

ITEM: 6.2	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A046/25
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Report Date: Friday, June 13, 2025

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):

Additional comments from departments and agencies received after the publication of the report will be made available on the City’s [website](#).

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Forestry	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Metrolinx	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Rene Krause	124 Ridgeway Court	05/05/2025	Letter of Support
Public	Harmeet Johal	125 Ridgeway Court	05/12/2025	Letter of Support
Public	Jerry Malfara	127 Ridgeway Court	05/02/25	Letter of Support
Applicant			05/27/25	Arborist Report
Applicant			05/27/25	Tree Protection Plan
Applicant			06/09/2025	Edge Management Plan
Applicant			05/27/25	Tree Inventory

BACKGROUND (SCHEDULE D, IF REQUIRED)	
* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.	
Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
None	None

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
None	None

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background

	MINOR VARIANCE APPLICATION FILE NUMBER A046/25
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CITY WARD #:	1
APPLICANT:	Denise Donati-Scarcelli
AGENT:	Daniel Segal (Segal Construction)
PROPERTY:	125 Ridgeway Court, Maple
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ("VOP 2010"): "Low Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit an Additional Residential Unit, pergola and shed in the rear yard.

The following variances have been requested from the City’s Zoning By-law:

The subject lands are zoned **R4(EN) – Fourth Density Residential Zone (Established Neighbourhood)** and subject to the provisions of **Exception 14.648 under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 001-2021	Variance requested
1	For lots abutting lands zoned OS1-Open Space Conservation Zone, the required yard shall be 10.0 m and no building or structures above or below grade including swimming pools shall not be permitted within the required yard [Schedule T-103, Note #4].	To permit a minimum rear yard of 2.46m for a residential accessory structure (Additional Residential Unit) abutting OS1 Zone.
2	For lots abutting lands zoned OS1-Open Space Conservation Zone, the required yard shall be 10.0 m and no building or structures above or below grade including swimming pools shall not be permitted within the required yard [Schedule T-103, Note #4].	To permit a minimum rear yard of 8.33m for a residential accessory structure (Pergola) abutting OS1 Zone.
3	For lots abutting lands zoned OS1-Open Space Conservation Zone, the required yard shall be 10.0 m and no building or structures above or below grade including swimming pools shall not be permitted within the required yard [Schedule T-103, Note #4].	To permit a minimum rear yard of 1.5 m for a residential accessory structure (Shed) abutting OS1 Zone.
4	A minimum interior side yard of 1.2 m is required [Schedule T-103]. See note #3 below.	To permit a minimum interior side yard of 0.7m for a residential accessory structure (Shed).
5	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 m [Section 4.1.4.1].	To permit a maximum height of 3.22 m for a residential accessory structure (Additional Residential Unit).
6	A maximum lot coverage of 60.78 m² for all accessory buildings and residential accessory structures is permitted. See note #2 below.	To permit a maximum lot coverage of 79.6 m² for all accessory buildings and residential accessory structures.

HEARING INFORMATION
DATE OF MEETING: Thursday, June 19, 2025 TIME: 6:00 p.m. MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2 nd Floor), 2141 Major Mackenzie Drive LIVE STREAM LINK: Vaughan.ca/LiveCouncil
PUBLIC PARTICIPATION

HEARING INFORMATION
<p>If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the Request to Speak Form and submit to cofa@vaughan.ca</p> <p>If you would like to submit written comments, please quote file number above and submit by mail or email to:</p> <p>Email: cofa@vaughan.ca</p> <p>Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1</p> <p>To speak electronically, pre-registration is required by completing the Request to Speak Form on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.</p> <p>THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.</p>

INTRODUCTION
<p>Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.</p> <p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:</p> <p>That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p>

