISCOTTINI
Building Automation Systems (BAS) Technical Lead	BEN SCHWINDT
Electrical Technical Lead	SOLA MIATUDILA
Electrical Power Management Systems (EPMS) Technical Lead	MARCO LOMA JASSO
Telecommunications / Network Technical Lead	SARAH JANE WOODS
Security Design Manager	KATHRYN BARTUNEK

DESIGN TEAM

Civil Engineering Lead	MICHAEL OLDHAM
Architectural Lead	ZENON RADEWYCH
Structural Engineering Lead	PHILLIP KWAN
Mechanical Engineering Lead	SHAUNAK PANDIT
Plumbing Engineering Lead	SHAUNAK PANDIT
Fire Protection Engineering Lead	MOHAMMAD DADGARDOUST
BAS Engineering Lead	PAUL HO
Electrical Engineering Lead	NASH MARTIS
Telecommunications Engineering Lead	TODD GRIMES
Security Systems Engineering Lead	MIRCEA BARBAT

Revisions

No.	Date	Description
3	2024.12.11	ISSUE S2 FOR SPA
7	2025.04.02	ISSUE S3 FOR SPA RESUBMISSION
8	2025.04.30	ISSUE S4 FOR COMMITTEE OF ADJUSTMENT

Registration

NOT FOR CONSTRUCTION

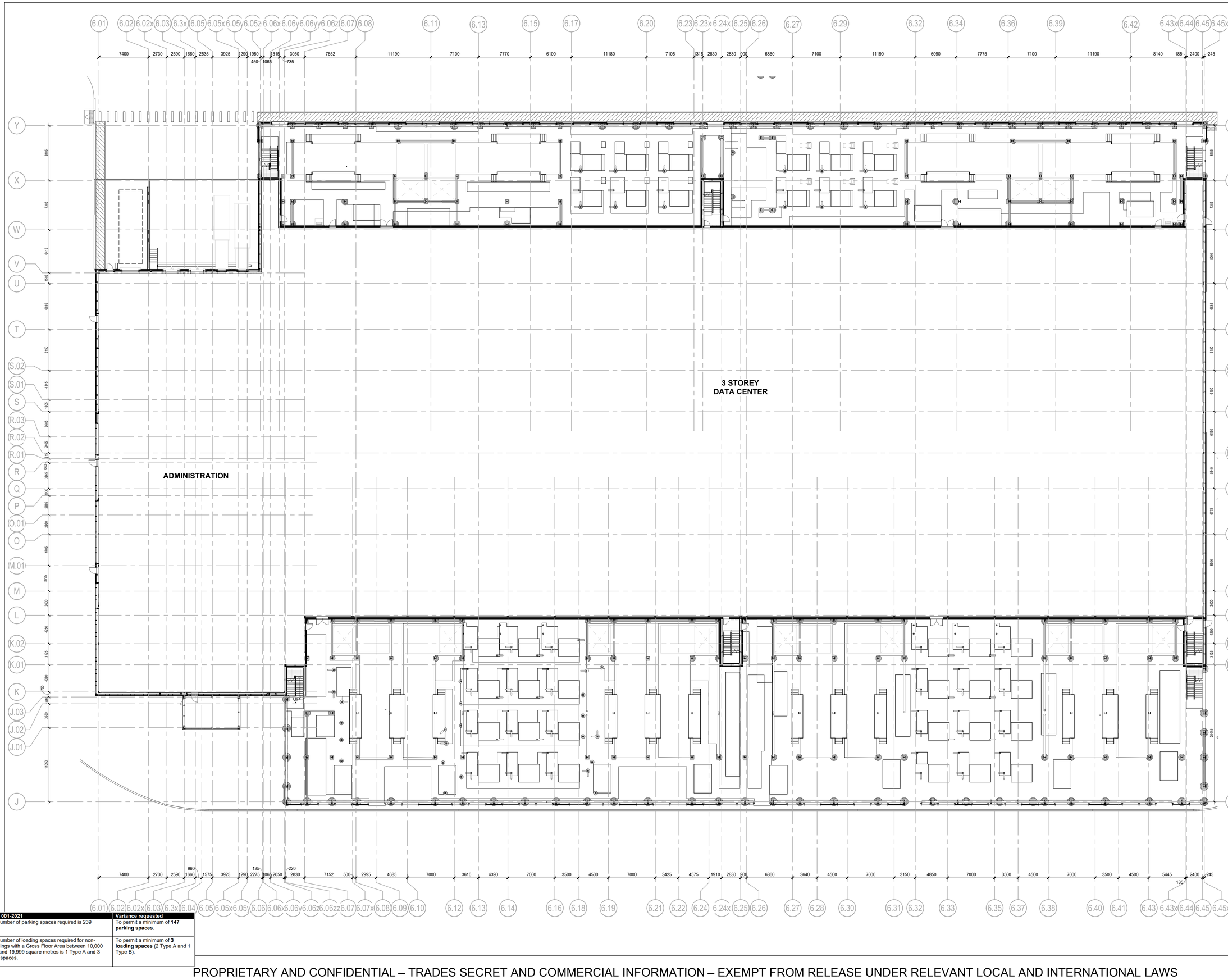
Package

Sheet Title/Number

ARCHITECTURAL - ENLARGED SITE PLAN

YTO12-SPA-A005

Autodesk Docs://YTO12/YTO12-ARCH-R25.rvt
2025-05-01 10:25:58 AM



#	Zoning By-law 001-2021	Variance requested
1	The minimum number of parking spaces required is 239 spaces. **[Table 6-2]**	To permit a minimum of **147 parking spaces**.
2	The minimum number of loading spaces required for non-residential buildings with a Gross Floor Area between 10,000 square metres and 19,999 square metres is 1 Type A and 3 Type B loading spaces. **[Table 6-18]**	To permit a minimum of **3 loading spaces** (2 Type A and 1 Type B).

MEP & Structural Engineer
Suite 300,
125 Commerce Valley Dr W
Markham, Ontario, Canada
Tel: 416-499-3110

Architect / Landscape Architect
95 St Clair Ave W #1500
Toronto, Ontario, Canada
Tel: 416-961-4111

Civil / Geotechnical Engineer
100 Commerce Valley Dr W
Thornhill, ON L3T A1, Canada
Tel: 905-882-1100

Security Engineer
380 Wellington Street West
Toronto, ON M5V 1E3
Tel: 416.488.4425

Audio & Visual Engineer
1 World Wide Way
Maryland Heights, MO 63146
Tel 314.569.7000

YTO12
DATA CENTER

6100 Langstaff Road, L4L 1A5, Vaughan, Ontario

Design	Designer
Drawn	Author
Checked	Checker
Client Project No.	YTO12 - P.21286
AE Project No.	YTO12 - 8584

CLIENT TEAM

Design Manager	
Layout Manager	
Civil, Site Survey, Landscaping Technical Lead	
Architectural & Structural Technical Lead	
Mech, Plumbing & Fire Protection Technical Lead	
Building Automation Systems (BAS) Technical Lead	
Electrical Technical Lead	
Electrical Power Management Systems (EPMS) Technical Lead	
Telecommunications / Network Technical Lead	
Security Design Manager	

DESIGN TEAM

Civil Engineering Lead	MICHAEL OLDHAM
Architectural Lead	ZENON RADEWYCH
Structural Engineering Lead	PHILLIP KWAN
Mechanical Engineering Lead	SHAUNAK PANDIT
Plumbing Engineering Lead	SHAUNAK PANDIT
Fire Protection Engineering Lead	MOHAMMAD DADGARDOUST
BAS Engineering Lead	PAUL HO
Electrical Engineering Lead	NASH MARTIS
Telecommunications Engineering Lead	TODD GRIMES
Security Systems Engineering Lead	MIRCEA BARBAT

Revisions

No.	Date	Description
3	2024.12.11	ISSUE 82 FOR SPA
7	2025.04.02	ISSUE 83 FOR SPA RESUBMISSION
8	2025.04.30	ISSUE 84 FOR COMMITTEE OF ADJUSTMENT

Registration

NOT FOR CONSTRUCTION

Package

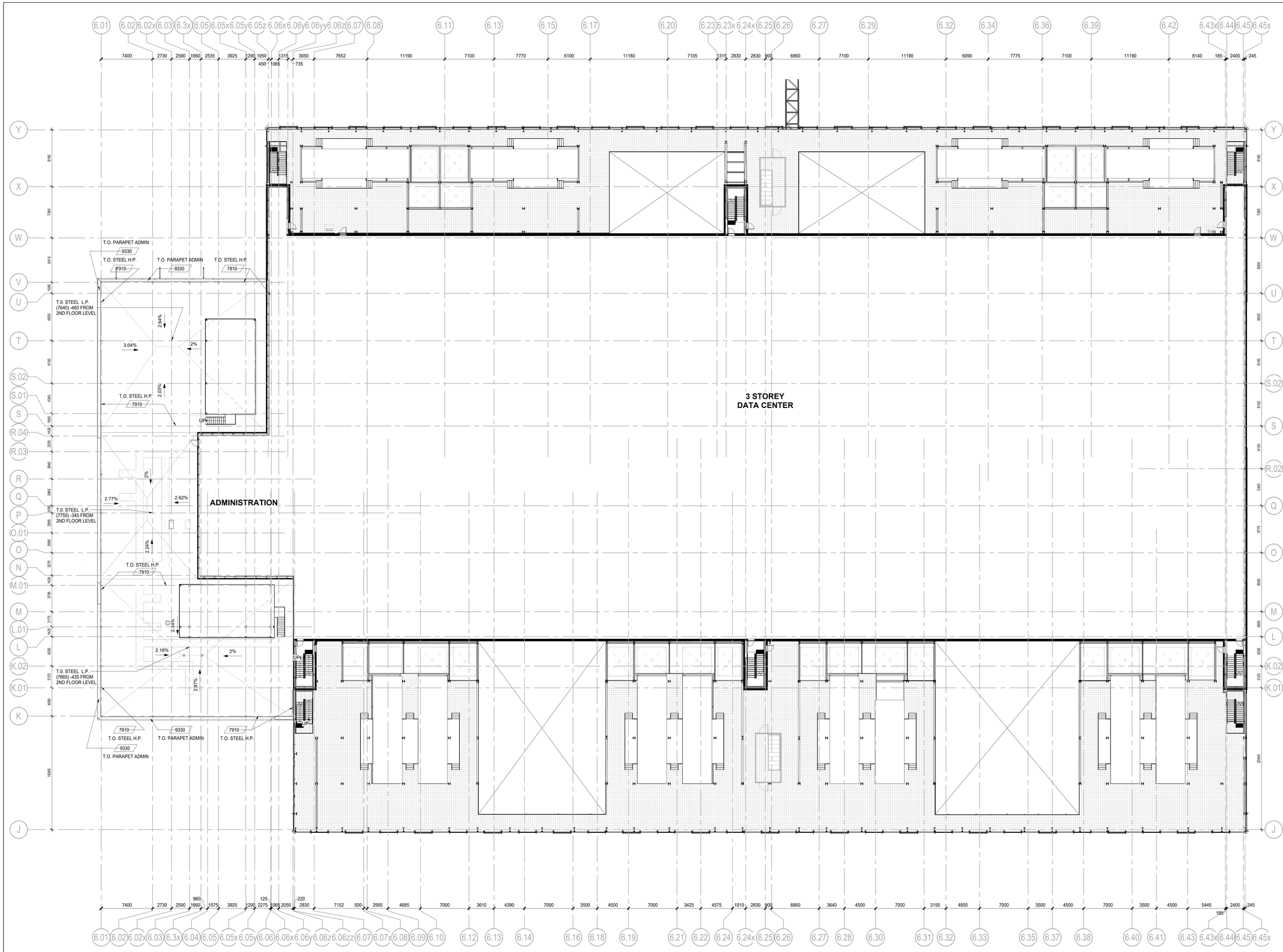
Sheet Title/Number

ARCHITECTURAL - OVERALL GROUND FLOOR PLAN

YTO12-SPA-A101

Autodesk Docs://YTO12/YTO12-ARCH-R25.rvt

2025-04-11 10:58:32 PM



#	Zoning By-law 001-2021	Variance requested
1	The minimum number of parking spaces required is 239 spaces. **[Table 6-2]**	To permit a minimum of **147 parking spaces**.
2	The minimum number of loading spaces required for non-residential buildings with a Gross Floor Area between 10,000 square metres and 19,999 square metres is 1 Type A and 3 Type B loading spaces. **[Table 6-18]**	To permit a minimum of **3 loading spaces** (2 Type A and 1 Type B).

MEP & Structural Engineer
Suite 300,
125 Commerce Valley Dr W
Markham, Ontario, Canada
Tel: 416-499-3110

Architect / Landscape Architect
95 St Clair Ave W #1500
Toronto, Ontario, Canada
Tel: 416-961-4111

Civil / Geotechnical Engineer
100 Commerce Valley Dr W
Thornhill, ON L3T A1, Canada
Tel: 905-882-1100

Security Engineer
380 Wellington Street West
Toronto, ON M5V 1E3
Tel: 416.488.4425

Audio & Visual Engineer
1 World Wide Way
Maryland Heights, MO 63146
Tel 314.569.7000

YTO12
DATA CENTER

6100 Langstaff Road, L4L 1A5, Vaughan, Ontario

Design	Designer
Drawn	Author
Checked	Checker
Client Project No.	YTO12 - P.21286
AE Project No.	YTO12 - 8584

CLIENT TEAM

Design Manager	
Layout Manager	
Civil, Site Survey, Landscaping Technical Lead	
Architectural & Structural Technical Lead	
Mech, Plumbing & Fire Protection Technical Lead	
Building Automation Systems (BAS) Technical Lead	
Electrical Technical Lead	
Electrical Power Management Systems (EPMS) Technical Lead	
Telecommunications / Network Technical Lead	
Security Design Manager	

DESIGN TEAM

Civil Engineering Lead	MICHAEL OLDHAM
Architectural Lead	ZENON RADEWYCH
Structural Engineering Lead	PHILLIP KWAN
Mechanical Engineering Lead	SHAUNAK PANDIT
Plumbing Engineering Lead	SHAUNAK PANDIT
Fire Protection Engineering Lead	MOHAMMAD DADGARDOUST
BAS Engineering Lead	PAUL HO
Electrical Engineering Lead	NASH MARTIS
Telecommunications Engineering Lead	TODD GRIMES
Security Systems Engineering Lead	MIRCEA BARBAT

Revisions

No.	Date	Description
3	2024.12.11	ISSUE S2 FOR SPA
7	2025.04.02	ISSUE S3 FOR SPA RESUBMISSION
8	2025.04.30	ISSUE S4 FOR COMMITTEE OF ADJUSTMENT

Registration

NOT FOR CONSTRUCTION

Package

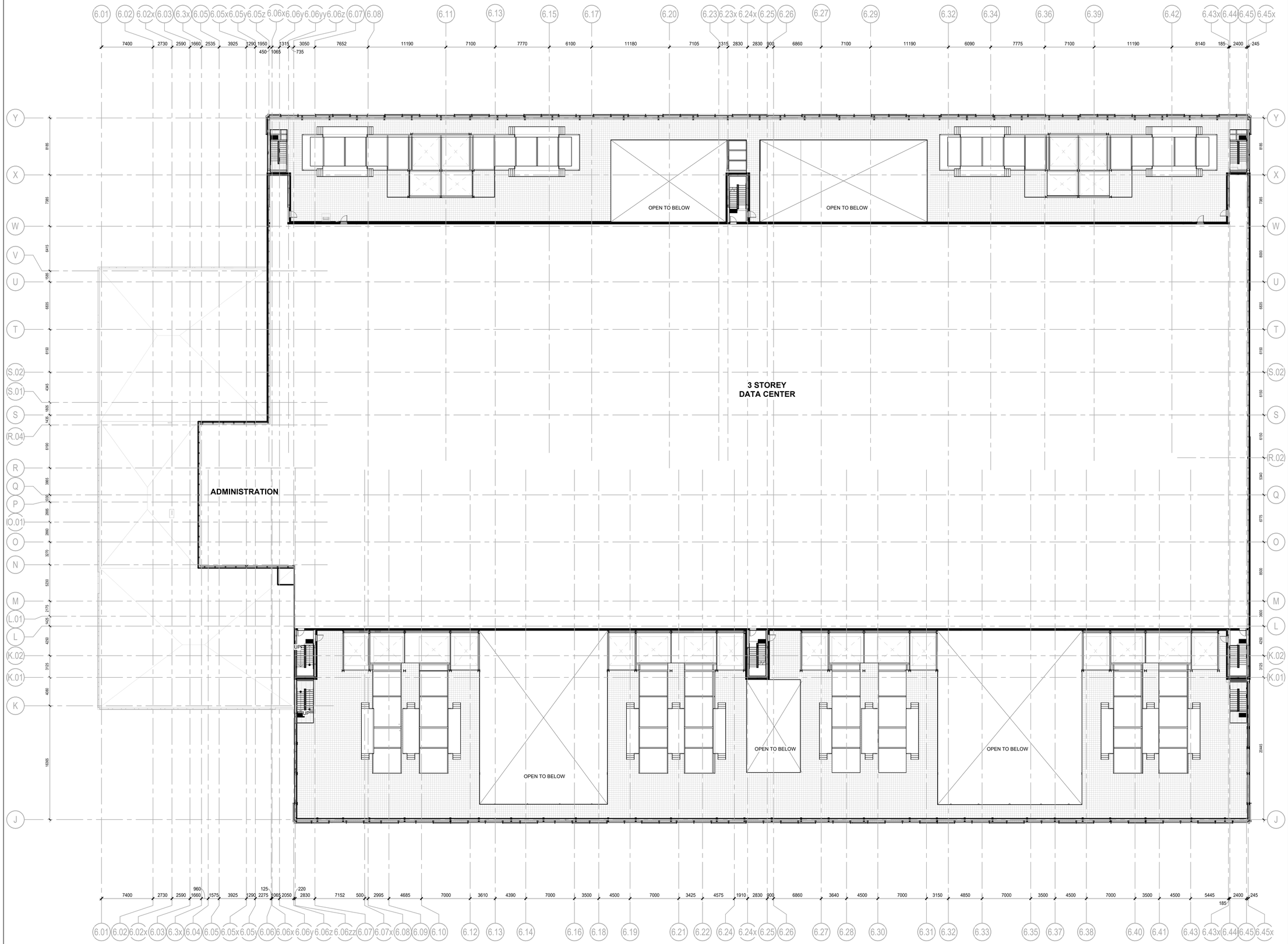
Sheet Title/Number

ARCHITECTURAL - OVERALL SECOND FLOOR PLAN

YTO12-SPA-A102

Autodesk Docs://YTO12/YTO12-ARCH-R25.rvt

2025-04-11 11:00:07 PM



#	Zoning By-law 001-2021	Variance requested
1	The minimum number of parking spaces required is 239 spaces. **[Table 6-2]**	To permit a minimum of **147 parking spaces**.
2	The minimum number of loading spaces required for non-residential buildings with a Gross Floor Area between 10,000 square metres and 19,999 square metres is 1 Type A and 3 Type B loading spaces. **[Table 6-18]**	To permit a minimum of **3 loading spaces** (2 Type A and 1 Type B).

MEP & Structural Engineer
Suite 300,
125 Commerce Valley Dr W
Markham, Ontario, Canada
Tel: 416-499-3110

Architect / Landscape Architect
95 St Clair Ave W #1500
Toronto, Ontario, Canada
Tel: 416-961-4111

Civil / Geotechnical Engineer
100 Commerce Valley Dr W
Thornhill, ON L3T A1, Canada
Tel: 905-882-1100

Security Engineer
380 Wellington Street West
Toronto, ON M5V 1E3
Tel: 416.488.4425

Audio & Visual Engineer
1 World Wide Way
Maryland Heights, MO 63146
Tel 314.569.7000

YTO12
DATA CENTER

6100 Langstaff Road, L4L 1A5, Vaughan, Ontario

Design	Designer
Drawn	Author
Checked	Checker
Client Project No.	YTO12 - P.21286
AE Project No.	YTO12 - 8584

CLIENT TEAM

Design Manager	
Layout Manager	
Civil, Site Survey, Landscaping Technical Lead	
Architectural & Structural Technical Lead	
Mech, Plumbing & Fire Protection Technical Lead	
Building Automation Systems (BAS) Technical Lead	
Electrical Technical Lead	
Electrical Power Management Systems (EPMS) Technical Lead	
Telecommunications / Network Technical Lead	
Security Design Manager	

DESIGN TEAM

Civil Engineering Lead	MICHAEL OLDHAM
Architectural Lead	ZENON RADEWYCH
Structural Engineering Lead	PHILLIP KWAN
Mechanical Engineering Lead	SHAUNAK PANDIT
Plumbing Engineering Lead	SHAUNAK PANDIT
Fire Protection Engineering Lead	MOHAMMAD DADGARDOUST
BAS Engineering Lead	PAUL HO
Electrical Engineering Lead	NASH MARTIS
Telecommunications Engineering Lead	TODD GRIMES
Security Systems Engineering Lead	MIRCEA BARBAT

Revisions

No.	Date	Description
3	2024.12.11	ISSUE 82 FOR SPA
7	2025.04.02	ISSUE 83 FOR SPA RESUBMISSION
8	2025.04.30	ISSUE 84 FOR COMMITTEE OF ADJUSTMENT

Registration

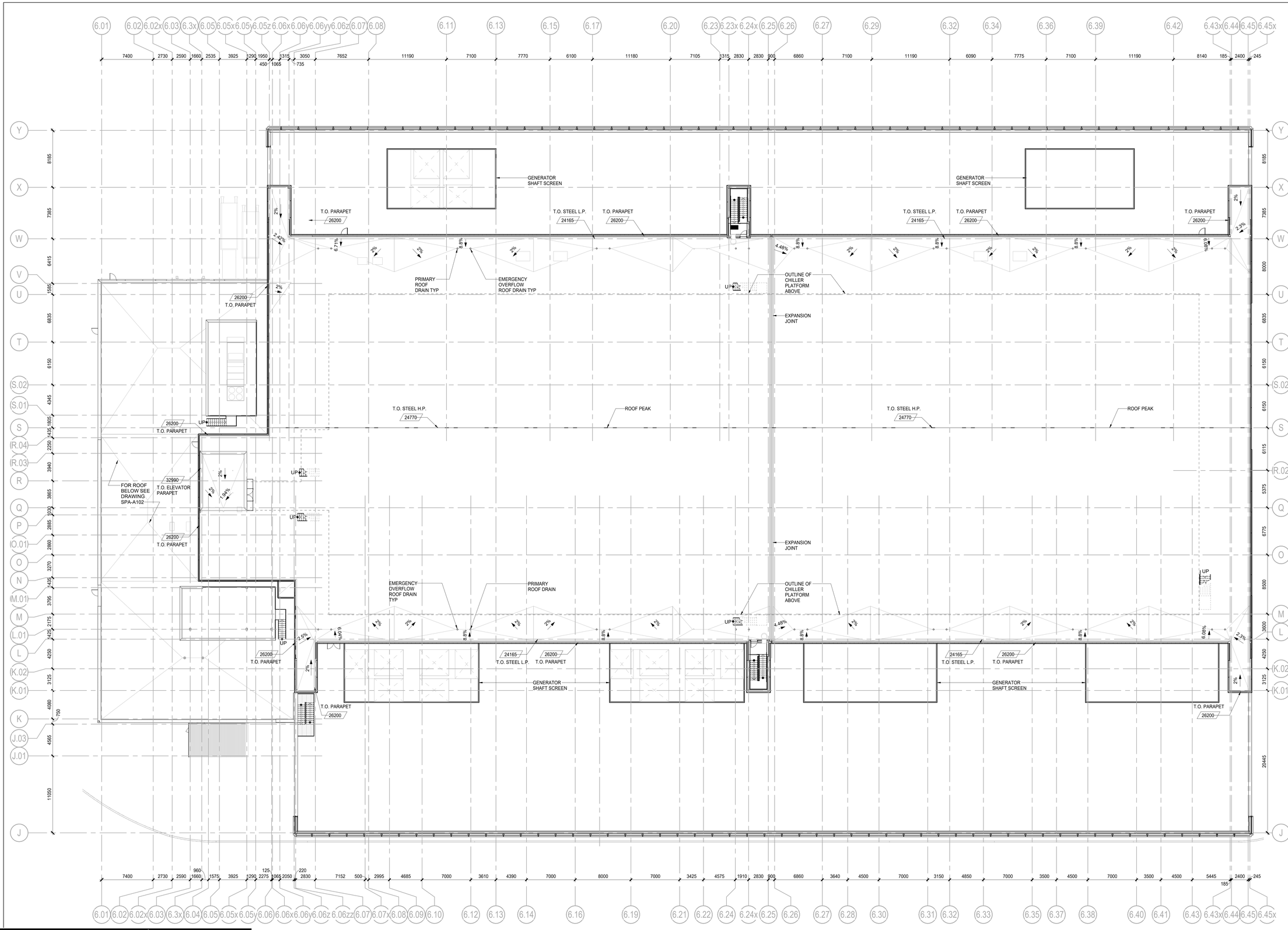
NOT FOR CONSTRUCTION

Package

Sheet Title/Number

ARCHITECTURAL - OVERALL THIRD FLOOR PLAN

YTO12-SPA-A103



#	Zoning By-law 001-2021	Variance requested
1	The minimum number of parking spaces required is 239 spaces. **[Table 6-2]**	To permit a minimum of **147 parking spaces**.
2	The minimum number of loading spaces required for non-residential buildings with a Gross Floor Area between 10,000 square metres and 19,999 square metres is 1 Type A and 3 Type B loading spaces. **[Table 6-18]**	To permit a minimum of **3 loading spaces** (2 Type A and 1 Type B).

MEP & Structural Engineer
Suite 300,
125 Commerce Valley Dr W
Markham, Ontario, Canada
Tel: 416-499-3110

Architect / Landscape Architect
95 St Clair Ave W #1500
Toronto, Ontario, Canada
Tel: 416-961-4111

Civil / Geotechnical Engineer
100 Commerce Valley Dr W
Thornhill, ON L3T A1, Canada
Tel: 905-882-1100

Security Engineer
380 Wellington Street West
Toronto, ON M5V 1E3
Tel: 416.488.4425

Audio & Visual Engineer
1 World Wide Way
Maryland Heights, MO 63146
Tel 314.569.7000

YTO12 DATA CENTER

6100 Langstaff Road, L4L 1A5, Vaughan, Ontario

Design	Designer
Drawn	Author
Checked	Checker
Client Project No.	YTO12 - P.21286
AE Project No.	YTO12 - 8584

CLIENT TEAM

Design Manager	
Layout Manager	
Civil, Site Survey, Landscaping Technical Lead	
Architectural & Structural Technical Lead	
Mech, Plumbing & Fire Protection Technical Lead	
Building Automation Systems (BAS) Technical Lead	
Electrical Technical Lead	
Electrical Power Management Systems (EPMS) Technical Lead	
Telecommunications / Network Technical Lead	
Security Design Manager	

DESIGN TEAM

Civil Engineering Lead	MICHAEL OLDHAM
Architectural Lead	ZENON RADEWYCH
Structural Engineering Lead	PHILLIP KWAN
Mechanical Engineering Lead	SHAUNAK PANDIT
Plumbing Engineering Lead	SHAUNAK PANDIT
Fire Protection Engineering Lead	MOHAMMAD DADGARDOUST
BAS Engineering Lead	PAUL HO
Electrical Engineering Lead	NASH MARTIS
Telecommunications Engineering Lead	TODD GRIMES
Security Systems Engineering Lead	MIRCEA BARBAT

Revisions

No.	Date	Description
3	2024.12.11	ISSUE 82 FOR SPA
7	2025.04.02	ISSUE 83 FOR SPA RESUBMISSION
8	2025.04.30	ISSUE 84 FOR COMMITTEE OF ADJUSTMENT

Registration

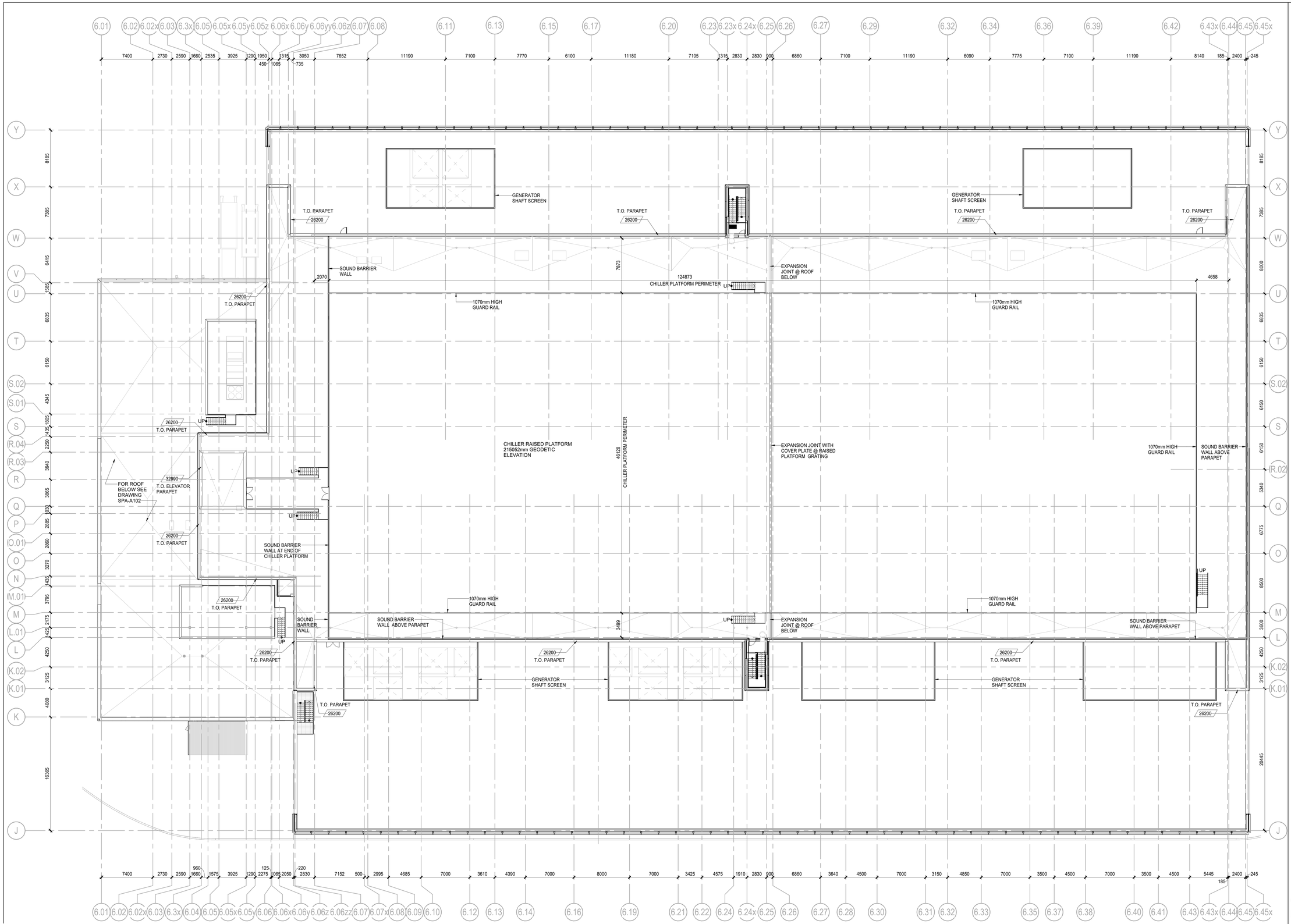
NOT FOR CONSTRUCTION

Package

Sheet Title/Number

ARCHITECTURAL - OVERALL ROOF PLAN

YTO12-SPA-A104



#	Zoning By-law 001-2021	Variance requested
1	The minimum number of parking spaces required is 239 spaces. **[Table 6-2]**	To permit a minimum of **147 parking spaces**.
2	The minimum number of loading spaces required for non-residential buildings with a Gross Floor Area between 10,000 square metres and 19,999 square metres is 1 Type A and 3 Type B loading spaces. **[Table 6-18]**	To permit a minimum of **3 loading spaces** (2 Type A and 1 Type B).

MEP & Structural Engineer
Suite 300,
125 Commerce Valley Dr W
Markham, Ontario, Canada
Tel: 416-499-3110

Architect / Landscape Architect
95 St Clair Ave W #1500
Toronto, Ontario, Canada
Tel: 416-961-4111

Civil / Geotechnical Engineer
100 Commerce Valley Dr W
Thornhill, ON L3T A1, Canada
Tel: 905-882-1100

Security Engineer
380 Wellington Street West
Toronto, ON M5V 1E3
Tel: 416.488.4425

Audio & Visual Engineer
1 World Wide Way
Maryland Heights, MO 63146
Tel 314.569.7000

YTO12 DATA CENTER

6100 Langstaff Road, L4L 1A5, Vaughan, Ontario

Design	Designer
Drawn	Author
Checked	Checker
Client Project No.	YTO12 - P.21286
AE Project No.	YTO12 - 8584

CLIENT TEAM

Design Manager	
Layout Manager	
Civil, Site Survey, Landscaping Technical Lead	
Architectural & Structural Technical Lead	
Mech, Plumbing & Fire Protection Technical Lead	
Building Automation Systems (BAS) Technical Lead	
Electrical Technical Lead	
Electrical Power Management Systems (EPMS) Technical Lead	
Telecommunications / Network Technical Lead	
Security Design Manager	

DESIGN TEAM

Civil Engineering Lead	MICHAEL OLDHAM
Architectural Lead	ZENON RADEWYCH
Structural Engineering Lead	PHILLIP KWAN
Mechanical Engineering Lead	SHAUNAK PANDIT
Plumbing Engineering Lead	SHAUNAK PANDIT
Fire Protection Engineering Lead	MOHAMMAD DADGARDOUST
BAS Engineering Lead	PAUL HO
Electrical Engineering Lead	NASH MARTIS
Telecommunications Engineering Lead	TODD GRIMES
Security Systems Engineering Lead	MIRCEA BARBAT

Revisions

No.	Date	Description
3	2024.12.11	ISSUE S2 FOR SPA
7	2025.04.02	ISSUE S3 FOR SPA RESUBMISSION
8	2025.04.30	ISSUE S4 FOR COMMITTEE OF ADJUSTMENT

Registration

NOT FOR CONSTRUCTION

Package

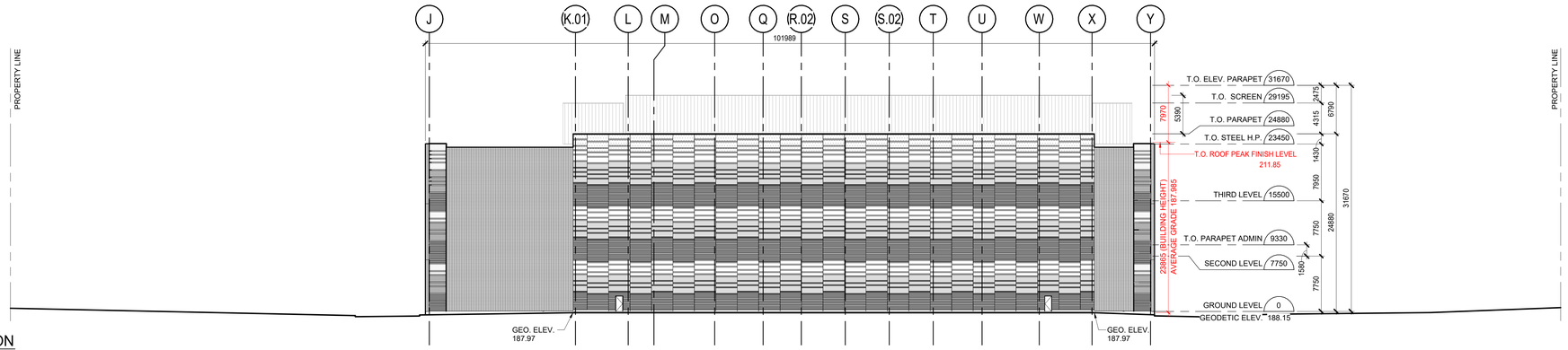
Sheet Title/Number

ARCHITECTURAL - OVERALL ROOFTOP CHILLER PLATFORM PLAN

YTO12-SPA-A105

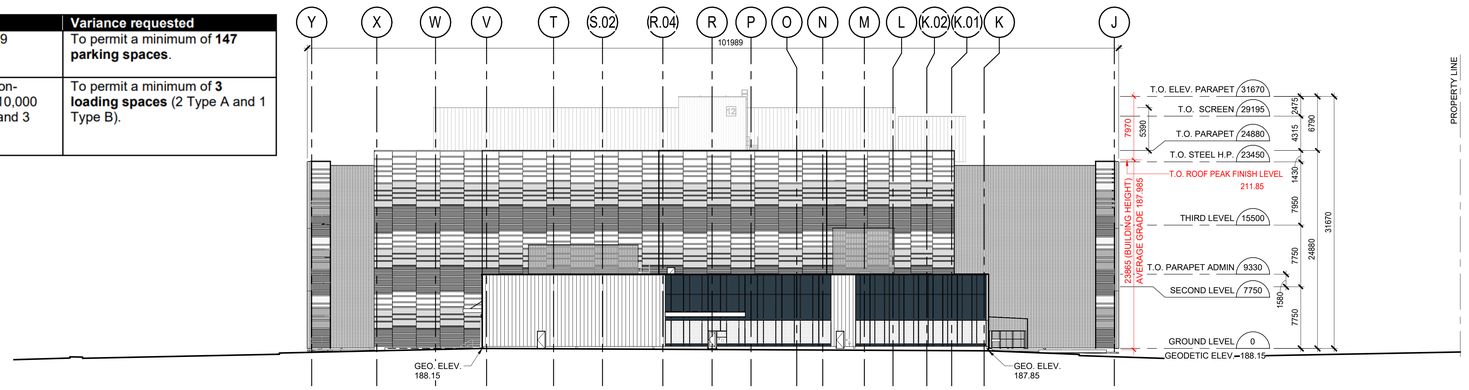
Autodesk Docs://YTO12/YTO12-ARCH-R25.rvt

2025-04-11 11:03:17 PM

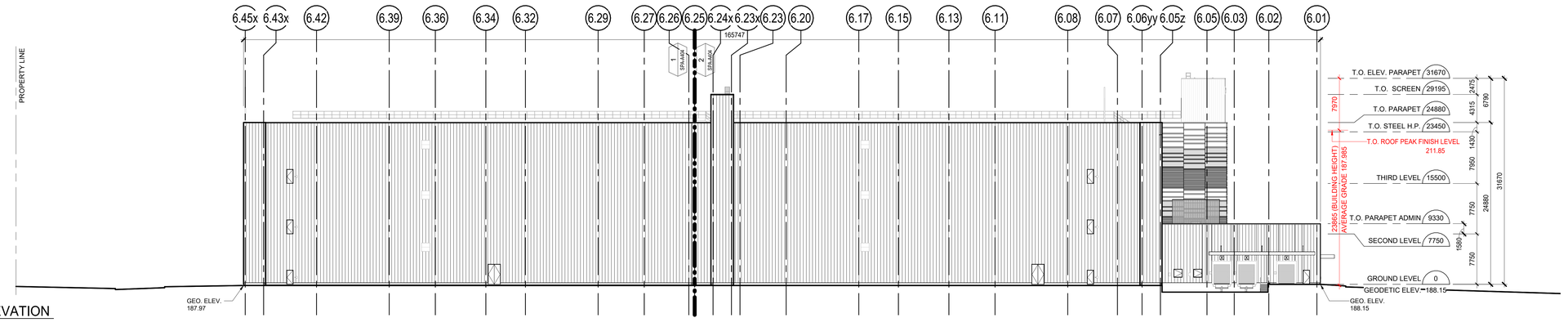


4 NORTH ELEVATION
SPA-A400 1:300

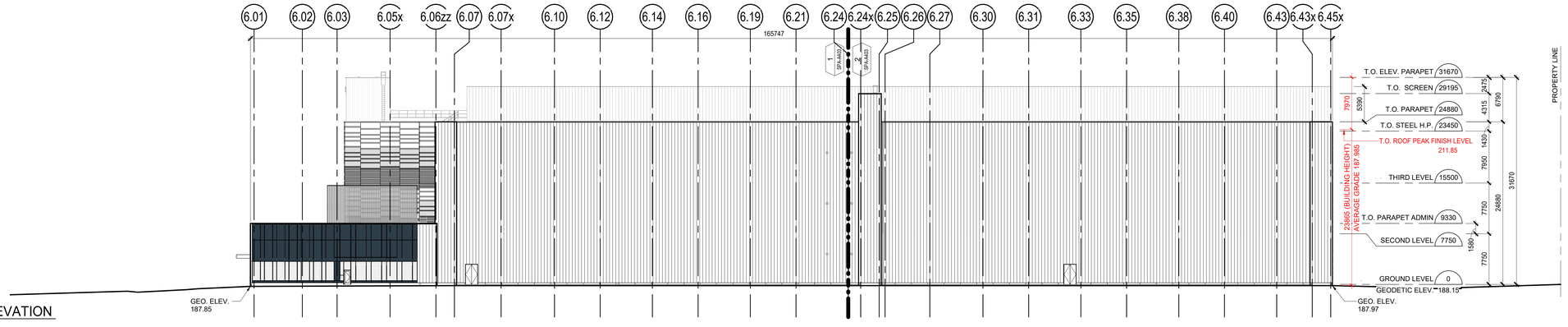
#	Zoning By-law 001-2021	Variance requested
1	The minimum number of parking spaces required is 239 spaces. **[Table 6-2]**	To permit a minimum of **147 parking spaces**.
2	The minimum number of loading spaces required for non-residential buildings with a Gross Floor Area between 10,000 square metres and 19,999 square metres is 1 Type A and 3 Type B loading spaces. **[Table 6-18]**	To permit a minimum of **3 loading spaces** (2 Type A and 1 Type B).