COMMITTEE OF ADJUSTMENT	
Date Public Notice Mailed:	June 5, 2025
Date Applicant Confirmed Posting of Sign:	June 3, 2025
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Existing Bylaws Restriction
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
<p>On June 2, 2025, Environmental Planning advised:</p> <p>Environmental Planning staff have reviewed the materials provided in support of the minor variance requested for A046.25 for 125 Ridgeway Court and offer the following comments:</p> <p><u>Site Context</u></p> <ul style="list-style-type: none">According to our mapping, the subject property is directly adjacent to "Core Features" (i.e. significant woodland feature) of the City's Natural Heritage Network (NHN). In accordance with the VOP 2010, "Core Features" are subject to the relevant policies within Chapter 3.According to our mapping, the site is regulated by the Toronto and Region Conservation Authority (TRCA). <p><u>Application Specific Comments</u></p> <ul style="list-style-type: none">In accordance with Vaughan Official Plan (VOP) 2010 Policy 3.2.3.4 the minimum vegetation protection zone (MVPZ) for significant woodlands is 10 meters. The applicant is requesting to permit a minimum rear yard setback of 2.46m on the subject lot abutting an OS1 zone. It is staff's understanding that the proposed structures will also encroach within the required MVPZ associated with the Significant Woodland feature directly adjacent to the subject lands.As there are "Core Features" of the NHN directly adjacent to the subject lands, an Environmental Impact Study (EIS) is required to assess any impacts to the Core Features. Core Features should be protected and enhanced as per the Core Feature policies in Chapter 3 of the VOP 2010. The EIS must be completed by a qualified professional. For more information on completion of the study, the applicant can refer to the following guidance documents:	

COMMITTEE OF ADJUSTMENT	
<ul style="list-style-type: none">○ City's Environmental Management Guideline○ https://trca.ca/app/uploads/2016/02/EIS_Guideline - Jan232015bp.pdf <ul style="list-style-type: none">• Prior to initiating the study, the applicant can submit an EIS Terms of Reference (ToR) to Environmental Planning and TRCA to confirm an appropriate scope.• If one has not been completed as of yet, a staking exercise to determine the limit of natural features located adjacent to the subject property will be required with the City. Confirmation is required that the "Core Features" of the NHN identified on the subject lands have been staked.• Once the limit of natural features and hazards (as determined by the site staking, EIS and any other technical study required by the TRCA), all natural features and their associated VPZs should be clearly plotted on all relevant plans (i.e. please provide an environmental constraints map showing the delineation of the development limits including the staked line/limit of natural features and hazards). In accordance with Section 3.2.3.4, of the VOP, all proposed development and site alteration should be located outside of the natural features/VPZs.• Additionally, the subject lands are regulated by the TRCA due to the presence of the valley corridor/valley lands associated with the Don River. As such, Environmental Planning staff defer to TRCA for floodplain and any regulatory hazard matters/confirmation of natural hazard limits as per Ontario Regulation 41/24. Any proposed development, interference, or alteration within the regulated area will be required to be appropriately setback from the floodplain and will require a permit/approval from TRCA. Staff also defer to TRCA for any technical studies as required. <p>On June 2, 2025, Committee of Adjustment staff requested adjournment and communicated required adjournment fees.</p> <p>On June 4, 2025, the applicant confirmed that they wanted to proceed.</p> <p>Should the application be adjourned from the June 19, 2025 hearing, a rescheduling fee (Adjournment Fee) is required.</p>	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING	
**See Schedule B for Development Planning Comments. Application under Review.	
Development Planning Recommended Conditions of Approval:	TBD

DEVELOPMENT ENGINEERING	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
<p>The Owner / Applicant shall ensure that the proposed (fill in proposed development) does not negatively impact neighbours due to surface water runoff. The property should be properly graded, ensuring that surface water from the (fill in proposed development) does not go onto adjacent lots in accordance with the City's Engineering Standards. It's important to note that (fill in proposed development based on Section 2.2.1 - Table 1.0) necessitates a Grading Permit. Once the Grading Permit is obtained, please reach out to the Development Engineering Reviewer to clear the Condition imposed on this application. (Condition attached) The proposed work by the Owner/Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.</p>	
Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply

DEVELOPMENT ENGINEERING	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
	for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca

PARKS, FORESTRY & HORTICULTURE (PFH)	
Recommended condition of approval below.	
PFH Recommended Conditions of Approval:	Applicant/owner shall obtain a “Private Property Tree Removal & Protection” permit through the forestry division prior to any construction works on the subject property.

DEVELOPMENT FINANCE	
No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES	
No comments received to date.	
BCLPS Recommended Conditions of Approval:	None

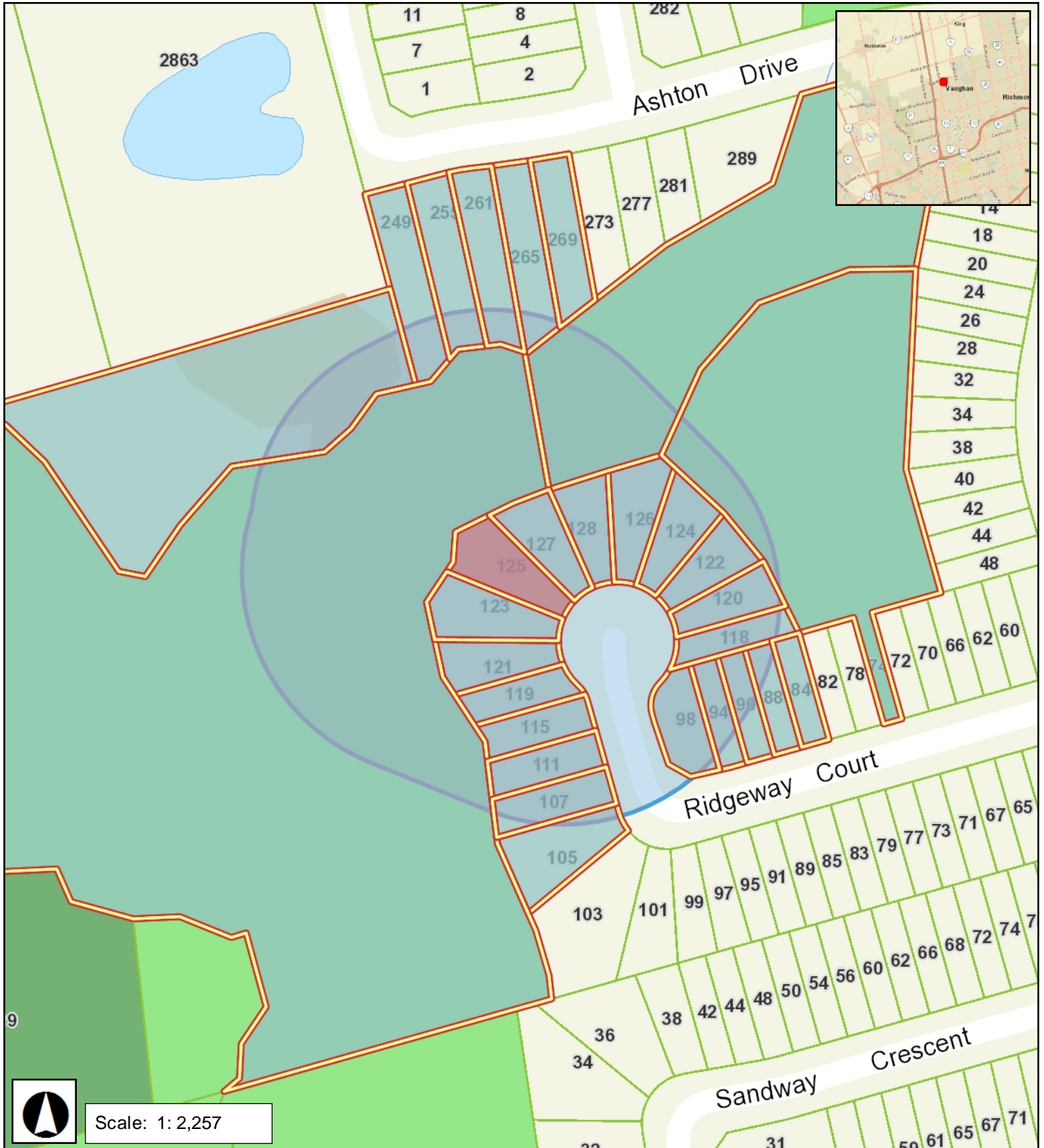
BUILDING INSPECTION (SEPTIC)	
No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT	
No comments received to date.	
Fire Department Recommended Conditions of Approval:	None