3 SOUTH ELEVATION
SPA-A400 1:300



2 WEST ELEVATION
SPA-A400 1:300



1 EAST ELEVATION
SPA-A400 1:300

MEP & Structural Engineer
Suite 300,
125 Commerce Valley Dr W
Markham, Ontario, Canada
Tel: 416-499-3110

Architect / Landscape Architect
95 St Clair Ave W #1500
Toronto, Ontario, Canada
Tel: 416-961-4111

Civil / Geotechnical Engineer
100 Commerce Valley Dr W
Thornhill, ON L3T A1, Canada
Tel: 905-882-1100

Security Engineer
380 Wellington Street West
Toronto, ON M5V 1E3
Tel: 416.488.4425

Audio & Visual Engineer
1 World Wide Way
Maryland Heights, MO 63146
Tel 314.569.7000

YTO12 DATA CENTER

6100 Langstaff Road, L4L 1A5, Vaughan, Ontario

Design	Designer
Drawn	Author
Checked	Checker
Client Project No.	YTO12 - P.21286
AE Project No.	YTO12 - 8584

CLIENT TEAM

Design Manager	
Layout Manager	
Civil, Site Survey, Landscaping Technical Lead	
Architectural & Structural Technical Lead	
Mech, Plumbing & Fire Protection Technical Lead	
Building Automation Systems (BAS) Technical Lead	
Electrical Technical Lead	
Electrical Power Management Systems (EPMS) Technical Lead	
Telecommunications / Network Technical Lead	
Security Design Manager	

DESIGN TEAM

Civil Engineering Lead	MICHAEL OLDHAM
Architectural Lead	ZENON RADEWYCH
Structural Engineering Lead	PHILLIP KWAN
Mechanical Engineering Lead	SHAUNAK PANDIT
Plumbing Engineering Lead	SHAUNAK PANDIT
Fire Protection Engineering Lead	MOHAMMAD DADGARDOUST
BAS Engineering Lead	PAUL HO
Electrical Engineering Lead	NASH MARTIS
Telecommunications Engineering Lead	TODD GRIMES
Security Systems Engineering Lead	MIRCEA BARBAT

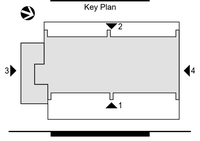
Revisions

No.	Date	Description
3	2024.12.11	ISSUE S2 FOR SPA
7	2025.04.02	ISSUE S3 FOR SPA RESUBMISSION
8	2025.04.30	ISSUE S4 FOR COMMITTEE OF ADJUSTMENT

Registration

NOT FOR CONSTRUCTION

Key Plan



Package

Sheet Title/Number

ARCHITECTURAL - OVERALL BUILDING ELEVATIONS

YTO12-SPA-A400

Autodesk Docs://YTO12/YTO12-ARCH-R25.rvt

2025-04-11 11:05:28 PM

#	Zoning By-law 001-2021	Variance requested
1	The minimum number of parking spaces required is 239 spaces. **[Table 6-2]**	To permit a minimum of **147 parking spaces**.
2	The minimum number of loading spaces required for non-residential buildings with a Gross Floor Area between 10,000 square metres and 19,999 square metres is 1 Type A and 3 Type B loading spaces. **[Table 6-18]**	To permit a minimum of **3 loading spaces** (2 Type A and 1 Type B).

GLAZING LEGEND

- AREA OF TREATED GLAZING: SHADED GLAZING (SPANDREL PANELS)
- AREA OF TREATED GLAZING: VISUAL MARKERS W/O INTERIOR BLINDS / ROLLER SHADES
- AREA OF TREATED GLAZING: VISUAL MARKERS W/ INTERIOR BLINDS / ROLLER SHADES
- AREA OF UNTREATED GLAZING

TGS - BIRD FRIENDLY DESIGN STATISTICS

	ELEVATION FIRST 16m* ABOVE GRADE					
	NORTH	SOUTH	EAST	WEST	TOTAL (m²)	TOTAL (%)
GLAZING AREA (m²)	N/A	226	N/A	329	555	100%
UNTREATED AREA (m²)	N/A	1	N/A	1	2	0.4%
TREATED AREA (m²)	N/A	225	N/A	328	553	**99.6%**
- SHADED (m²)	N/A	155	N/A	219	374	67.3%
- VISUAL MARKERS W/O BLINDS (m²)	N/A	33	N/A	19	52	9.4%
- VISUAL MARKERS W/ BLINDS (m²)	N/A	37	N/A	90	127	22.9%
FOR SITE PLAN APPROVAL APPLICATIONS RECEIVED BEFORE JANUARY 1, 2020, TREAT THE FIRST 12m ABOVE GRADE.						
	ELEVATION FIRST 4m ABOVE ROOFTOP VEGETATION*					
	NORTH (FLOOR #S)	SOUTH (FLOOR #S)	EAST (FLOOR #S)	WEST (FLOOR #S)	TOTAL (m²)	TOTAL (%)
GLAZING AREA (m²)	N/A	N/A	N/A	N/A	N/A	N/A
UNTREATED AREA (m²)	N/A	N/A	N/A	N/A	N/A	N/A
TREATED AREA (m²)	N/A	N/A	N/A	N/A	N/A	N/A
- LOW REFLACTANCE OPAQUE GLASS (m²)						
- VISUAL MARKERS (m²)						
- SHADED (m²)						
INCLUDE THIS SECTION ONLY WHEN APPLICABLE AND PROVIDE RELEVANT FLOOR NUMBERS FOR REFERENCE						
BUILDING WINDOW : WALL RATIO	1:17					

Bird Safe Treatment Exterior Specification Checklist

Applicant to include checklist on Elevation Drawing(s) at first site plan submission. Drawing(s) to be stamped and signed by an OAA member.

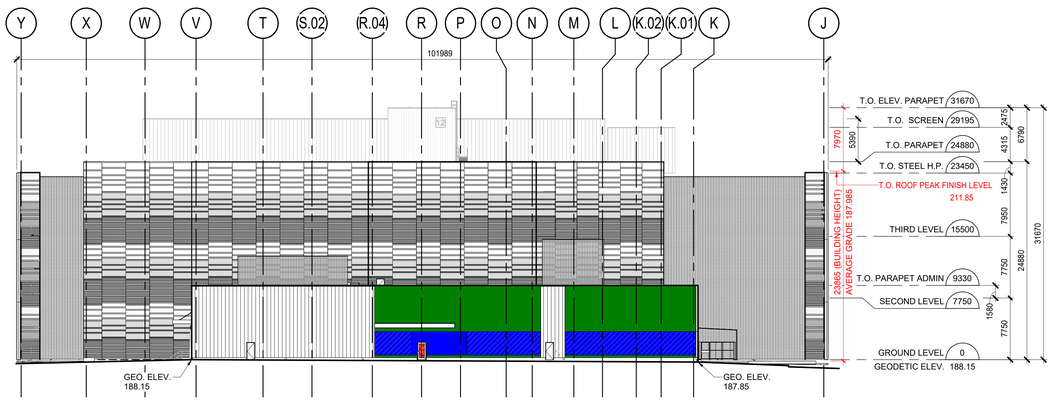
Mandatory Primary Treatments for all site and draft plan applications.

At Grade Condition (check to confirm the below is applied)

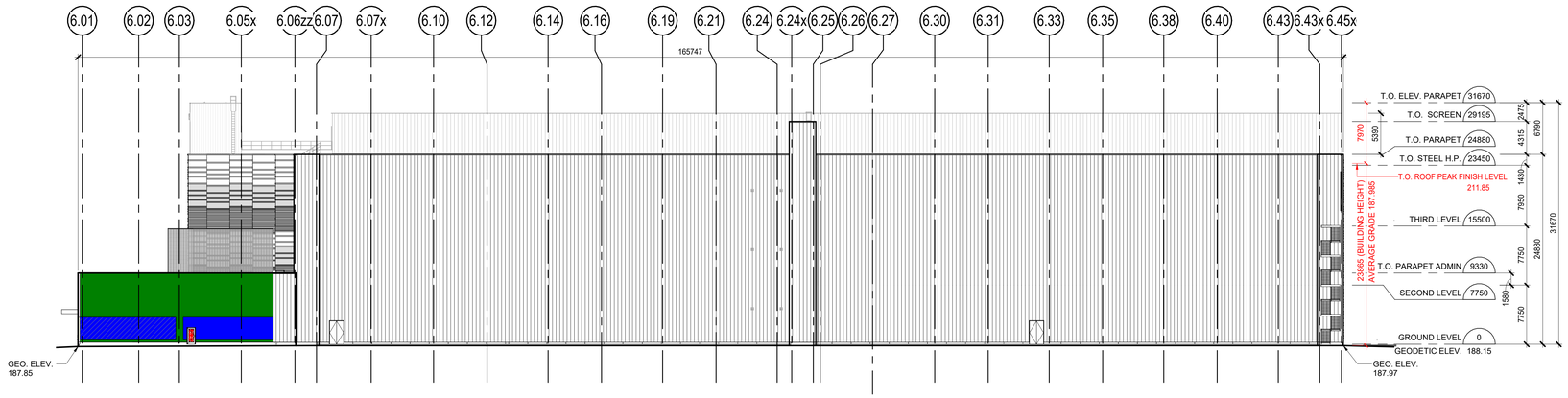
- ☑ Bird safe treatment (s) are applied on minimum 90% of contiguous glass panel area, and within 16m from finished grade or to the height of the adjacent mature tree canopy, whichever is greater.
- ☑ Treatments are applied to all glass panel areas that creates fly-through conditions and are adjacent to natural heritage features.
- ☑ Treatments are identified and redlined on the elevation drawing(s)

Roof Landscape Conditions (check to confirm the below is applied)

- ☐ Development contains no glass panel within 16m from roof level finished grade.
- ☐ If glazing is adjacent to green roofs and/or rooftop vegetation, bird safe treatment is applied at a height of 4m from the surface of the green roof or the height of the adjacent mature vegetation, whichever is greater



2 SPA-A401 SOUTH ELEVATION - BIRD FRIENDLY DESIGN
1 : 300



1 SPA-A401 EAST ELEVATION - BIRD FRIENDLY DESIGN
1 : 300

MEP & Structural Engineer
Suite 300,
125 Commerce Valley Dr W
Markham, Ontario, Canada
Tel: 416-499-3110

Architect / Landscape Architect
95 St Clair Ave W #1500
Toronto, Ontario, Canada
Tel: 416-961-4111

Civil / Geotechnical Engineer
100 Commerce Valley Dr W
Thornhill, ON L3T A1, Canada
Tel: 905-882-1100

Security Engineer
380 Wellington Street West
Toronto, ON M5V 1E3
Tel: 416.488.4425

Audio & Visual Engineer
1 World Wide Way
Maryland Heights, MO 63146
Tel 314.569.7000

YTO12 DATA CENTER

6100 Langstaff Road, L4L 1A5, Vaughan, Ontario

Design	Designer
Drawn	Author
Checked	Checker
Client Project No.	YTO12 - P.21286
AE Project No.	YTO12 - 8584

CLIENT TEAM

Design Manager	
Layout Manager	
Civil, Site Survey, Landscaping Technical Lead	
Architectural & Structural Technical Lead	
Mech, Plumbing & Fire Protection Technical Lead	
Building Automation Systems (BAS) Technical Lead	
Electrical Technical Lead	
Electrical Power Management Systems (EPMS) Technical Lead	
Telecommunications / Network Technical Lead	
Security Design Manager	

DESIGN TEAM

Civil Engineering Lead	MICHAEL OLDHAM
Architectural Lead	ZENON RADEWYCH
Structural Engineering Lead	PHILLIP KWAN
Mechanical Engineering Lead	SHAUNAK PANDIT
Plumbing Engineering Lead	SHAUNAK PANDIT
Fire Protection Engineering Lead	MOHAMMAD DADGARDOUST
BAS Engineering Lead	PAUL HO
Electrical Engineering Lead	NASH MARTIS
Telecommunications Engineering Lead	TODD GRIMES
Security Systems Engineering Lead	MIRCEA BARBAT

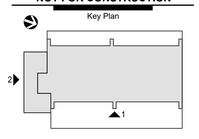
Revisions

No.	Date	Description
3	2024.12.11	ISSUE S2 FOR SPA
7	2025.04.02	ISSUE S3 FOR SPA RESUBMISSION
8	2025.04.30	ISSUE S4 FOR COMMITTEE OF ADJUSTMENT

Registration

NOT FOR CONSTRUCTION

Key Plan



Package

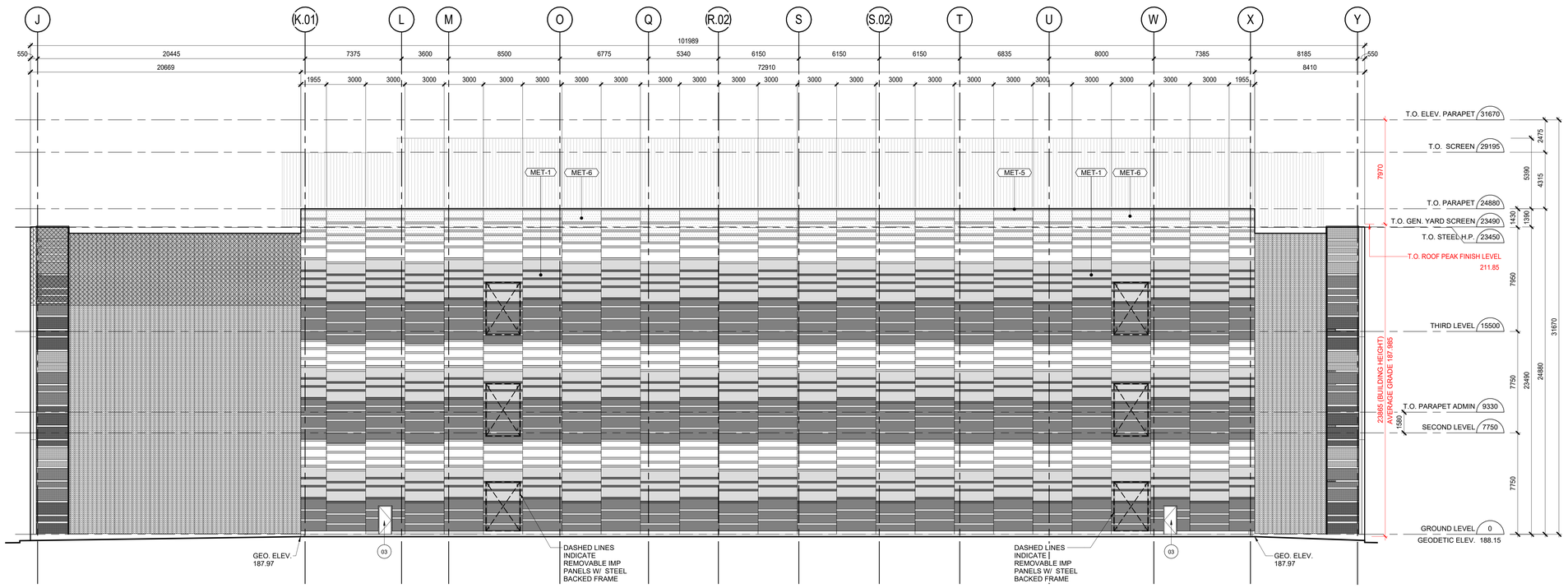
Sheet Title/Number

ARCHITECTURAL - OVERALL BUILDING ELEVATIONS - BIRD FRIENDLY DESIGN

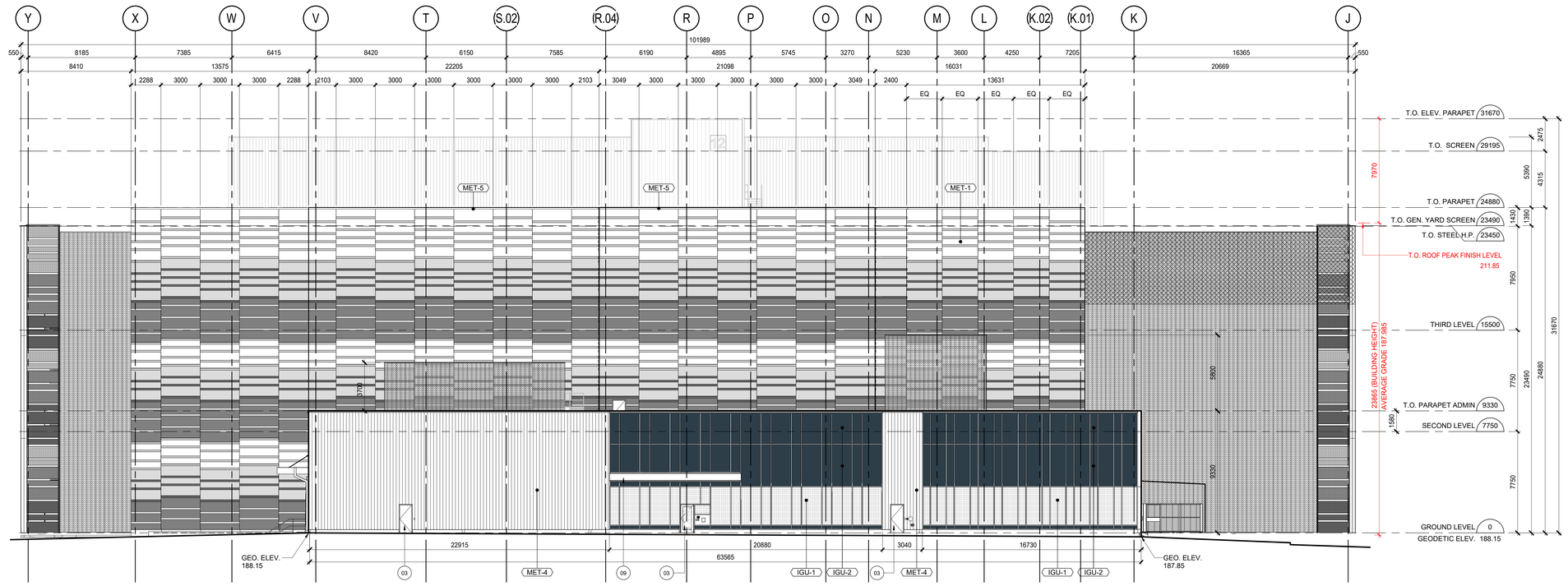
YTO12-SPA-A401

Autodesk Docs://YTO12/YTO12-ARCH-R25.rvt

2025-04-11 11:08:37 PM



2 ENLGARGED ELEVATION - NORTH
SPA-A402 1 : 150



1 ENLGARGED ELEVATION - SOUTH
SPA-A402 1 : 150

EXTERIOR ELEVATION LEGEND

- IGU-1 DOUBLE GLAZED VISION PANEL
- WITH FRIT PATTERN
- IGU-2 DOUBLE GLAZED SPANDREL PANEL
- WITHOUT FRIT PATTERN
- MET-1 3mm PREFINISHED ALUM. PANEL
- COLOR: LIGHT GREY
- COLOR: MEDIUM GREY
- COLOR: DARK GREY
- MET-2 PERFORATED METAL PANEL
- COLOR: LIGHT GREY
- COLOR: MEDIUM GREY
- COLOR: DARK GREY
- MET-3 CORRUGATED PERFORATED METAL PANEL
- MET-4 CORRUGATED METAL PANEL
- MET-5 PREFINISHED METAL FLASHING
- MET-6 ACOUSTIC BARRIER PANEL WITH FINS
- COLOR: LIGHT GREY
- MET-7 ACOUSTIC BARRIER PANEL WITH PERFORATED CORRUGATED METAL PANEL CLADDING
- COLOR: LIGHT GREY

GLAZING TYPES

TYPE	DESCRIPTION
GL-2	CLEAR TEMPERED SAFETY GLASS
GL-4	TEMPERED SAFETY INSULATED GLASS UNIT WITH LOW-E COATING
GL-5	
GL-8	SPANDREL GLASS
GL-10	

#	Zoning By-law 001-2021	Variance requested
1	The minimum number of parking spaces required is 239 spaces. **[Table 6-2]**	To permit a minimum of **147 parking spaces**.
2	The minimum number of loading spaces required for non-residential buildings with a Gross Floor Area between 10,000 square metres and 19,999 square metres is 1 Type A and 3 Type B loading spaces. **[Table 6-18]**	To permit a minimum of **3 loading spaces** (2 Type A and 1 Type B).

ELEVATION NOTES

01 OVERHEAD DOOR
02 GARBAGE COMPACTOR DOOR
03 EXTERIOR DOOR
04 ACOUSTICALLY ENCLOSED DIESEL GENERATORS ON CONCRETE PADS
05 TRANSFORMERS ON CONCRETE PADS
06 SWITCHGEARS ON CONCRETE PADS
07 LOAD BANK SWITCHGEARS ON CONCRETE PADS
08 GARBAGE COMPACTOR
09 CANOPY
10 WIRE FENCE
11 PEDESTRIAN SWING GATE
12 ELECTRICAL / MECHANICAL SERVICE
13 OPENING FOR ELECTRICAL SERVICE
14 NORTH-SOUTH ORIENTED AIR SHAFT WITH MAINTENANCE PLATFORM AND STAIRCASE
15 EAST-WEST ORIENTED AIR SHAFT WITH MAINTENANCE PLATFORM AND STAIRCASE
16 EXTERIOR BUILDING SIGNANGE, REFER TO DETAIL 7/A-S-015-0
17 EMERGENCY GENERATOR AREA FENCE, SEE DETAIL
18 EMERGENCY SCUPPER, SEE DETAIL
19 LOUVER, REFER TO MECHANICAL

MEP & Structural Engineer
Suite 300,
125 Commerce Valley Dr W
Markham, Ontario, Canada
Tel: 416-499-3110

Architect / Landscape Architect
95 St Clair Ave W #1500
Toronto, Ontario, Canada
Tel: 416-961-4111

Civil / Gectechnical Engineer
100 Commerce Valley Dr W
Thornhill, ON L3T A1, Canada
Tel: 905-882-1100

Security Engineer
380 Wellington Street West
Toronto, ON M5V 1E3
Tel: 416.488.4425

Audio & Visual Engineer
1 World Wide Way
Maryland Heights, MO 63146
Tel 314.569.7000

YTO12 DATA CENTER

6100 Langstaff Road, L4L 1A5, Vaughan, Ontario

Design	Designer
Drawn	Author
Checked	Checker
Client Project No.	YTO12 - P.21286
AE Project No.	YTO12 - 8584

CLIENT TEAM

Design Manager	
Layout Manager	
Civil, Site Survey, Landscaping Technical Lead	
Architectural & Structural Technical Lead	
Mech, Plumbing & Fire Protection Technical Lead	
Building Automation Systems (BAS) Technical Lead	
Electrical Technical Lead	
Electrical Power Management Systems (EPMS) Technical Lead	
Telecommunications / Network Technical Lead	
Security Design Manager	

DESIGN TEAM

Civil Engineering Lead	MICHAEL OLDHAM
Architectural Lead	ZENON RADEWYCH
Structural Engineering Lead	PHILLIP KWAN
Mechanical Engineering Lead	SHAUNAK PANDIT
Plumbing Engineering Lead	SHAUNAK PANDIT
Fire Protection Engineering Lead	MOHAMMAD DADGARDOUST
BAS Engineering Lead	PAUL HO
Electrical Engineering Lead	NASH MARTIS
Telecommunications Engineering Lead	TODD GRIMES
Security Systems Engineering Lead	MIRCEA BARBAT

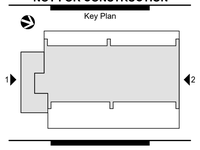
Revisions

No.	Date	Description
5	2024.12.11	ISSUE S2 FOR SPA
7	2025.04.02	ISSUE S3 FOR SPA RESUBMISSION
8	2025.04.30	ISSUE S4 FOR COMMITTEE OF ADJUSTMENT

Registration

NOT FOR CONSTRUCTION

Key Plan

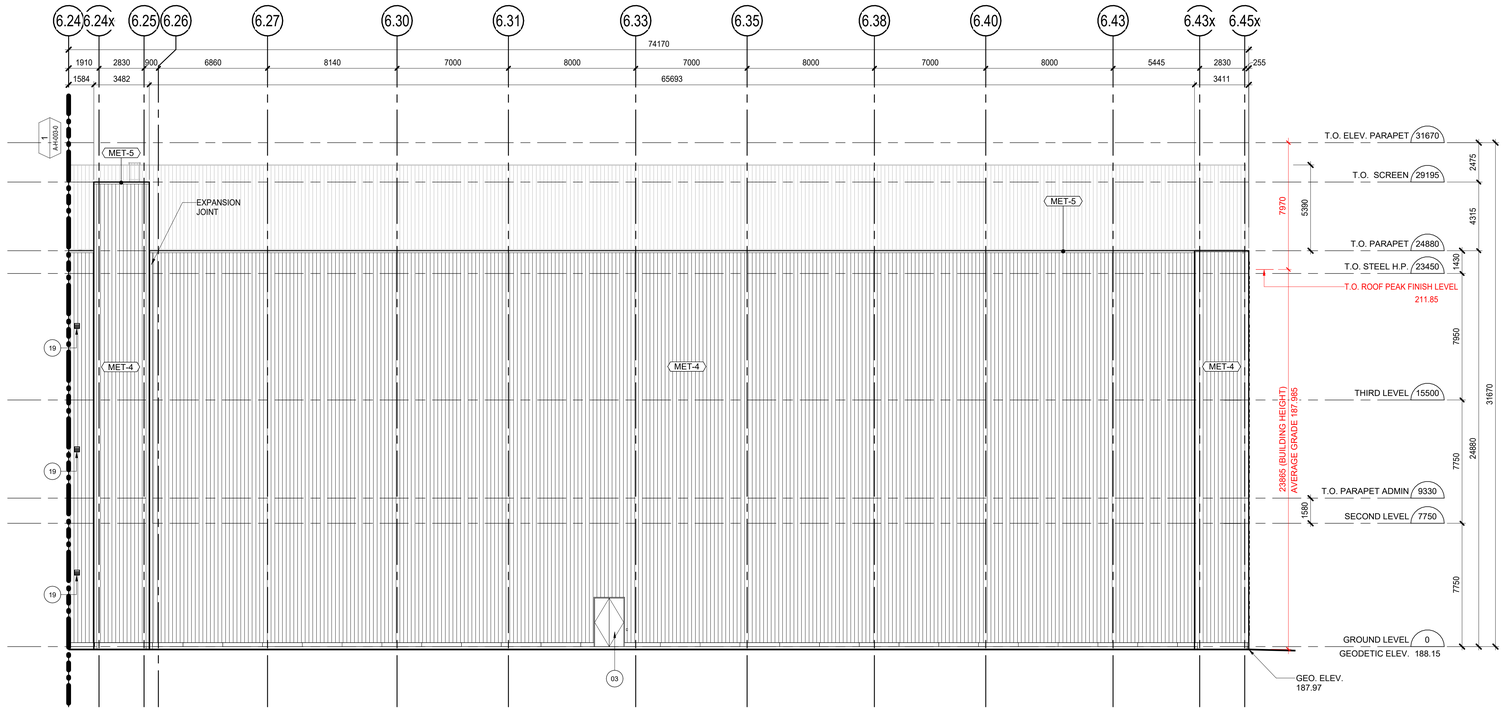


Package

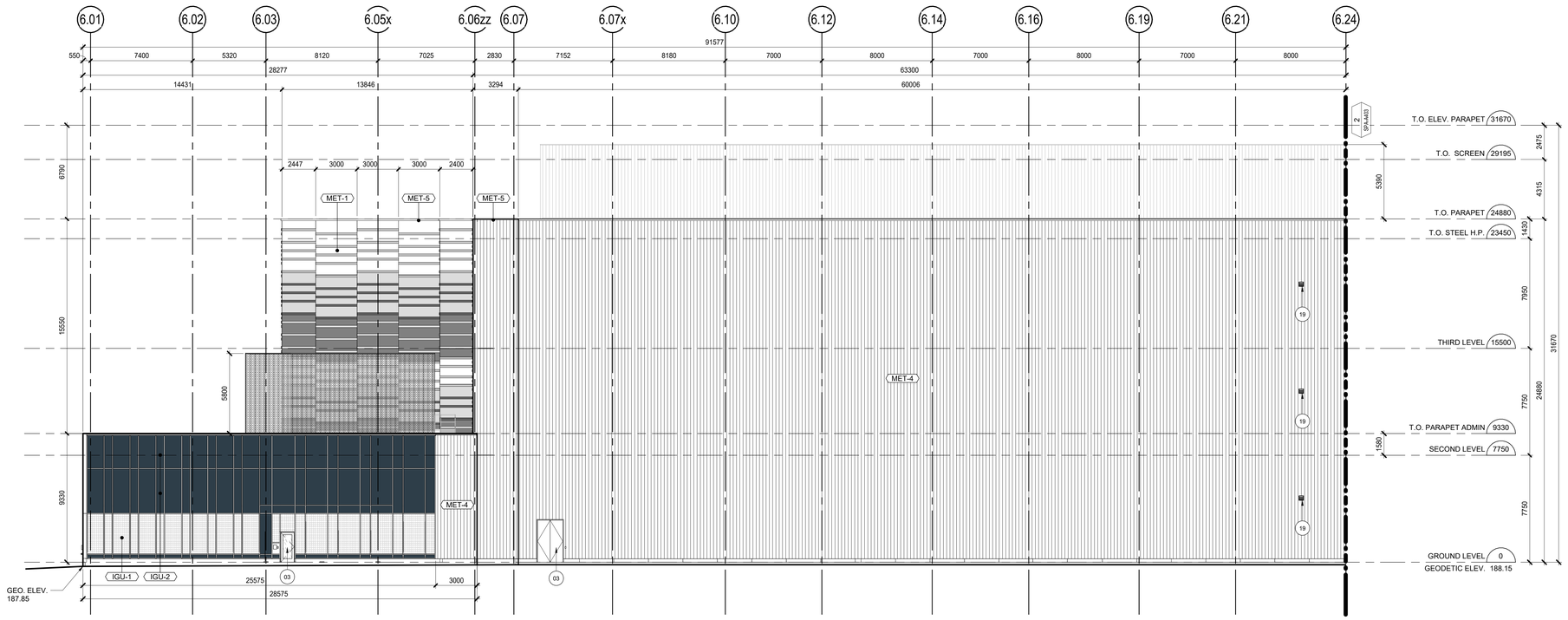
Sheet Title/Number

ARCHITECTURAL - SOUTH & NORTH - ENLARGED ELEVATION

YTO12-SPA-A402



2 ENLARGED ELEVATION - EAST
SPA-A403 1 : 150



1 ENLARGED ELEVATION - EAST
SPA-A403 1 : 150

EXTERIOR ELEVATION LEGEND

- IGU-1 DOUBLE GLAZED VISION PANEL
- WITH FRIT PATTERN
- IGU-2 DOUBLE GLAZED SPANDREL PANEL
- WITHOUT FRIT PATTERN
- MET-1 3mm PREFINISHED ALUM. PANEL
- COLOR: LIGHT GREY
- COLOR: MEDIUM GREY
- COLOR: DARK GREY
- MET-2 PERFORATED METAL PANEL
- COLOR: LIGHT GREY
- COLOR: MEDIUM GREY
- COLOR: DARK GREY
- MET-3 CORRUGATED PERFORATED METAL PANEL
- MET-4 CORRUGATED METAL PANEL
- MET-5 PREFINISHED METAL FLASHING
- MET-6 ACOUSTIC BARRIER PANEL WITH FINS
- COLOR: LIGHT GREY
- MET-7 ACOUSTIC BARRIER PANEL WITH PERFORATED CORRUGATED METAL PANEL CLADDING
- COLOR: LIGHT GREY

GLAZING TYPES

TYPE	DESCRIPTION
GL-2	CLEAR TEMPERED SAFETY GLASS
GL-4	TEMPERED SAFETY INSULATED GLASS UNIT WITH LOW-E COATING
GL-5	
GL-8	SPANDREL GLASS
GL-10	

ELEVATION NOTES

01 OVERHEAD DOOR
02 GARBAGE COMPACTOR DOOR
03 EXTERIOR DOOR
04 ACOUSTICALLY ENCLOSED DIESEL GENERATORS ON CONCRETE PADS
05 TRANSFORMERS ON CONCRETE PADS
06 SWITCHGEARS ON CONCRETE PADS
07 LOAD BANK SWITCHGEARS ON CONCRETE PADS
08 GARBAGE COMPACTOR
09 CANOPY
10 WIRE FENCE
11 PEDESTRIAN SWING GATE
12 ELECTRICAL / MECHANICAL SERVICE
13 OPENING FOR ELECTRICAL SERVICE
14 NORTH-SOUTH ORIENTED AIR SHAFT WITH MAINTENANCE PLATFORM AND STAIRCASE
15 EAST-WEST ORIENTED AIR SHAFT WITH MAINTENANCE PLATFORM AND STAIRCASE
16 EXTERIOR BUILDING SIGNANGE, REFER TO DETAIL 7/A-S-015-0
17 EMERGENCY GENERATOR AREA FENCE, SEE DETAIL
18 EMERGENCY SCUPPER, SEE DETAIL
19 LOUVER, REFER TO MECHANICAL

#	Zoning By-law 001-2021	Variance requested
1	The minimum number of parking spaces required is 239 spaces. **[Table 6-2]**	To permit a minimum of **147 parking spaces**.
2	The minimum number of loading spaces required for non-residential buildings with a Gross Floor Area between 10,000 square metres and 19,999 square metres is 1 Type A and 3 Type B loading spaces. **[Table 6-18]**	To permit a minimum of **3 loading spaces** (2 Type A and 1 Type B).

MEP & Structural Engineer
Suite 300,
125 Commerce Valley Dr W
Markham, Ontario, Canada
Tel: 416-499-3110

Architect / Landscape Architect
95 St Clair Ave W #1500
Toronto, Ontario, Canada
Tel: 416-961-4111

Civil / Geotechnical Engineer
100 Commerce Valley Dr W
Thornhill, ON L3T A1, Canada
Tel: 905-882-1100

Security Engineer
380 Wellington Street West
Toronto, ON M5V 1E3
Tel: 416.488.4425

Audio & Visual Engineer
1 World Wide Way
Maryland Heights, MO 63146
Tel 314.569.7000

YTO12 DATA CENTER

6100 Langstaff Road, L4L 1A5, Vaughan, Ontario

Design	Designer
Drawn	Author
Checked	Checker
Client Project No.	YTO12 - P.21286
AE Project No.	YTO12 - 8584

CLIENT TEAM

Design Manager	
Layout Manager	
Civil, Site Survey, Landscaping Technical Lead	
Architectural & Structural Technical Lead	
Mech, Plumbing & Fire Protection Technical Lead	
Building Automation Systems (BAS) Technical Lead	
Electrical Technical Lead	
Electrical Power Management Systems (EPMS) Technical Lead	
Telecommunications / Network Technical Lead	
Security Design Manager	

DESIGN TEAM

Civil Engineering Lead	MICHAEL OLDHAM
Architectural Lead	ZENON RADEWYCH
Structural Engineering Lead	PHILLIP KWAN
Mechanical Engineering Lead	SHAUNAK PANDIT
Plumbing Engineering Lead	SHAUNAK PANDIT
Fire Protection Engineering Lead	MOHAMMAD DADGARDOUST
BAS Engineering Lead	PAUL HO
Electrical Engineering Lead	NASH MARTIS
Telecommunications Engineering Lead	TODD GRIMES
Security Systems Engineering Lead	MIRCEA BARBAT

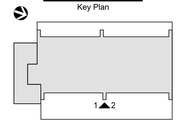
Revisions

No.	Date	Description
5	2024.12.11	ISSUE S2 FOR SPA
7	2025.04.02	ISSUE S3 FOR SPA RESUBMISSION
8	2025.04.30	ISSUE S4 FOR COMMITTEE OF ADJUSTMENT

Registration

NOT FOR CONSTRUCTION

Key Plan



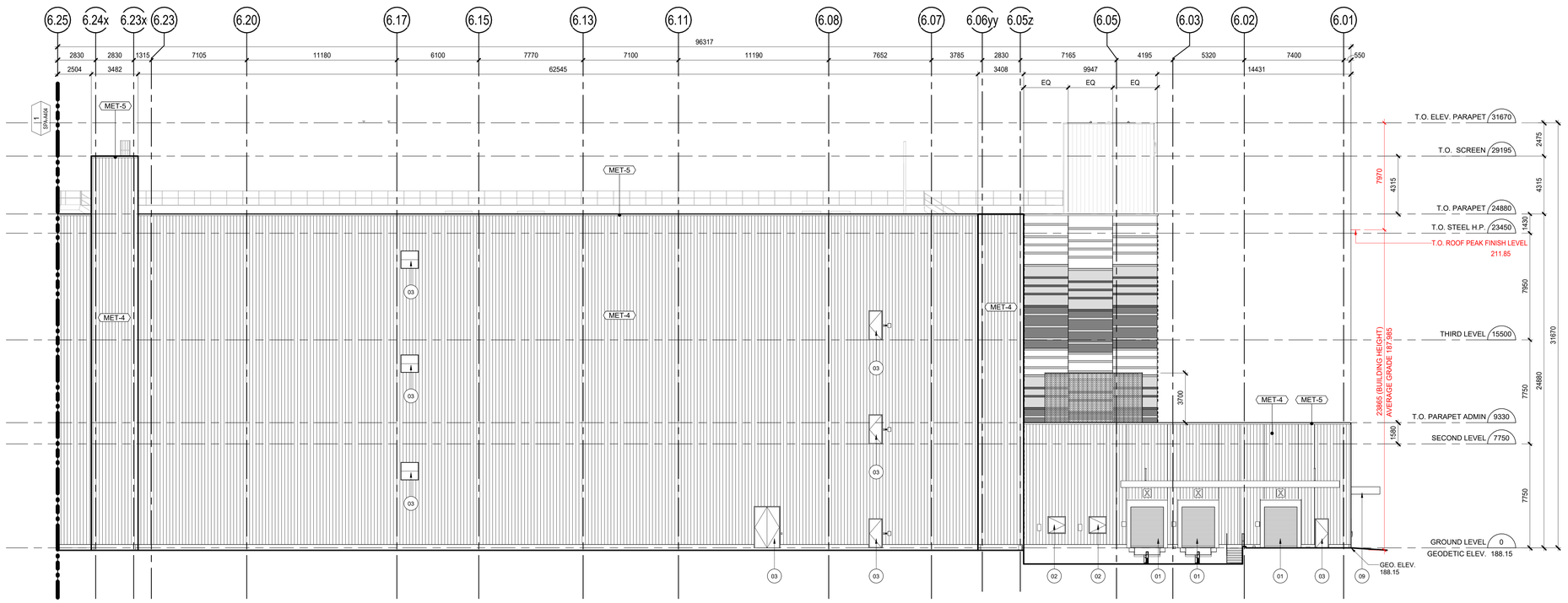
Package

Sheet Title/Number

ARCHITECTURAL - EAST - ENLARGED ELEVATION

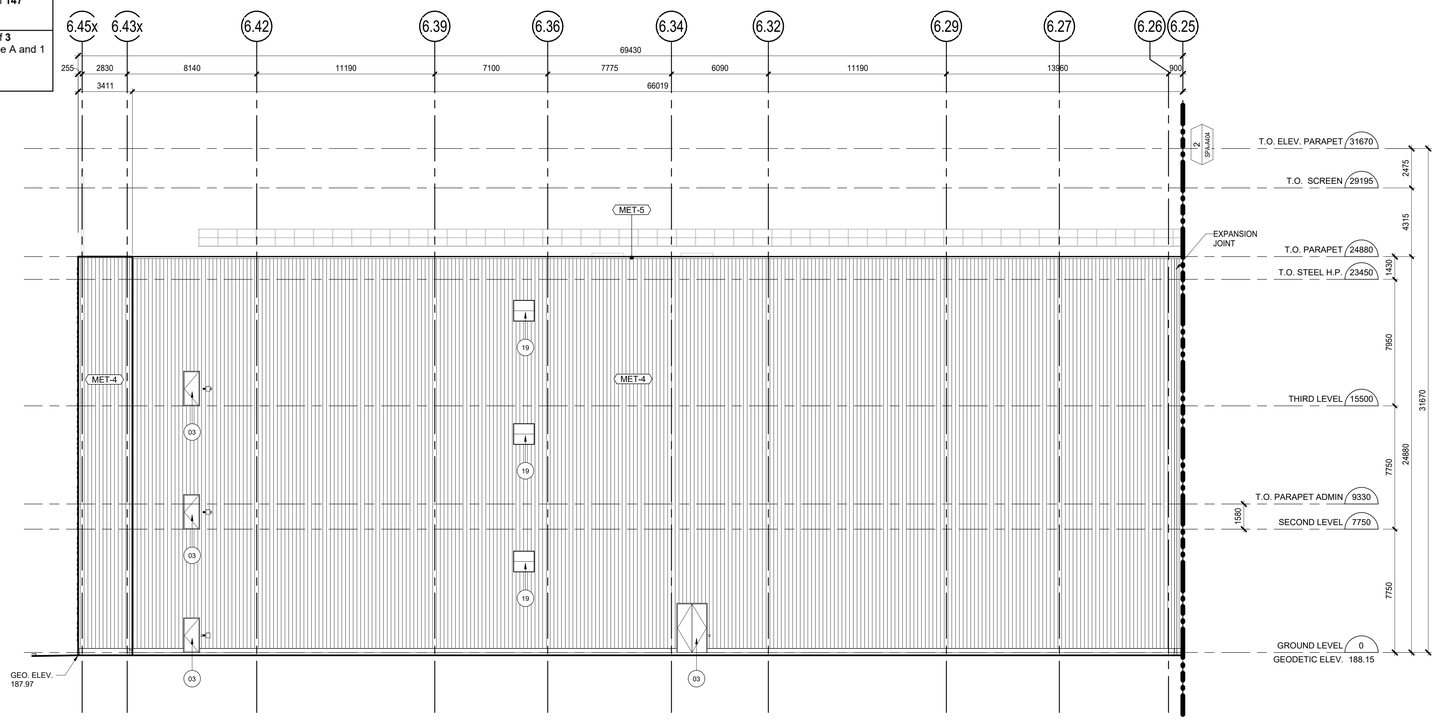
YTO12-SPA-A403

Autodesk Docs://YTO12/YTO12-ARCH-R25.rvt
2025-04-11 11:12:51 PM



2 ENLARGED ELEVATION - WEST
SPA-A404 1:150

#	Zoning By-law 001-2021	Variance requested
1	The minimum number of parking spaces required is 239 spaces. **[Table 6-2]**	To permit a minimum of **147 parking spaces**.
2	The minimum number of loading spaces required for non-residential buildings with a Gross Floor Area between 10,000 square metres and 19,999 square metres is 1 Type A and 3 Type B loading spaces. **[Table 6-18]**	To permit a minimum of **3 loading spaces** (2 Type A and 1 Type B).