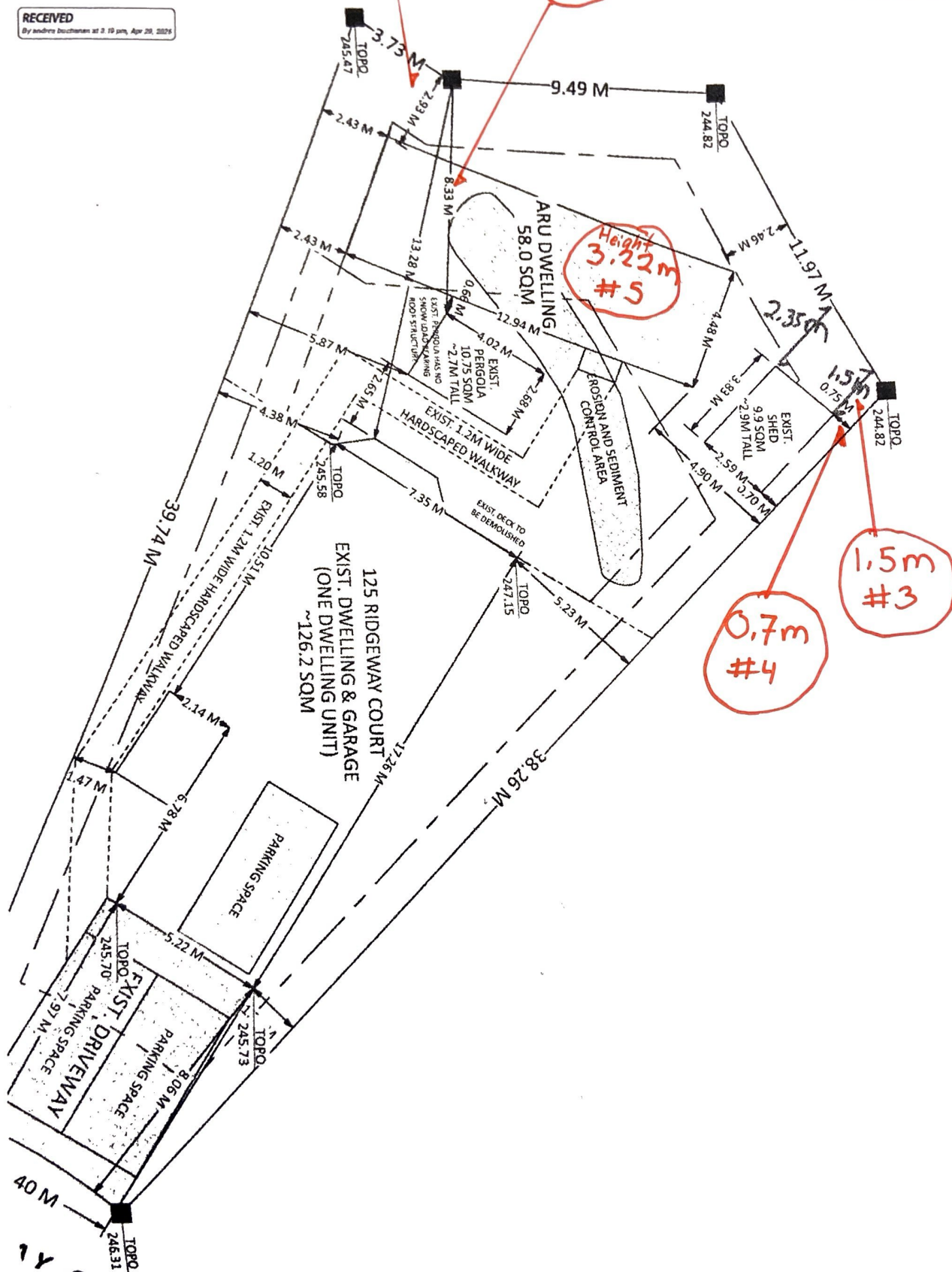
RECOMMENDED CONDITIONS OF APPROVAL SUMMARY		
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:		
#	DEPARTMENT / AGENCY	CONDITION
1	Development Planning Alyssa.pangilinan@vaughan.ca	TBD
2	Development Engineering jonal.hall@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
3	Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca	Applicant/owner shall obtain a “Private Property Tree Removal & Protection” permit through the forestry division prior to any construction works on the subject property.
4	TRCA yorkplan@trca.ca	That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.
<i>All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.</i>		

IMPORTANT INFORMATION	
<p>CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p>	
<p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.</p>	
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>	
<p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will not receive notice.</p>	