1 ENLARGE ELEVATION - WEST
SPA-A404 1:150

EXTERIOR ELEVATION LEGEND

- IGU-1 DOUBLE GLAZED VISION PANEL
  WITH FRIT PATTERN
- IGU-2 DOUBLE GLAZED SPANDREL PANEL
  WITHOUT FRIT PATTERN
- MET-1 3mm PREFINISHED ALUM. PANEL
  COLOR: LIGHT GREY
  COLOR: MEDIUM GREY
  COLOR: DARK GREY
- MET-2 PERFORATED METAL PANEL
  COLOR: LIGHT GREY
  COLOR: MEDIUM GREY
  COLOR: DARK GREY
- MET-3 CORRUGATED PERFORATED METAL PANEL
- MET-4 CORRUGATED METAL PANEL
- MET-5 PREFINISHED METAL FLASHING
- MET-6 ACOUSTIC BARRIER PANEL WITH FINS
  COLOR: LIGHT GREY
- MET-7 ACOUSTIC BARRIER PANEL WITH PERFORATED CORRUGATED METAL PANEL CLADDING
  COLOR: LIGHT GREY

GLAZING TYPES

TYPE	DESCRIPTION
GL-2	CLEAR TEMPERED SAFETY GLASS
GL-4	TEMPERED SAFETY INSULATED GLASS UNIT WITH LOW-E COATING
GL-5	
GL-8	SPANDREL GLASS
GL-10	

ELEVATION NOTES

01 OVERHEAD DOOR
02 GARBAGE COMPACTOR DOOR
03 EXTERIOR DOOR
04 ACOUSTICALLY ENCLOSED DIESEL GENERATORS ON CONCRETE PADS
05 TRANSFORMERS ON CONCRETE PADS
06 SWITCHGEARS ON CONCRETE PADS
07 LOAD BANK SWITCHGEARS ON CONCRETE PADS
08 GARBAGE COMPACTOR
09 CANOPY
10 WIRE FENCE
11 PEDESTRIAN SWING GATE
12 ELECTRICAL / MECHANICAL SERVICE
13 OPENING FOR ELECTRICAL SERVICE
14 NORTH-SOUTH ORIENTED AIR SHAFT WITH MAINTENANCE PLATFORM AND STAIRCASE
15 EAST-WEST ORIENTED AIR SHAFT WITH MAINTENANCE PLATFORM AND STAIRCASE
16 EXTERIOR BUILDING SIGNANGE, REFER TO DETAIL 7/A-S-015-0
17 EMERGENCY GENERATOR AREA FENCE, SEE DETAIL
18 EMERGENCY SCUPPER, SEE DETAIL
19 LOUVER, REFER TO MECHANICAL

MEP & Structural Engineer
Suite 300,
125 Commerce Valley Dr W
Markham, Ontario, Canada
Tel: 416-499-3110

Architect / Landscape Architect
95 St Clair Ave W #1500
Toronto, Ontario, Canada
Tel: 416-961-4111

Civil / Geotechnical Engineer
100 Commerce Valley Dr W
Thornhill, ON L3T A1, Canada
Tel: 905-882-1100

Security Engineer
380 Wellington Street West
Toronto, ON M5V 1E3
Tel: 416.488.4425

Audio & Visual Engineer
1 World Wide Way
Maryland Heights, MO 63146
Tel 314.569.7000

YTO12 DATA CENTER

6100 Langstaff Road, L4L 1A5, Vaughan, Ontario

Design	Designer
Drawn	Author
Checked	Checker
Client Project No.	YTO12 - P.21286
AE Project No.	YTO12 - 8584

CLIENT TEAM

Design Manager	
Layout Manager	
Civil, Site Survey, Landscaping Technical Lead	
Architectural & Structural Technical Lead	
Mech, Plumbing & Fire Protection Technical Lead	
Building Automation Systems (BAS) Technical Lead	
Electrical Technical Lead	
Electrical Power Management Systems (EPMS) Technical Lead	
Telecommunications / Network Technical Lead	
Security Design Manager	

DESIGN TEAM

Civil Engineering Lead	MICHAEL OLDHAM
Architectural Lead	ZENON RADEWYCH
Structural Engineering Lead	PHILLIP KWAN
Mechanical Engineering Lead	SHAUNAK PANDIT
Plumbing Engineering Lead	SHAUNAK PANDIT
Fire Protection Engineering Lead	MOHAMMAD DADGARDOUST
BAS Engineering Lead	PAUL HO
Electrical Engineering Lead	NASH MARTIS
Telecommunications Engineering Lead	TODD GRIMES
Security Systems Engineering Lead	MIRCEA BARBAT

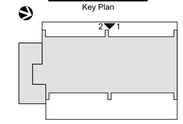
Revisions

No.	Date	Description
3	2024.12.11	ISSUE S2 FOR SPA
7	2025.04.02	ISSUE S3 FOR SPA RESUBMISSION
8	2025.04.30	ISSUE S4 FOR COMMITTEE OF ADJUSTMENT

Registration

NOT FOR CONSTRUCTION

Key Plan



Package

Sheet Title/Number

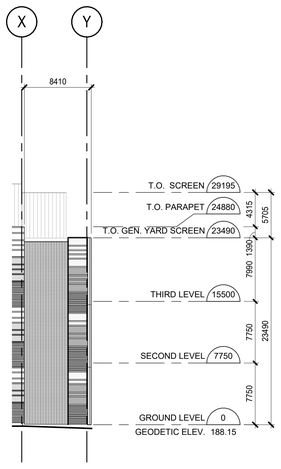
ARCHITECTURAL - WEST - ENLARGED ELEVATION

YTO12-SPA-A404

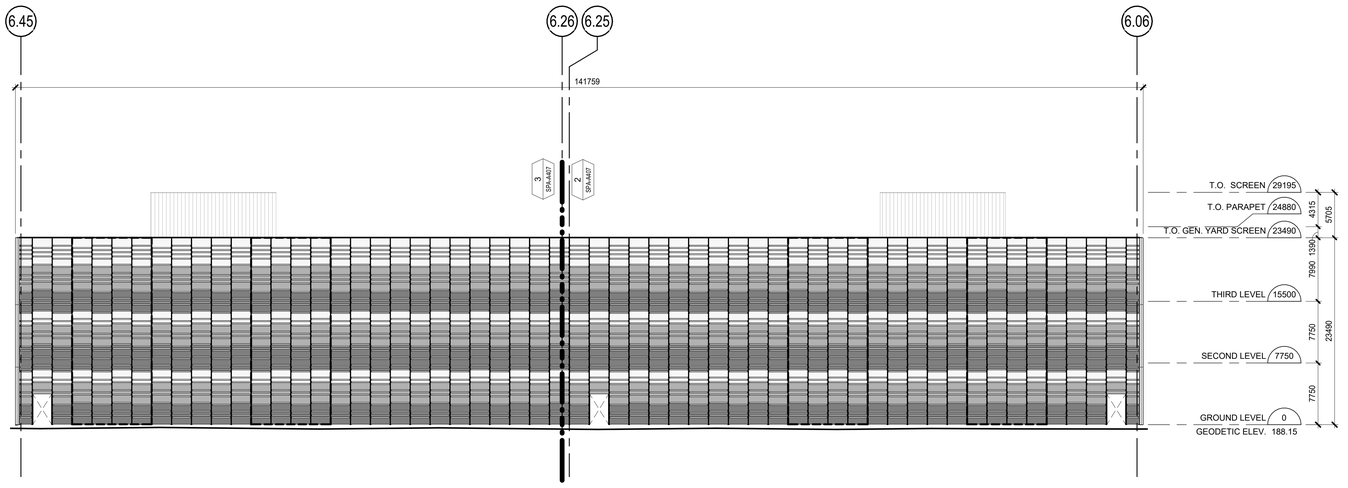
#	Zoning By-law 001-2021	Variance requested
1	The minimum number of parking spaces required is 239 spaces. **[Table 6-2]**	To permit a minimum of **147 parking spaces**.
2	The minimum number of loading spaces required for non-residential buildings with a Gross Floor Area between 10,000 square metres and 19,999 square metres is 1 Type A and 3 Type B loading spaces. **[Table 6-18]**	To permit a minimum of **3 loading spaces** (2 Type A and 1 Type B).

EXTERIOR ELEVATION LEGEND

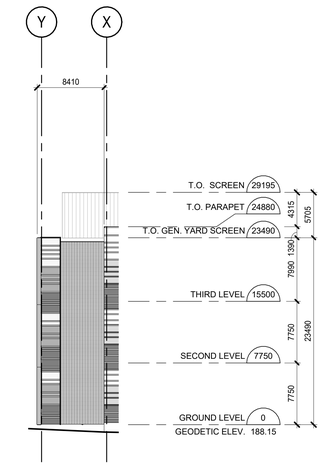
- IGU-1 DOUBLE GLAZED VISION PANEL
- WITH FRIT PATTERN
- IGU-2 DOUBLE GLAZED SPANDREL PANEL
- WITHOUT FRIT PATTERN
- MET-1 3mm PREFINISHED ALUM. PANEL
- COLOR: LIGHT GREY
- COLOR: MEDIUM GREY
- COLOR: DARK GREY
- MET-2 PERFORATED METAL PANEL
- COLOR: LIGHT GREY
- COLOR: MEDIUM GREY
- COLOR: DARK GREY
- MET-3 CORRUGATED PERFORATED METAL PANEL
- MET-4 CORRUGATED METAL PANEL
- MET-5 PREFINISHED METAL FLASHING
- MET-6 ACOUSTIC BARRIER PANEL WITH FINS
- COLOR: LIGHT GREY
- MET-7 ACOUSTIC BARRIER PANEL WITH PERFORATED CORRUGATED METAL PANEL CLADDING
- COLOR: LIGHT GREY



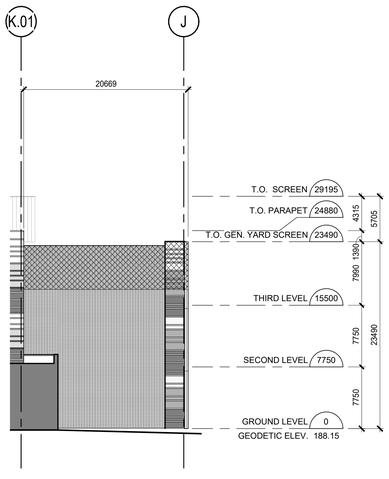
6 NORTH ELEVATION - WEST GENERATOR YARD SCREEN
SPA-A405 1:300



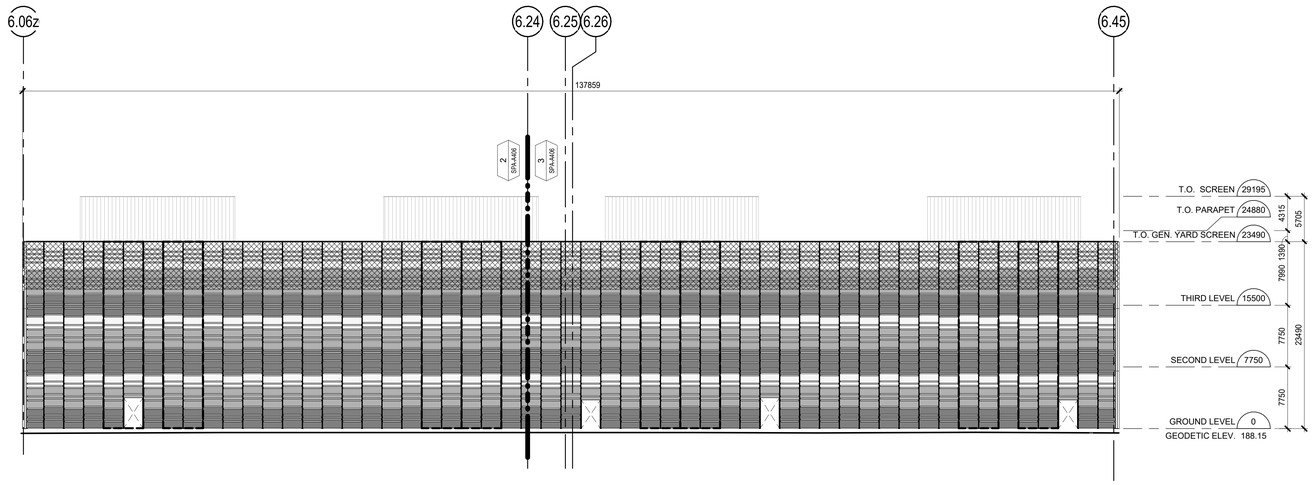
5 WEST ELEVATION - WEST GENERATOR YARD SCREEN
SPA-A405 1:300



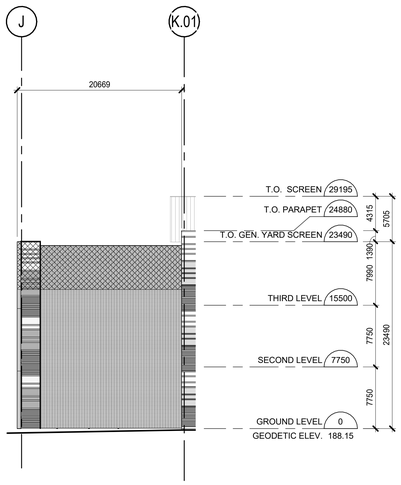
4 SOUTH ELEVATION - WEST GENERATOR YARD SCREEN
SPA-A405 1:300



3 SOUTH ELEVATION - EAST GENERATOR YARD SCREEN
SPA-A405 1:300



2 EAST ELEVATION - EAST GENERATOR YARD SCREEN
SPA-A405 1:300



1 NORTH ELEVATION - EAST GENERATOR YARD SCREEN
SPA-A405 1:300

MEP & Structural Engineer
Suite 300,
125 Commerce Valley Dr W
Markham, Ontario, Canada
Tel: 416-499-3110

Architect / Landscape Architect
95 St Clair Ave W #1500
Toronto, Ontario, Canada
Tel: 416-961-4111

Civil / Geotechnical Engineer
100 Commerce Valley Dr W
Thornhill, ON L3T A1, Canada
Tel: 905-882-1100

Security Engineer
380 Wellington Street West
Toronto, ON M5V 1E3
Tel: 416.488.4425

Audio & Visual Engineer
1 World Wide Way
Maryland Heights, MO 63146
Tel 314.569.7000

YTO12 DATA CENTER

6100 Langstaff Road, L4L 1A5, Vaughan, Ontario

Design	Designer
Drawn	Author
Checked	Checker
Client Project No.	YTO12 - P.21286
AE Project No.	YTO12 - 8584

CLIENT TEAM

Design Manager	
Layout Manager	
Civil, Site Survey, Landscaping Technical Lead	
Architectural & Structural Technical Lead	
Mech, Plumbing & Fire Protection Technical Lead	
Building Automation Systems (BAS) Technical Lead	
Electrical Technical Lead	
Electrical Power Management Systems (EPMS) Technical Lead	
Telecommunications / Network Technical Lead	
Security Design Manager	

DESIGN TEAM

Civil Engineering Lead	MICHAEL OLDHAM
Architectural Lead	ZENON RADEWYCH
Structural Engineering Lead	PHILLIP KWAN
Mechanical Engineering Lead	SHAUNAK PANDIT
Plumbing Engineering Lead	SHAUNAK PANDIT
Fire Protection Engineering Lead	MOHAMMAD DADGARDOUST
BAS Engineering Lead	PAUL HO
Electrical Engineering Lead	NASH MARTIS
Telecommunications Engineering Lead	TODD GRIMES
Security Systems Engineering Lead	MIRCEA BARBAT

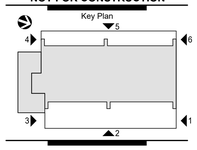
Revisions

No.	Date	Description
3	2024.12.11	ISSUE S2 FOR SPA
7	2025.04.02	ISSUE S3 FOR SPA RESUBMISSION
8	2025.04.30	ISSUE S4 FOR COMMITTEE OF ADJUSTMENT

Registration

NOT FOR CONSTRUCTION

Key Plan



Package

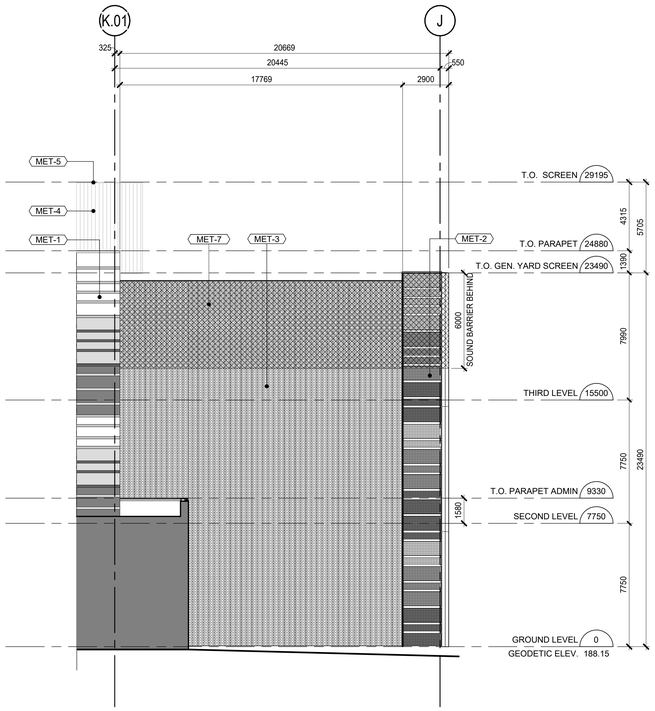
Sheet Title/Number

ARCHITECTURAL - OVERALL GENERATOR YARD SCREEN ELEVATIONS

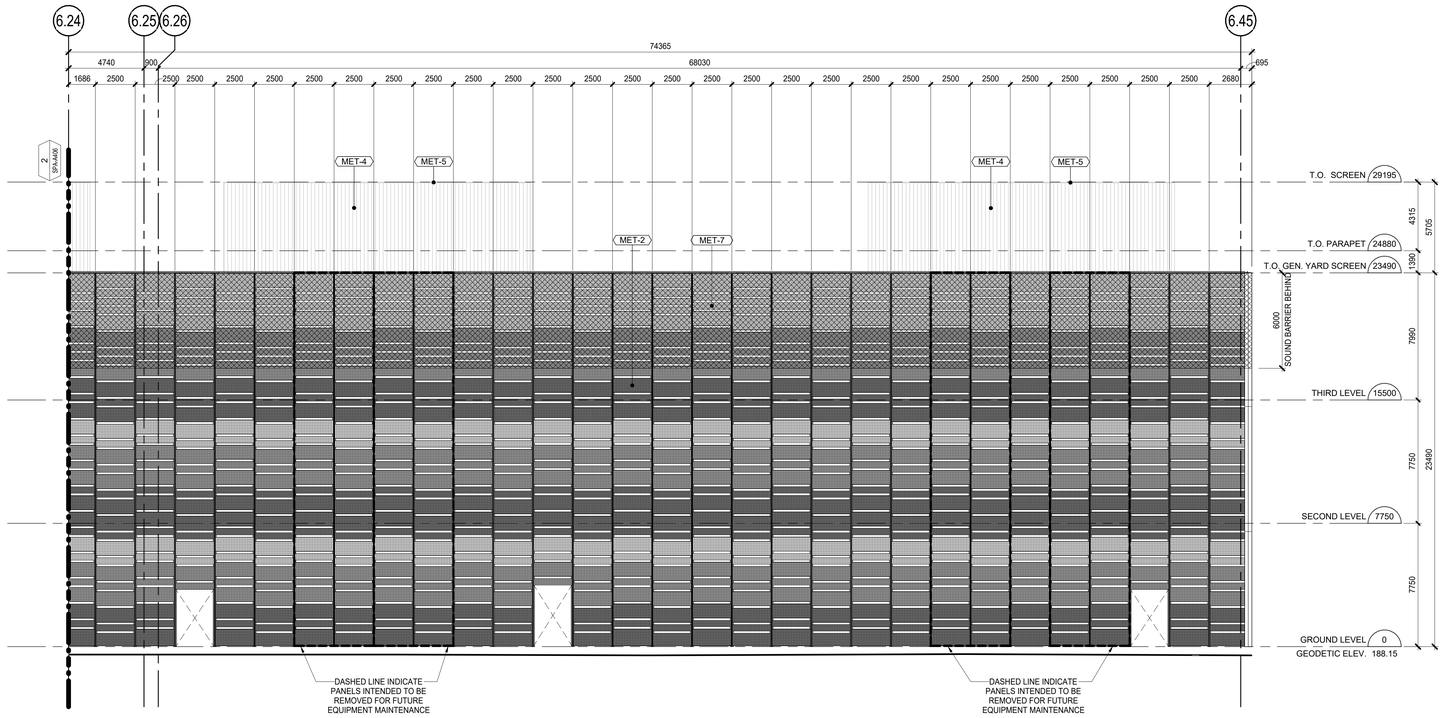
YTO12-SPA-A405

Autodesk Docs://YTO12/YTO12-ARCH-R25.rvt

2025-04-11 11:16:18 PM

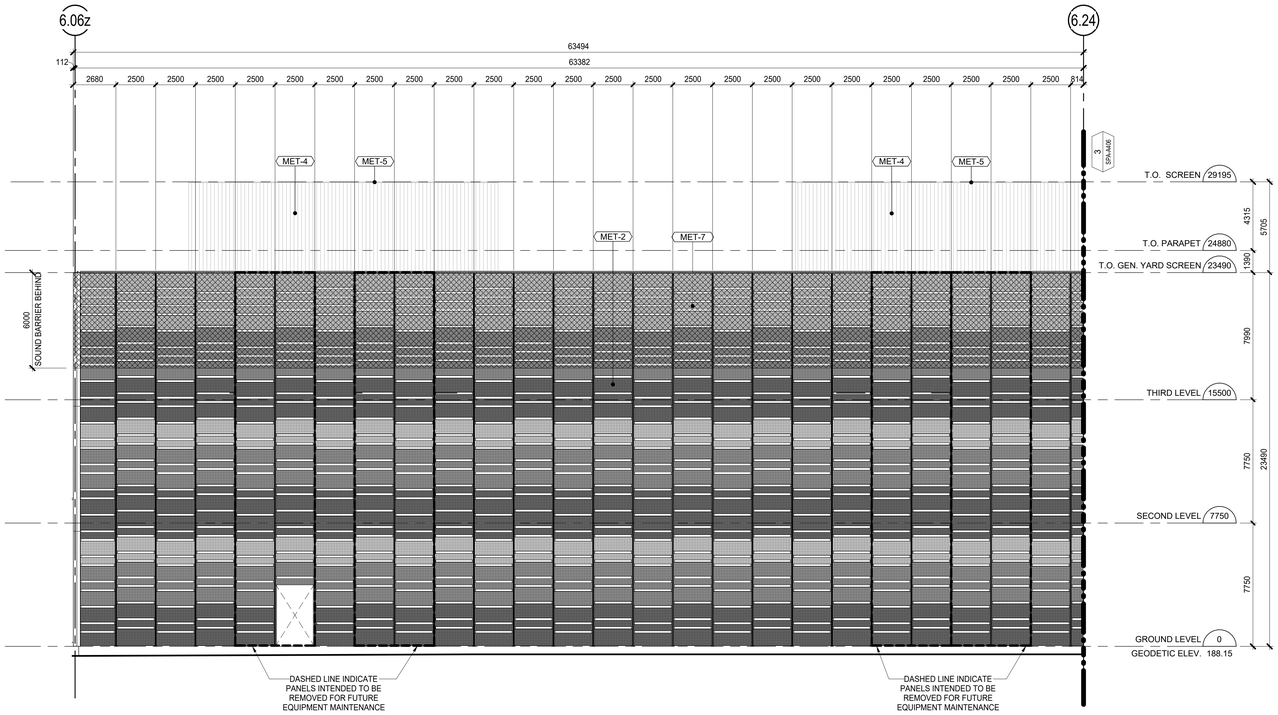


4 SPA-A406 ENLARGED ELEVATION - SOUTH - EAST GENERATOR YARD SCREEN
1 : 150

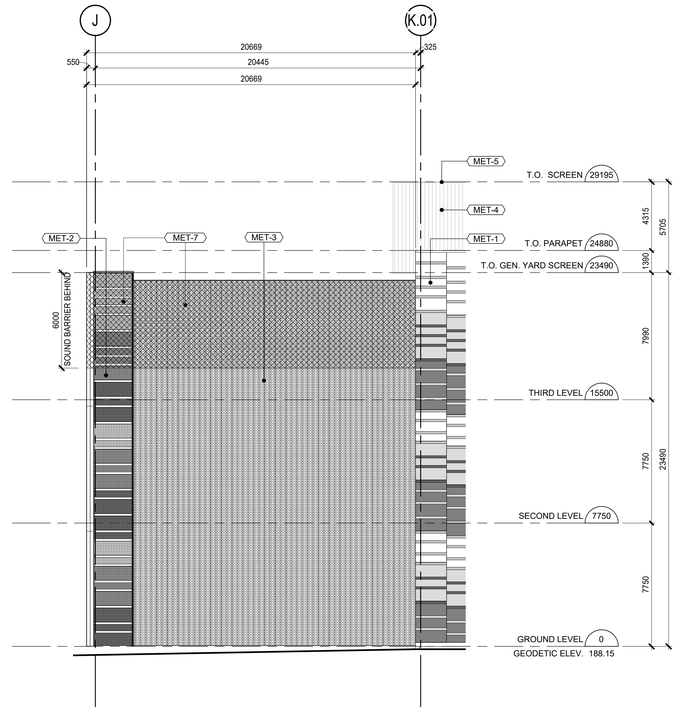


3 SPA-A406 ENLARGED ELEVATION - EAST - EAST GENERATOR YARD SCREEN
1 : 150

#	Zoning By-law 001-2021	Variance requested
1	The minimum number of parking spaces required is 239 spaces. **[Table 6-2]**	To permit a minimum of **147 parking spaces**.
2	The minimum number of loading spaces required for non-residential buildings with a Gross Floor Area between 10,000 square metres and 19,999 square metres is 1 Type A and 3 Type B loading spaces. **[Table 6-18]**	To permit a minimum of **3 loading spaces** (2 Type A and 1 Type B).



2 SPA-A406 ENLARGED ELEVATION - EAST - EAST GENERATOR YARD SCREEN
1 : 150



1 SPA-A406 ENLARGED ELEVATION - NORTH - EAST GENERATOR YARD SCREEN
1 : 150

MEP & Structural Engineer
Suite 300,
125 Commerce Valley Dr W
Markham, Ontario, Canada
Tel: 416-499-3110

Architect / Landscape Architect
95 St Clair Ave W #1500
Toronto, Ontario, Canada
Tel: 416-961-4111

Civil / Geotechnical Engineer
100 Commerce Valley Dr W
Thornhill, ON L3T A1, Canada
Tel: 905-882-1100

Security Engineer
380 Wellington Street West
Toronto, ON M5V 1E3
Tel: 416.488.4425

Audio & Visual Engineer
1 World Wide Way
Maryland Heights, MO 63146
Tel 314.569.7000

YTO12 DATA CENTER

6100 Langstaff Road, L4L 1A5, Vaughan, Ontario

Design	Designer
Drawn	Author
Checked	Checker
Client Project No.	YTO12 - P.21286
AE Project No.	YTO12 - 8584

CLIENT TEAM

Design Manager	
Layout Manager	
Civil, Site Survey, Landscaping Technical Lead	
Architectural & Structural Technical Lead	
Mech, Plumbing & Fire Protection Technical Lead	
Building Automation Systems (BAS) Technical Lead	
Electrical Technical Lead	
Electrical Power Management Systems (EPMS) Technical Lead	
Telecommunications / Network Technical Lead	
Security Design Manager	

DESIGN TEAM

Civil Engineering Lead	MICHAEL OLDHAM
Architectural Lead	ZENON RADEWYCH
Structural Engineering Lead	PHILLIP KWAN
Mechanical Engineering Lead	SHAUNAK PANDIT
Plumbing Engineering Lead	SHAUNAK PANDIT
Fire Protection Engineering Lead	MOHAMMAD DADGARDOUST
BAS Engineering Lead	PAUL HO
Electrical Engineering Lead	NASH MARTIS
Telecommunications Engineering Lead	TODD GRIMES
Security Systems Engineering Lead	MIRCEA BARBAT

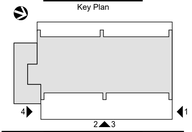
Revisions

No.	Date	Description
3	2024.12.11	ISSUE S2 FOR SPA
7	2025.04.02	ISSUE S3 FOR SPA RESUBMISSION
8	2025.04.30	ISSUE S4 FOR COMMITTEE OF ADJUSTMENT

Registration

NOT FOR CONSTRUCTION

Key Plan



Package

Sheet Title/Number

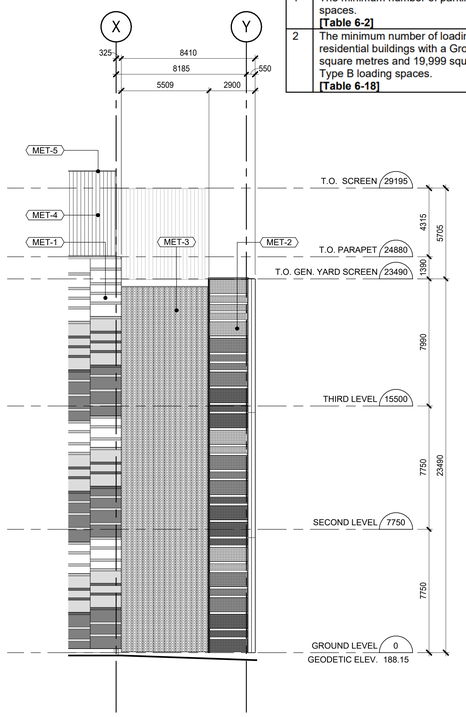
ARCHITECTURAL - EAST GENERATOR YARD SCREEN ELEVATIONS

YTO12-SPA-A406

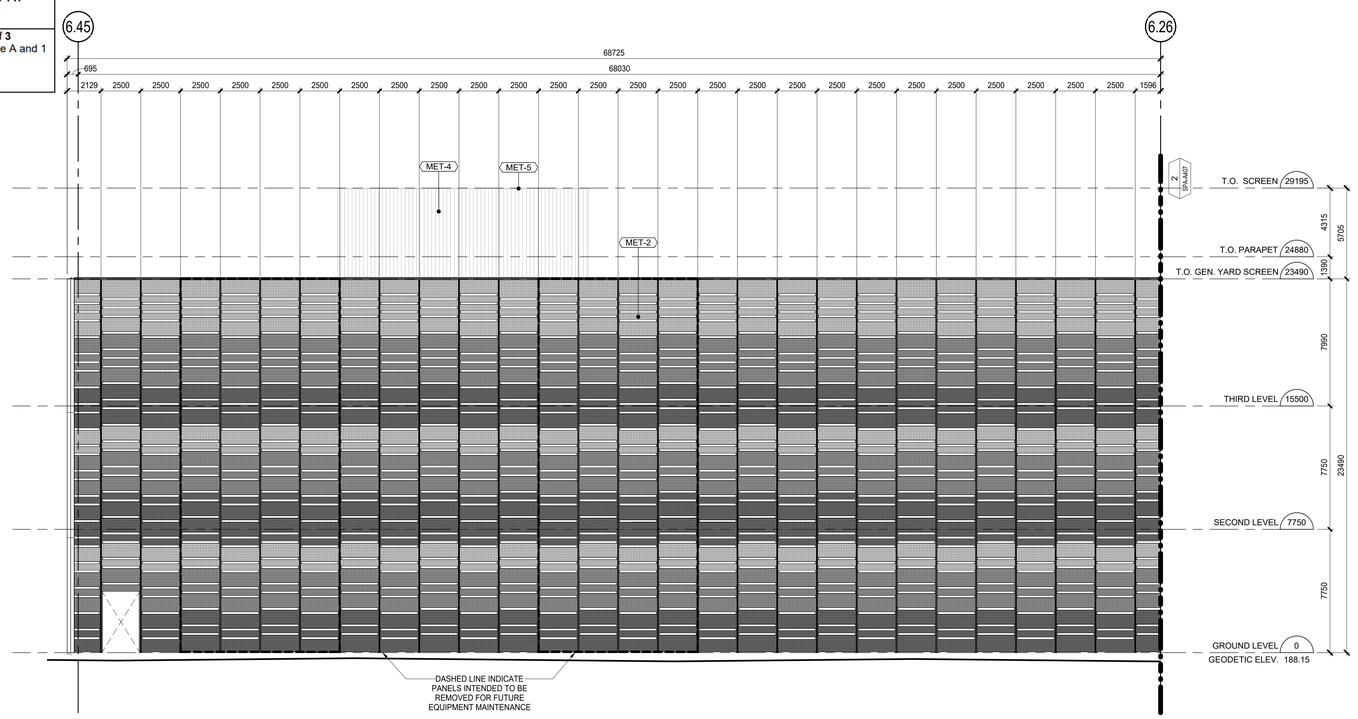
Autodesk Docs://YTO12/YTO12-ARCH-R25.rvt

2025-04-11 11:17:13 PM

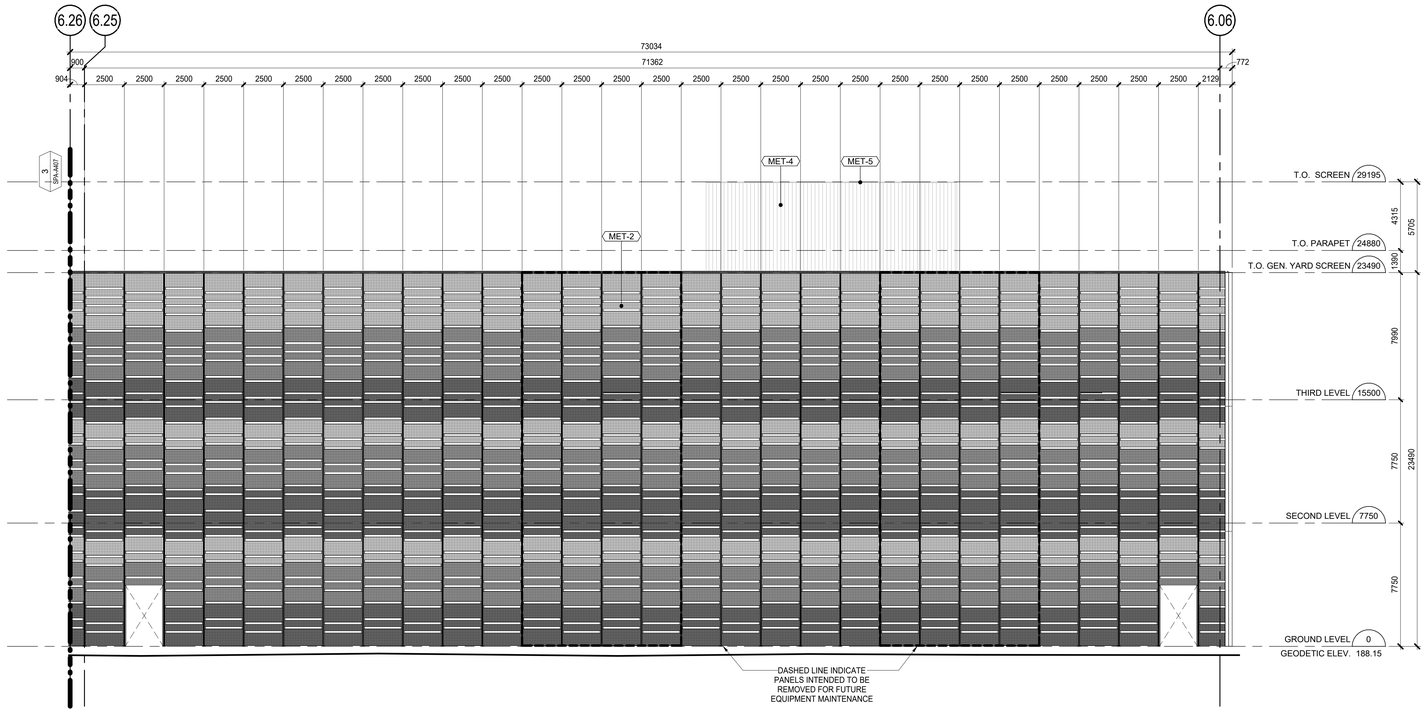
#	Zoning By-law 001-2021	Variance requested
1	The minimum number of parking spaces required is 239 spaces. **[Table 6-2]**	To permit a minimum of **147 parking spaces**.
2	The minimum number of loading spaces required for non-residential buildings with a Gross Floor Area between 10,000 square metres and 19,999 square metres is 1 Type A and 3 Type B loading spaces. **[Table 6-18]**	To permit a minimum of **3 loading spaces** (2 Type A and 1 Type B).



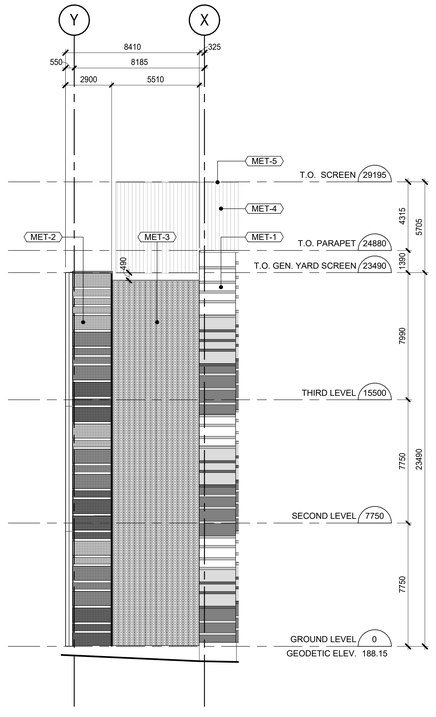
4 SPA-A407 ENLARGED ELEVATION - NORTH - WEST GENERATOR YARD SCREEN
1 : 150



3 SPA-A407 ENLARGED ELEVATION - WEST - WEST GENERATOR YARD SCREEN
1 : 150



2 SPA-A407 ENLARGED ELEVATION - WEST - WEST GENERATOR YARD SCREEN
1 : 150



1 SPA-A407 ENLARGED ELEVATION - SOUTH - WEST GENERATOR YARD SCREEN
1 : 150

MEP & Structural Engineer
Suite 300,
125 Commerce Valley Dr W
Markham, Ontario, Canada
Tel: 416-499-3110

Architect / Landscape Architect
95 St Clair Ave W #1500
Toronto, Ontario, Canada
Tel: 416-961-4111

Civil / Geotechnical Engineer
100 Commerce Valley Dr W
Thornhill, ON L3T A1, Canada
Tel: 905-882-1100

Security Engineer
380 Wellington Street West
Toronto, ON M5V 1E3
Tel: 416.488.4425

Audio & Visual Engineer
1 World Wide Way
Maryland Heights, MO 63146
Tel 314.569.7000

YTO12 DATA CENTER

6100 Langstaff Road, L4L 1A5, Vaughan, Ontario

Design	Designer
Drawn	Author
Checked	Checker
Client Project No.	YTO12 - P.21286
AE Project No.	YTO12 - 8584

CLIENT TEAM

Design Manager	
Layout Manager	
Civil, Site Survey, Landscaping Technical Lead	
Architectural & Structural Technical Lead	
Mech, Plumbing & Fire Protection Technical Lead	
Building Automation Systems (BAS) Technical Lead	
Electrical Technical Lead	
Electrical Power Management Systems (EPMS) Technical Lead	
Telecommunications / Network Technical Lead	
Security Design Manager	

DESIGN TEAM

Civil Engineering Lead	MICHAEL OLDHAM
Architectural Lead	ZENON RADEWYCH
Structural Engineering Lead	PHILLIP KWAN
Mechanical Engineering Lead	SHAUNAK PANDIT
Plumbing Engineering Lead	SHAUNAK PANDIT
Fire Protection Engineering Lead	MOHAMMAD DADGARDOUST
BAS Engineering Lead	PAUL HO
Electrical Engineering Lead	NASH MARTIS
Telecommunications Engineering Lead	TODD GRIMES
Security Systems Engineering Lead	MIRCEA BARBAT

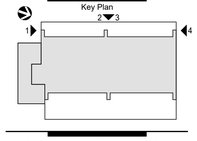
Revisions

No.	Date	Description
3	2024.12.11	ISSUE S2 FOR SPA
7	2025.04.02	ISSUE S3 FOR SPA RESUBMISSION
8	2025.04.30	ISSUE S4 FOR COMMITTEE OF ADJUSTMENT

Registration

NOT FOR CONSTRUCTION

Key Plan



Package

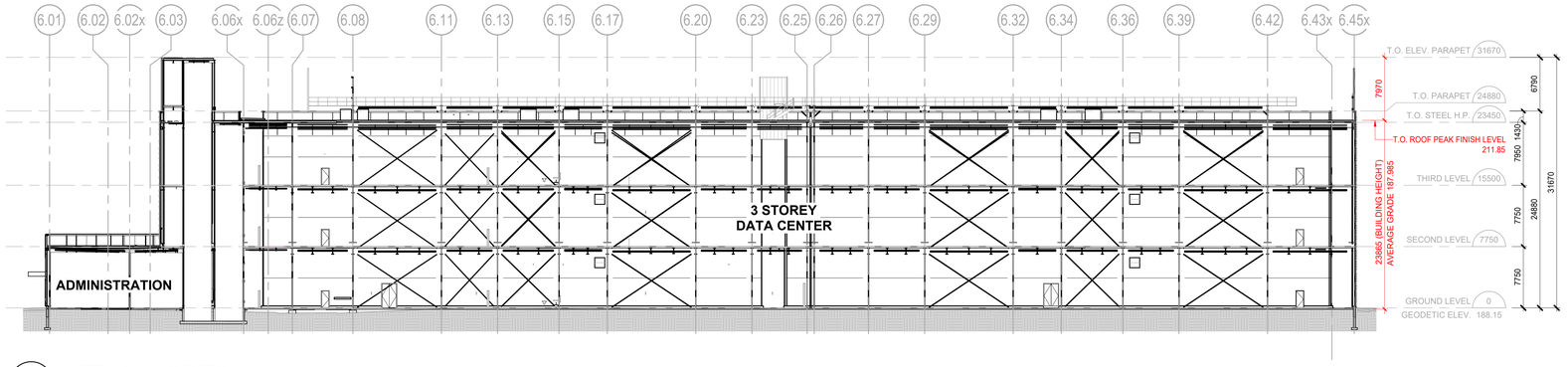
Sheet Title/Number

ARCHITECTURAL - WEST GENERATOR YARD SCREEN ELEVATIONS

YTO12-SPA-A407

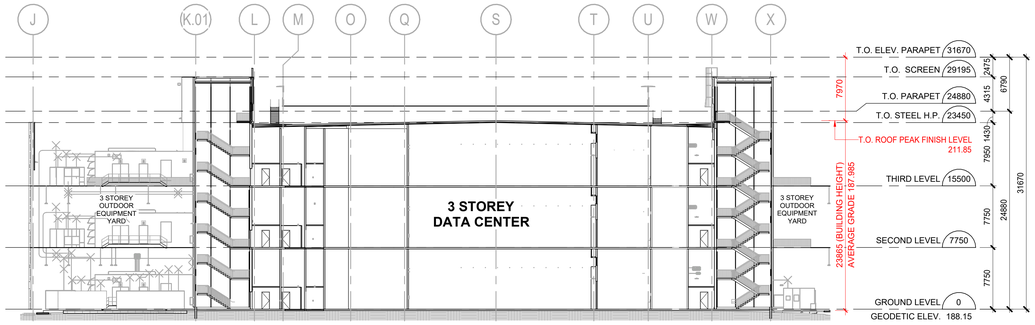
Autodesk Docs://YTO12/YTO12-ARCH-R25.rvt

2025-04-11 11:17:55 PM

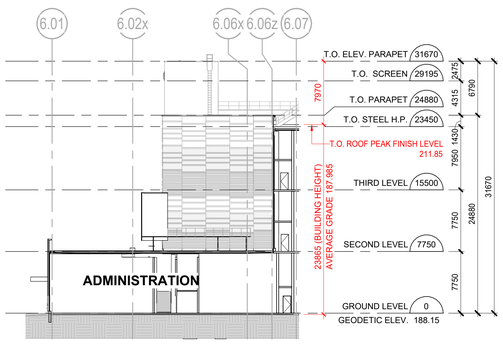


4 SPA-A410 LATITUDINAL SECTION 4
1 : 300

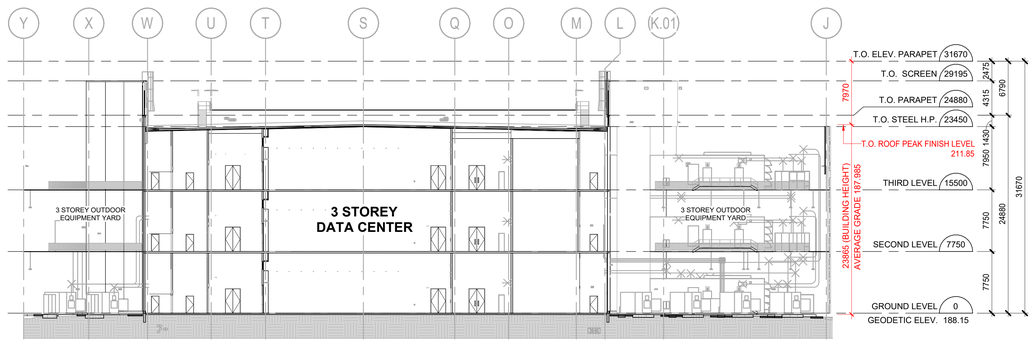
#	Zoning By-law 001-2021	Variance requested
1	The minimum number of parking spaces required is 239 spaces. **[Table 6-2]**	To permit a minimum of **147 parking spaces**.
2	The minimum number of loading spaces required for non-residential buildings with a Gross Floor Area between 10,000 square metres and 19,999 square metres is 1 Type A and 3 Type B loading spaces. **[Table 6-18]**	To permit a minimum of **3 loading spaces** (2 Type A and 1 Type B).



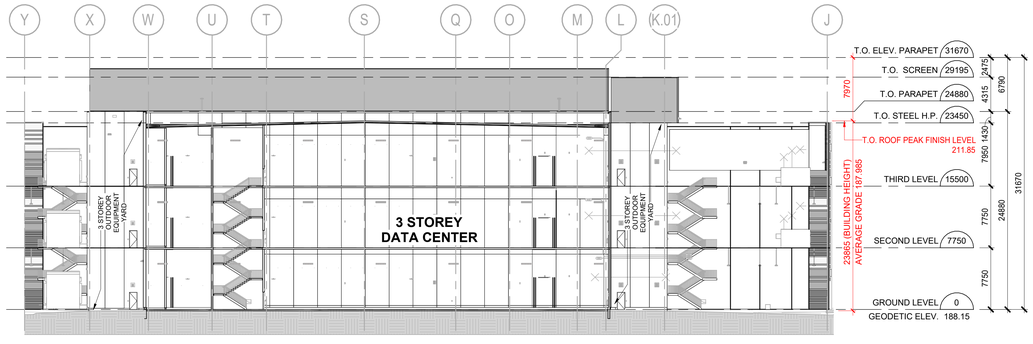
3 SPA-A410 LONGITUDINAL SECTION 3
1 : 300



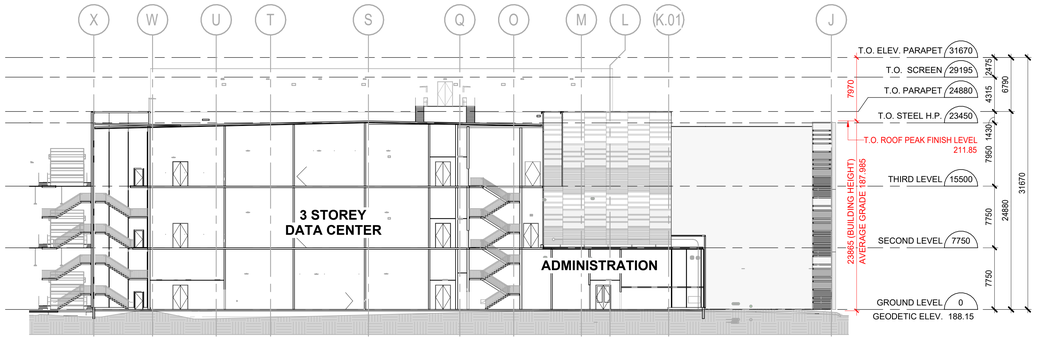
6 SPA-A410 LATITUDINAL SECTION 6
1 : 300



2 SPA-A410 LONGITUDINAL SECTION 2
1 : 300



5 SPA-A410 LONGITUDINAL SECTION 5
1 : 300



1 SPA-A410 LONGITUDINAL SECTION 1
1 : 300

MEP & Structural Engineer
Suite 300,
125 Commerce Valley Dr W
Markham, Ontario, Canada
Tel: 416-499-3110

Architect / Landscape Architect
95 St Clair Ave W #1500
Toronto, Ontario, Canada
Tel: 416-961-4111

Civil / Geotechnical Engineer
100 Commerce Valley Dr W
Thornhill, ON L3T A1, Canada
Tel: 905-882-1100

Security Engineer
380 Wellington Street West
Toronto, ON M5V 1E3
Tel: 416.488.4425

Audio & Visual Engineer
1 World Wide Way
Maryland Heights, MO 63146
Tel 314.569.7000

YTO12 DATA CENTER

6100 Langstaff Road, L4L 1A5, Vaughan, Ontario

Design	Designer
Drawn	Author
Checked	Checker
Client Project No.	YTO12 - P.21286
AE Project No.	YTO12 - 8584

CLIENT TEAM

Design Manager	
Layout Manager	
Civil, Site Survey, Landscaping Technical Lead	
Architectural & Structural Technical Lead	
Mech, Plumbing & Fire Protection Technical Lead	
Building Automation Systems (BAS) Technical Lead	
Electrical Technical Lead	
Electrical Power Management Systems (EPMS) Technical Lead	
Telecommunications / Network Technical Lead	
Security Design Manager	

DESIGN TEAM

Civil Engineering Lead	MICHAEL OLDHAM
Architectural Lead	ZENON RADEWYCH
Structural Engineering Lead	PHILLIP KWAN
Mechanical Engineering Lead	SHAUNAK PANDIT
Plumbing Engineering Lead	SHAUNAK PANDIT
Fire Protection Engineering Lead	MOHAMMAD DADGARDOUST
BAS Engineering Lead	PAUL HO
Electrical Engineering Lead	NASH MARTIS
Telecommunications Engineering Lead	TODD GRIMES
Security Systems Engineering Lead	MIRCEA BARBAT

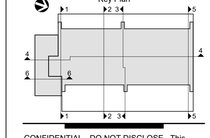
Revisions

No.	Date	Description
6	2024.12.11	ISSUE 53 FOR SPA
7	2025.04.02	ISSUE 53 FOR SPA RESUBMISSION
8	2025.04.30	ISSUE S4 FOR COMMITTEE OF ADJUSTMENT

Registration

NOT FOR CONSTRUCTION

Key Plan



Package

Sheet Title/Number

ARCHITECTURAL - BUILDING CROSS SECTIONS

YTO12-SPA-A410

Autodesk Docs://YTO12/YTO12-ARCH-R25.rvt

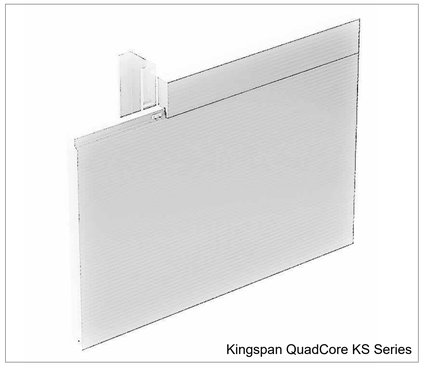
2025-04-11 11:18:46 PM

Kingspan QuadCore KS Series

1 SPA-A900 MET-1 (INSULATED METAL PANEL)
COLOR: DARK GREY (BLACK)

Kingspan QuadCore KS Series

2 SPA-A900 MET-1 (INSULATED METAL PANEL)
COLOR: MEDIUM GREY (GREY)



Kingspan QuadCore KS Series

3 SPA-A900 MET-1 (INSULATED METAL PANEL)
COLOR: LIGHT GREY (WHITE)

Oldcastle Building Envelope

4 SPA-A900 GL-1 (DOUBLE GLAZED VISION PANEL)

Oldcastle Building Envelope

5 SPA-A900 GL-2 (DOUBLE GLAZED SPANDREL PANEL)

Kingspan Accent Fin

6 SPA-A900 ACCENT FIN
COLOR: DARK GREY (BLACK)

Kingspan Accent Fin

7 SPA-A900 ACCENT FIN
COLOR: MEDIUM GREY (GREY)

Kingspan Accent Fin

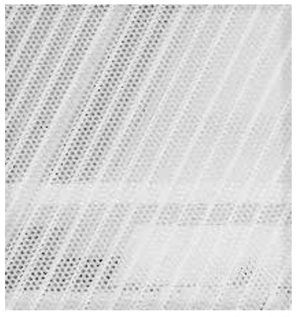
8 SPA-A900 ACCENT FIN
COLOR: LIGHT GREY (WHITE)

Canada Perforating

9 SPA-A900 MET-2 (PERFORATED METAL PANEL)
COLOR: WHITE

Kingspan QuadCore KarrierPanel

10 SPA-A900 MET-4 (CORRUGATED METAL PANEL)
COLOR: WHITE / DIRECTION: VERTICAL



Canada Perforating

11 SPA-A900 MET-3 (PERFORATED CORRUGATED METAL PANEL)
COLOR: WHITE / DIRECTION: VERTICAL

#	Zoning By-law 001-2021	Variance requested
1	The minimum number of parking spaces required is 239 spaces. **[Table 6-2]**	To permit a minimum of **147 parking spaces**.
2	The minimum number of loading spaces required for non-residential buildings with a Gross Floor Area between 10,000 square metres and 19,999 square metres is 1 Type A and 3 Type B loading spaces. **[Table 6-18]**	To permit a minimum of **3 loading spaces** (2 Type A and 1 Type B).

MEP & Structural Engineer
Suite 300,
125 Commerce Valley Dr W
Markham, Ontario, Canada
Tel: 416-499-3110

Architect / Landscape Architect
95 St Clair Ave W #1500
Toronto, Ontario, Canada
Tel: 416-961-4111

Civil / Geotechnical Engineer
100 Commerce Valley Dr W
Thornhill, ON L3T A1, Canada
Tel: 905-882-1100

Security Engineer
380 Wellington Street West
Toronto, ON M5V 1E3
Tel: 416.488.4425

Audio & Visual Engineer
1 World Wide Way
Maryland Heights, MO 63146
Tel 314.569.7000

YTO12 DATA CENTER

6100 Langstaff Road, L4L 1A5, Vaughan, Ontario

Design	Designer
Drawn	Author
Checked	Checker
Client Project No.	YTO12 - P.21286
AE Project No.	YTO12 - 8584

CLIENT TEAM

Design Manager	
Layout Manager	
Civil, Site Survey, Landscaping Technical Lead	
Architectural & Structural Technical Lead	
Mech, Plumbing & Fire Protection Technical Lead	
Building Automation Systems (BAS) Technical Lead	
Electrical Technical Lead	
Electrical Power Management Systems (EPMS) Technical Lead	
Telecommunications / Network Technical Lead	
Security Design Manager	

DESIGN TEAM

Civil Engineering Lead	MICHAEL OLDHAM
Architectural Lead	ZENON RADEWYCH
Structural Engineering Lead	PHILLIP KWAN
Mechanical Engineering Lead	SHAUNAK PANDIT
Plumbing Engineering Lead	SHAUNAK PANDIT
Fire Protection Engineering Lead	MOHAMMAD DADGARDOUST
BAS Engineering Lead	PAUL HO
Electrical Engineering Lead	NASH MARTIS
Telecommunications Engineering Lead	TODD GRIMES
Security Systems Engineering Lead	MIRCEA BARBAT

Revisions

No.	Date	Description
3	2024.12.11	ISSUE 52 FOR SPA
7	2025.04.02	ISSUE 53 FOR SPA RESUBMISSION
8	2025.04.30	ISSUE 54 FOR COMMITTEE OF ADJUSTMENT

Registration

NOT FOR CONSTRUCTION

Package

Sheet Title/Number

ARCHITECTURAL - MATERIAL BOARD - EXTERIOR FINISHES

YTO12-SPA-A900

Autodesk Docs://YTO12/YTO12-ARCH-R25.rvt

2025-04-11 11:19:24 PM

EXTERIOR ELEVATION LEGEND

- IGU-1 DOUBLE GLAZED VISION PANEL
  - WITH FRIT PATTERN
- IGU-2 DOUBLE GLAZED SPANDREL PANEL
  - WITHOUT FRIT PATTERN
- MET-1 3mm PREFINISHED ALUM. PANEL
  - COLOR: LIGHT GREY
  - COLOR: MEDIUM GREY
  - COLOR: DARK GREY
- MET-2 PERFORATED METAL PANEL
  - COLOR: LIGHT GREY
  - COLOR: MEDIUM GREY
  - COLOR: DARK GREY
- MET-3 CORRUGATED PERFORATED METAL PANEL
- MET-4 CORRUGATED METAL PANEL
- MET-5 PREFINISHED METAL FLASHING
- MET-6 ACOUSTIC BARRIER PANEL WITH FINS
  - COLOR: LIGHT GREY
- MET-7 ACOUSTIC BARRIER PANEL WITH PERFORATED CORRUGATED METAL PANEL CLADDING
  - COLOR: LIGHT GREY

#	Zoning By-law 001-2021	Variance requested
1	The minimum number of parking spaces required is 239 spaces. **[Table 6-2]**	To permit a minimum of **147 parking spaces**.
2	The minimum number of loading spaces required for non-residential buildings with a Gross Floor Area between 10,000 square metres and 19,999 square metres is 1 Type A and 3 Type B loading spaces. **[Table 6-18]**	To permit a minimum of **3 loading spaces** (2 Type A and 1 Type B).

MEP & Structural Engineer
Suite 300,
125 Commerce Valley Dr W
Markham, Ontario, Canada
Tel: 416-499-3110

Architect / Landscape Architect
95 St Clair Ave W #1500
Toronto, Ontario, Canada
Tel: 416-961-4111

Civil / Geotechnical Engineer
100 Commerce Valley Dr W
Thornhill, ON L3T A1, Canada
Tel: 905-882-1100

Security Engineer
380 Wellington Street West
Toronto, ON M5V 1E3
Tel: 416.488.4425

Audio & Visual Engineer
1 World Wide Way
Maryland Heights, MO 63146
Tel 314.569.7000

YTO12 DATA CENTER

6100 Langstaff Road, L4L 1A5, Vaughan, Ontario

Design	Designer
Drawn	Author
Checked	Checker
Client Project No.	YTO12 - P.21286
AE Project No.	YTO12 - 8584

CLIENT TEAM

Design Manager	
Layout Manager	
Civil, Site Survey, Landscaping Technical Lead	
Architectural & Structural Technical Lead	
Mech, Plumbing & Fire Protection Technical Lead	
Building Automation Systems (BAS) Technical Lead	
Electrical Technical Lead	
Electrical Power Management Systems (EPMS) Technical Lead	
Telecommunications / Network Technical Lead	
Security Design Manager	

DESIGN TEAM

Civil Engineering Lead	MICHAEL OLDHAM
Architectural Lead	ZENON RADEWYCH
Structural Engineering Lead	PHILLIP KWAN
Mechanical Engineering Lead	SHAUNAK PANDIT
Plumbing Engineering Lead	SHAUNAK PANDIT
Fire Protection Engineering Lead	MOHAMMAD DADGARDOUST
BAS Engineering Lead	PAUL HO
Electrical Engineering Lead	NASH MARTIS
Telecommunications Engineering Lead	TODD GRIMES
Security Systems Engineering Lead	MIRCEA BARBAT

Revisions

No.	Date	Description
3	2024.12.11	ISSUE 82 FOR SPA
7	2025.04.02	ISSUE 53 FOR SPA RESUBMISSION
8	2025.04.30	ISSUE 54 FOR COMMITTEE OF ADJUSTMENT

Registration

NOT FOR CONSTRUCTION

Package

Sheet Title/Number

ARCHITECTURAL - MATERIAL BOARD - EXTERIOR FINISHES

YTO12-SPA-A901

Autodesk Docs://YTO12/YTO12-ARCH-R25.rvt

2025-04-11 11:20:04 PM

#	Zoning By-law 001-2021	Variance requested
1	The minimum number of parking spaces required is 239 spaces. **[Table 6-2]**	To permit a minimum of **147 parking spaces**.
2	The minimum number of loading spaces required for non-residential buildings with a Gross Floor Area between 10,000 square metres and 19,999 square metres is 1 Type A and 3 Type B loading spaces. **[Table 6-18]**	To permit a minimum of **3 loading spaces** (2 Type A and 1 Type B).

MEP & Structural Engineer
Suite 300,
125 Commerce Valley Dr W
Markham, Ontario, Canada
Tel: 416-499-3110

Architect / Landscape Architect
95 St Clair Ave W #1500
Toronto, Ontario, Canada
Tel: 416-961-4111

Civil / Geotechnical Engineer
100 Commerce Valley Dr W
Thornhill, ON L3T A1, Canada
Tel: 905-882-1100

Security Engineer
380 Wellington Street West
Toronto, ON M5V 1E3
Tel: 416.488.4425

Audio & Visual Engineer
1 World Wide Way
Maryland Heights, MO 63146
Tel 314.569.7000

YTO12 DATA CENTER

6100 Langstaff Road, L4L 1A5, Vaughan, Ontario

Design	Designer
Drawn	Author
Checked	Checker
Client Project No.	YTO12 - P.21286
AE Project No.	YTO12 - 8584

CLIENT TEAM

Design Manager	
Layout Manager	
Civil, Site Survey, Landscaping Technical Lead	
Architectural & Structural Technical Lead	
Mech, Plumbing & Fire Protection Technical Lead	
Building Automation Systems (BAS) Technical Lead	
Electrical Technical Lead	
Electrical Power Management Systems (EPMS) Technical Lead	
Telecommunications / Network Technical Lead	
Security Design Manager	

DESIGN TEAM

Civil Engineering Lead	MICHAEL OLDHAM
Architectural Lead	ZENON RADEWYCH
Structural Engineering Lead	PHILLIP KWAN
Mechanical Engineering Lead	SHAUNAK PANDIT
Plumbing Engineering Lead	SHAUNAK PANDIT
Fire Protection Engineering Lead	MOHAMMAD DADGARDOUST
BAS Engineering Lead	PAUL HO
Electrical Engineering Lead	NASH MARTIS
Telecommunications Engineering Lead	TODD GRIMES
Security Systems Engineering Lead	MIRCEA BARBAT

Revisions

No.	Date	Description
3	2024.12.11	ISSUE 82 FOR SPA
7	2025.04.02	ISSUE 83 FOR SPA RESUBMISSION
8	2025.04.30	ISSUE 84 FOR COMMITTEE OF ADJUSTMENT

Registration

NOT FOR CONSTRUCTION

Package

Sheet Title/Number

ARCHITECTURAL - AERIAL VIEW

YTO12-SPA-A902

Autodesk Docs://YTO12/YTO12-ARCH-R25.rvt

2025-04-11 11:20:41 PM

#	Zoning By-law 001-2021	Variance requested
1	The minimum number of parking spaces required is 239 spaces. **[Table 6-2]**	To permit a minimum of **147 parking spaces**.
2	The minimum number of loading spaces required for non-residential buildings with a Gross Floor Area between 10,000 square metres and 19,999 square metres is 1 Type A and 3 Type B loading spaces. **[Table 6-18]**	To permit a minimum of **3 loading spaces** (2 Type A and 1 Type B).

MEP & Structural Engineer
Suite 300,
125 Commerce Valley Dr W
Markham, Ontario, Canada
Tel: 416-499-3110

Architect / Landscape Architect
95 St Clair Ave W #1500
Toronto, Ontario, Canada
Tel: 416-961-4111

Civil / Geotechnical Engineer
100 Commerce Valley Dr W
Thornhill, ON L3T A1, Canada
Tel: 905-882-1100

Security Engineer
380 Wellington Street West
Toronto, ON M6V 1E3
Tel: 416.488.4425

Audio & Visual Engineer
1 World Wide Way
Maryland Heights, MO 63146
Tel 314.569.7000

YTO12 DATA CENTER

6100 Langstaff Road, L4L 1A5, Vaughan, Ontario

Design	Designer
Drawn	Author
Checked	Checker
Client Project No.	YTO12 - P.21286
AE Project No.	YTO12 - 8584

CLIENT TEAM

Design Manager	
Layout Manager	
Civil, Site Survey, Landscaping Technical Lead	
Architectural & Structural Technical Lead	
Mech, Plumbing & Fire Protection Technical Lead	
Building Automation Systems (BAS) Technical Lead	
Electrical Technical Lead	
Electrical Power Management Systems (EPMS) Technical Lead	
Telecommunications / Network Technical Lead	
Security Design Manager	

DESIGN TEAM

Civil Engineering Lead	MICHAEL OLDHAM
Architectural Lead	ZENON RADEWYCH
Structural Engineering Lead	PHILLIP KWAN
Mechanical Engineering Lead	SHALINAK PANDIT
Plumbing Engineering Lead	SHALINAK PANDIT
Fire Protection Engineering Lead	MOHAMMAD DADGARDOUST
BAS Engineering Lead	PAUL HO
Electrical Engineering Lead	NASH MARTIS
Telecommunications Engineering Lead	TODD GRIMES
Security Systems Engineering Lead	MIRCEA BARBAT

Revisions

No.	Date	Description
3	2024.12.11	ISSUE S2 FOR SPA
7	2025.04.02	ISSUE S3 FOR SPA RESUBMISSION
8	2025.04.30	ISSUE S4 FOR COMMITTEE OF ADJUSTMENT

Registration

NOT FOR CONSTRUCTION

Package

Sheet Title/Number

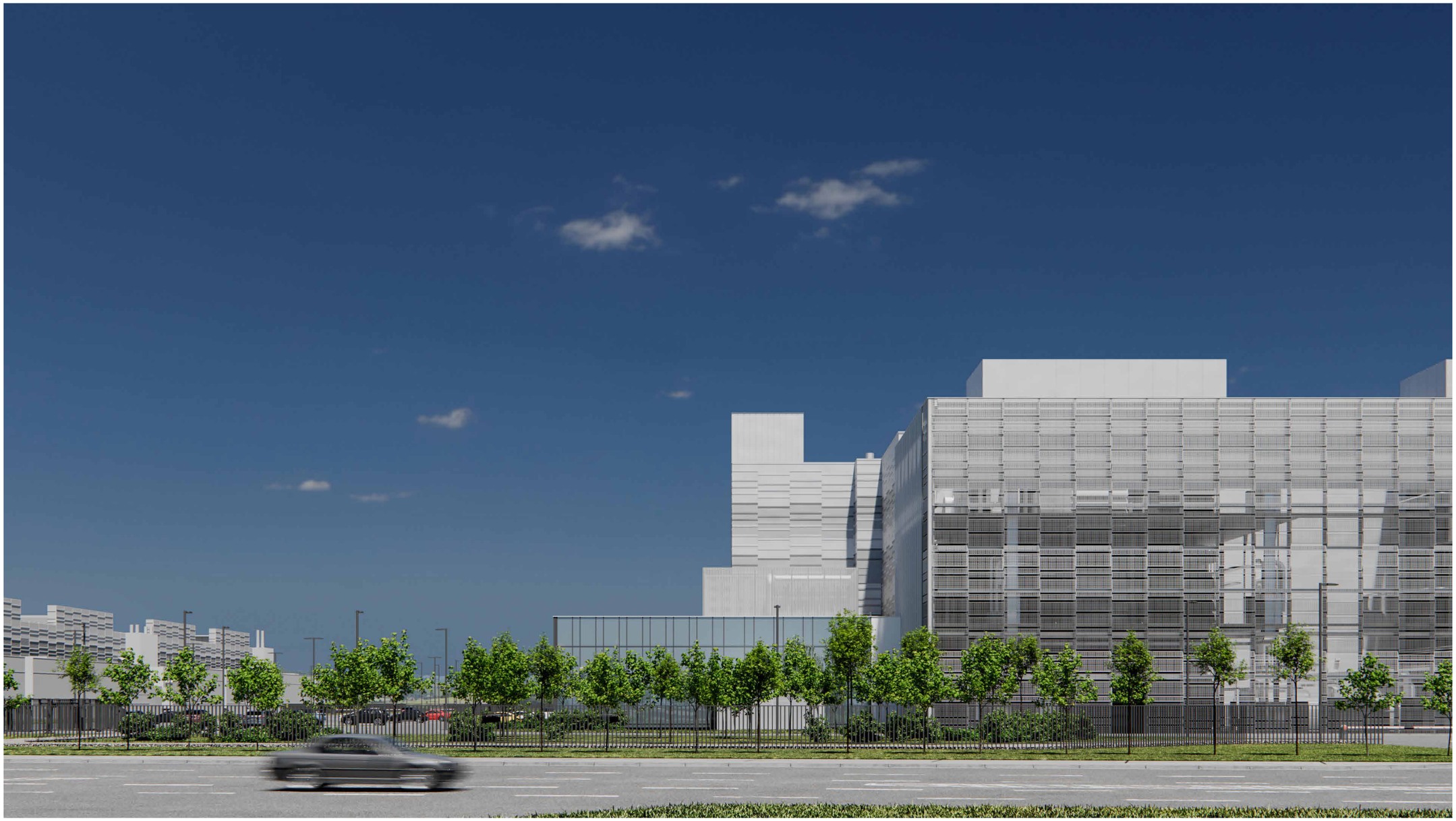
ARCHITECTURAL - PERSPECTIVE VIEWS

YTO12-SPA-A903

Autodesk Docs://YTO12/YTO12-ARCH-R25.rvt

2025-04-11 11:21:13 PM

#	Zoning By-law 001-2021	Variance requested
1	The minimum number of parking spaces required is 239 spaces. **[Table 6-2]**	To permit a minimum of **147 parking spaces**.
2	The minimum number of loading spaces required for non-residential buildings with a Gross Floor Area between 10,000 square metres and 19,999 square metres is 1 Type A and 3 Type B loading spaces. **[Table 6-18]**	To permit a minimum of **3 loading spaces** (2 Type A and 1 Type B).



MEP & Structural Engineer
Suite 300,
125 Commerce Valley Dr W
Markham, Ontario, Canada
Tel: 416-499-3110

Architect / Landscape Architect
95 St Clair Ave W #1500
Toronto, Ontario, Canada
Tel: 416-961-4111

Civil / Geotechnical Engineer
100 Commerce Valley Dr W
Thornhill, ON L3T A1, Canada
Tel: 905-882-1100

Security Engineer
380 Wellington Street West
Toronto, ON M6V 1E3
Tel: 416.488.4425

Audio & Visual Engineer
1 World Wide Way
Maryland Heights, MO 63146
Tel 314.569.7000

YTO12 DATA CENTER

6100 Langstaff Road, L4L 1A5, Vaughan, Ontario

Design	Designer
Drawn	Author
Checked	Checker
Client Project No.	YTO12 - P.21286
AE Project No.	YTO12 - 8584

CLIENT TEAM

Design Manager	
Layout Manager	
Civil, Site Survey, Landscaping Technical Lead	
Architectural & Structural Technical Lead	
Mech, Plumbing & Fire Protection Technical Lead	
Building Automation Systems (BAS) Technical Lead	
Electrical Technical Lead	
Electrical Power Management Systems (EPMS) Technical Lead	
Telecommunications / Network Technical Lead	
Security Design Manager	

DESIGN TEAM

Civil Engineering Lead	MICHAEL OLDHAM
Architectural Lead	ZENON RADEWYCH
Structural Engineering Lead	PHILLIP KWAN
Mechanical Engineering Lead	SHAUNAK PANDIT
Plumbing Engineering Lead	SHAUNAK PANDIT
Fire Protection Engineering Lead	MOHAMMAD DADGARDOUST
BAS Engineering Lead	PAUL HO
Electrical Engineering Lead	NASH MARTIS
Telecommunications Engineering Lead	TODD GRIMES
Security Systems Engineering Lead	MIRCEA BARBAT

Revisions

No.	Date	Description
3	2024.12.11	ISSUE S2 FOR SPA
7	2025.04.02	ISSUE S3 FOR SPA RESUBMISSION
8	2025.04.30	ISSUE S4 FOR COMMITTEE OF ADJUSTMENT

Registration

NOT FOR CONSTRUCTION

Package

Sheet Title/Number

ARCHITECTURAL - PERSPECTIVE VIEWS

YTO12-SPA-A904

Autodesk Docs://YTO12/YTO12-ARCH-R25.rvt

2025-04-11 11:21:57 PM

SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS & DEVELOPMENT PLANNING

Internal Departments *Comments Received	**Conditions Required**		**Nature of Comments**
Building Standards (Zoning)	Yes ☐	No ☒	General Comments
Development Planning	Yes ☒	No ☐	Recommend Approval w/Conditions

External Agencies *Comments Received	**Conditions Required**		**Nature of Comments** *See Schedule B for full comments
Alectra	Yes ☐	No ☒	General Comments
Region of York	Yes ☐	No ☒	General Comments
TRCA	Yes ☐	No ☒	General Comments

Date: May 12th 2025

Attention: **Christine Vigneault**

RE: Request for Comments

File No.:

Related Files: **A062-25**

Applicant: Weston Consulting

Location 6100 Langstaff Road

COMMENTS:

☐	We have reviewed the proposed Variance Application and have no comments or objections to its approval.
☒	We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
☐	We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T

Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner

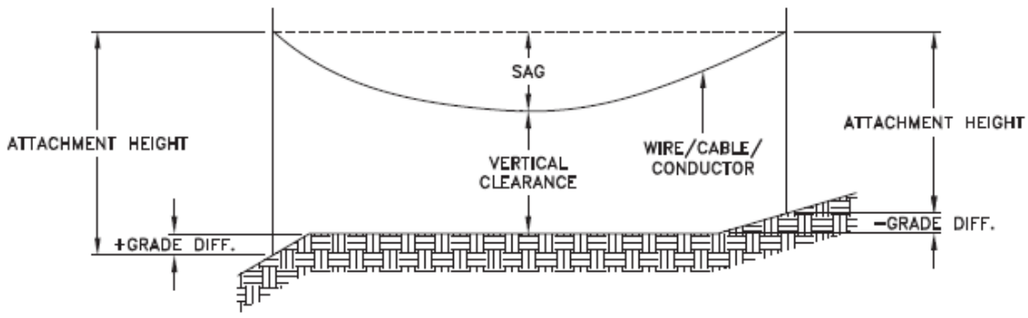
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

Power Stream
YOUR CURRENT CONNECTION

Construction Standard 03–1

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO VEHICLES	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO PEDESTRIANS AND BICYCLES ONLY	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT RAILWAY CROSSINGS	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
+ MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
± GRADE DIFFERENCE
+ 0.3m (VEHICLE OR RAILWAY LOCATION)
+ SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'–0"
760cm	25'–4"
730cm	24'–4"
520cm	17'–4"
480cm	16'–0"
442cm	15'–5"
370cm	12'–4"
340cm	11'–4"
310cm	10'–4"
250cm	8'–4"

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

REFERENCES	
SAGS AND TENSIONS	SECTION 02

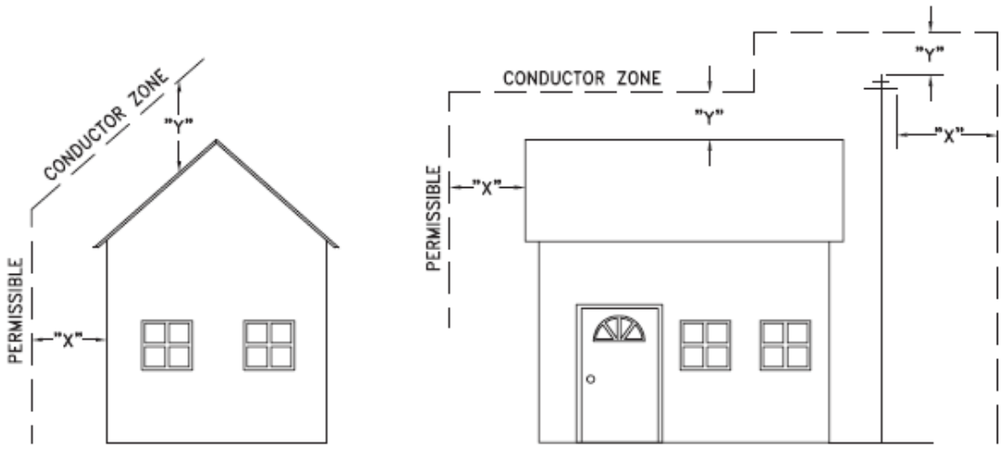
MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04

Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier

ORIGINAL ISSUE DATE: 2010–DEC–24 REVISION NO: R1 REVISION DATE: 2012–JAN–09

Construction Standard 03–4



VOLTAGE	MINIMUM HORIZONTAL CLEARNACE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0–600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI–LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03–1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1–06 (TABLE–9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'–0"
300cm	10'–0"
250cm	8'–4"
100cm	3'–4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04

Debbie Dadwani, P.Eng. — Name
2010-MAY-05 — Date
P.Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010–MAY–05 REVISION NO: REVISION DATE:

P:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\03–4\DWG 03–4 R0 May 5, 2010.dwg, 5/5/2010 8:27:32 AM, Adobe PDF

2141 Major Mackenzie Drive
Vaughan, Ontario
Canada L6A 1T1
(905) 832-2281

To: Committee of Adjustment

From: Christian Tinney, Building Standards Department

Date: May 15, 2025

Applicant: Weston Consulting

Location: 6100 Langstaff Road
CONC 9 Part of Lot 11

File No.(s): A062/25

Zoning Classification:

The subject lands are zoned EM1 – Prestige Employment Zone and subject to the provisions of Exception 14.1131 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The minimum number of parking spaces required is 239 spaces. **[Table 6-2]**	To permit a minimum of **147 parking spaces**.
2	The minimum number of loading spaces required for non-residential buildings with a Gross Floor Area between 10,000 square metres and 19,999 square metres is 1 Type A and 3 Type B loading spaces. **[Table 6-18]**	To permit a minimum of **3 loading spaces** (2 Type A and 1 Type B).

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

Order No. 24-124665, Order to Comply for, Issue Date: Jul 23, 2024.

Building Permit(s) Issued:

Building Permit No. 24-118310 for Single Use (Industrial) - Alternative Solutions, Issue Date: (Not Yet Issued)
Building Permit No. 24-119971 for Single Use (Industrial) - New, Issue Date: (Not Yet Issued)
Building Permit No. 23-127868 for Single Use (Industrial) - New, Issue Date: Oct 01, 2024
Building Permit No. 23-127868 for Single Use (Industrial) - Fire Protection Systems, Issue Date: Apr 07, 2025
Building Permit No. 21-101275 for Barn/Shed/Greenhouse (Agricultural - Non-Residential Demolition, Issue Date: Mar 05, 2021

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

VAUGHAN

memorandum

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development and Parks Planning

Date: June 6, 2025

Name of Owner: Chris Johnson – 3288212 Nova Scotia Ltd.

Location: 6100 Langstaff Road

File No.(s): A062/25

Proposed Variance(s):

1. To permit a minimum of **147** parking spaces.
2. To permit a minimum of 3 loading spaces (**2 Type A** and **1 Type B**).

By-Law 001-2021 Requirement(s):

1. The minimum number of parking spaces required is **239** spaces.
2. The minimum number of loading spaces required for non-residential buildings with a Gross Floor Area between 10,000 m^2 and 19,999 m^2 is **1 Type A** and **3 Type B** loading spaces.

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Prestige Employment" by Chapter 11.9 (West Vaughan Employment Area Secondary Plan).

Comments:

The Owner is seeking relief to permit the development of an industrial building with the above noted variances. The proposed building represents Phase 2 of a two-phased data processing centre development consisting of two low-rise buildings. A minor variance application was approved in 2023 (file A079/23) to permit similar variances to reduce the minimum parking and loading space requirements for Phase 1. The current minor variance application proposes reduced parking and loading space requirements for all proposed structures and buildings on the property.

A Transportation Brief by WSP, dated April 11, 2025, was submitted in support of the variance application. The brief surveys similar data processing centres and concludes that the proposed data processing centre is expected to generate limited parking and loading demands. Development and Transportation Engineering staff have reviewed the Transportation Brief and do not anticipate that the reduced parking and loading supply will negatively impact the functionality of the proposed development.

Accordingly, the Development and Parks Planning Department supports the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:
The Development and Parks Planning Department recommends approval of the application, subject to the following condition.

Conditions of Approval:
If the Committee finds merit in the application, the following condition of approval is recommended:

1. That all comments on Site Development Application DA.24.070 be addressed to the satisfaction of the Development and Parks Planning Department.

Comments Prepared by:
Harry Zhao, Planner
Janany Nagulan, Senior Planner

From:	Cameron McDonald
To:	Committee of Adjustment Mailbox
Subject:	[External] RE: A062/25 (6100 Langstaff Road) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date:	May-20-25 2:39:24 PM
Attachments:	image002.png

Good afternoon,

TRCA staff have no concerns with respect to Minor Variance Application A062/25 (6100 Langstaff Road).

Thank you,

Cameron McDonald
Planner I
Development Planning and Permits | Development and Engineering Services

T: (437) 880-1925
E: cameron.mcdonald@trca.ca
A: 5 Shoreham Drive, Toronto, ON, M3N 1S4 | trca.ca

Toronto and Region Conservation Authority

GREATER TORONTO'S TOP 2025 EMPLOYERS

From: Development Services
To: Committee of Adjustment Mailbox
Subject: [External] RE: A062/25 (6100 Langstaff Road) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Thursday, May 22, 2025 10:57:10 AM
Attachments: image001.png

Good morning,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Regards,

Gabrielle

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Gabrielle Hurst (she/her) – **MCIP, RPP**
Associate Planner, Development Planning, Economic and Development Services Branch
Corporate Services Department

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 8V3
O: 905-830-4444 ext. 71538 | developmentservices@york.ca | www.york.ca
Our Mission: **Working together to serve our thriving communities – today and tomorrow**

For more information check us out at www.york.ca/developmentservices

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			05/08/2025	Application Cover Letter
Applicant			05/07/2025	Transportation Brief
Applicant			05/07/2025	Tree Inventory Plan

2025-04-11

Ms. Samar SaadiNejad
Manager, Development Transportation Engineering
City of Vaughan, Planning and Growth Management Portfolio
Vaughan, ON L6A 1T1

Subject: Transportation Brief –YTO12 Data Processing Centre
6100 Langstaff Road, City of Vaughan

Dear Ms. SaadiNejad:

WSP Canada Group Limited has been retained to provide transportation services in support of a Site Plan Application (SPA) related to the proposed YTO12 data processing center to be located at 6100 Langstaff Road in the City of Vaughan. The subject site is currently a vacant piece of land, located in the northwest corner of the Highway 27 and Langstaff Road. The site is bounded by Highway 27 to the east, Langstaff Road to the south, Line Drive to the west, and Costco Distribution Center to the north. The site location is shown in **Figure 1**.

The proposed data processing center will be comprised of a three-storey building situated in the north-west part of the subject site. The south portion of the site is being developed under a separate SPA and will include a two-storey data centre and a utility substation. The Transportation Brief in support of the YT011 SPA application, dated March 17, 2022, has been approved by the City of Vaughan. The proposed site plan, which also shows the proposed development to be located in the south portion of the site, is illustrated in **Figure 2**.

Based on the City of Vaughan Transportation Impact Study Guidelines, a traffic impact study is required if the development will add 100 trips or more during the peak hour to the surrounding road network. Moreover, York Region Transpiration Mobility Guidelines stipulates that a Transportation Mobility Plan Study is required when the proposed generates 100 or more person trips. Vehicular trips generated by the proposed development would be below the criteria noted above; hence, it is deemed that a Transportation Brief would be adequate in support of the development application.

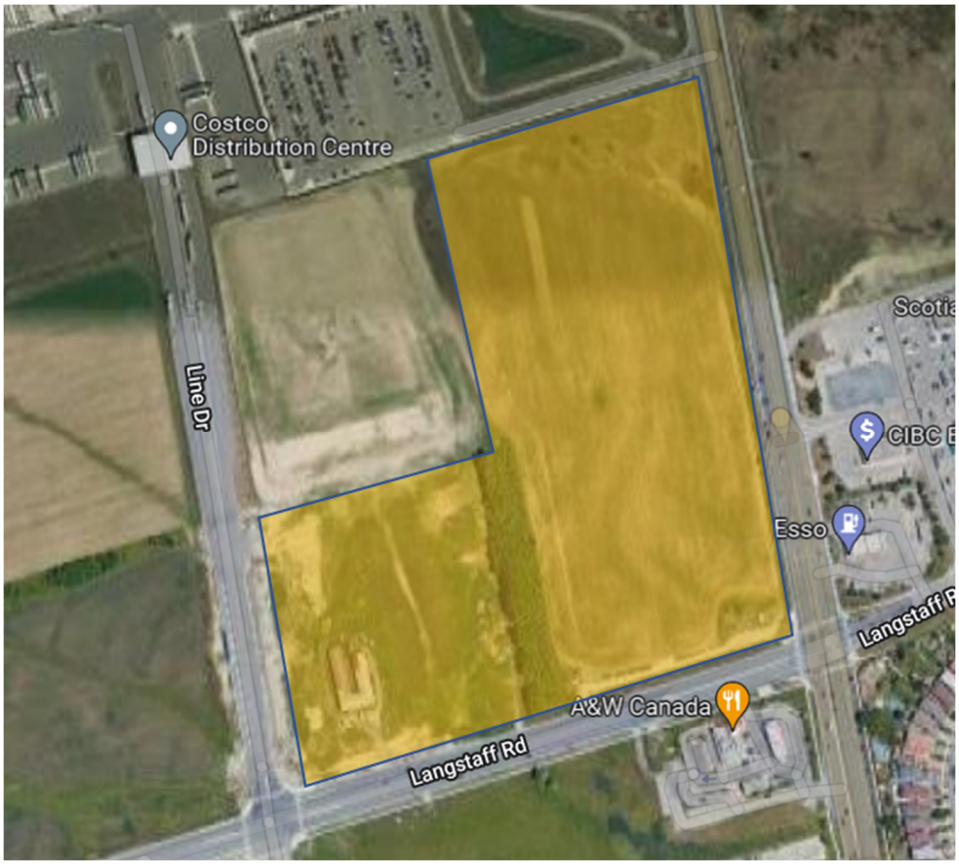


Figure 1: Site Location

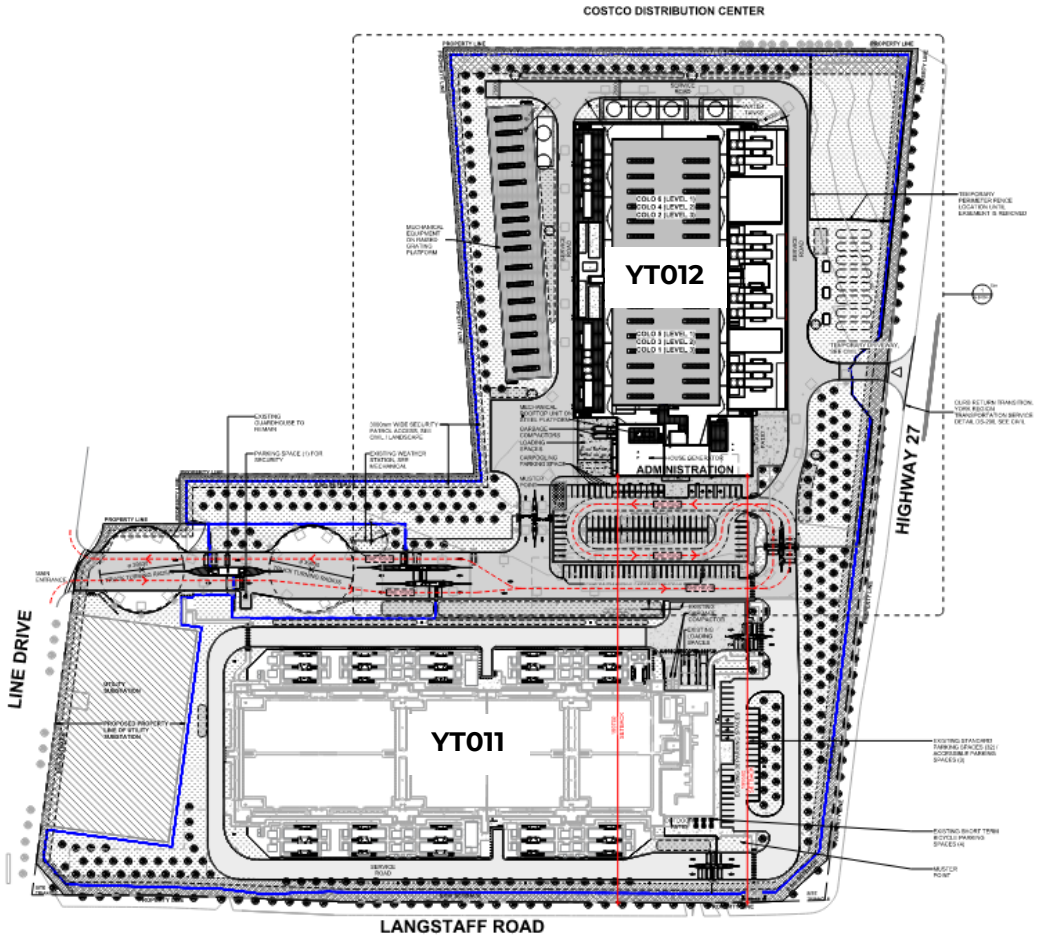


Figure 2: Site Plan

EXISTING TRANSPORTATION CONDITIONS

BOUNDARY ROADWAYS

The subject site has a very good access to the arterial and freeway road network. The following boundary roadways were identified within the vicinity of the subject site.

- **Highway 27** is a major north-south arterial road under the jurisdiction of the York Region. In this area, Highway 27 has a five-lane cross-section consisting of two lanes in each direction and a two-way left turn lane. The posted speed limit is 70 km/h.
- **Langstaff Road** is a major east-west arterial road under the jurisdiction of the York Region. In this area, Langstaff Road has a five-lane cross-section consisting of two lanes in each direction and a two-way left turn lane. The posted speed limit is 60 km/h.
- **Line Drive** is a local industrial road under the jurisdiction of the City of Vaughan. Line Drive has a four-lane cross-section. Line Drive currently exclusively serve the Costco Distribution Centre. .
- **Highway 427**, a north-south provincial freeway, is located approximately 500 metres from the subject site. The extension of Highway 427 from Highway 7 to Major Mackenzie Drive, with a new interchange on Langstaff Road, was completed in 2021.

ACTIVE TRANSPORTATION INFRASTRUCTURE

Pedestrian sidewalks are provided on all three roads bounding the subject site. However, only on Line Drive the sidewalk is adjacent to the subject site, while along Highway 27 and Langstaff Road sidewalks are located on the opposite side from the subject site. The sidewalk on Highway 27 is located on the ease side, and the sidewalk on Langstaff Road is located on the south side.

Bike Lanes are provided on both sides of Langstaff Road. No cycling infrastructure is provided on Highway 27 and Line Drive.

TRANSIT SERVICE

The subject site is served by York Region Transit (YRT) Bus Route 7. This bus route operates Monday to Saturday and provides services between Al Palladini Community Centre in Vaughan and Woodbine Centre in Etobicoke. The weekday peak-period headways of this route are approximately 36 minutes in the morning and afternoon. This bus route connects to the two bus rapid routes (605 VIVA Orange and 501 Züm Queen) running along Highway 7 with the combined headways around 5 minutes.

PROPOSED DEVELOPMENT

TRIP GENERATION

The trip generation for the proposed development was assessed using the 'First Principles' method. The Institute of Transportation Engineers (ITE) Trip Generation Manual, 11th Edition contains the trip generation rates for the Data Center land use. However, these rates were established based on a very limited number of surveys (six sites), and therefore these rates might not be reliable. For this reason, it is our opinion that the 'First Principles' method is a more appropriate approach for estimating the trip generation for the proposed development.

Based on the information received from the Client, the proposed data processing centre will host a maximum of 100 employees, including security staff. The employees will work in two 12-hour shifts, with some time overlap. The day shift will start between 5-6 a.m. and the night shift will start between 4-6 p.m. Additionally, there will be some flexibility in arrival/departure time within these 2-hour periods, and not all employees will arrive and depart within a single hour period. Out of these 100 employees up to 70 employees will be working the day shift, and the night shift will have 30 employees. Four carpool spaces will be provided at the site, and employees will be encouraged to carpool and commute to work together. Applying a conservative assumption that all employees would arrive at the site within a single hour (actual arrival/departure time would be two hours) and that two employees would commute together per a car pool space, the maximum vehicular hourly trip generation would occur during the shift changes where a total of 92 trips would be generated (36 out / 66 in during the night/day shift change, and 66 out / 36 in during the day/night shift change). This demonstrates that the maximum trip generation is below the TIS threshold of 100 vehicular trips. It should be noted that the application of the ITE rates would yield the lower number of the site trips. It is anticipated that the site trips will have a nominal impact on the surrounding area, especially during the morning period since the shift change would occur outside of the peak traffic operations period which typically occurs from 7 a.m. to 9 a.m.

It should be noted that the site is anticipated to generate up to 20 and 30 visitor trips throughout day; however, all of these trips will occur outside of shift change times (and therefore outside of peak hours).

SITE ACCESS

The access to the proposed data processing centre would be provided via a full-moves access on Line Drive. This access would be shared with the proposed site to be located on the southern portion of the property. Line Drive exclusively serves the Costco Distribution Centre and in the future will also serve the proposed development to be located on the southern portion of the subject site. Hence, this road carries relatively low traffic volumes. Given relatively low traffic volumes on Line Drive and the site trip generation, it is anticipated that the proposed site access would operate at an excellent level of service. The access to the arterial road network would be provided via the signalized intersection of Langstaff Road and Line Drive. Given the low trip generation, it is reasonable to assume that the proposed development would have a nominal impact on the road network in the area.

An additional site access will be provided on Highway 27, but this access is proposed to operate as an emergency access only.

PARKING REQUIREMENTS

VEHICLE PARKING

The City of Vaughan By-law No. 001-2021 does not specify the vehicle parking requirements for the data center land use. It is proposed to provide 147 parking spaces, including seven accessible parking spaces, eight electric vehicle spaces, and four carpool spaces on the site. This parking supply will be shared with the adjacent YT011 data processing centre. Applying a very conservative assumption that all employees would drive to work, the maximum peak parking demand on the site would not exceed the proposed 147 parking spaces. Hence, this demonstrates that the proposed parking supply is adequate to serve the needs of the development.

Parking Supply Requirements

The parking requirements for the proposed development are regulated by *The Corporation of the City of Vaughan By-law Number 1-88.* Data centers as an industry development use are relatively new, and the By-law 1-88 does not contain the parking rates for this land use. The by-law 1-88 specifies the parking requirements for employment, industrial and warehouse uses. The by-law-parking rates relevant to the proposed development are shown in **Table 1** below. The data centers are a separate and distinct use that has very different parking demand characteristics than these 'traditional' industrial and employment uses. Hence, the application of the parking by-law rates for these 'traditional' industrial/employment uses is not appropriate, and it would result in a significant parking oversupply on the site.

IBI Group prepared the *Review of Parking Standards Contained Within The City of Vaughan's Comprehensive Zoning By-law* report in March 2010. Although this draft parking standards report has not been officially approved by Council to date, it is considered to be a good reference document for assessing parking needs for new developments. Based on the parking surveys conducted at industrial and employment sites, the IBI repot concluded that the average parking

utilization at these sites was quite law with 95 percent showing excess capacity since their utilization rates were below 70 percent, and in many cases well below this level. The IBI report recommended reducing the parking rates for the industrial and employment uses to 1 space per 100 m^2 of GFA. Hence, the IBI study also demonstrates that the application of the By-law 1-88 parking rates for the proposed development would result in the parking oversupply.

Table 1: By-law 1-88 Parking Rates

Industrial Use and Employment use other than Warehousing (building > 3,700m^2 GFA)	**The greater of,** 1.5 spaces / 100m^2 GFA devoted to industrial use + 2 spaces / 100m^2 GFA devoted to ancillary office use + the requirements for any other use **OR** 3.5 spaces / unit
Industrial Uses and Employment use other than Warehousing (building ≤ 3,700m^2 GFA)	**The greater of,** 2 spaces / 100m^2 GFA **OR** 3.5 spaces / unit
Industrial Use and Employment use, Multi-Unit, containing more than four (4) units	**The greater of,** 2 spaces / 100m^2 GFA **OR** 4 spaces / unit
Warehouse Use	1 spaces / 100m^2 GFA

Parking Supply Justification

For most industrial uses, the parking demand is a function of the number of employees commuting to the site by car and a number of visitors accessing the site. Data centers typically have a much lower number of employees compared to other industrial uses. Based on the information received from the Client, the proposed data processing centre will host a maximum of 100 employees, including security staff. This represents the maximum number of people at the site during the day, but the number of people at the site at any one time will be lower. Shift changes for the YTO11 and YTO12 sites will be staggered. YTO12 shift changes will be at 6:00 a.m. and 6:00 p.m., YTO11 shift changes will be at 8:00 a.m., and 4:00 p.m. The YTO12 site is anticipated to have 100 employees total (70 who will be working the day shift and 30 who will be working the night shift). The YTO11 site is anticipated to 70 employees, including security staff working in three shifts. Out of these 70 employees, 50% to 60% (35 to 42 people) will be working in the day shift, and the afternoon and night shift will have 25% to 30% (18 to 21) employees per shift. The facility will be secured, and visitors will need to schedule an appointment to gain entrance. Hence, it is anticipated that there will be up to 20 and 30 visitor trips throughout day; however, all of these trips will occur outside of shift change time.

Applying the most conservative assumption that all employees would drive to work, the peak employee parking demand would occur during the shift changes, and this demand will not ever exceed the proposed 147 space parking supply. The maximum parking demand of 130 spaces will occur between 7:30 a.m. - 8:00 a.m. and 3:30 p.m. – 4:00 p.m., resulting in the parking surplus of 17 spaces. Between these two periods, the maximum employee parking demand will be 112 spaces, leaving 35 spaces available for visitors which exceeds the anticipated maximum number of 30 visitor throughout the entire day. Hence, this demonstrates that the proposed parking supply of 147 spaces exceeds the maximum combined employee and visitor parking demand at any given point throughout the day. The anticipated employee parking demand throughout the 24-hour period is summarized in **Table 1**.

Table 1: Maximum Parking Demand Throughout a Typical Day

TIME	YTO11 EMPLOYEES	YTO12 EMPLOYEES	PARKING USED	AVAILABLE SPACES
5:30 AM – 6:00 AM *During YTO12 Shift Change*	Night Shift Working: 18	Day Shift Arriving: 70 Night Shift Leaving: 30 Total: 100	118	29
6:00 AM – 7:30 AM *Between YTO11 & YTO12 Morning Shift Changes*	Night Shift Working: 18	Day Shift Working: 70	88	59
7:30 AM – 8:00 AM *YTO11 Shift Change*	Night Shift Leaving: 18 Day Shift Arriving: 42 Total: 60	Day Shift Working: 70	130	17
8:00 AM – 3:30 PM *During YT011 & YTO12 Day Shifts*	Day Shift Working: 42	Day Shift Working: 70	112	35
3:30 PM – 4:00 PM *YTO12 Shift Change*	Day Shift Working: 42 Afternoon Shift Arriving:18 Total:60	Day Shift Working: 70	130	17
4:00 PM – 5:30 PM *Between YTO11 & YTO12 Evening Shift Changes*	Afternoon Shift Working: 18	Day Shift Working: 70	88	59
5:30 PM – 6:00 PM *YTO11 Shift Change*	Afternoon Shift Working: 18	Night Shift Arriving: 30: Day Shift Leaving: 70 Total: 100	118	29
6:00 PM – 5:30 AM *During YT011 & YTO12 Night Shifts*	Afternoon Shift Working: 18	Night Shift Working: 30	48	99

It is recognized that that the City of Vaughan typically requires surrogate site parking utilization surveys to be provided in support of proposed parking supply rates that do not meet the by-law requirements. This is a reasonable approach in the case of most land uses (e.g. residential, office, retail, restaurants, etc.). However, due to the very specific nature of this land use, the application of the surrogate site parking surveys would not be beneficial or appropriate for several reasons discussed below.

- The data center sites have very restricted access, and it is unlikely that permission could be gained to access these sites.
- Utilization of the GFA size as an independent variable to determine parking demand rates would not be applicable since there is absolutely no linear relationship between the number of employees needed and the GFA size of the building. For example, the same number of employees could service sites that have significantly different GFA sizes. This is a major difference between this use and other typical employment uses for which there is a fairly linear relationship between the number of employees and the GFA size.
- The parking demand will need to be based on the number of employees as an independent variable (parking demand rate per employee). If parking surveys are to be conducted then the maximum potential observed demand parking rate would be equal to 1.00 space per employee. In our parking needs assessment, this maximum parking demand rate per employee is already assumed (it is assumed that all employees will drive to the site). Hence, the application of the maximum parking rate per employee observed at the surrogate site

would be in the worst-case scenario equal to the parking demand rate used in our assessment.

As noted above, data centers are a relatively new and distinct use land use that has very different parking demand characteristics than the 'traditional' industrial and employment uses, but that has not been recognized in the existing municipal parking by-laws. WSP has been involved in the development application for the two data center developments in the City of Toronto, and the parking supply for these sites is discussed below.

Site 1: YTO40 Site located at 48 Lowe's Place, City of Toronto: This site is very similar in size to the proposed YTO11 site. The City of Toronto's parking by-law does not contain the parking rates for this land use. Based on the parking rates for industrial use, a minimum of 239 parking spaces are required. However, recognizing the specific parking demand nature of this, the City approved the parking supply of 59 spaces.

Site 2: Data Storage Centre (STACK) development to be located at 3650 Danforth Avenue in the City of Toronto: This development involves the redevelopment of pharmaceutical employment buildings into three data center buildings. Based on the number of staff employed at other similar STACK facilities, each building is likely to host around 10 to 12 employees. This means that a total of 30 to 36 STACK employees will commute daily to the site. It is anticipated that STACK's clients might have a few people at the site during business hours on specific days during the week. Therefore, the absolute maximum total number of 40 to 50 people will travel to the site daily on a reasonably regular basis once all three buildings will be operating at full capacity. This represents the maximum number of people at the site during the day, but the number of people at the site at any one time will be significantly lower. The site will operate 24 hours daily (a mix of 8 hours and 12 hours shifts will be used), while regular business hours for STACK operations will be 6:00 am to 4:00 pm. Due to the shift work, a total of about 10 STACK employees are expected to be on the site at the same time during regular business hours. Hence, it was estimated that the site will generate the peak parking demand of 30 parking spaces.

BICYCLE PARKING

Based on the City of Vaughan By-law No. 001-2021, it is not required to provide bicycle parking spaces on the site. However, it is proposed to provide six indoor and four outdoor (for a total of 10) bicycle parking spaces on the site.

PAVEMENT MARKING & SIGNAGE PLAN

Locations of traffic control signage and pavement markings were explored to ensure safe vehicular operations within the study area. **Figure 1** illustrates the proposed signage and pavement marking plan.

SITE PLAN REVIEW

Site circulation along internal roadways was tested using the Transoft AutoTurn 11.0 software suite by Transoft Solutions, which simulates vehicle movements based on typical vehicle design characteristics. The following vehicles were selected for analysis:

TRACTOR SEMI-TRAILER

Tractor-trailer commercial vehicle WB-67 trucks were tested entering and exiting the site at both the western and eastern driveways. As shown in **Figure 2** and **Figure 3**, no issues have been identified for all the tested turns.

FIRE TRUCKS

A review of the proposed fire access route was undertaken, and it is concluded that it complies with the Ontario Building Code requirements.

Figure 4 illustrates the movement of the fire truck along the fire route. The analysis indicates that there are no problems with the maneuverability of a fire truck entering and exiting the subject site.

TRANSPORTATION DEMAND MANAGEMENT

Transportation Demand Management (TDM) is a set of policies and programs that support the reduction of single-occupant vehicle (SOV) trips, especially during peak hours. This can be done through shifting when the trips occur (out of peak hours), increasing vehicle occupancy, or increasing use of non-auto modes. The City of Vaughan TDM requirements builds on the York Region Mobility Plan Guidelines, which stipulate that a TDM plan is required when the development is proposed to contain 50 or more residential units and/or if it is expected to generate 100 or more total person trips. The proposed development will not meet these thresholds; hence, it is not required to prepare the TDM plan. Additionally, it should be noted that, due to the nature of the operations of the proposed development, employees would not necessarily arrive or depart for their shifts during peak traffic conditions. However, recognizing the importance of reducing of single-occupant vehicle (SOV) trips, the following TDM initiatives will be considered.

CARPOOLING

A TDM initiative currently used in York Region is carpooling. The Smart Commute website provides links to programs where commuters can find other drivers to carpool with. If there is adequate demand, 4 parking spaces, conveniently located near employee entrances to the buildings, would be reserved for carpooling. It is also recommended that notices encouraging and facilitating carpooling be posted on the employee message boards on site.

TRANSIT

The subject site is serviced by public transit with existing bus stops located at the intersection of Highway 27 and Langstaff Road. However, given that buses run with the 36 minutes frequency and the shift work, it is unlikely that transit will be a very effective TDM measure.

CYCLING AND WALKING FACILITIES

Cycling lanes on Langstaff Road are immediately accessible to the subject site. Although there are currently no bicycle parking standards specified within The City of Vaughan By-law No. 001-2021, 10 bicycle parking spaces will be provided in a convenient location to facilitate commuters

choosing to commute to work by bicycle. Pedestrian sidewalks are also provided on the south side of Langstaff Road, east side of Highway 27, and the east side of Line Drive.

The proposed TDM recommendations are summarized in **Table 2** as per Region's Transportation Mobility Plan Guidelines.

Table 2: Recommended TDM Measures

TDM Measure	Description	Estimated Cost	Financial Role/ Responsibility	Implementation Procedure
Transit Incentive Program	TDM Information Package to employees	--	Applicant	Applicant will provide information on real-time transit, location of bike parking, smart commute, car share and other transportation related information
PRESTO Cards	Pre-loaded PRESTO cards with a value of one-month of a typical two-way commute for at least 25% of employees	TBD	Applicant	Applicant will work with employees on implementation of the program
Pedestrian and Cycling Connections	Applicant to provide connections internally and to the existing active transportation network	--	Applicant	Constructed as part of development plan
Bicycle Parking	10 parking spaces for employees	Included in construction cost of development	Applicant	Constructed as part of development plan

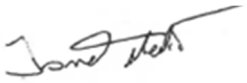
CONCLUSIONS

The proposed data processing center is expected to have a nominal impact on traffic operation in the surrounding area. Using the most conservative assumptions, the proposed development would generate a maximum of 90 two-way trips during peak hour of trip generation. The proposed full-moves site access on Line Drive is adequate to accommodate the future site trips.

The proposed combined YT011 and YT012 parking supply of 147 spaces exceeds the maximum anticipated parking demand even when very conservative parking demand assumptions (all employees driving to work) are used.

The site plan review indicates that the various design vehicles can be adequately accommodated at the site.

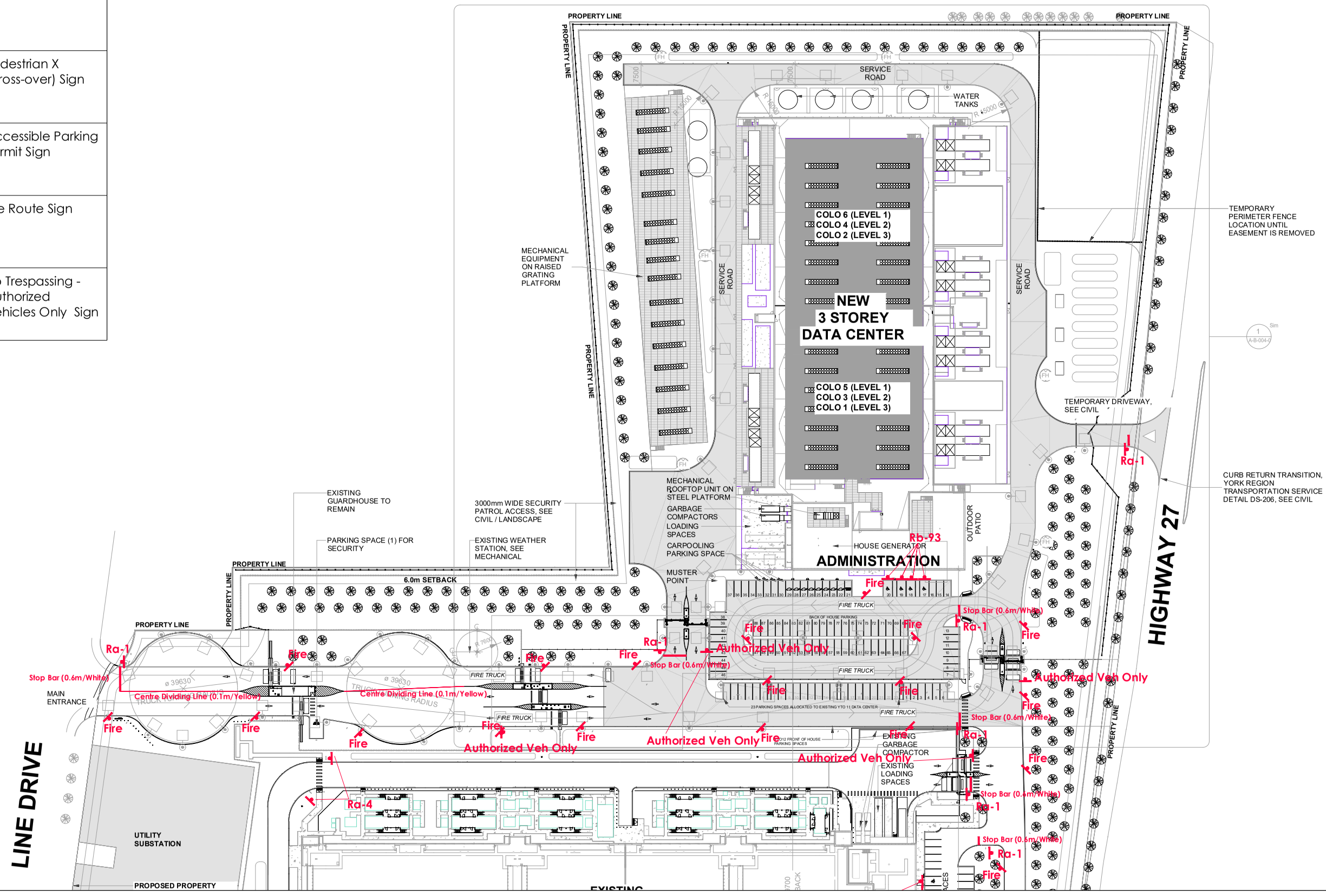
Yours sincerely,



Ismet Medic, B.A.Sc.
Senior Principal & Technical Director
Transportation Planning & Advisory

LABEL	SIGN	NAME
Ra-1		Stop Sign
Ra-4		Pedestrian X (Cross-over) Sign
Rb-93		Accessible Parking Permit Sign
Fire		Fire Route Sign
Authorized Veh Only		No Trespassing - Authorized Vehicles Only Sign

COSTCO DISTRIBUTION CENTER



Date Site Plan Received: 2024-12-03

Scale: 1:1200

Figure 1
Signage and Pavement Marking Plan
YTO 12

C:\Users\nima.farid\OneDrive - WSP O365\Desktop\Projects\211-00529-02 YTO11\2024-12-02\CAD

PROPERTY LINE

PROPERTY LINE

SERVICE ROAD

WATER TANKS

COLO 6 (LEVEL 1)
COLO 4 (LEVEL 2)
COLO 2 (LEVEL 3)

NEW
3 STOREY
DATA CENTER

COLO 5 (LEVEL 1)
COLO 3 (LEVEL 2)
COLO 1 (LEVEL 3)

MECHANICAL EQUIPMENT ON RAISED GRATING PLATFORM

EXISTING GUARDHOUSE TO REMAIN

PARKING SPACE (1) FOR SECURITY

3000mm WIDE SECURITY PATROL ACCESS, SEE CIVIL / LANDSCAPE

EXISTING WEATHER STATION, SEE MECHANICAL

MECHANICAL ROOFTOP UNIT ON STEEL PLATFORM

GARBAGE COMPACTORS

LOADING SPACES

CARPOOL PARKING SPACE

HOUSE GENERATOR

ADMINISTRATION

OUTDOOR PATIO

MUSTER POINT

6.0m SETBACK

FIRE TRUCK

BACK OF HOUSE PARKING

23 PARKING SPACES ALLOCATED TO EXISTING YTO 11 DATA CENTER

YTO12 FRONT OF HOUSE PARKING SPACES

TRUCK TURNING RADIUS

EXISTING GARBAGE COMPACTOR

EXISTING LOADING SPACES

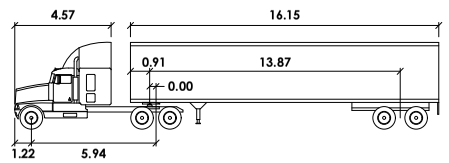
EXISTING
2 STOREY
DATA CENTER

199700 SETBACK

PARKING SPACES

Date Site Plan Received: 2024-12-03

Scale: 1:1500

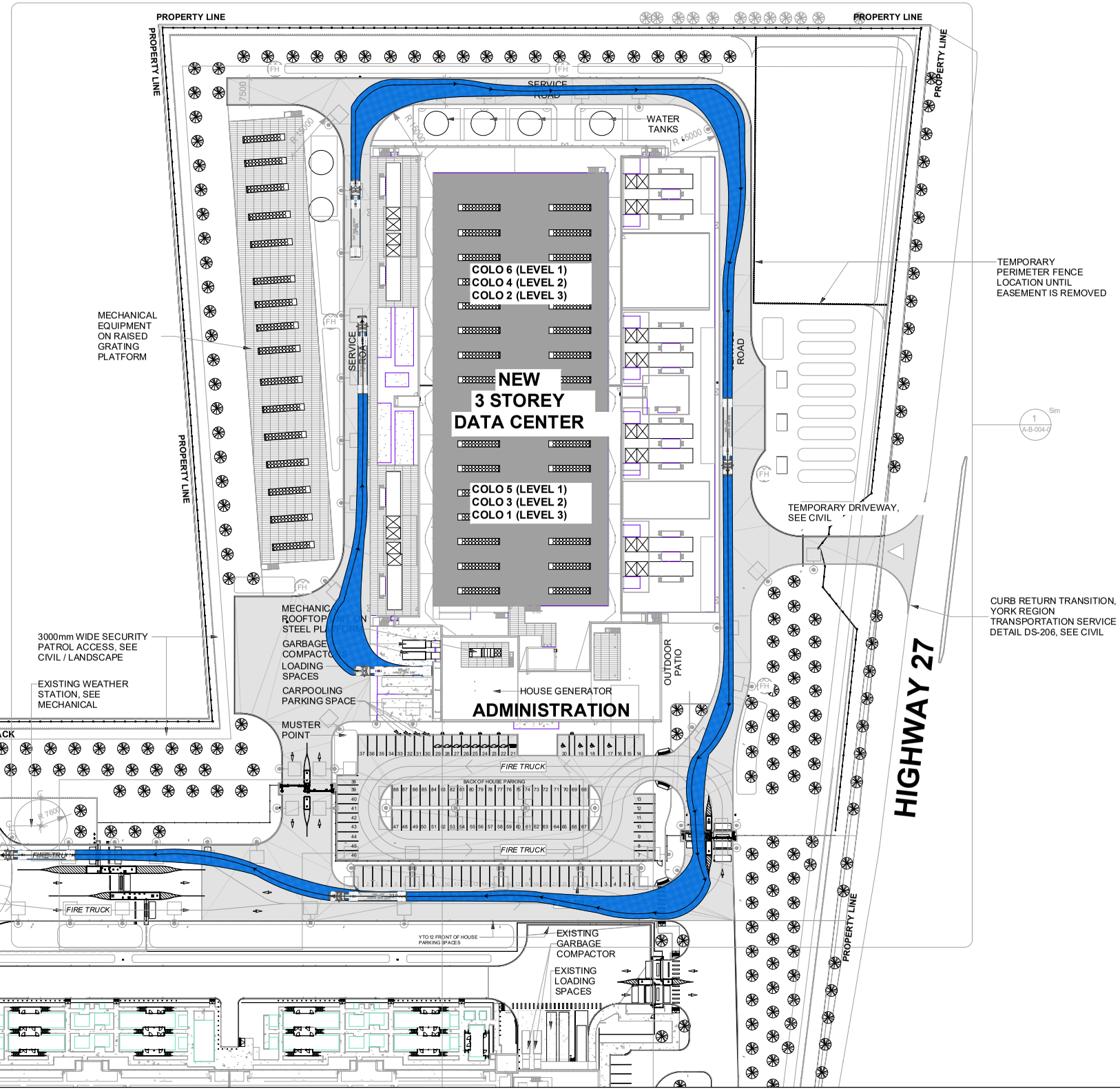


WB-67

	meters		
Tractor Width	: 2.44	Lock to Lock Time	: 6.0
Trailer Width	: 2.59	Steering Angle	: 28.4
Tractor Track	: 2.44	Articulating Angle	: 75.0
Trailer Track	: 2.59		

Figure 2
WB-67 (53ft Trailer) Truck Turning Maneuver Simulation Review - Western Access YTO 12

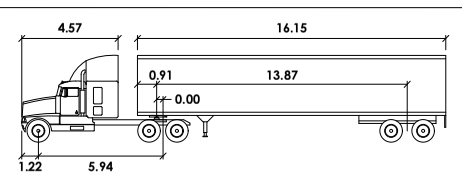
COSTCO DISTRIBUTION CENTER



C:\Users\nima.farid\OneDrive - WSP O365\Desktop\Projects\211-00529-02 YTO11\2024-12-02\CAD

Date Site Plan Received: 2024-12-03

Scale: 1:1500

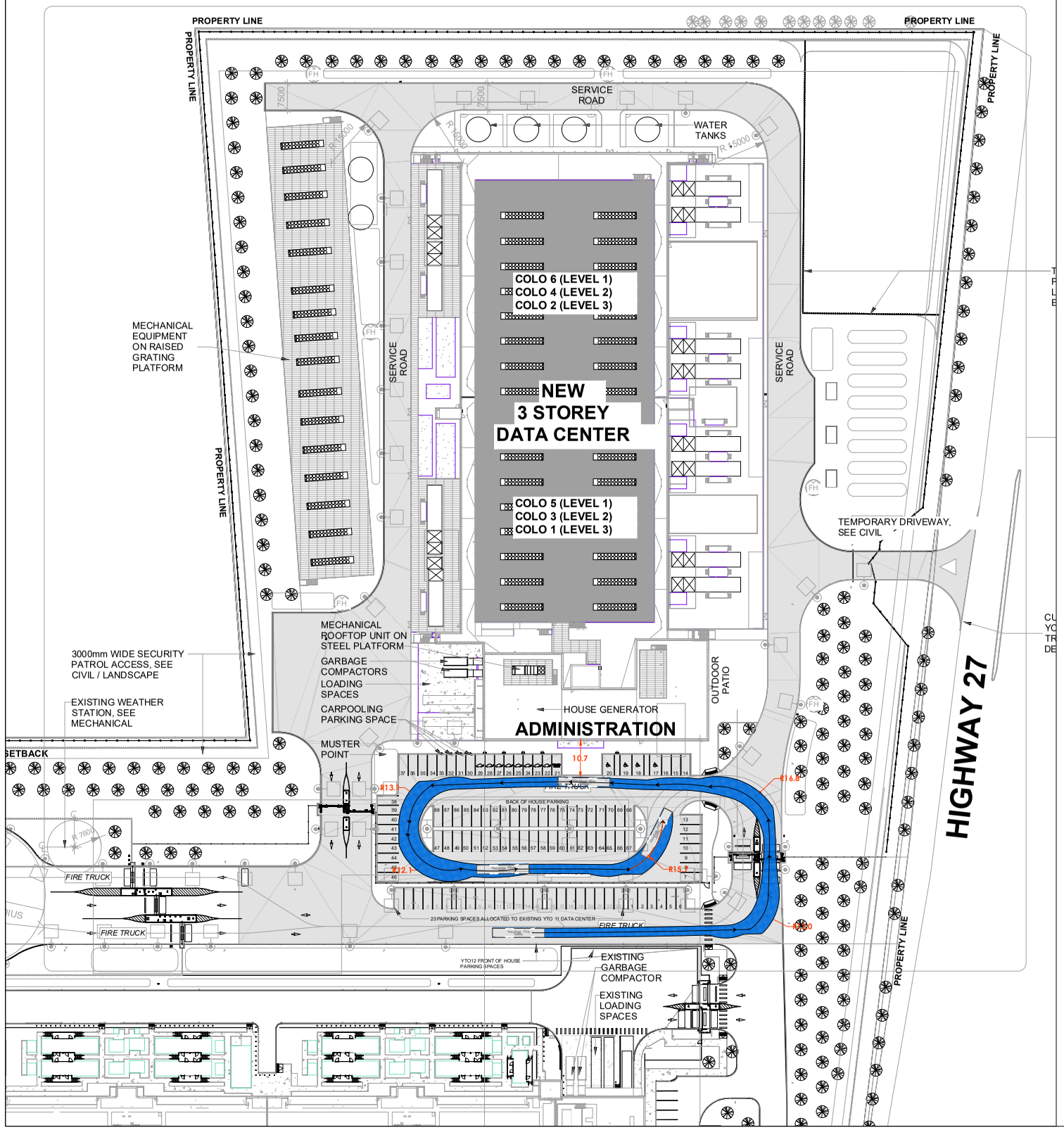


WB-67

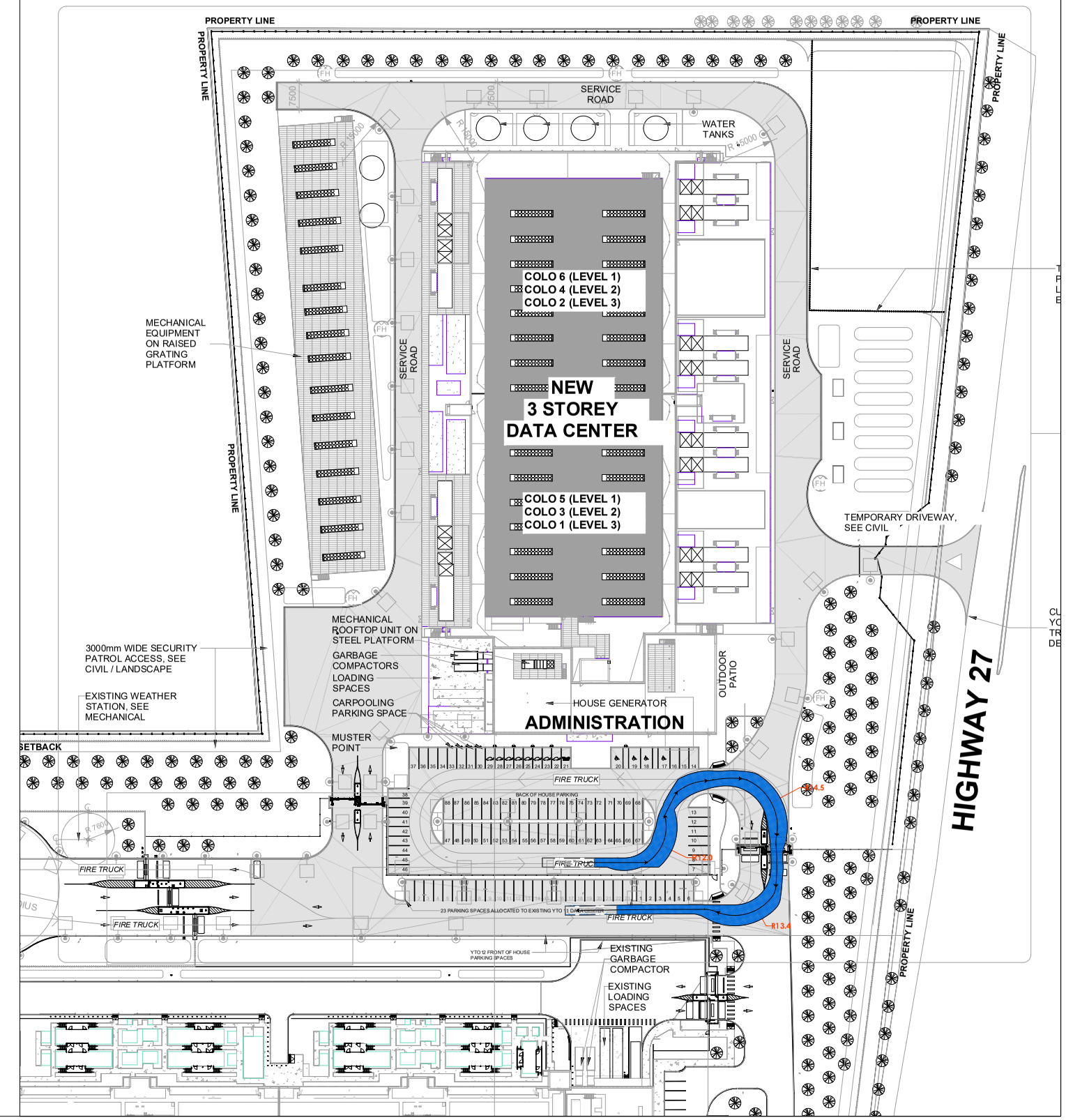
	meters		
Tractor Width	: 2.44	Lock to Lock Time	: 6.0
Trailer Width	: 2.59	Steering Angle	: 28.4
Tractor Track	: 2.44	Articulating Angle	: 75.0
Trailer Track	: 2.59		

Figure 3
WB-67 (53ft Trailer) Truck Turning Maneuver Simulation Review - Eastern Access YTO 12

COSTCO DISTRIBUTION CENTER



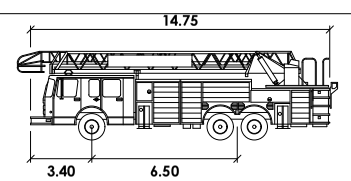
COSTCO DISTRIBUTION CENTER



C:\Users\nima.farid\OneDrive - WSP O365\Desktop\Projects\211-00529-02 YTO11\2024-12-02\CAD

Date Site Plan Received: 2024-12-03

Scale: 1:1500



Vaughan Fire

	meters
Width	: 2.59
Track	: 2.50
Lock to Lock Time	: 6.0
Steering Angle	: 32.8

Figure 4
Fire Truck Turning Maneuvers
YTO 12

MEMORANDUM

MORRISON HERSHFIELD

TO:	Matt Treat, DCE Design Manager	FROM:	Matthew Hooker, Arborist and Landscape Architect
		PROJECT No.:	210354600
RE:	YTO11 – Langstaff Road Data Center Tree Inventory and Assessment	DATE:	November 14, 2022 Revised February 21, 2023 Revised April 19, 2023 Revised June 15, 2023 Revised July 4, 2023

INTRODUCTION

Morrison Hershfield (MH) has been retained by Microsoft to provide detailed design and engineering services for the proposed data center, refer to **Figure 1** for a key map of the location, which is located within the City of Vaughan. The project study area is located within the jurisdiction of the City of Vaughan (Tree Protection By-Law 052-2018). This site does not fall within the Toronto and Region (TRCA) regulated area. A portion of the trees adjacent to this site are within the City of Vaughan right of ways (ROW) or on neighbouring properties and affect the vista from Highway 27 and Langstaff Road.

The purpose of this Memorandum is to provide the City of Vaughan with applicable information on existing trees of all diameters within the City ROW and those with a diameter greater than 20cm on private property where the work is proposed. In addition, it provides an overview of the recommended construction Best Management Practices (BMPs) and mitigation measures that the Contractor will need to implement at the site to avoid or minimize potential impacts.

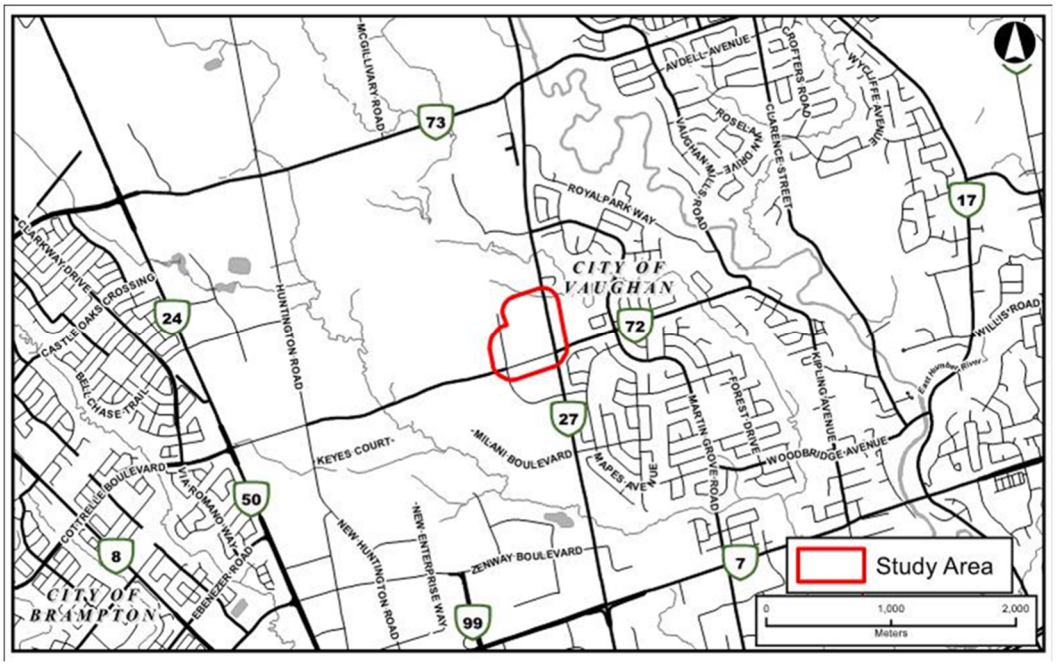


Figure 1. Key Map of the Project Location

MEMORANDUM

MORRISON HERSHFIELD

PROPOSED WORK

The proposed work includes the removal of the existing site features, such as the trees, to make way for the construction of a new data center. The data center will require re-grading to accommodate the proposed new structures, utilities and site layout.

METHODOLOGY

Field investigations were completed on **January 26, 2022**, to confirm and supplement background data, and facilitate characterization of the study area. The study area consisted of all adjacent lands within 12 m of the proposed development at Langstaff Road.

As per the City of Vaughan by-laws, Tree Inventory Plans are provided in **Appendix A** of this Memo for the areas immediately adjacent to the development. Inventoried portions of the site are outlined on the Plans. All designated trees have been located via inventory of the site. The summary of the observations made concerning species, size and condition for each tree can be found in **Appendix B** of this Memo. The following criteria were used to grade each tree:

The assessment presented in this Memo has been made using accepted standard arboriculture techniques. These techniques include visual examination of above ground parts of each tree. The trees observed were not climbed, probed, cored, or dissected, and excavation for detailed root crown inspection was not performed. Since some symptoms may only be present seasonally, the extent of observations that can be made may be limited by the time of year in which the inspection took place.

It must be realized that trees are living organisms, and their health and vigour continually change over time due to seasonal variations, changes in site conditions, and other factors. For this reason, the assessment presented in this Memo is valid at the time of inspection, and no guarantee is made about the continued health of trees that are deemed to be in good condition. It is recommended that the trees be re-assessed periodically. While every standing tree has potential for failure and therefore poses some risk, a tree assessment is a good indication of present health and potential problems that could arise in the future.

Trees that are on private property were assessed if they were close enough to the proposed Bridge site to be affected by the proposed rehabilitation works, or if they were particularly large and it was felt that their presence should be noted.

Trees were identified, sized, and assessed for condition. Each tree was given a condition rating of Excellent, Good, Fair, or Poor. The following is a summary of how the ratings were determined:

E – Excellent	no apparent health problems; good structural form
G – Good	minor problems with health and/or structural form
F – Fair	more serious problems with health and/or structural form
P – Poor	major problems with health and structural form
D - Dead	

The scope of the Arborist assessment consisted of the following:

- Existing Tree Locations
- Existing Tree Sizes (Diameter at Breast Height - DBH)
- Existing Tree Species
- Existing Tree Conditions
- Recommendations for removals and preservation of Existing Trees
- Construction mitigation recommendations.

MEMORANDUM

MORRISON HERSHFIELD

EXISTING CONDITIONS

Summary of Inventory Results

Interior of Property

- Area includes 98 individually inventoried trees centrally located within the property boundary.
- Species include Picea sp. (Spruce sp.), Acer sp. (Maple sp.), Populus sp. (Poplar sp.), Betula sp. (Birch sp.), Larix sp. (Larch sp.), and Quercus sp. (Oak sp.).
- The condition of these trees ranges from dead to good.

Interior of Property - North

- Area is comprised of 6 individual trees within the northern limits of the property boundary.
- Species include Salix sp. (Willow sp.) and Aesculus sp. (Horsechestnut sp.).
- The condition of these trees ranges from fair to good.

Costco Property Entrance

- Area is comprised of 12 individual trees located adjacent to northern property boundary.
- Species include Acer sp. (Maple sp.) and Picea sp. (Spruce sp.).
- The condition of these trees ranges from poor to good.

Highway 27 ROW

- Area is comprised of 8 individual trees located adjacent to eastern property boundary.
- Species include Acer sp. (Maple sp.), Fraxinus sp. (Ash sp.), Rhamnus sp. (Buckthorn sp.), Gleditisa sp. (Honeylocust sp.) and Aesculus sp. (Horsechestnut sp.).
- The condition of each tree is good.

Line Drive ROW

- Area is comprised of 20 individual trees located adjacent to western property boundary.
- Species include Acer sp. (Maple sp.), Celtis sp. (Hackberry sp.), Tilia sp. (Linden sp.), and Quercus sp. (Oak sp.).
- The condition of these trees ranges from fair to good.

MEMORANDUM

MORRISON HERSHFIELD

MITIGATION AND COMPENSATION

There are many social, economic, and environmental benefits associated with large trees in a community, including aesthetics, increased property value, improved air quality, and food and shelter for birds and other wildlife. Generally, the trees on this site represent a variety of species and different planting conditions. The trees adjacent to the Highway 27, Langstaff Road and Line Drive right of way (ROW) add to the pedestrian and road environment. Wherever possible, efforts should be made to preserve them. All of the trees inventoried within the City of Vaughan ROW and those greater than 20 cm DBH on the property qualify to be protected under the City of Vaughan By-law 052-2018.

Tree recommendations regarding protection, injury, and/or removal have been provided in **Appendix C**. **As noted therein, one hundred and eighteen (118) trees are anticipated to be removed (species include Oak, Spruce, Locust, Hackberry, Poplar, Ash, Willow, Birch, Maple and Larch).** Trees not slated for removal should be protected and maintained. Trees rated G (Good Condition) are likely to have good longevity with minimal maintenance, and should be preserved where reasonable, as long as problems noted are not likely to cause significant future problems. Trees rated F (Fair Condition) would require significant pruning and/or may need to be monitored for changes in health that could cause them to become hazardous. Depending on the proximity to future infrastructure and other potential targets, and the extent of the disturbance that will occur around the trees, they may not be worth preserving. Trees rated P (Poor Condition) should not be preserved.

If an Ash tree (*Fraxinus sp.*) is deemed necessary to be removed, its removal is to be coordinated with City staff. All Ash trees are to be removed in compliance with Canadian Food Inspection Agency regulations regarding the restrictions to movement within Canada.

In order to comply with the *Migratory Birds Convention Act* (MBCA), tree removal should be avoided between April 1 and August 31 to prevent impacts to nesting species at risk (SAR) or migratory birds. In the event that vegetation and tree removals or clearing must occur within the breeding bird timing window, the Contractor must retain a qualified Avian Specialist prior to clearing, to screen for breeding birds and their nests using methods outlined by Environment Canada, to determine whether setback distances (buffers) are required for any nests found. If a nest is present, the tree may not be removed until the nesting activity is finished and a buffer area is to be established in which work may be restricted to avoid disturbing the nest.

If breeding birds or their nests are encountered incidentally during the proposed construction phase, consultation with an Avian Specialist should be completed prior to continuing work, to determine if a buffer for the nest is required. Work should not continue within a buffer around a nest until after August 31 (or until it has been determined by the Avian Specialist that the nest is no longer in use). Check the Environment Canada website for more details.

MEMORANDUM

MORRISON HERSHFIELD

Security Deposit information (Tree Protection, Tree Preservation, and Compensation Values)

Tree Protection Estimate is as follows:

Item	Amount	Cost	Total
Heavy Duty Tree Hoarding	135 Linear Meters	$100 per Lin. m.	$13,500.00
Light Duty Tree Hoarding	205 Linear Meters	$50 per Lin. m.	$10,250.00
Protection Total=			**$23,750.00**

Tree Preservation Estimate is as follows:

Item	Amount	Cost	Total
Preserved Tree Maintenance	26 Trees	$1000 per Tree	$26,000.00
Preservation Total=			**$26,000.00**

City of Vaughan compensation values for each type of tree to be removed is as follows:

Type of Tree	Number of Trees	Value
Privately Owned Trees (>20cm DBH, not dead or hazardous)	91	$74,375.00 (=119*$625)
City Owned Trees	6	$3,750.00 (=6*$625)
Compensation Total=	**97**	**$78,125.00**

Security Deposit Total = $127,875.00

Replanting Requirements for City of Vaughan

City of Vaughan replanting requirements for each type of tree to be removed is as follows:

Tree Category	Number of Trees to be Removed	Number of Trees to be Replanted per 1 Removed	Total Number of Trees to be Replanted
Privately Owned Trees 20cm - 30cm	67	1	67
Privately Owned Trees 31cm - 40cm	20	2	40
Privately Owned Trees 41cm - 50cm	4	3	12
Totals=	**91**	**-**	**119**

Note: Replacement trees shall be a minimum of 50mm (2in.) in caliper for deciduous and 200cm (6.5ft) tall for coniferous.

MEMORANDUM

MORRISON HERSHFIELD

Compensation Requirements for York Region

York Region compensation values for each type of tree to be removed is as follows:

Tree #	Species	Common Name	DBH (cm)	Condition Rating	%	Number of Replacement Trees (Calculated based on 50mm Cal. Tree)	Number of Replacement Trees (Rounded)	Compensation Value
99	Fraxinus pennsylvanica	Green Ash	4	Satisfactory*	0.8	0.64	0**	0**
100	Rhamnus cathartica	Buckthorn	5	Satisfactory*	0.8	0.80	0**	0**
101	Gleditisa triacanthos	Honeylocust	10	Satisfactory*	0.8	1.60	2	$1,818.22
102	Acer platanoides	Norway Maple	14	Satisfactory*	0.8	2.24	2	$1,818.22
103	Acer platanoides	Norway Maple	14	Satisfactory*	0.8	2.24	2	$1,818.22
104	Aesculus sp.	Horsechestnut sp.	10	Satisfactory*	0.8	1.60	2	$1,818.22
105	Fraxinus pennsylvanica	Green Ash	3	Satisfactory*	0.8	0.48	0**	0**
106	Aesculus sp.	Horsechestnut sp.	10	Satisfactory*	0.8	1.60	2	$1,818.22
						Required Replacement Trees	**10**	**$12,727**

***Changed from Morrison Hershfield Rating System (Good) to align with York Region Rating System (Satisfactory)**

****Trees #99, 100, and 105 do not require any replacement trees, as identified in the York Region's Street Tree and Forest Preservation Guidelines (Jan. 2022) for exemptions on species such as Fraxinus sp. (if not being treated) or Rhamnus sp.**

Construction Management

There are many trees which could be potentially impacted because of their proximity to the proposed works and site alterations. The following recommendations are intended to minimize damage to trees and to be read in conjunction with the City of Vaughan's Tree Protection Protocol.

The most typical construction damage to trees is root damage through compaction and severance and damage to the trunk. Root loss can impact trees through compromising structural integrity and through restriction of nutrient uptake. Trees that are very large are more susceptible to construction damage.

The feeder roots of a mature tree can typically grow out from the trunk up to 3 times the height of the tree. Roots tend not to grow in compacted soil where there is little air space, such as under sidewalks and roads. Most roots are found in the upper 30cm of soil. Protecting the feeder roots is important to ensure that nutrient uptake is not restricted. Diminished root function can lead to death of branches or of the entire tree, but these symptoms can take several years to become evident.

The City of Vaughan prescribes a Tree Protection Zone (TPZ), which is the minimum distance where tree protection is to be put in place so that no construction activity of any kind will impact the trees. The distances are based on the tree diameter at breast height (DBH) and are shown in **Table 1** below.

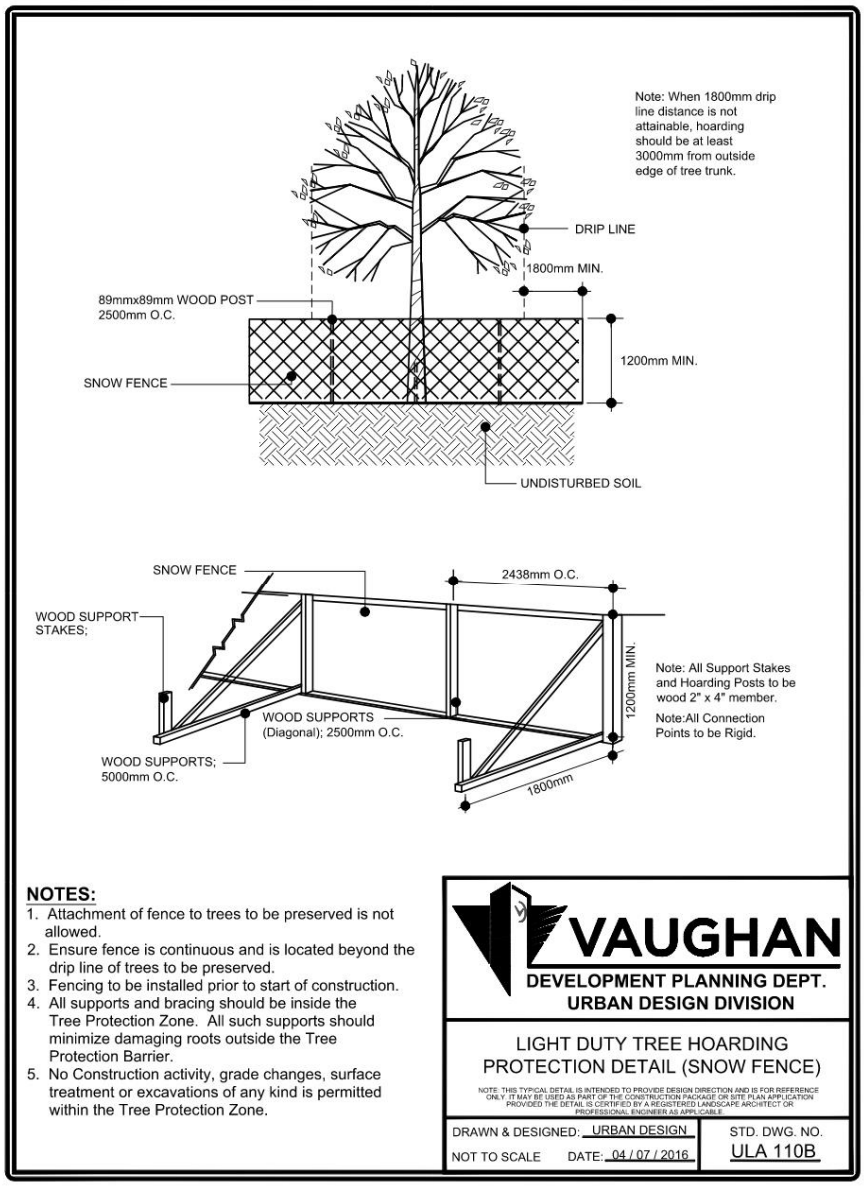
TABLE 1: Tree Protection Zones

Diameter at Breast Height in Centimeters[1]	Minimum Protection Distances Required[2] (Public and Private Trees)	Minimum Protection Distances Required for Trees in Naturalized Areas
<10	1.2 m	The Drip Line[3] or 1.2 m
10-29	1.8 m	The Drip Line or 3.6 m
30-40[4]	2.4 m	The Drip Line or 4.8 m
41-50	3.0 m	The Drip Line or 6.0 m
51-60	3.6 m	The Drip Line or 7.2 m
61-70	4.2 m	The Drip Line or 8.4 m
71-80	4.8 m	The Drip Line or 9.6 m
81-90	5.4 m	The Drip Line or 10.8 m

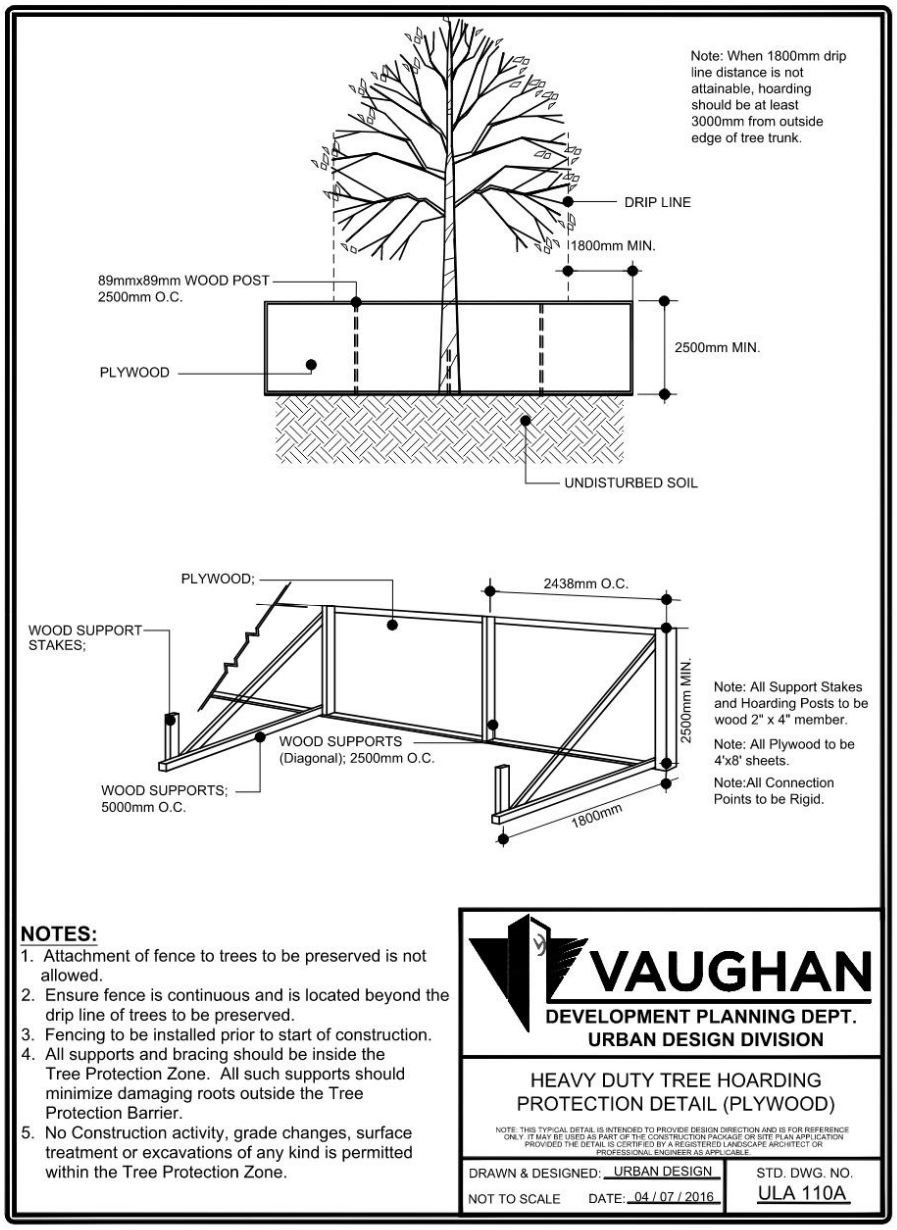
1. Diameter at breast measurement of tree trunk taken at 1.4 meters (m) above the ground.
2. Minimum Tree Protection Zone distances are to be measured from the outside edge of the tree base.
3. The drip line is defined as the area beneath the outer most branch tips of a tree
4. Converted from ISA (International Society of Arboriculture) Arborist Certification Study Guide, general guidelines for tree protectionbarriers of 0.3 meters of diameter from the tree stem for each centimeter of tree trunk diameter.

In order to protect species not required for removal due to the proposed project, the following mitigation measures should be carried out:

- No materials or equipment shall be stored or operated within the TPZ of the tree;
- No signs, notices or posters are to be attached to any tree;
- The existing grade within the TPZ is not to be altered (i.e., raised or lowered) without approval from the City's Contract Administrator;
- Damage to the root system, trunk or branches of any tree is not permitted. If any roots are encountered during excavation, they shall be cut off cleanly. All pruning is to be completed by a Certified Arborist;
- All exposed roots of trees to be retained shall be covered with a minimum of 5 cm of firm moist soil within 24 hours of exposure;
- Any exhaust fumes from all equipment and machinery shall not be directed towards any tree's canopy;
- For branches that are likely to be damaged by construction equipment/machinery, it is better to remove them before construction so that bark is not torn and wounds are not more extensive than absolutely necessary. All pruning should be carried out according to accepted arboriculture practices by a Certified Arborist; and
- Light duty tree hoarding should be erected at the perimeter of the TPZ of all trees to be protected to ensure equipment/machinery is not operated, and no materials are stockpiled within the TPZ within the road right of way.



- Heavy duty tree hoarding should be erected at the perimeter of the TPZ of all trees to be protected to ensure equipment/machinery is not operated, and no materials are stockpiled within the TPZ outside of the road right of way.



It is MH's understanding that some work may need to be performed in the TPZ of some existing trees. If work must be completed within a TPZ, the Contractor should minimize soil compaction and mechanical root damage by applying 100-150 mm depth of clear gravel (no fines) over a taut, staked geotextile fabric. Upon completion, the Contractor shall remove all gravel, geotextile and restore the area back to its pre-construction condition, or better.

Morrison Hershfield also understands that some trees may need to be pruned to carry out the proposed works. If trees are to be pruned back to accommodate the proposed works, pruning should be done in accordance with accepted horticultural practices that include but are not limited to:

1.) Cleanly pruning all damaged or broken limbs during the course of construction, utilizing by-pass secateurs in accordance with approved horticultural practices. Should there be a potential risk of transfer of disease from infected to non-infected trees, tools must be disinfected after pruning each tree by dipping in methyl hydrate. This practice is especially important during times of tree stress and when pruning trees of the same genera, within which a disease could spread quickly (i.e., verticillium wilt in maples or fire blight on genera of the rosacea family).
2.) All pruning cuts should be made to a growing point such as a bud, twig or branch. Cut just outside the branch collar (The swollen area at the base of the branch that sometimes has a bark ridge) and perpendicular to the branch being cut rather than as close to the trunk as possible. This minimizes the site of the wound. No stubs should be left. Poor cut location, poor cut angle and torn cuts are not acceptable.

RECOMMENDATIONS

Planting Technique

For trees to be planted following construction, it is important to ensure they are properly planted. All rope should be removed at the time of planting, and the top portion of the wire basket and burlap should be cut away. If this is not done, it can lead to wicking of water away from the root ball, and girdling of the roots. Also, do not pile mulch against the trunks of trees. This can create a place for rodents to nest and increase the chance of the trunk being girdled by rodent nibbling the bark. Excessive mulch against the bark can also lead to trunk decay. While mulch can be very beneficial for trees, it should not be applied more than 100 mm deep, and it should be kept back from the trunk.

Future Planting

Trees that are removed during construction should be replaced where space is available. The trees growing within the vicinity of the site are of varying age and species. Protecting and compensating for trees to be removed is essential to maintain the diversity of tree ages and species. Species diversity is important to consider when choosing trees if required. No more than about 10% of one genus should be used, so that if a virulent disease or serious insect problem impacts a particular species, the majority of the trees will remain unaffected. For example, Ash trees (*Fraxinus* sp.) are not recommended at this time because of concerns about the Emerald Ash Borer. Taking into account the nature of the development and in the interest of not causing more disturbance to the trees adjacent to the work area, it our recommendation that trees are to be planted in the disturbed work area only.

It is recognized that enhanced tree planting helps to improve air quality and enhances the aesthetics of the property. Replacement planting if required, should include native tree species with tolerance to urban conditions. See the City of Vaughan Tree Protection Protocol for species to be used for replacement planting within the site and ROW.

MEMORANDUM

MORRISON HERSHFIELD

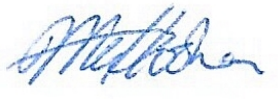
Scope of New Planting

The Landscaping Drawings prepared for this project provide details as they relate the full scope of Removals and New Planting contemplated as a part of this proposed data center development. The latest version of the Landscaping Drawings included and referenced within the Site Plan Approval issued by the City will ultimately set the baseline for all Tree Removals and New Planting.

MEMORANDUM

CERTIFICATION

I certify that all the statements of fact in this assessment are true, complete, and correct to the best of my knowledge and belief, and they are made in good faith.

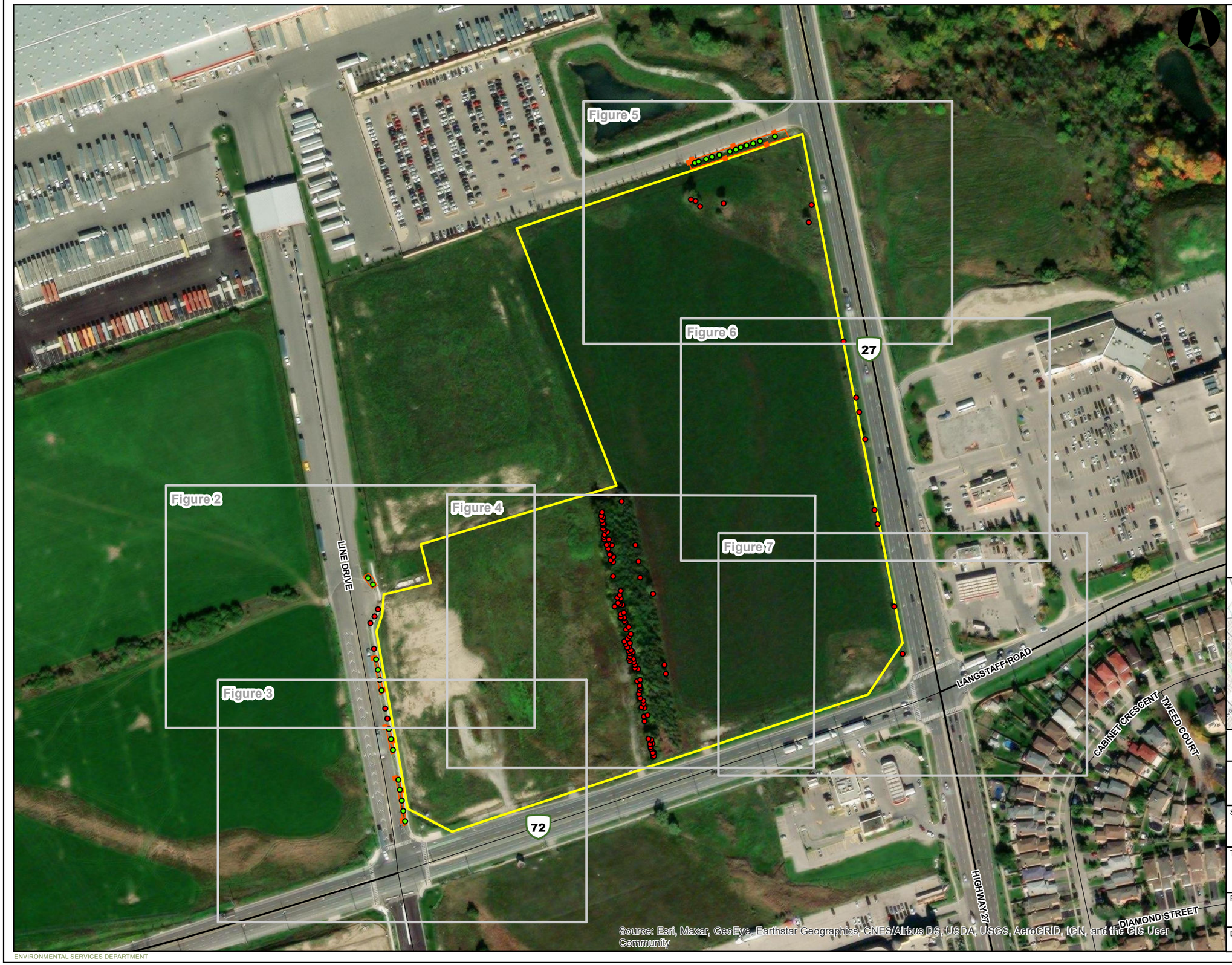


Matthew Hooker – I.S.A. Certified Arborist #ON1641A

MEMORANDUM

MORRISON HERSHFIELD

Appendix A: Tree Inventory Plans

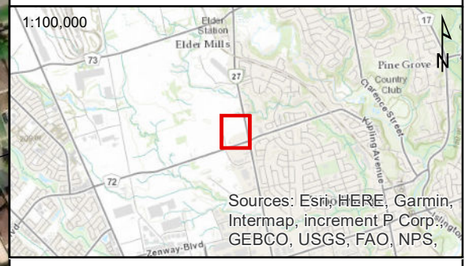


LEGEND

- Tree to be Protected
- Tree to be Removed
- Tree Protection Zones (TPZ)
- Tree Protection Fencing to be installed as per City of Vaughan Tree Protection Protocol
- Estimated Subject Property

Transportation Network

- Arterial / Collector
- Local Roads



Coordinate System: NAD 1983 UTM Zone 17N
Sources: MNR

MORRISON HERSHFIELD

SCALE: 1:2,600

0 20 40 80 120 160

Meters

TITLE:

Tree Survey Map

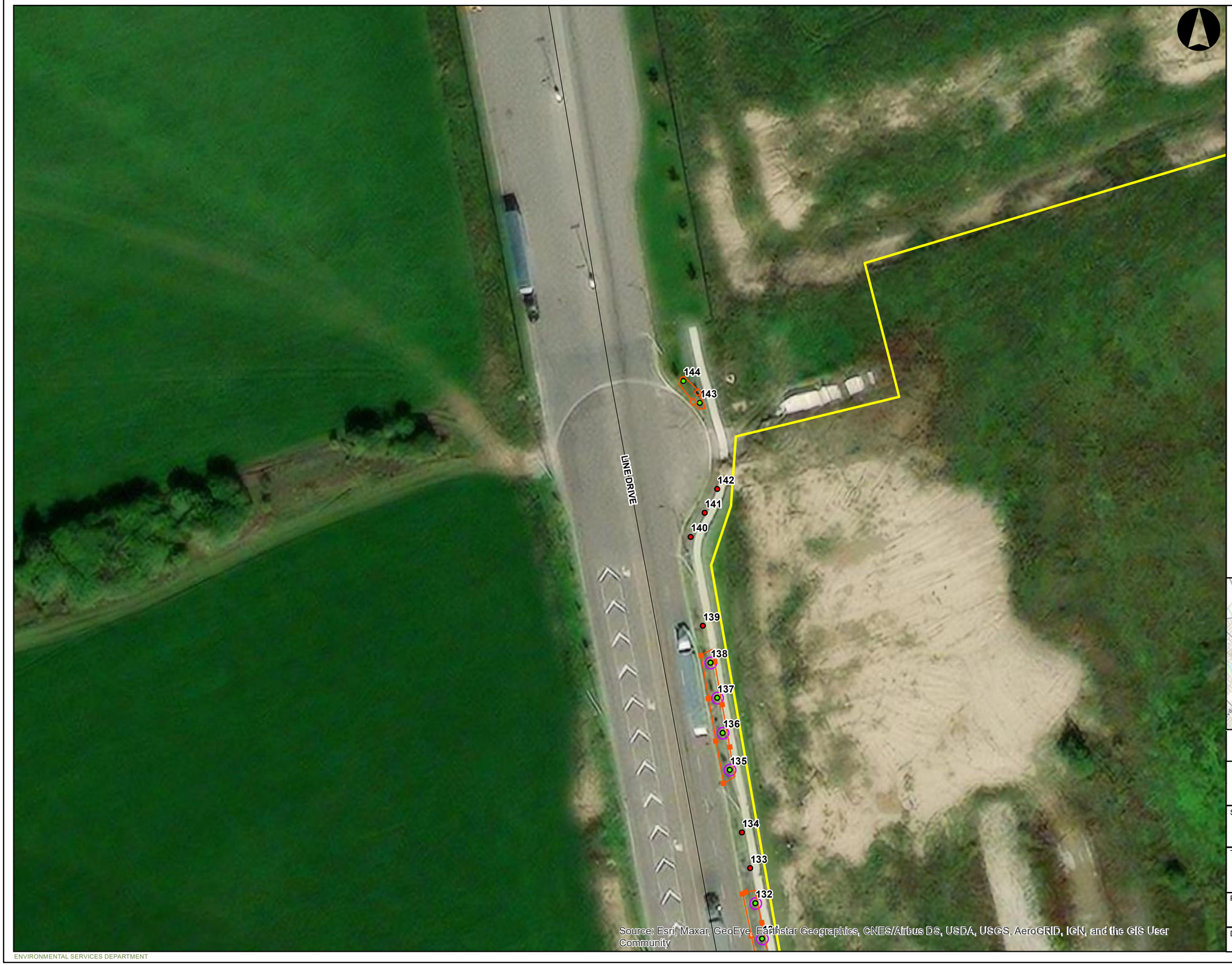
PROJECT NO.: 210354600

Langstaff Road

DATE: **December 2022**

Figure 1

G:\2021\210354600_Langstaff\Maps\Terrestrial_Maps\Tree_Survey_Map_210354600.mxd



LEGEND

- Tree to be Protected
- Tree to be Removed
- Tree Protection Zones (TPZ)
- Tree Protection Fencing to be installed as per City of Vaughan Tree Protection Protocol
- Estimated Subject Property

Transportation Network

- Local Roads

Coordinate System: NAD 1983 UTM Zone 17N
Sources: MNR

MORRISON HERSHFIELD

SCALE: 1:750

0 5 10 20 30 40
Meters

TITLE:

Tree Survey Map

PROJECT NO.: 210354600

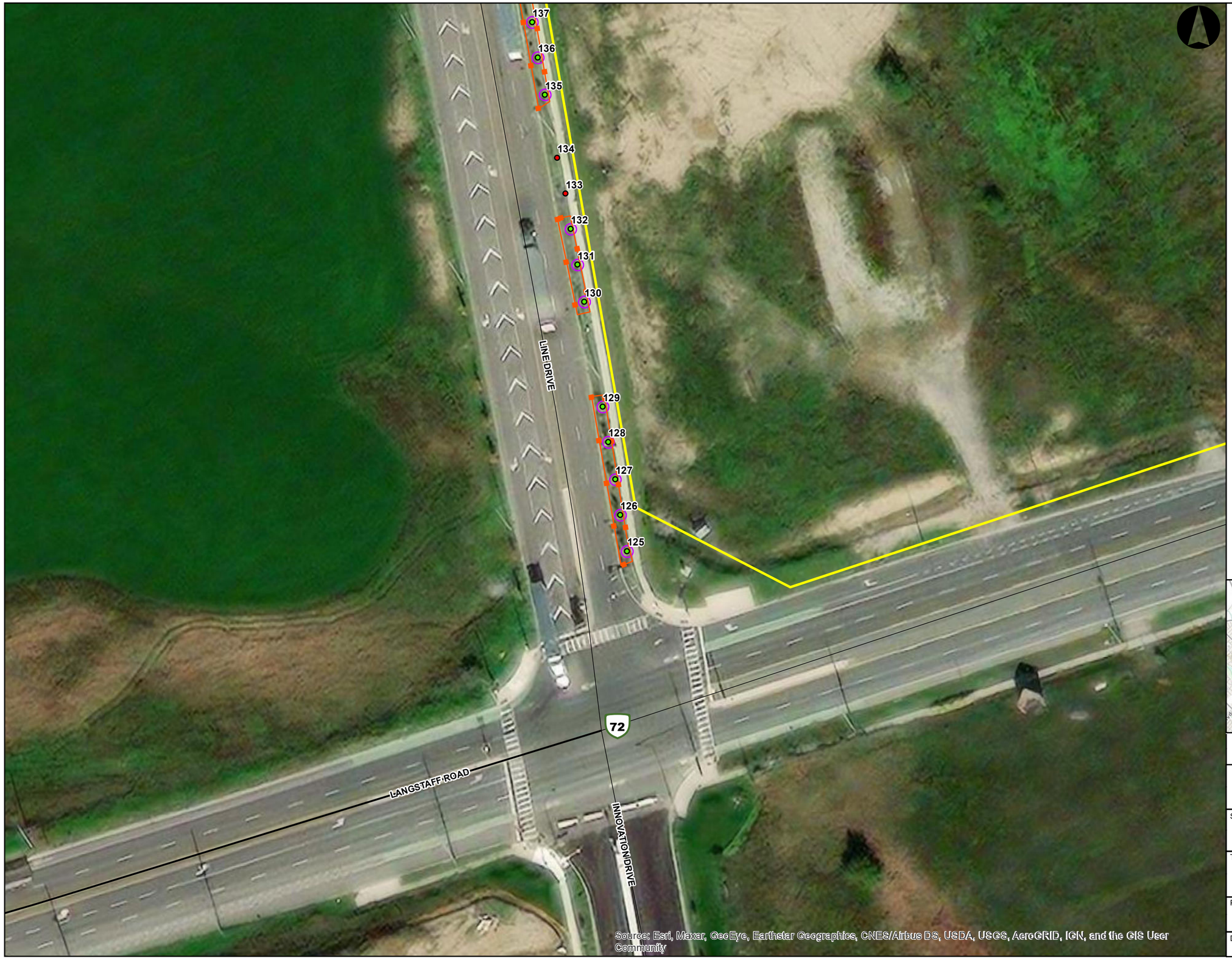
Langstaff Road

DATE: **December 2022**

Figure 2

ENVIRONMENTAL SERVICES DEPARTMENT

G:\2021\210354600_Langstaff\Maps\Terrestrial_Maps\Tree_Survey_Map_210354600.mxd

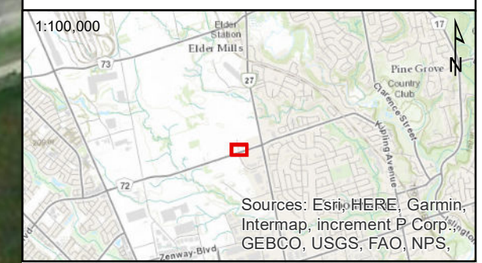


LEGEND

- Tree to be Protected
- Tree to be Removed
- Tree Protection Zones (TPZ)
- Tree Protection Fencing to be installed as per City of Vaughan Tree Protection Protocol
- Estimated Subject Property

Transportation Network

- Arterial / Collector
- Local Roads



Coordinate System: NAD 1983 UTM Zone 17N
Sources: MNR

MORRISON HERSHFIELD

SCALE: 1:750

0 5 10 20 30 40

Meters

TITLE:

Tree Survey Map

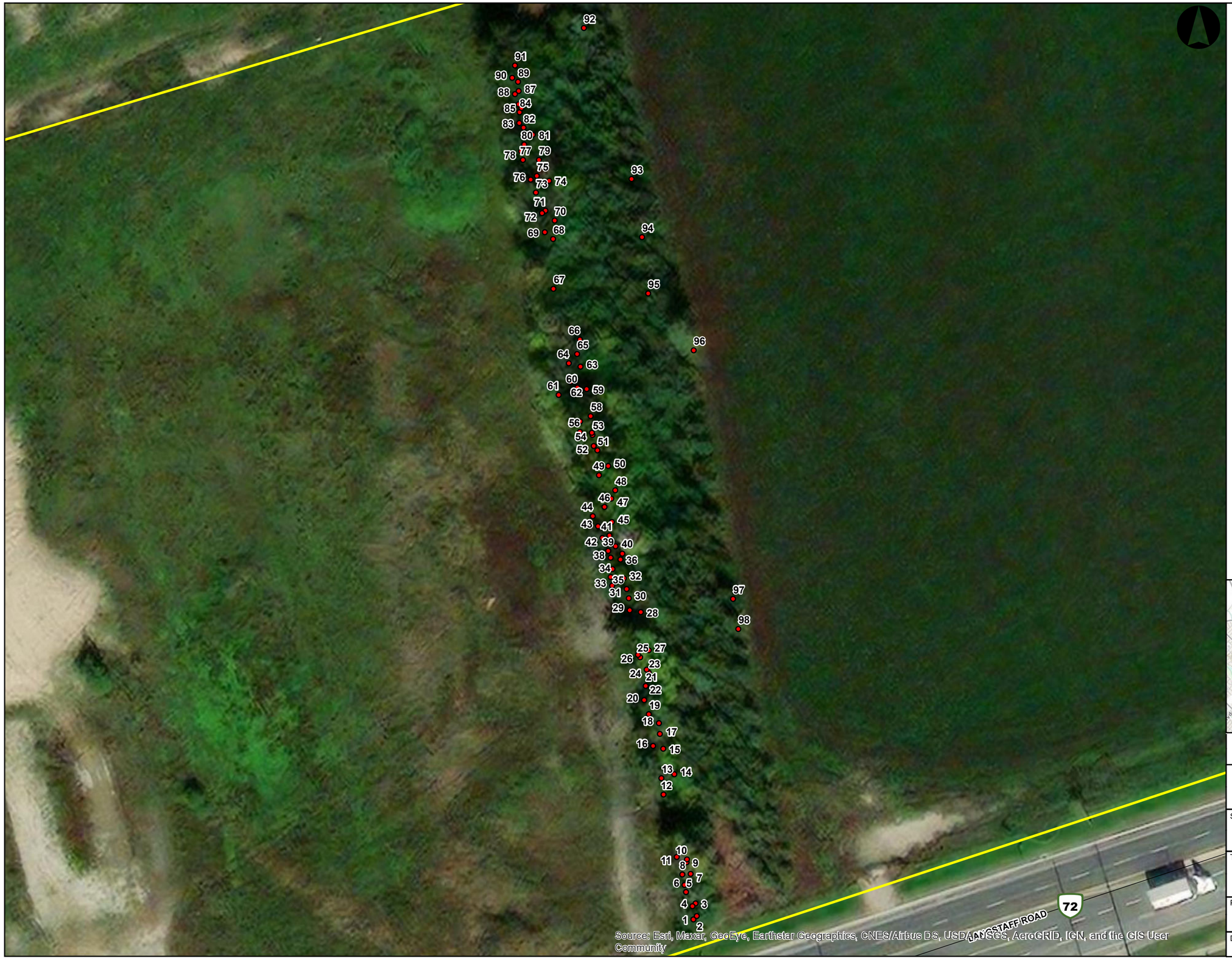
PROJECT NO.: 210354600

Langstaff Road

DATE: **December 2022**

Figure 3

G:\2021\210354600_Langstaff\Maps\Terrestrial_Maps\Tree_Survey_Map_210354600.mxd

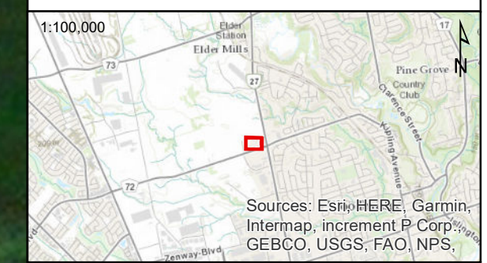


LEGEND

- Tree to be Removed
- Estimated Subject Property

Transportation Network

- Local Roads



Coordinate System: NAD 1983 UTM Zone 17N
Sources: MNR

MORRISON HERSHFIELD

SCALE: 1:750

0 5 10 20 30 40

Meters

TITLE:

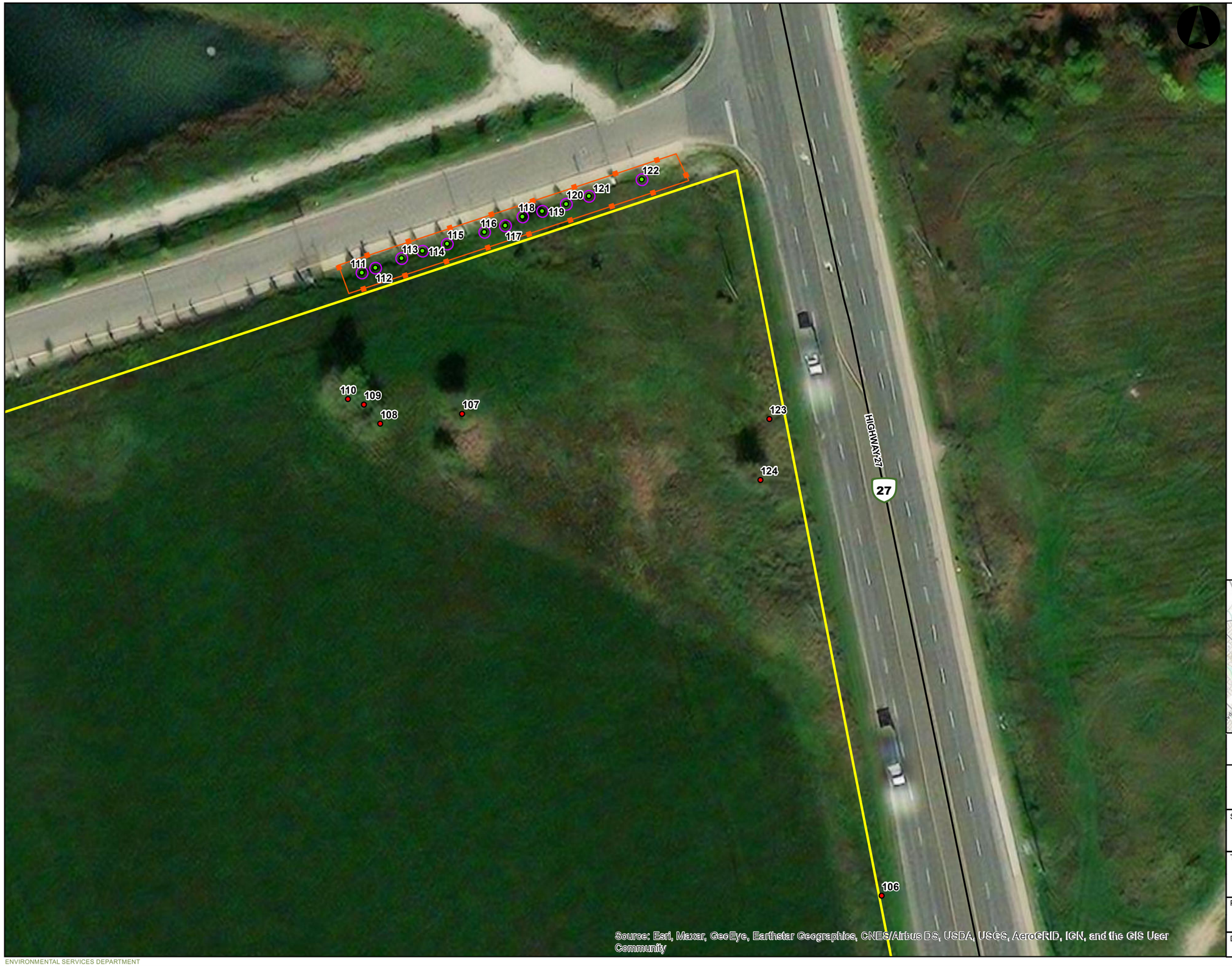
Tree Survey Map

PROJECT NO.: 210354600

Langstaff Road

DATE: **December 2022**

Figure 4

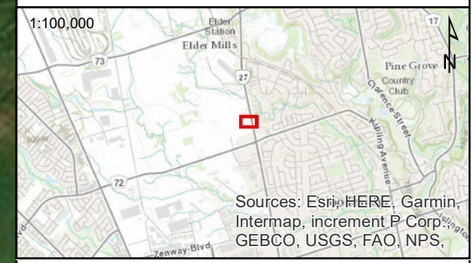


LEGEND

- Tree to be Protected
- Tree to be Removed
- Tree Protection Zones (TPZ)
- Tree Protection Fencing to be installed as per City of Vaughan Tree Protection Protocol
- Estimated Subject Property

Transportation Network

- Arterial / Collector



Coordinate System: NAD 1983 UTM Zone 17N
Sources: MNR

MORRISON HERSHFIELD

SCALE: 1:750

0 5 10 20 30 40

Meters

TITLE:

Tree Survey Map

PROJECT NO.: 210354600

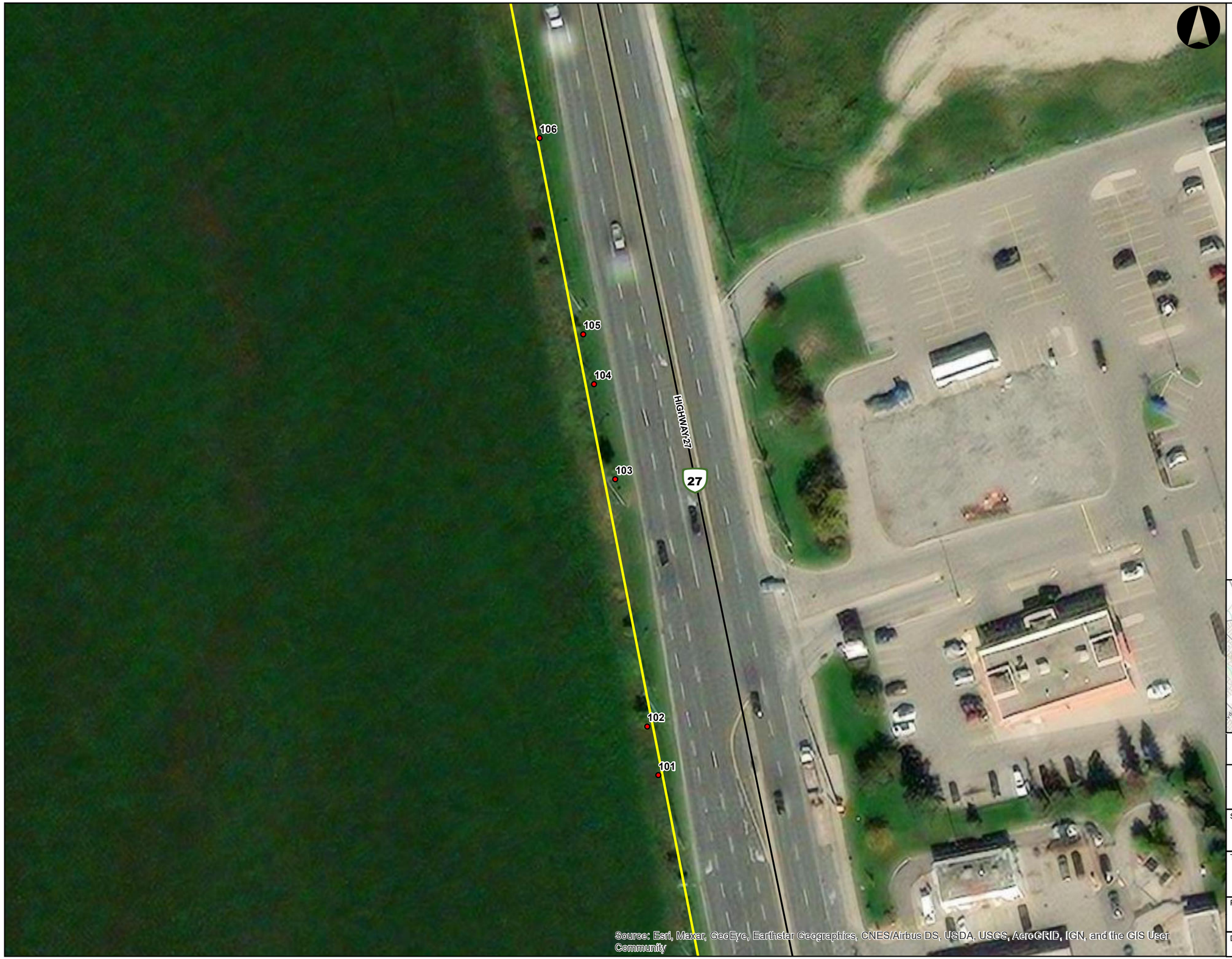
Langstaff Road

DATE: **December 2022**

Figure 5

ENVIRONMENTAL SERVICES DEPARTMENT

G:\2021\210354600_Langstaff\Maps\Terrestrial_Maps\Tree_Survey_Map_210354600.mxd



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

LEGEND

- Tree to be Removed
- Estimated Subject Property

Transportation Network

- Arterial / Collector

1:100,000

Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS,

Coordinate System: NAD 1983 UTM Zone 17N
Sources: MNR

MORRISON HERSHFIELD

SCALE: 1:750

0 5 10 20 30 40

Meters

TITLE:

Tree Survey Map

PROJECT NO.: 210354600

Langstaff Road

DATE: **December 2022**

Figure 6

ENVIRONMENTAL SERVICES DEPARTMENT

G:\2021\210354600_Langstaff\Maps\Terrestrial_Maps\Tree_Survey_Map_210354600.mxd

LEGEND

- Tree to be Removed
- Estimated Subject Property

Transportation Network

- Arterial / Collector
- Local Roads

Coordinate System: NAD 1983 UTM Zone 17N
Sources: MNR

MORRISON HERSHFIELD

SCALE: 1:750

0 5 10 20 30 40

Meters

TITLE:

Tree Survey Map

PROJECT NO.: 210354600

Langstaff Road

DATE: **December 2022**

Figure 7

MEMORANDUM

MORRISON HERSHFIELD

Appendix B: Tree Inventory Results

Table 2: Arborist Survey Observations

Field Work Completed By: Matthew Hooker | Date of Field Work: January 26, 2022

Project: YTO11 – Langstaff Rd., Microsoft Data Center

Project #: 210354600

MORRISON HERSHFIELD

General Location	Tree #	Botanical Name	Common Name	DBH (cm)	Height Class	n Radius (	Condition	Stems	Damage Location	Causes	Symptoms	Structure	Lean	Notes	TPZ (m)
Interior of Property	1	Picea glauca	White Spruce	28	13-16m	3-5m	fair	1				STR			1.8
Interior of Property	2	Betula papyrifera	Paper Birch	25	9-12m	1-2m	dead	1						Potential Bat Cavity Tree	1.8
Interior of Property	3	Betula papyrifera	Paper Birch	27	13-16m	3-5m	poor	2			D4				1.8
Interior of Property	4	Picea glauca	White Spruce	32	16m +	3-5m	good	1							2.4
Interior of Property	5	Picea glauca	White Spruce	23	16m +	3-5m	good	1							1.8
Interior of Property	6	Picea glauca	White Spruce	25	13-16m	3-5m	fair	1							1.8
Interior of Property	7	Betula papyrifera	Paper Birch	20	16m +	9-12m	good	3							1.8
Interior of Property	8	Picea glauca	White Spruce	20	13-16m	1-2m	fair	1							1.8
Interior of Property	9	Betula papyrifera	Paper Birch	28	16m +	6-8m	good	1							1.8
Interior of Property	10	Betula papyrifera	Paper Birch	20	16m +	6-8m	good	1							1.8
Interior of Property	11	Picea glauca	White Spruce	27	16m +	3-5m	good	1							1.8
Interior of Property	12	Picea glauca	White Spruce	29	13-16m	3-5m	fair	1	Trunk	Natural	S2				1.8
Interior of Property	13	Picea glauca	White Spruce	30	16m +	3-5m	good	1							2.4
Interior of Property	14	Betula papyrifera	Paper Birch	20	3-5m	1-2m	dead	1	Crown			NOL			1.8
Interior of Property	15	Betula papyrifera	Paper Birch	23	16m +	3-5m	good	1							1.8
Interior of Property	16	Picea glauca	White Spruce	23	13-16m	3-5m	good	1							1.8
Interior of Property	17	Betula papyrifera	Paper Birch	23	16m +	3-5m	good	2							1.8
Interior of Property	18	Betula papyrifera	Paper Birch	20	16m +	3-5m	good	2							1.8
Interior of Property	19	Picea glauca	White Spruce	23	16m +	3-5m	good	1							1.8
Interior of Property	20	Picea glauca	White Spruce	23	9-12m	1-2m	poor	1	Trunk			NOL			1.8
Interior of Property	21	Picea glauca	White Spruce	34	16m +	3-5m	good	1							2.4
Interior of Property	22	Betula papyrifera	Paper Birch	18	16m +	3-5m	good	1							1.8
Interior of Property	23	Betula papyrifera	Paper Birch	21	16m +	9-12m	good	2							1.8
Interior of Property	24	Betula papyrifera	Paper Birch	25	16m +	6-8m	good	1							1.8
Interior of Property	25	Picea glauca	White Spruce	42	16m +	6-8m	good	1							3
Interior of Property	26	Picea glauca	White Spruce	32	16m +	3-5m	good	1							2.4
Interior of Property	27	Betula papyrifera	Paper Birch	24	16m +	6-8m	good	1							1.8
Interior of Property	28	Acer negundo	Manitoba Maple	21	13-16m	9-12m	fair	3	Trunk					Potential Bat Cavity Tree	1.8
Interior of Property	29	Picea glauca	White Spruce	33	16m +	3-5m	good	1							2.4
Interior of Property	30	Picea glauca	White Spruce	20	13-16m	1-2m	good	1							1.8
Interior of Property	31	Picea glauca	White Spruce	30	16m +	6-8m	good	1							2.4
Interior of Property	32	Picea glauca	White Spruce	22	16m +	3-5m	fair	1							1.8
Interior of Property	33	Picea glauca	White Spruce	30	16m +	3-5m	good	1							2.4
Interior of Property	34	Picea glauca	White Spruce	20	16m +	1-2m	fair	1							1.8
Interior of Property	35	Picea glauca	White Spruce	24	16m +	3-5m	good	1							1.8
Interior of Property	36	Picea glauca	White Spruce	33	16m +	3-5m	good	1							2.4
Interior of Property	37	Betula papyrifera	Paper Birch	29	16m +	6-8m	fair	1	Crown		D3				1.8
Interior of Property	38	Picea glauca	White Spruce	25	16m +	1-2m	dead	1							1.8
Interior of Property	39	Picea glauca	White Spruce	24	16m +	1-2m	fair	1							1.8
Interior of Property	40	Picea pungens	Colorado Spruce	23	16m +	3-5m	good	1							1.8
Interior of Property	41	Picea glauca	White Spruce	34	16m +	3-5m	good	1							2.4
Interior of Property	42	Picea glauca	White Spruce	20	16m +	1-2m	poor	1							1.8
Interior of Property	43	Picea glauca	White Spruce	32	16m +	3-5m	good	1							2.4
Interior of Property	44	Picea glauca	White Spruce	33	6-8m	1-2m	dead	1							2.4
Interior of Property	45	Quercus rubra	Red Oak	34	16m +	9-12m	good	1							2.4
Interior of Property	46	Picea glauca	White Spruce	25	13-16m	3-5m	dead	1							1.8
Interior of Property	47	Quercus rubra	Red Oak	35	16m +	9-12m	good	1							2.4
Interior of Property	48	Quercus rubra	Red Oak	32	16m +	6-8m	good	2							2.4
Interior of Property	49	Acer negundo	Manitoba Maple	21	9-12m	6-8m	good	2					West		1.8
Interior of Property	50	Quercus rubra	Red Oak	38	16m +	6-8m	good	1							2.4
Interior of Property	51	Quercus rubra	Red Oak	33	16m +	6-8m	good	1							2.4
Interior of Property	52	Quercus rubra	Red Oak	25	16m +	3-5m	good	1							1.8
Interior of Property	53	Quercus rubra	Red Oak	26	16m +	6-8m	good	1							1.8
Interior of Property	54	Quercus rubra	Red Oak	26	13-16m	6-8m	good	1							1.8
Interior of Property	55	Acer negundo	Manitoba Maple	26	13-16m	6-8m	good	3							1.8
Interior of Property	56	Acer negundo	Manitoba Maple	26	13-16m	6-8m	good	1							1.8
Interior of Property	57	Acer negundo	Manitoba Maple	24	9-12m	6-8m	good	1							1.8
Interior of Property	58	Quercus rubra	Red Oak	27	13-16m	3-5m	fair	1	Crown		D2,Ep				1.8
Interior of Property	59	Quercus rubra	Red Oak	25	16m +	3-5m	dead	1							1.8
Interior of Property	60	Picea glauca	White Spruce	32	16m +	3-5m	dead	1							2.4
Interior of Property	61	Populus tremuloides	Trembling Aspen	20	16m +	3-5m	good	1							1.8
Interior of Property	62	Acer negundo	Manitoba Maple	25	13-16m	9-12m	good	1							1.8
Interior of Property	63	Quercus rubra	Red Oak	22	16m +	1-2m	dead	1						Potential Bat Cavity Tree	1.8
Interior of Property	64	Picea glauca	White Spruce	20	9-12m	1-2m	dead	1							1.8
Interior of Property	65	Quercus rubra	Red Oak	20	9-12m	1-2m	good	1							1.8
Interior of Property	66	Populus tremuloides	Trembling Aspen	80	16m +	13-16m	dead	1							4.8
Interior of Property	67	Quercus macrocarpa	Burr Oak	26	16m +	6-8m	good	1							1.8

General Location	Tree #	Botanical Name	Common Name	DBH (cm)	Height Class	n Radius (	Condition	Stems	Damage Location	Causes	Symptoms	Structure	Lean	Notes	TPZ (m)
Interior of Property	68	Picea glauca	White Spruce	30	16m +	3-5m	good	1							2.4
Interior of Property	69	Picea glauca	White Spruce	28	16m +	3-5m	fair	1							1.8
Interior of Property	70	Betula papyrifera	Paper Birch	35	13-16m	3-5m	fair	1							2.4
Interior of Property	71	Picea glauca	White Spruce	32	16m +	3-5m	good	1							2.4
Interior of Property	72	Picea glauca	White Spruce	32	16m +	3-5m	good	1							2.4
Interior of Property	73	Picea glauca	White Spruce	30	16m +	3-5m	good	1							2.4
Interior of Property	74	Betula papyrifera	Paper Birch	24	13-16m	6-8m	good	1							1.8
Interior of Property	75	Picea glauca	White Spruce	22	16m +	3-5m	good	1							1.8
Interior of Property	76	Picea glauca	White Spruce	25	16m +	3-5m	good	1							1.8
Interior of Property	77	Picea glauca	White Spruce	26	16m +	3-5m	good	1							1.8
Interior of Property	78	Picea glauca	White Spruce	19	16m +	3-5m	fair	1							1.8
Interior of Property	79	Picea glauca	White Spruce	23	16m +	3-5m	good	1							1.8
Interior of Property	80	Picea glauca	White Spruce	32	16m +	3-5m	good	1							2.4
Interior of Property	81	Larix laricina	American Larch	20	13-16m	3-5m	good	2							1.8
Interior of Property	82	Picea glauca	White Spruce	30	16m +	3-5m	good	1							2.4
Interior of Property	83	Picea glauca	White Spruce	28	16m +	3-5m	good	1							1.8
Interior of Property	84	Picea glauca	White Spruce	20	16m +	3-5m	fair	1							1.8
Interior of Property	85	Picea glauca	White Spruce	25	16m +	3-5m	good	1							1.8
Interior of Property	86	Picea glauca	White Spruce	35	16m +	3-5m	good	1							2.4
Interior of Property	87	Picea glauca	White Spruce	37	16m +	3-5m	good	1							2.4
Interior of Property	88	Picea glauca	White Spruce	20	16m +	3-5m	good	1							1.8
Interior of Property	89	Picea glauca	White Spruce	29	16m +	3-5m	good	1							1.8
Interior of Property	90	Picea glauca	White Spruce	40	16m +	6-8m	good	1							2.4
Interior of Property	91	Picea glauca	White Spruce	54	16m +	6-8m	good	1							3.6
Interior of Property	92	Picea glauca	White Spruce	20	13-16m	3-5m	good	1							1.8
Interior of Property	93	Picea glauca	White Spruce	20	13-16m	3-5m	good	1							1.8
Interior of Property	94	Picea glauca	White Spruce	20	13-16m	3-5m	good	1							1.8
Interior of Property	95	Picea glauca	White Spruce	20	13-16m	3-5m	good	1							1.8
Interior of Property	96	Populus tremuloides	Trembling Aspen	25	16m +	6-8m	good	1							1.8
Interior of Property	97	Picea glauca	White Spruce	20	13-16m	3-5m	good	1							1.8
Interior of Property	98	Picea glauca	White Spruce	20	13-16m	3-5m	good	1							1.8
Highway 27 ROW	99	Fraxinus pennsylvanica	Green Ash	4	3-5m	1-2m	good	6							2.4
Highway 27 ROW	100	Rhamnus cathartica	Buckthorn	5	3-5m	1-2m	good	2							2.4
Highway 27 ROW	101	Gleditisa triacanthos	Honeylocust	10	9-12m	3-5m	good	1							2.4
Highway 27 ROW	102	Acer platanoides	Norway Maple	14	9-12m	3-5m	good	1							2.4
Highway 27 ROW	103	Acer platanoides	Norway Maple	14	9-12m	3-5m	good	1							2.4
Highway 27 ROW	104	Aesculus sp.	Horsechestnut sp.	10	6-8m	1-2m	good	1							2.4
Highway 27 ROW	105	Fraxinus pennsylvanica	Green Ash	3	1-2m	1-2m	good	10							2.4
Highway 27 ROW	106	Aesculus sp.	Horsechestnut sp.	10	9-12m	1-2m	good	1							2.4
Interior of Property - North	107	Salix sp.	Willow sp.	45	13-16m	6-8m	fair	1							3
Interior of Property - North	108	Salix sp.	Willow sp.	22	13-16m	6-8m	good	3							1.8
Interior of Property - North	109	Salix sp.	Willow sp.	55	16m +	6-8m	good	1							3.6
Interior of Property - North	110	Salix sp.	Willow sp.	29	13-16m	6-8m	good	1							1.8
Costco Property Entrance	111	Picea pungens	Colorado Spruce	5	3-5m	1-2m	fair	1							1.2
Costco Property Entrance	112	Picea pungens	Colorado Spruce	5	3-5m	1-2m	fair	1							1.2
Costco Property Entrance	113	Picea pungens	Colorado Spruce	5	3-5m	1-2m	poor	1							1.2
Costco Property Entrance	114	Picea pungens	Colorado Spruce	5	3-5m	1-2m	poor	1							1.2
Costco Property Entrance	115	Picea pungens	Colorado Spruce	5	3-5m	1-2m	good	1							1.2
Costco Property Entrance	116	Acer saccharinum	Silver Maple	5	6-8m	1-2m	good	1							1.2
Costco Property Entrance	117	Picea pungens	Colorado Spruce	5	3-5m	1-2m	good	1							1.2
Costco Property Entrance	118	Picea pungens	Colorado Spruce	5	3-5m	1-2m	good	1							1.2
Costco Property Entrance	119	Picea pungens	Colorado Spruce	5	3-5m	1-2m	good	1							1.2
Costco Property Entrance	120	Picea pungens	Colorado Spruce	5	3-5m	1-2m	poor	1							1.2
Costco Property Entrance	121	Acer saccharinum	Silver Maple	4	6-8m	1-2m	good	1							1.2
Costco Property Entrance	122	Acer saccharinum	Silver Maple	5	6-8m	1-2m	good	1							1.2
Interior of Property - North	123	Aesculus sp.	Horsechestnut sp.	10	3-5m	1-2m	good	1							1.8
Interior of Property - North	124	Salix sp.	Willow sp.	40	13-16m	6-8m	good	1							2.4
Line Drive ROW	125	Acer saccharinum	Silver Maple	6	6-8m	1-2m	good	1							1.2
Line Drive ROW	126	Acer saccharinum	Silver Maple	6	6-8m	1-2m	good	1							1.2
Line Drive ROW	127	Acer saccharinum	Silver Maple	5	6-8m	1-2m	good	1							1.2
Line Drive ROW	128	Acer saccharinum	Silver Maple	5	6-8m	1-2m	good	1							1.2
Line Drive ROW	129	Acer saccharinum	Silver Maple	5	6-8m	1-2m	good	1							1.2

MEMORANDUM

MORRISON HERSHFIELD

Appendix C: Tree Inventory Recommendations

Table 4: Arborist Survey Recommendations

Project: YTO11 – Langstaff Rd., Microsoft Data Center
Project #: 210354600

Date of Field Work: January 26, 2022

MORRISON HERSHFIELD

General Location	Tree #	Category	Botanical Name	Common Name	DBH (cm)	Condition	Recommendation	Reason
Interior of Property	1	1	Picea glauca	White Spruce	28	fair	Remove	To be cleared for site development
Interior of Property	2	1	Betula papyrifera	Paper Birch	25	dead	Remove	To be cleared for site development
Interior of Property	3	1	Betula papyrifera	Paper Birch	27	poor	Remove	To be cleared for site development
Interior of Property	4	1	Picea glauca	White Spruce	32	good	Remove	To be cleared for site development
Interior of Property	5	1	Picea glauca	White Spruce	23	good	Remove	To be cleared for site development
Interior of Property	6	1	Picea glauca	White Spruce	25	fair	Remove	To be cleared for site development
Interior of Property	7	1	Betula papyrifera	Paper Birch	20	good	Remove	To be cleared for site development
Interior of Property	8	1	Picea glauca	White Spruce	20	fair	Remove	To be cleared for site development
Interior of Property	9	1	Betula papyrifera	Paper Birch	28	good	Remove	To be cleared for site development
Interior of Property	10	1	Betula papyrifera	Paper Birch	20	good	Remove	To be cleared for site development
Interior of Property	11	1	Picea glauca	White Spruce	27	good	Remove	To be cleared for site development
Interior of Property	12	1	Picea glauca	White Spruce	29	fair	Remove	To be cleared for site development
Interior of Property	13	1	Picea glauca	White Spruce	30	good	Remove	To be cleared for site development
Interior of Property	14	1	Betula papyrifera	Paper Birch	20	dead	Remove	To be cleared for site development
Interior of Property	15	1	Betula papyrifera	Paper Birch	23	good	Remove	To be cleared for site development
Interior of Property	16	1	Picea glauca	White Spruce	23	good	Remove	To be cleared for site development
Interior of Property	17	1	Betula papyrifera	Paper Birch	23	good	Remove	To be cleared for site development
Interior of Property	18	1	Betula papyrifera	Paper Birch	20	good	Remove	To be cleared for site development
Interior of Property	19	1	Picea glauca	White Spruce	23	good	Remove	To be cleared for site development
Interior of Property	20	1	Picea glauca	White Spruce	23	poor	Remove	To be cleared for site development
Interior of Property	21	1	Picea glauca	White Spruce	34	good	Remove	To be cleared for site development
Interior of Property	22		Betula papyrifera	Paper Birch	18	good	Remove	To be cleared for site development
Interior of Property	23	1	Betula papyrifera	Paper Birch	21	good	Remove	To be cleared for site development
Interior of Property	24	1	Betula papyrifera	Paper Birch	25	good	Remove	To be cleared for site development
Interior of Property	25	1	Picea glauca	White Spruce	42	good	Remove	To be cleared for site development
Interior of Property	26	1	Picea glauca	White Spruce	32	good	Remove	To be cleared for site development
Interior of Property	27	1	Betula papyrifera	Paper Birch	24	good	Remove	To be cleared for site development
Interior of Property	28	1	Acer negundo	Manitoba Maple	21	fair	Remove	To be cleared for site development
Interior of Property	29	1	Picea glauca	White Spruce	33	good	Remove	To be cleared for site development
Interior of Property	30	1	Picea glauca	White Spruce	20	good	Remove	To be cleared for site development
Interior of Property	31	1	Picea glauca	White Spruce	30	good	Remove	To be cleared for site development
Interior of Property	32	1	Picea glauca	White Spruce	22	fair	Remove	To be cleared for site development
Interior of Property	33	1	Picea glauca	White Spruce	30	good	Remove	To be cleared for site development
Interior of Property	34	1	Picea glauca	White Spruce	20	fair	Remove	To be cleared for site development
Interior of Property	35	1	Picea glauca	White Spruce	24	good	Remove	To be cleared for site development
Interior of Property	36	1	Picea glauca	White Spruce	33	good	Remove	To be cleared for site development
Interior of Property	37	1	Betula papyrifera	Paper Birch	29	fair	Remove	To be cleared for site development
Interior of Property	38	1	Picea glauca	White Spruce	25	dead	Remove	To be cleared for site development
Interior of Property	39	1	Picea glauca	White Spruce	24	fair	Remove	To be cleared for site development
Interior of Property	40	1	Picea pungens	Colorado Spruce	23	good	Remove	To be cleared for site development
Interior of Property	41	1	Picea glauca	White Spruce	34	good	Remove	To be cleared for site development
Interior of Property	42	1	Picea glauca	White Spruce	20	poor	Remove	To be cleared for site development
Interior of Property	43	1	Picea glauca	White Spruce	32	good	Remove	To be cleared for site development
Interior of Property	44	1	Picea glauca	White Spruce	33	dead	Remove	To be cleared for site development
Interior of Property	45	1	Quercus rubra	Red Oak	34	good	Remove	To be cleared for site development
Interior of Property	46	1	Picea glauca	White Spruce	25	dead	Remove	To be cleared for site development
Interior of Property	47	1	Quercus rubra	Red Oak	35	good	Remove	To be cleared for site development
Interior of Property	48	1	Quercus rubra	Red Oak	32	good	Remove	To be cleared for site development
Interior of Property	49	1	Acer negundo	Manitoba Maple	21	good	Remove	To be cleared for site development
Interior of Property	50	1	Quercus rubra	Red Oak	38	good	Remove	To be cleared for site development
Interior of Property	51	1	Quercus rubra	Red Oak	33	good	Remove	To be cleared for site development
Interior of Property	52	1	Quercus rubra	Red Oak	25	good	Remove	To be cleared for site development
Interior of Property	53	1	Quercus rubra	Red Oak	26	good	Remove	To be cleared for site development
Interior of Property	54	1	Quercus rubra	Red Oak	26	good	Remove	To be cleared for site development
Interior of Property	55	1	Acer negundo	Manitoba Maple	26	good	Remove	To be cleared for site development
Interior of Property	56	1	Acer negundo	Manitoba Maple	26	good	Remove	To be cleared for site development
Interior of Property	57	1	Acer negundo	Manitoba Maple	24	good	Remove	To be cleared for site development
Interior of Property	58	1	Quercus rubra	Red Oak	27	fair	Remove	To be cleared for site development
Interior of Property	59	1	Quercus rubra	Red Oak	25	dead	Remove	To be cleared for site development
Interior of Property	60	1	Picea glauca	White Spruce	32	dead	Remove	To be cleared for site development
Interior of Property	61	1	Populus tremuloides	Trembling Aspen	20	good	Remove	To be cleared for site development
Interior of Property	62	1	Acer negundo	Manitoba Maple	25	good	Remove	To be cleared for site development
Interior of Property	63	1	Quercus rubra	Red Oak	22	dead	Remove	To be cleared for site development
Interior of Property	64	1	Picea glauca	White Spruce	20	dead	Remove	To be cleared for site development
Interior of Property	65	1	Quercus rubra	Red Oak	20	good	Remove	To be cleared for site development
Interior of Property	66	1	Populus tremuloides	Trembling Aspen	80	dead	Remove	To be cleared for site development
Interior of Property	67	1	Quercus macrocarpa	Burr Oak	26	good	Remove	To be cleared for site development
Interior of Property	68	1	Picea glauca	White Spruce	30	good	Remove	To be cleared for site development
Interior of Property	69	1	Picea glauca	White Spruce	28	fair	Remove	To be cleared for site development
Interior of Property	70	1	Betula papyrifera	Paper Birch	35	fair	Remove	To be cleared for site development
Interior of Property	71	1	Picea glauca	White Spruce	32	good	Remove	To be cleared for site development
Interior of Property	72	1	Picea glauca	White Spruce	32	good	Remove	To be cleared for site development
Interior of Property	73	1	Picea glauca	White Spruce	30	good	Remove	To be cleared for site development
Interior of Property	74	1	Betula papyrifera	Paper Birch	24	good	Remove	To be cleared for site development
Interior of Property	75	1	Picea glauca	White Spruce	22	good	Remove	To be cleared for site development
Interior of Property	76	1	Picea glauca	White Spruce	25	good	Remove	To be cleared for site development
Interior of Property	77	1	Picea glauca	White Spruce	26	good	Remove	To be cleared for site development
Interior of Property	78		Picea glauca	White Spruce	19	fair	Remove	To be cleared for site development
Interior of Property	79	1	Picea glauca	White Spruce	23	good	Remove	To be cleared for site development
Interior of Property	80	1	Picea glauca	White Spruce	32	good	Remove	To be cleared for site development
Interior of Property	81	1	Larix laricina	American Larch	20	good	Remove	To be cleared for site development
Interior of Property	82	1	Picea glauca	White Spruce	30	good	Remove	To be cleared for site development
Interior of Property	83	1	Picea glauca	White Spruce	28	good	Remove	To be cleared for site development
Interior of Property	84	1	Picea glauca	White Spruce	20	fair	Remove	To be cleared for site development
Interior of Property	85	1	Picea glauca	White Spruce	25	good	Remove	To be cleared for site development
Interior of Property	86	1	Picea glauca	White Spruce	35	good	Remove	To be cleared for site development
Interior of Property	87	1	Picea glauca	White Spruce	37	good	Remove	To be cleared for site development
Interior of Property	88	1	Picea glauca	White Spruce	20	good	Remove	To be cleared for site development
Interior of Property	89	1	Picea glauca	White Spruce	29	good	Remove	To be cleared for site development
Interior of Property	90	1	Picea glauca	White Spruce	40	good	Remove	To be cleared for site development
Interior of Property	91	1	Picea glauca	White Spruce	54	good	Remove	To be cleared for site development
Interior of Property	92	1	Picea glauca	White Spruce	20	good	Remove	To be cleared for site development
Interior of Property	93	1	Picea glauca	White Spruce	20	good	Remove	To be cleared for site development

General Location	Tree #	Category	Botanical Name	Common Name	DBH (cm)	Condition	Recommendation	Reason
Interior of Property	94	1	Picea glauca	White Spruce	20	good	Remove	To be cleared for site development
Interior of Property	95	1	Picea glauca	White Spruce	20	good	Remove	To be cleared for site development
Interior of Property	96	1	Populus tremuloides	Trembling Aspen	25	good	Remove	To be cleared for site development
Interior of Property	97	1	Picea glauca	White Spruce	20	good	Remove	To be cleared for site development
Interior of Property	98	1	Picea glauca	White Spruce	20	good	Remove	To be cleared for site development
Highway 27 ROW	99	3	Fraxinus pennsylvanica	Green Ash	4	good	Remove	To be cleared for site development
Highway 27 ROW	100	3	Rhamnus cathartica	Buckthorn	5	good	Remove	To be cleared for site development
Highway 27 ROW	101	3	Gleditisa triacanthos	Honeylocust	10	good	Remove	To be cleared for site development
Highway 27 ROW	102	3	Acer platanoides	Norway Maple	14	good	Remove	To be cleared for site development
Highway 27 ROW	103	3	Acer platanoides	Norway Maple	14	good	Remove	To be cleared for site development
Highway 27 ROW	104	3	Aesculus sp.	Horsechestnut sp.	10	good	Remove	To be cleared for site development
Highway 27 ROW	105	3	Fraxinus pennsylvanica	Green Ash	3	good	Remove	To be cleared for site development
Highway 27 ROW	106	3	Aesculus sp.	Horsechestnut sp.	10	good	Remove	To be cleared for site development
Interior of Property - North	107	1	Salix sp.	Willow sp.	45	fair	Remove	To be cleared for site development
Interior of Property - North	108	1	Salix sp.	Willow sp.	22	good	Remove	To be cleared for site development
Interior of Property - North	109	1	Salix sp.	Willow sp.	55	good	Remove	To be cleared for site development
Interior of Property - North	110	1	Salix sp.	Willow sp.	29	good	Remove	To be cleared for site development
Costco Property Entrance	111	2	Picea pungens	Colorado Spruce	5	fair	Preserve	Clear of construction works
Costco Property Entrance	112	2	Picea pungens	Colorado Spruce	5	fair	Preserve	Clear of construction works
Costco Property Entrance	113	2	Picea pungens	Colorado Spruce	5	poor	Preserve	Clear of construction works
Costco Property Entrance	114	2	Picea pungens	Colorado Spruce	5	poor	Preserve	Clear of construction works
Costco Property Entrance	115	2	Picea pungens	Colorado Spruce	5	good	Preserve	Clear of construction works
Costco Property Entrance	116	2	Acer saccharinum	Silver Maple	5	good	Preserve	Clear of construction works
Costco Property Entrance	117	2	Picea pungens	Colorado Spruce	5	good	Preserve	Clear of construction works
Costco Property Entrance	118	2	Picea pungens	Colorado Spruce	5	good	Preserve	Clear of construction works
Costco Property Entrance	119	2	Picea pungens	Colorado Spruce	5	good	Preserve	Clear of construction works
Costco Property Entrance	120	2	Picea pungens	Colorado Spruce	5	poor	Preserve	Clear of construction works
Costco Property Entrance	121	2	Acer saccharinum	Silver Maple	4	good	Preserve	Clear of construction works
Costco Property Entrance	122	2	Acer saccharinum	Silver Maple	5	good	Preserve	Clear of construction works
Interior of Property - North	123		Aesculus sp.	Horsechestnut sp.	10	good	Remove	To be cleared for site development
Interior of Property - North	124	1	Salix sp.	Willow sp.	40	good	Remove	To be cleared for site development
Line Drive ROW	125	4	Acer saccharinum	Silver Maple	6	good	Preserve	Clear of construction works
Line Drive ROW	126	4	Acer saccharinum	Silver Maple	6	good	Preserve	Clear of construction works
Line Drive ROW	127	4	Acer saccharinum	Silver Maple	5	good	Preserve	Clear of construction works
Line Drive ROW	128	4	Acer saccharinum	Silver Maple	5	good	Preserve	Clear of construction works
Line Drive ROW	129	4	Acer saccharinum	Silver Maple	5	good	Preserve	Clear of construction works
Line Drive ROW	130	4	Celtis occidentalis	Common Hackberry	5	good	Preserve	Clear of construction works
Line Drive ROW	131	4	Celtis occidentalis	Common Hackberry	5	good	Preserve	Clear of construction works
Line Drive ROW	132	4	Celtis occidentalis	Common Hackberry	5	good	Preserve	Clear of construction works
Line Drive ROW	133	4	Celtis occidentalis	Common Hackberry	5	good	Remove	To be cleared for site development
Line Drive ROW	134	4	Celtis occidentalis	Common Hackberry	5	fair	Remove	To be cleared for site development
Line Drive ROW	135	4	Tilia cordata	Little Leaf Linden	5	good	Preserve	Clear of construction works
Line Drive ROW	136	4	Tilia cordata	Little Leaf Linden	5	good	Preserve	Clear of construction works
Line Drive ROW	137	4	Tilia cordata	Little Leaf Linden	5	good	Preserve	Clear of construction works
Line Drive ROW	138	4	Tilia cordata	Little Leaf Linden	5	good	Preserve	Clear of construction works
Line Drive ROW	139	4	Tilia cordata	Little Leaf Linden	5	good	Remove	To be cleared for site development
Line Drive ROW	140	4	Quercus macrocarpa	Burr Oak	5	good	Remove	To be cleared for site development
Line Drive ROW	141	4	Quercus macrocarpa	Burr Oak	5	fair	Remove	To be cleared for site development
Line Drive ROW	142	4	Quercus macrocarpa	Burr Oak	5	fair	Remove	To be cleared for site development
Line Drive ROW	143	4	Quercus macrocarpa	Burr Oak	6	good	Preserve	Clear of construction works
Line Drive ROW	144	4	Quercus macrocarpa	Burr Oak	6	good	Preserve	Clear of construction works

Category
1 - >20cm on private property on subject site
2 - On private property within 6m of subject site
3 - All trees within Regional road allowance adjacent to site
4 - All trees within City road allowance adjacent to site

SCHEDULE D: BACKGROUND

Application No. (City File)	**Application Description** (i.e. Minor Variance Application; Approved by COA / OLT)
B007/24 A079/23	Approved by COA; July 10, 2024

Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
T 905 832 8585
E CofA@vaughan.ca

NOTICE OF DECISION
Consent Application B007/24
Section 53 of the Planning Act, R.S.O, 1990, c.P.13

DATE OF HEARING:	Wednesday, July 10, 2024
APPLICANT:	3288212 Nova Scotia Ltd.
AGENT:	Weston Consulting
PROPERTY:	6100 Langstaff Road, Vaughan
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Prestige Employment" by Volume 2, Section 11.9 - West Vaughan Employment Area Secondary Plan.
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Consent is being requested to sever a parcel of land for employment purposes to facilitate the construction of a utility substation (Alectra). The severed parcel of land will have frontage on Line Drive and is approximately 6,000 m2. The retained parcel of land will have frontage onto Langstaff Road and is approximately 107,000 m2.

Having regard to the written and oral submissions related to this application as required by Section 53(18), the requirements of Section 51(24) as required by Section 53(12) and matters of Provincial interest (Provincial Policy Statement) as required by Section 3(1) of the Planning Act, R.S.O. 1990, c. P. 13, as amended, it is the decision of the Committee that provisional consent of the application:

THAT Application No. B007/24 on behalf of 6100 Langstaff Road, be **APPROVED,** in accordance with the sketches attached and subject to the following conditions:

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval **"if required"**. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency. **Conditions must be fulfilled <u>two years</u> from the date of the giving of the Notice of Decision, failing which this application shall be deemed to be refused. *Section 53(41), The Planning Act R.S.O., 1990*** 1 | Committee of Adjustment cofa@vaughan.ca | 1. That the applicant's solicitor confirms the legal description of both the severed and retained land. 2. That the applicant provides two (2) full size copies of the deposited plan of reference of the entire land which conforms substantially with the application as submitted. 3. That the applicant provides an electronic copy of the deposited reference plan to cofa@vaughan.ca 4. Payment of the Certificate Fee as provided on the City of Vaughan's Committee of Adjustment Fee Schedule		
2	Development Planning Nicholas.delprete@vaughan.ca	That all comments on Site Development Application File DA.22.008 be addressed to the satisfaction of the Development Planning Department.
3	Development Engineering Rex.bondad@vaughan.ca	1. The Owner / Applicant shall prepare and register a reference plan at their expense showing all existing and proposed easements to the satisfaction of the Development Engineering Department (DE) for the Subject

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
		Lands applicable to the Consent Application. The Owner / Applicant shall submit a draft reference plan to DE for review prior to deposit with the Land Registry. The Owner / Applicant shall submit the deposited reference plan to DE in order to clear this condition. 2. The Owner/Applicant shall initiate the relocation or upgrade of service connections by reaching out to the Development Inspection and Grading Department at serviceconnections@vaughan.ca or by requesting a cost estimate through the Service Request Form. The Service Request Form can be accessed in the Vaughan website at https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/service-connections. The completed form should be accompanied by the final Lot Grading and Servicing Plan and sent via email at serviceconnections@vaughan.ca. The Owner/Applicant is responsible with covering all associated fees, including administration charges upon confirmation of the service connection estimates for the installation of necessary services. The service connection application process typically takes 4-6 weeks, so the Owner/Applicant is encouraged to allow sufficient time for the entire procedure to be completed.
4	Development Finance nelson.pereira@vaughan.ca	1. The owner shall pay of a Tree Fee, approved by Council as of the date of granting the consent. Payment is to be made by certified cheque, to the satisfaction of the City of Vaughan Financial Planning and Development Finance Department (contact Nelson Pereira to have this condition cleared). 2. The owner shall pay all property taxes as levied. Payment is to be made by certified cheque, to the satisfaction of the City of Vaughan Financial Planning and Development Finance Department (contact Nelson Pereira to have this condition cleared).

For the following reasons:

1. The proposal conforms to Section 51(24) as required by Section 53(12) of the Planning Act.
2. The proposal conforms to the City of Vaughan Official Plan.
3. The proposal conforms to the Provincial Policy Statements as required by Section 3(1) of the Planning Act.

PUBLIC WRITTEN & ORAL SUBMISSIONS

Public correspondence considered by the Committee of Adjustment in the making of this decision.

WRITTEN SUBMISSIONS:

Name	Address	Date Received (mm/dd/yyyy)	Summary
None			

ORAL SUBMISSIONS:

Name	Address	Submission (Hearing) Date (mm/dd/yyyy)	Summary
Gord Goodwin, J & B Engineering	Representing Owners of 100 Line Drive	07/10/2024	General comments regarding ongoing discussions between Microsoft, Costco, Alectra and property owners regarding future location of transmission line (which has not yet been determined)

In accordance with Procedural By-law 069-2019, public written submissions on an Application shall only be received by the Secretary Treasurer until **noon** on the last business day prior to the day of the scheduled Meeting.

WRITTEN SUBMISSIONS RECEIVED PAST DEADLINE:

Name	Address	Date Received (mm/dd/yyyy)	Summary
None			

ALL MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

J. Kalpin	A.Perrella	M. Milunsky
J. Kalpin Member	A. Perrella Chair	M. Milunsky Member
S. Kerwin		B. Bell
S. Kerwin Vice Chair		B. Bell Member

DATE OF HEARING:	**July 10, 2024**
DATE OF NOTICE:	**July 18, 2024**
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	**August 7, 2024** 4:30 p.m.
LAST DAY FOR FULFILLING CONDITIONS:	**July 18, 2026** 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan Hill Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application. Christine Vigneault Christine Vigneault Manager Development Services & Secretary-Treasurer Committee of Adjustment	

Appealing to The Ontario Land Tribunal
The *Planning Act*, R.S.O. 1990, as amended, Section 53

The applicant, the Minister, a **specified person** or any public body may, not later than 20 days after the giving of notice under subsection (17) is completed, appeal the decision or any condition imposed by the council or the Minister or appeal both the decision and any condition to the Tribunal by filing with the clerk of the municipality or the Minister a notice of appeal setting out the reasons for the appeal, accompanied by the fee charged by the Tribunal.

When **no appeal is lodged** within twenty days after the giving of notice the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

Please email and courier all appeals and prescribed fees to:

Office of the City Clerk - Committee of Adjustment
2141 Major Mackenzie Drive
Vaughan Ontario, L6A 1T1
cofa@vaughan.ca

If you have questions regarding the appeal process, please email cofa@vaughan.ca

Appeal Fees & Forms

ONTARIO LAND TRIBUNAL (OLT): The OLT appeal fee is $400 plus $25 for each additional consent/variance appeal filed by the same appellant against connected applications. The OLT Appeal Fee must be paid by certified cheque or money order payable to the “Minister of Finance”. OLT appeals must be filed with the Secretary Treasurer, City of Vaughan.

City of Vaughan OLT Processing Fee: See Fee Schedule

*Please note that all fees are subject to change.

IMPORTANT INFORMATION

Conditions of Approval: It is the applicant's responsibility to ensure that all conditions of approval have been fulfilled in accordance with the Committee's decision and the last day for fulfilling conditions (by 4:30 p.m.). Contact information has been provided for each respective department and agency to assist you with completing these conditions. Some conditions may require two to three months to process therefore it is important that the applicant initiate consultation at least 3 months prior to the lapsing date.

Lapsing of the Consent: If conditions have been imposed and the applicant has not, within a period of two years after notice was given under subsection (17) or (24) of the Planning Act, whichever is later, fulfilled the conditions, the application for consent shall be deemed to be refused but, if there is an appeal under subsection (14), (19) or (27), the application for consent shall not be deemed to be refused for failure to fulfil the conditions until the expiry of two years from the date of the order of the Tribunal issued in respect of the appeal or from the date of a notice issued by the Tribunal under subsection (29) or (33).

No extension to the last day for fulfilling conditions is permissible and no further notice will be provided regarding the lapsing of your consent application.

Notice of Changes to the Provisional Consent: The Committee of Adjustment may change the conditions of a provisional consent at any time before the consent is given. You will be entitled to receive notice of any changes to the conditions of the provisional consent if you have made a written request to be notified of changes to the conditions of the provisional consent.

Final Approval: Final approval of the application will be issued in the form of a Certificate (pursuant to Section 53(42) of the Planning Act) once **all** conditions of the provisional consent have been satisfied.

DEVELOPMENT CHARGES

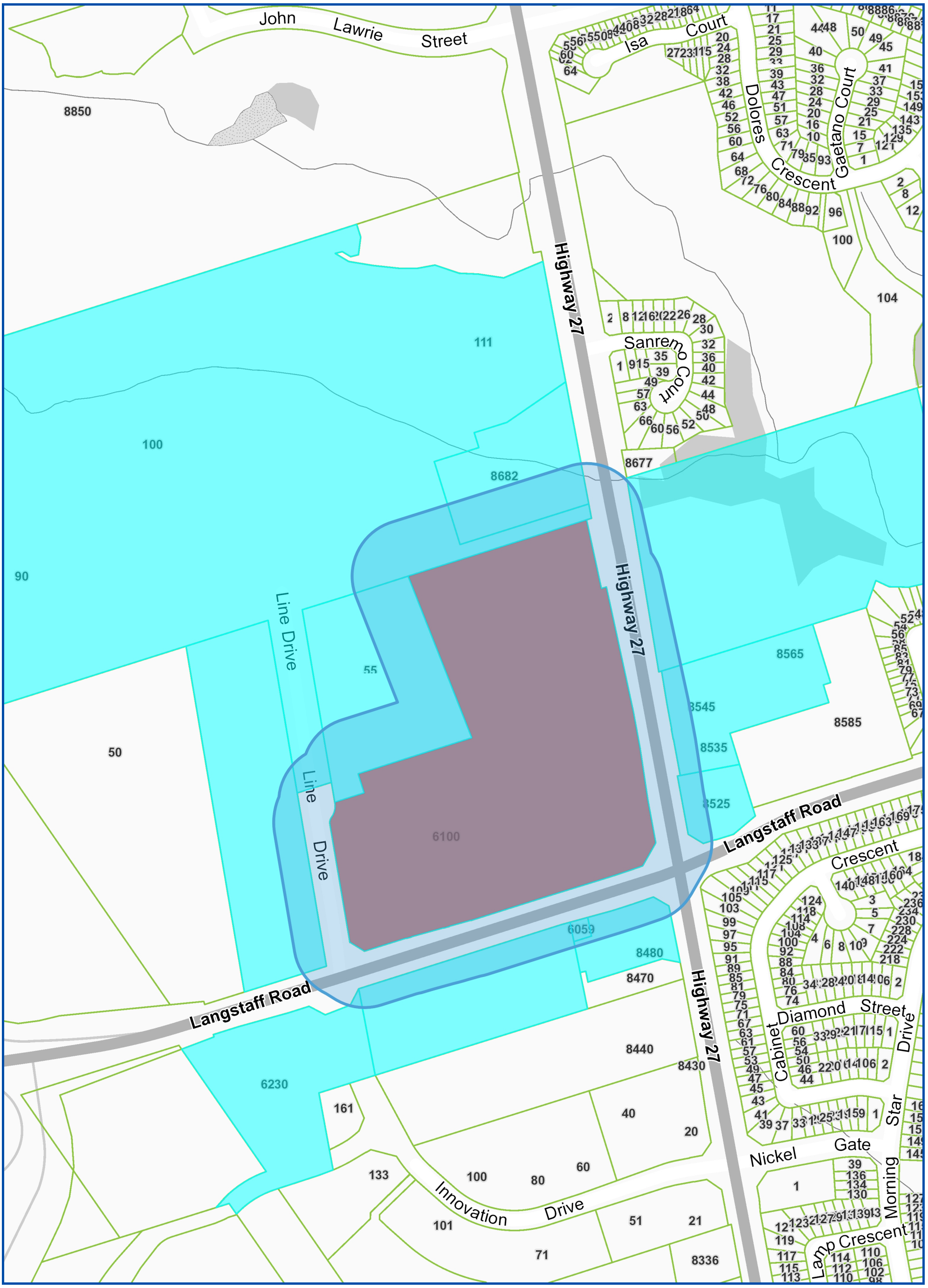
That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

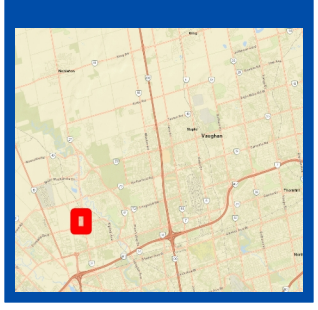
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

For further information please contact cofa@vaughan.ca



Map Information:



Title: 6100 Langstaff Road, Woodbridge

NOTIFICATION MAP - B007/24

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.

VAUGHAN

Scale: 1: 5,619

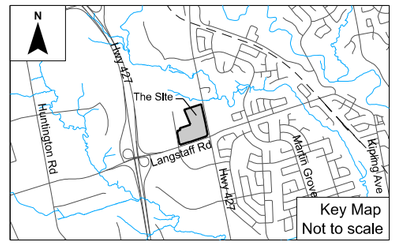
0 0.09 km

Created By:
Infrastructure Delivery Department
June 13, 2024 4:26 PM

Projection:
NAD 83
UTM Zone 17N

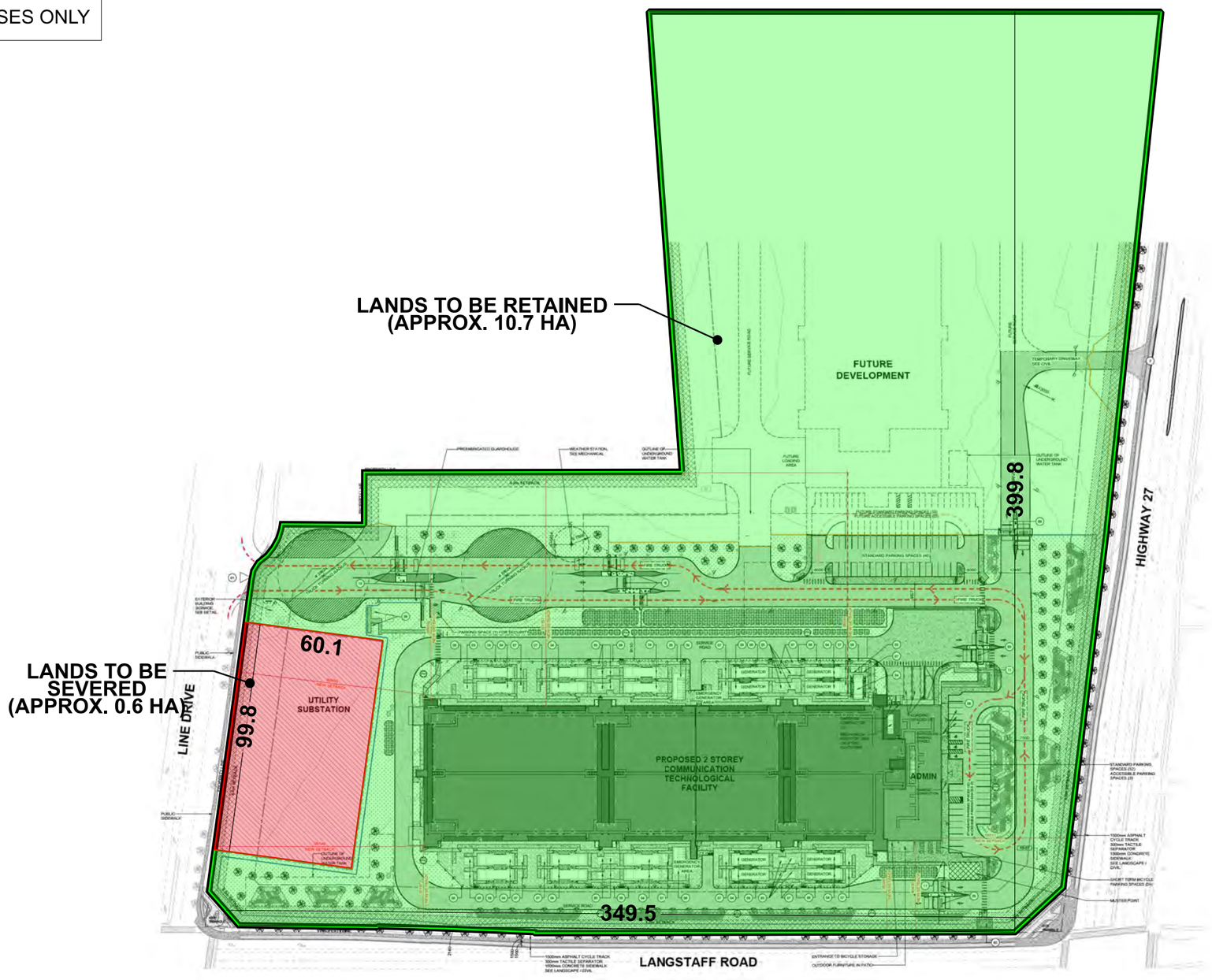
DRAFT

FOR DISCUSSION PURPOSES ONLY



LEGEND

- Total Holdings (approx. 11.3 ha)
- Lands to be Retained (approx. 10.7 ha)
- Lands to be Severed (approx. 0.6 ha)



Notes:

- Site Plan completed by WZMH Architects, dated Jan 11, 2024.
- Areas and dimensions are approximate and subject to confirmation by survey.
- Total Holdings, Lands to be Retained, and Lands to be Severed have been digitized from the Site Plan provided by WZMH Architects (Jan, 2024).

DRAWN / REVISED	
19 MAR 2024	Add lot depth and frontage
11 MAR 2024	First Draft

CONSENT TO SEVER SKETCH

6100 LANGSTAFF RD
CITY OF VAUGHAN
REGION OF YORK

N

SCALE
0 10 20 30 40m

WESTON CONSULTING

File Number: 10648
Date: 2024-03-19
Drawn By: NDC
Planner: RL
CAD: 10648_Consent Sketch_2024-03-19.dgn

Drawing
CS

Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
T 905 832 2281
E CofA@vaughan.ca

NOTICE OF DECISION
MINOR VARIANCE APPLICATION A079/23
Section 45 of the Planning Act, R.S.O, 1990, c.P.13

DATE OF HEARING:	Thursday, June 22, 2023
APPLICANT:	3288212 Nova Scotia Ltd.
AGENT:	Weston Consulting
PROPERTY:	6100 Langstaff Road, Vaughan
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Prestige Employment," Volume 2, Section 11.9 West Vaughan Employment Area Secondary Plan
RELATED DEVELOPMENT APPLICATIONS:	DA.22.008.
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed development consisting of two, 2-storey data processing centre buildings that include an ancillary office component. Relief is also required to facilitate related Site Plan Application DA.22.008.

The following variances are being requested from the City's Zoning By-law:

The subject lands are zoned and has been reviewed as EM1, Prestige Employment Zone and subject to exception 14.1131. under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The number of parking spaces required is 146 spaces. [Table 6-2]	To permit a total of 75 parking spaces.
2	The minimum number of loading spaces required is 1 Type A, 3 Type B, and 1 Type C loading spaces. [Table 6-18].	To permit a minimum of 3 loading spaces.

The subject lands are zoned and has been reviewed as *EM1,* Prestige Employment Zone and subject to exception 9(1514) under Zoning By-law 1-88, as amended.

#	Zoning By-law 001-2021	Variance requested
3	The number of parking spaces required is 259 spaces. [Section 3.8]	To permit a total of 75 parking spaces.
4	The minimum number of loading spaces required is 4 loading spaces. [Section 3.9 a)]	To permit a minimum of 3 loading spaces.
5	A driveway and/or aisle which serves the movement of trucks to and from a loading space shall have a maximum width of 13.5 metres [Section 3.9 b)].	To permit a maximum driveway width of 22.0 metres which serves the movement of trucks to and from a loading space.

Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:

THAT Application No. **A079/23** for 6100 Langstaff Road be **APPROVED**, in accordance with the drawings and plans submitted with the application and subject to the following conditions:

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval **"if required"**. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency. It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency **(see condition chart below for contact).** This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.		
1	Development Planning Joshua.cipolletta@vaughan.ca	1. That the applicant's solicitor consolidates 6100 Langstaff Road, owned by 3288212 Nova Scotia Ltd., together with Part of Lot 9, Concession 3 also owned by 3288212 Nova Scotia Ltd., together comprising of the subject lands for Minor Variance Application A079/23 and provide a letter confirming that the parcels have been merged and are no longer separately conveyable under Section 50 (3) or (5) of the Planning Act. 2. That all comments on Site Development Application DA.22.008 be addressed to the satisfaction of the Development Planning Department.
2	Development Engineering Rex.bondad@vaughan.ca	The Owner/Applicant shall obtain approval for the related Site Development Application (DA.22.008) from the Development Engineering (DE) Department.

REASONS:

This application is approved, as it is the opinion of the Committee that, with the above noted conditions of approval, this application meets all four tests under Section 45(1) of the Planning Act:

1. The general intent and purpose of the by-law will be maintained.

2. The general intent and purpose of the official plan will be maintained.

3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.

4. The requested variance(s) is/are minor in nature.

PUBLIC WRITTEN & ORAL SUBMISSIONS

Public correspondence considered by the Committee of Adjustment in the making of this decision.

WRITTEN SUBMISSIONS:

Name	Address	Date Received (mm/dd/yyyy)	Summary
None			

ORAL SUBMISSIONS:

Name	Address	Submission (Hearing) Date (mm/dd/yyyy)	Summary
None			

In accordance with Procedural By-law 069-2019, public written submissions on an Application shall only be received by the Secretary Treasurer until **noon** on the last business day prior to the day of the scheduled Meeting.

WRITTEN SUBMISSIONS RECEIVED PAST DEADLINE:

Name	Address	Date Received (mm/dd/yyyy)	Summary
None			

IMPORTANT INFORMATION

Making any changes to your proposal/development after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings attached to this decision.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

J. Kalpin	*A.Perrella*	*M. Milunsky*
J. Kalpin Member	A. Perrella Chair	M. Milunsky Member
S. Kerwin		*B. Bell*
S. Kerwin Vice Chair		B. Bell Member

DATE OF HEARING:	**June 22, 2023**
DATE OF NOTICE:	**June 29, 2023**
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	**July 12, 2023** **4:30 p.m.**
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan's Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application. *Christine Vigneault* Christine Vigneault Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

Appealing to The Ontario Land Tribunal

The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or a **specified person** or public body that has an interest in the matter may within 20 days of the making of the decision appeal to the Tribunal against the decision of the committee by filing with the secretary-treasurer of the committee a notice of appeal setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the secretary-treasurer of the fee charged by the Tribunal as payable on an appeal from a committee of adjustment to the Tribunal.

When **no appeal is lodged** within twenty days after the giving of notice the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

Please email and courier all appeals and prescribed fees to:

Office of the City Clerk - Committee of Adjustment
2141 Major Mackenzie Drive
Vaughan Ontario, L6A 1T1
cofa@vaughan.ca

If you have questions regarding the appeal process, please email cofa@vaughan.ca

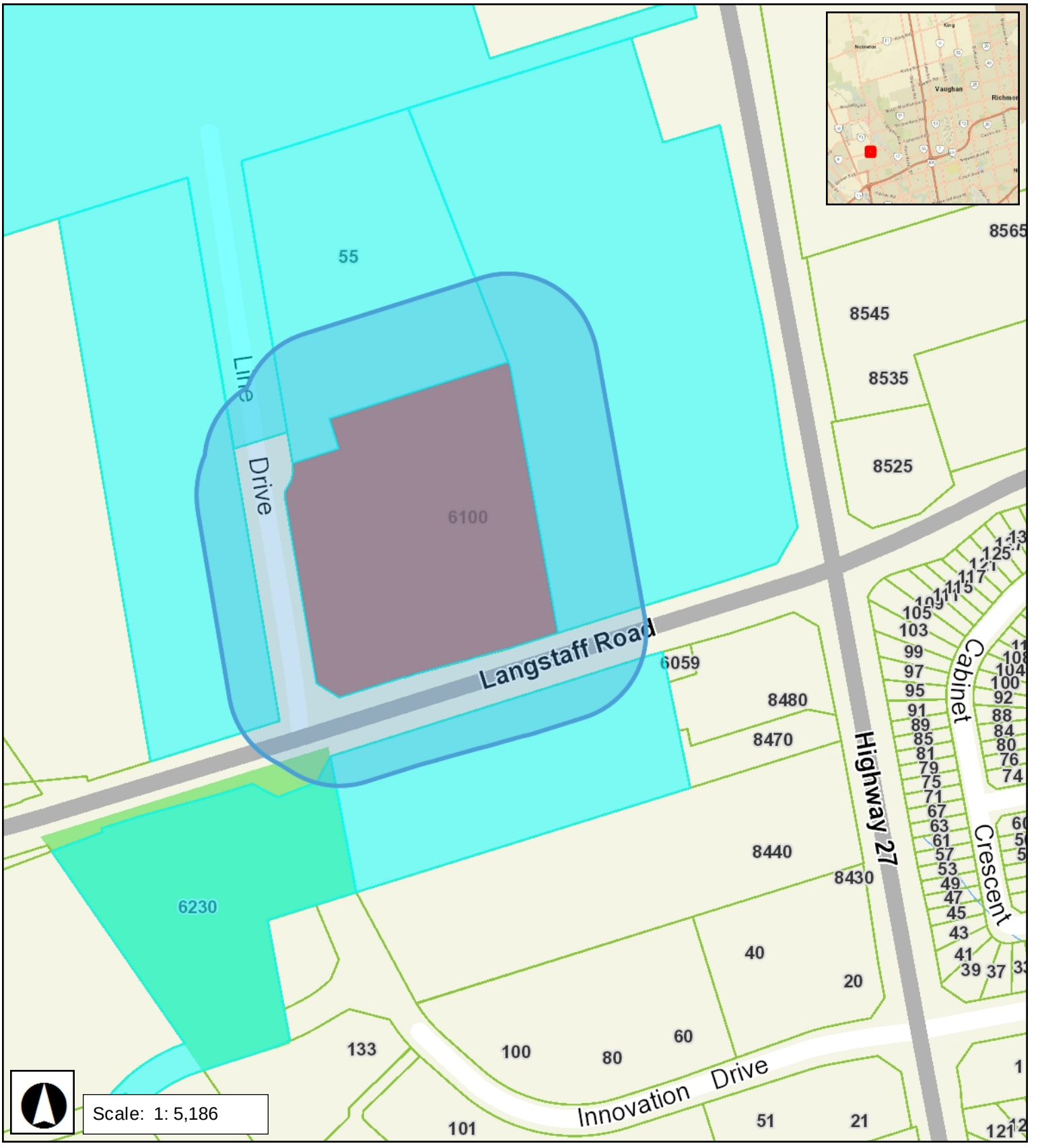
Appeal Fees & Forms

ONTARIO LAND TRIBUNAL (OLT): The OLT appeal fee is $400 plus $25 for each additional consent/variance appeal filed by the same appellant against connected applications. The OLT Appeal Fee must be paid by certified cheque or money order payable to the "Minister of Finance". OLT appeals must be filed with the Secretary Treasurer, City of Vaughan.

City of Vaughan OLT Processing Fee: See Fee Schedule

*Please note that all fees are subject to change.

A079/23 - 6100 Langstaff Road



June 2, 2023 11:55 AM

SITE PLAN LEGEND

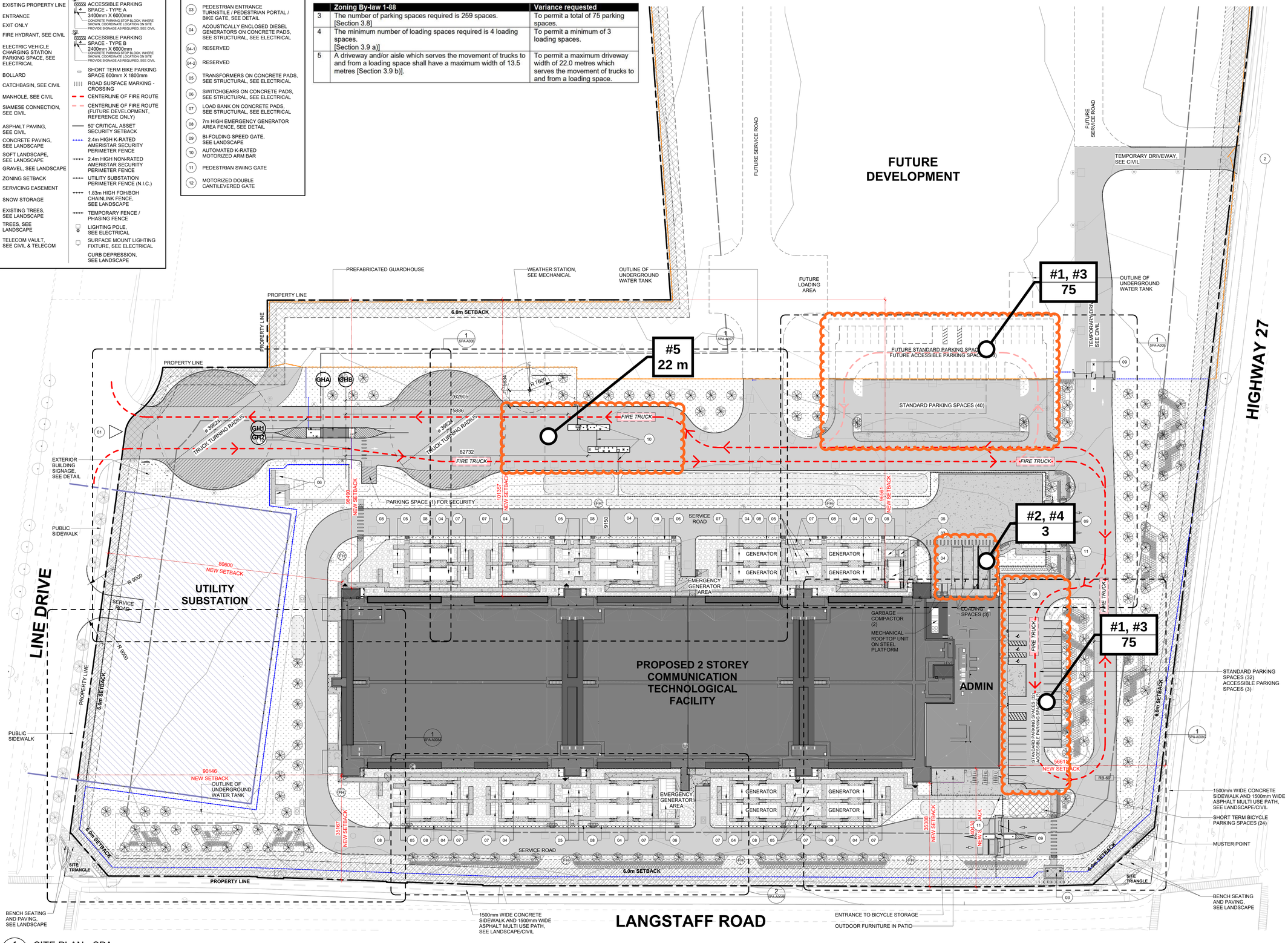
- PROPOSED PROPERTY LINE
- UTILITY SUBSTATION PROPERTY LINE
- EXISTING PROPERTY LINE
- ENTRANCE
- EXIT ONLY
- FIRE HYDRANT, SEE CIVIL
- ELECTRIC VEHICLE CHARGING STATION PARKING SPACE, SEE ELECTRICAL
- BOLLARD
- CATCHBASIN, SEE CIVIL
- MANHOLE, SEE CIVIL
- SIAMESE CONNECTION, SEE CIVIL
- ASPHALT PAVING, SEE CIVIL
- CONCRETE PAVING, SEE LANDSCAPE
- SOFT LANDSCAPE, SEE LANDSCAPE
- GRAVEL, SEE LANDSCAPE
- ZONING SETBACK
- SERVICING EASEMENT
- SNOW STORAGE
- EXISTING TREES, SEE LANDSCAPE
- TREES, SEE LANDSCAPE
- TELECOM VAULT, SEE CIVIL & TELECOM
- STANDARD PARKING SPACE 2700mm X6000mm — CONCRETE PARKING STOP BLOCK, WHERE SHOWN, COORDINATE LOCATION ON SITE. PROVIDE SIGNAGE AS REQUIRED, SEE CIVIL
- ACCESSIBLE PARKING SPACE - TYPE A 3400mm X 6000mm — CONCRETE PARKING STOP BLOCK, WHERE SHOWN, COORDINATE LOCATION ON SITE. PROVIDE SIGNAGE AS REQUIRED, SEE CIVIL
- ACCESSIBLE PARKING SPACE - TYPE B 2400mm X 6000mm — CONCRETE PARKING STOP BLOCK, WHERE SHOWN, COORDINATE LOCATION ON SITE. PROVIDE SIGNAGE AS REQUIRED, SEE CIVIL
- SHORT TERM BIKE PARKING SPACE 600mm X 1800mm
- ROAD SURFACE MARKING - CROSSING
- CENTERLINE OF FIRE ROUTE
- CENTERLINE OF FIRE ROUTE (FUTURE DEVELOPMENT, REFERENCE ONLY)
- 50' CRITICAL ASSET SECURITY SETBACK
- 2.4m HIGH K-RATED AMERISTAR SECURITY PERIMETER FENCE
- 2.4m HIGH NON-RATED AMERISTAR SECURITY PERIMETER FENCE
- UTILITY SUBSTATION PERIMETER FENCE (N.I.C.)
- 1.83m HIGH FOH/BOH CHAINLINK FENCE, SEE LANDSCAPE
- TEMPORARY FENCE / PHASING FENCE
- LIGHTING POLE, SEE ELECTRICAL
- SURFACE MOUNT LIGHTING FIXTURE, SEE ELECTRICAL
- CURB DEPRESSION, SEE LANDSCAPE

SITE PLAN NOTES

01 PRIMARY VEHICULAR ENTRANCE, SEE DETAIL
02 SECONDARY VEHICULAR ENTRANCE, SEE DETAIL
03 PEDESTRIAN ENTRANCE TURNSTILE / PEDESTRIAN PORTAL / BIKE GATE, SEE DETAIL
04 ACOUSTICALLY ENCLOSED DIESEL GENERATORS ON CONCRETE PADS, SEE STRUCTURAL, SEE ELECTRICAL
04-1 RESERVED
04-2 RESERVED
05 TRANSFORMERS ON CONCRETE PADS, SEE STRUCTURAL, SEE ELECTRICAL
06 SWITCHGEARS ON CONCRETE PADS, SEE STRUCTURAL, SEE ELECTRICAL
07 LOAD BANK ON CONCRETE PADS, SEE STRUCTURAL, SEE ELECTRICAL
08 7m HIGH EMERGENCY GENERATOR AREA FENCE, SEE DETAIL
09 BI-FOLDING SPEED GATE, SEE LANDSCAPE
10 AUTOMATED K-RATED MOTORIZED ARM BAR
11 PEDESTRIAN SWING GATE
12 MOTORIZED DOUBLE CANTILEVERED GATE

#	Zoning By-law 01-2021	Variance requested
1	The number of parking spaces required is 146 spaces. [Table 6-2]	To permit a total of 75 parking spaces.
2	The minimum number of loading spaces required is 1 Type A, 3 Type B, and 1 Type C loading spaces. [Table 6-18].	To permit a minimum of 3 loading spaces.

#	Zoning By-law 1-88	Variance requested
3	The number of parking spaces required is 259 spaces. [Section 3.8]	To permit a total of 75 parking spaces.
4	The minimum number of loading spaces required is 4 loading spaces. [Section 3.9 a)]	To permit a minimum of 3 loading spaces.
5	A driveway and/or aisle which serves the movement of trucks to and from a loading space shall have a maximum width of 13.5 metres [Section 3.9 b)].	To permit a maximum driveway width of 22.0 metres which serves the movement of trucks to and from a loading space.



1 SPA-A005 SITE PLAN - SPA
1 : 500

MORRISON HERSHFIELD — MEP & Structural Engineer, Suite 300, 125 Commerce Valley Dr W, Markham, Ontario, Canada, Tel: 416-499-3110

WZMH — Architect / Landscape Architect, 95 St Clair Ave W #1500, Toronto, Ontario, Canada, Tel: 416-961-4111

wsp — Civil / Geotechnical Engineer, 100 Commerce Valley Dr W, Thornhill, ON L3T A1, Canada, Tel: 905-882-1100

TEECOM — Telecom Engineer, 50 California Street, Suite 1500, San Francisco, CA, USA, Tel 510-337-2800

World Wide Technology — Audio & Visual Engineer, 1 World Wide Way, Maryland Heights, MO, USA, Tel: 314-569-7000

Ross & Baruzzini — Security Engineer, 2321 Whitney Ave., Suite 501, Hamden, CT, USA, Tel: 203-288-6490

YTO11 DATA CENTER

6100 LANGSTAFF RD, VAUGHAN, ONTARIO

Design Team

Design	Designer
Drawn	Author
Checked	Checker
M.S. Project No.	P-17856
AE Project No.	2103546.00

Design Manager	CHRIS OUELLETTE
Layout Manager	
Civil, Site Survey, Landscaping Technical Lead	NALINI CHANDRAN
Architectural & Structural Technical Lead	SANDRA SUSKIC DAVID SWANSON
Mech, Plumbing & Fire Protection Technical Lead	SAMANTHA BISCOTTINI
Building Automation Systems (BAS) Technical Lead	WAYNE BROADWATER
Electrical Technical Lead	JIA YAN
Electrical Power Management Systems (EPMS) Technical Lead	AMMAR ALKHUWAITER
Telecommunications / Network Technical Lead	SYED ALI
Security Design Manager	AMY SMITH

DESIGN TEAM

Civil Engineering Lead	MICHAEL OLDHAM
Architectural Lead	ZENON RADEWYCH
Structural Engineering Lead	PHILLIP KWAN
Mechanical Engineering Lead	SHAUNAK PANDIT
Plumbing Engineering Lead	SHAUNAK PANDIT
Fire Protection Engineering Lead	MATT JARDINE
BAS Engineering Lead	PAUL HO
Electrical Engineering Lead	TITEL GURAU
Telecommunications Engineering Lead	JOHN PEDRO
Security Systems Engineering Lead	JEREMY ZWEERES

Revisions

No.	Date	Description
A	2022-02-08	ISSUED FOR SPA DRAFT
B	2022-02-18	ISSUED FOR SPA
C	2022-09-23	ISSUED FOR SPA RESUBMISSION 1
D	2023-03-17	ISSUED FOR SPA RESUBMISSION 2
E	2023-05-03	ISSUED FOR COMMITTEE OF ADJUSTMENT

Registration

Key Plan

PLAN TRUE

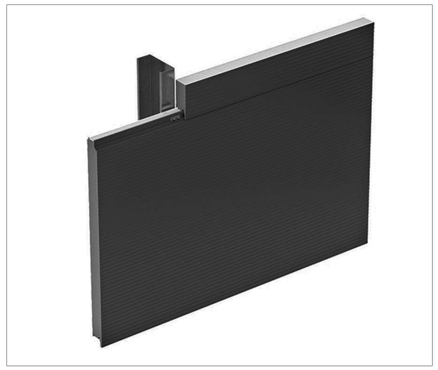
Package

Sheet Title/Number

ARCHITECTURAL - ENLARGED BUILDING SITE PLAN

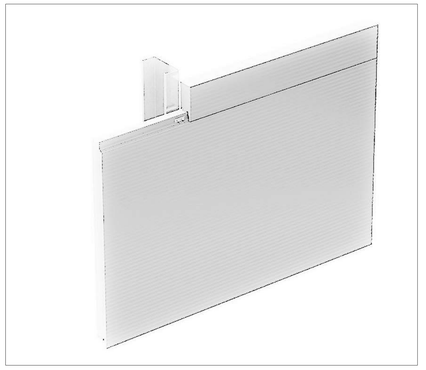
YTO11-SPA-A005

Autodesk Docs://YTO11/YTO11-ARCH-BLDG-R22.rvt
2023-05-04 4:56:40 PM
SPA-A005



1 SPA-A902 MET-1 (INSULATED METAL PANEL)
COLOR: BLACK

2 SPA-A902 MET-1 (INSULATED METAL PANEL)
COLOR: GREY



3 SPA-A902 MET-1 (INSULATED METAL PANEL)
COLOR: WHITE

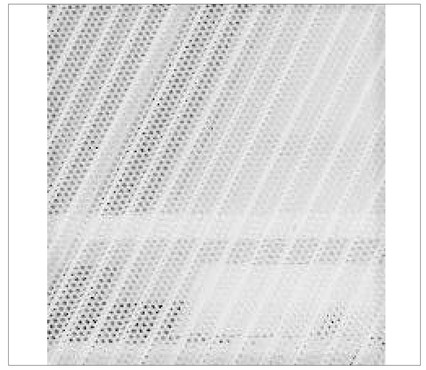
4 SPA-A902 GL-1 (DOUBLE GLAZED VISION PANEL)

5 SPA-A902 GL-2 (DOUBLE GLAZED SPANDREL PANEL)

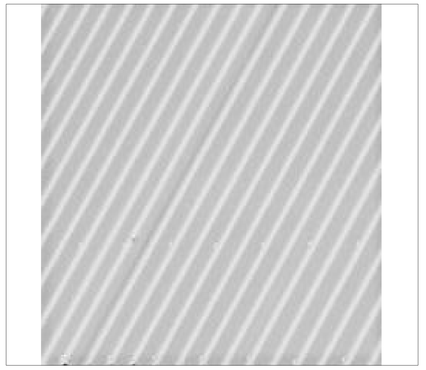
6 SPA-A902 ACCENT FIN
COLOR: BLACK

7 SPA-A902 ACCENT FIN
COLOR: GREY

11 SPA-A902 ACCENT FIN
COLOR: WHITE



8 SPA-A902 MET-2 (PERFORATED CORRUGATED METAL PANEL)
COLOR: WHITE / DIRECTION: VERTICAL

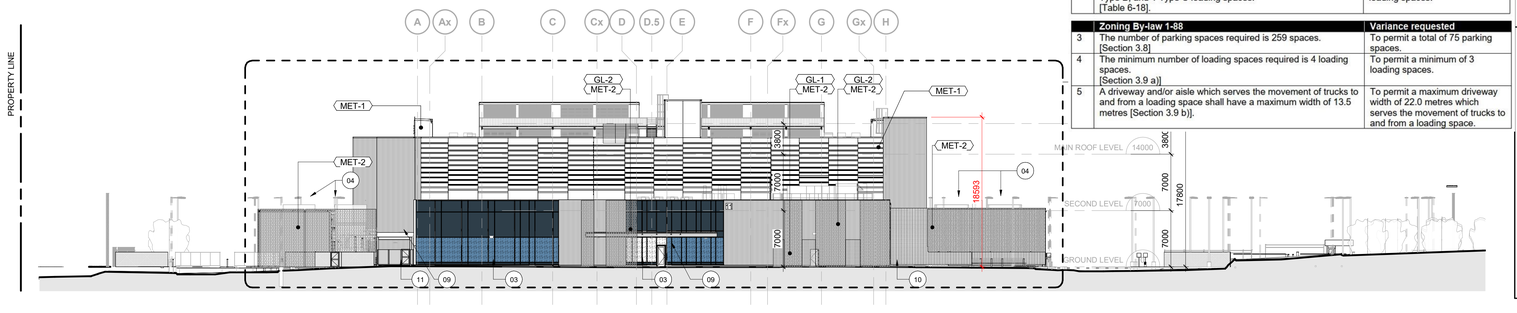


9 SPA-A902 MET-3 (CORRUGATED METAL PANEL)
COLOR: WHITE / DIRECTION: VERTICAL

10 SPA-A902 LVR-1 (ARCHITECTURAL PREFINISHED LOUVER)
COLOR: BLACK

#	Zoning By-law 01-2021	Variance requested
1	The number of parking spaces required is 146 spaces. [Table 6-2]	To permit a total of 75 parking spaces.
2	The minimum number of loading spaces required is 1 Type A, 3 Type B, and 1 Type C loading spaces. [Table 6-18].	To permit a minimum of 3 loading spaces.

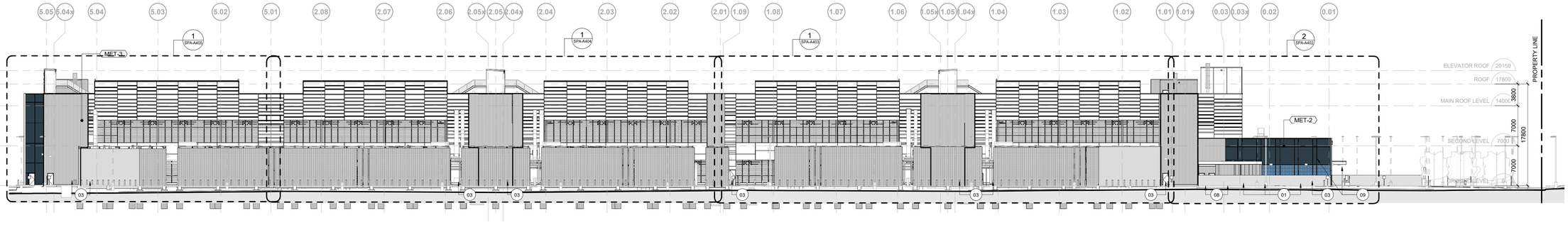
	Zoning By-law 1-88	Variance requested
3	The number of parking spaces required is 259 spaces. [Section 3.8]	To permit a total of 75 parking spaces.
4	The minimum number of loading spaces required is 4 loading spaces. [Section 3.9 a)]	To permit a minimum of 3 loading spaces.
5	A driveway and/or aisle which serves the movement of trucks to and from a loading space shall have a maximum width of 13.5 metres [Section 3.9 b)].	To permit a maximum driveway width of 22.0 metres which serves the movement of trucks to and from a loading space.



MATERIAL LEGEND

- GL-3 DOUBLE GLAZED VISION PANEL
- GL-4 DOUBLE GLAZED VISION PANEL
- GL-8 DOUBLE GLAZED SPANDREL PANEL
- MET-1 METAL PANEL
  - COLOR: WHITE
  - COLOR: GREY
  - COLOR: BLACK
- MET-2 PERFORATED CORRUGATED METAL PANEL
- MET-3 CORRUGATED METAL PANEL
- LVR-1 ARCHITECTURAL PREFINISHED LOUVER

13 SPA-A902 EAST BUILDING ELEVATION - SPA
1 : 300



12 SPA-A902 SOUTH BUILDING ELEVATION - SPA
1 : 300

MORRISON HERSHFIELD
MEP & Structural Engineer
Suite 300,
125 Commerce Valley Dr W
Markham, Ontario, Canada
Tel: 416-499-3110

WZMH
Architect / Landscape Architect
95 St Clair Ave W #1500
Toronto, Ontario, Canada
Tel: 416-961-4111

wsp
Civil / Geotechnical Engineer
100 Commerce Valley Dr W
Thornhill, ON L3T A1, Canada
Tel: 905-882-1100

TEECOM
Telecom Engineer
50 California Street, Suite 1500
San Francisco, CA, USA
Tel 510-337-2900

World Wide Technology
Audio & Visual Engineer
1 World Wide Way
Maryland Heights, MO, USA
Tel: 314-569-7000

Ross&Baruzzini
Security Engineer
2321 Whitney Ave., Suite 501
Hamden, CT, USA
Tel: 203-288-6490

YTO11
DATA CENTER
6100 LANGSTAFF RD, VAUGHAN, ONTARIO

Design Team

Design	Designer
Drawn	Author
Checked	Checker
M.S. Project No.	P-17856
AE Project No.	2103546.00

Design Manager	CHRIS OUELLETTE
Layout Manager	
Civil, Site Survey, Landscaping Technical Lead	NALINI CHANDRAN
Architectural & Structural Technical Lead	SANDRA SUSKIC DAVID SWANSON
Mech, Plumbing & Fire Protection Technical Lead	SAMANTHA BISCOTTINI
Building Automation Systems (BAS) Technical Lead	WAYNE BROADWATER
Electrical Technical Lead	JIA YAN
Electrical Power Management Systems (EPMS) Technical Lead	AMMAR ALKHUWAITER
Telecommunications / Network Technical Lead	SYED ALI
Security Design Manager	AMY SMITH

DESIGN TEAM

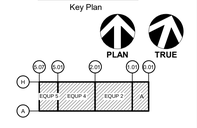
Civil Engineering Lead	MICHAEL OLDHAM
Architectural Lead	ZENON RADEWYCH
Structural Engineering Lead	PHILLIP KWAN
Mechanical Engineering Lead	SHAUNAK PANDIT
Plumbing Engineering Lead	SHAUNAK PANDIT
Fire Protection Engineering Lead	MATT JARDINE
BAS Engineering Lead	PAUL HO
Electrical Engineering Lead	TITEL GURAU
Telecommunications Engineering Lead	JOHN PEDRO
Security Systems Engineering Lead	JEREMY ZWEERES

Revisions

No.	Date	Description
C	2022-09-23	ISSUED FOR SPA RESUBMISSION 1
D	2023-03-17	ISSUED FOR SPA RESUBMISSION 2
E	2023-05-03	ISSUED FOR COMMITTEE OF ADJUSTMENT

Registration

Key Plan



Package

Sheet Title/Number

ARCHITECTURAL MATERIAL BOARD - EXTERIOR FINISHES

YTO11-SPA-A902

Autodesk Docs://YTO11/YTO11-ARCH-BLDG-R22.rvt
2023-03-17 11:53:44 AM
SPA-A902