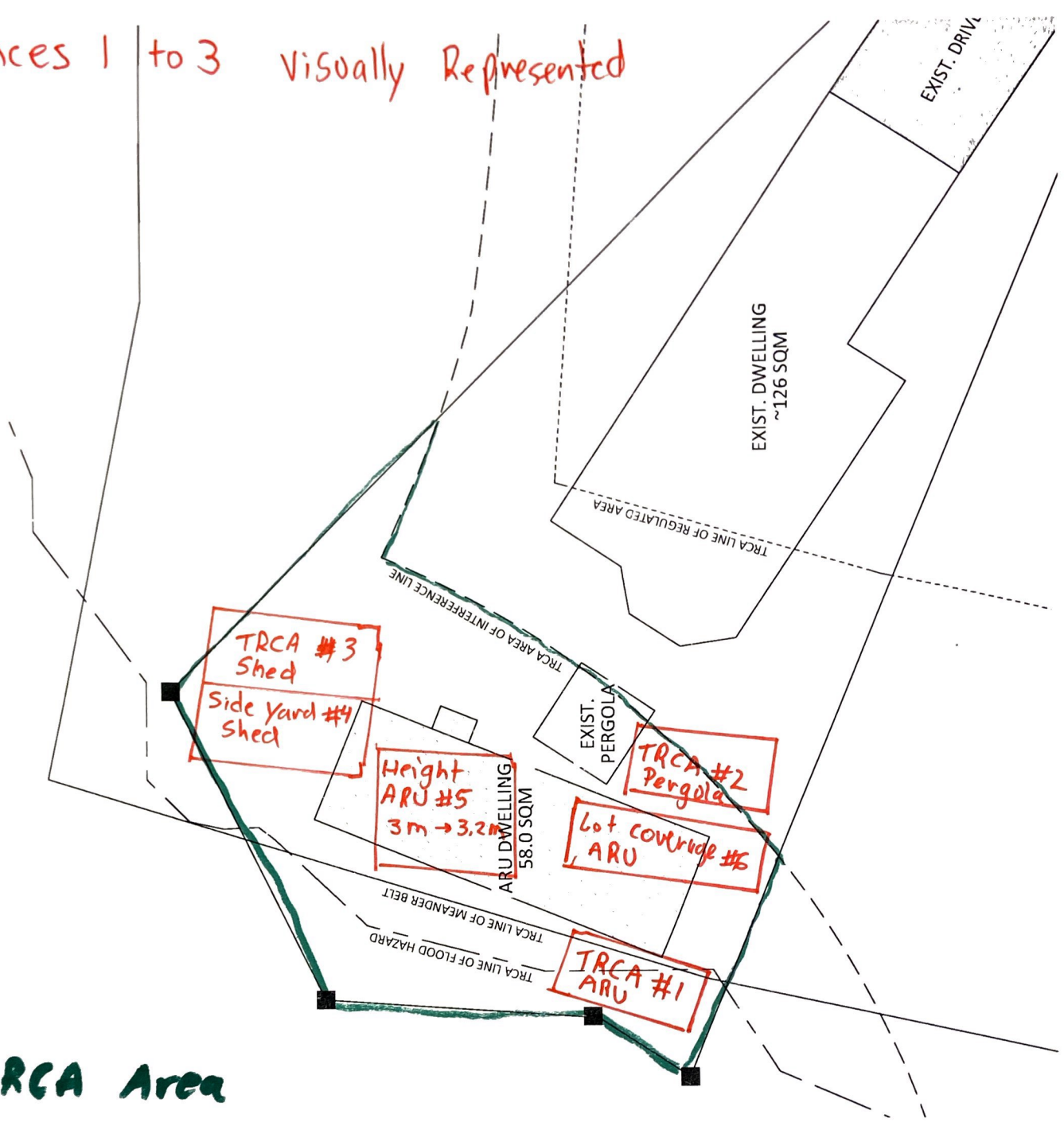
SCHEDULE A: DRAWINGS & PLANS



max Lot coverage
of 79.6m^2
6



Variances 1 to 3 Visually Represented



- TRCA Area

TRCA Permit: issued Mar 6 2025

SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Metrolinx	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: May 1st 2025

Attention: **Christine Vigneault**

RE: Request for Comments

File No.:

Related Files: **A046-25**

Applicant: Segal Construction

Location 125 Ridgeway Court

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

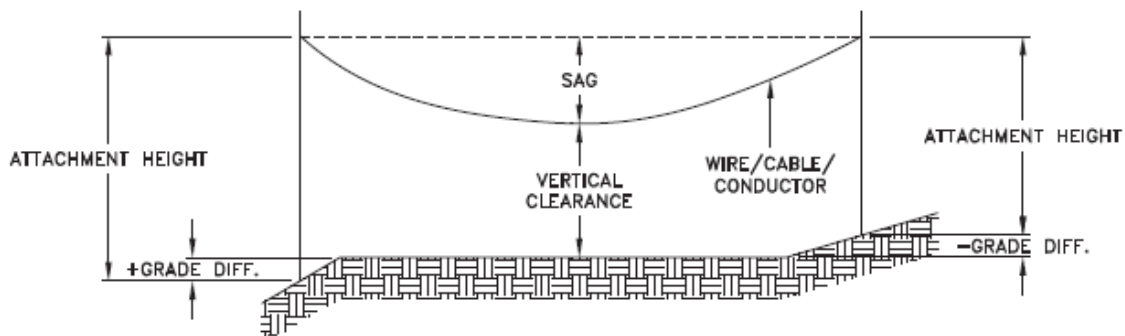
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 + GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

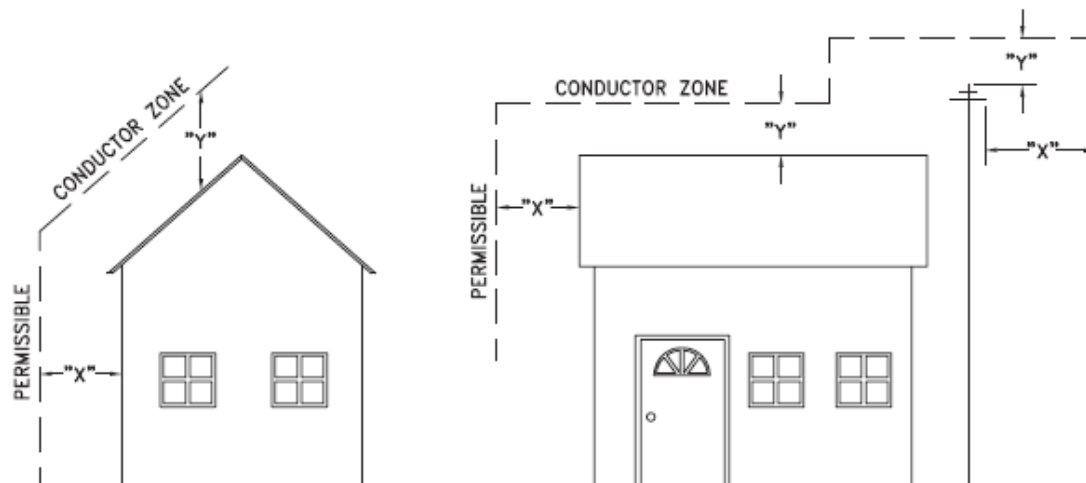
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARNACE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P.Eng. Approval By: D. Dadwani

To: Committee of Adjustment

From: Niloufar Youssefi, Building Standards Department

Date: April 29, 2025

Applicant: Segal Construction

Location: PLAN 65M3196 Lot 9 municipally known as 125 Ridgeway Court

File No.(s): A046/25

Zoning Classification:

The subject lands are zoned R4(EN) – Fourth Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.648 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	For lots abutting lands zoned OS1-Open Space Conservation Zone, the required yard shall be 10.0 m and no building or structures above or below grade including swimming pools shall not be permitted within the required yard [Schedule T-103, Note #4] .	To permit a minimum rear yard of 2.46m for a residential accessory structure (Additional Residential Unit) abutting OS1 Zone.
2	For lots abutting lands zoned OS1-Open Space Conservation Zone, the required yard shall be 10.0 m and no building or structures above or below grade including swimming pools shall not be permitted within the required yard [Schedule T-103, Note #4] .	To permit a minimum rear yard of 8.33m for a residential accessory structure (Pergola) abutting OS1 Zone.
3	For lots abutting lands zoned OS1-Open Space Conservation Zone, the required yard shall be 10.0 m and no building or structures above or below grade including swimming pools shall not be permitted within the required yard [Schedule T-103, Note #4] .	To permit a minimum rear yard of 1.5 m for a residential accessory structure (Shed) abutting OS1 Zone.
4	A minimum interior side yard of 1.2 m is required [Schedule T-103] . See note #3 below.	To permit a minimum interior side yard of 0.7m for a residential accessory structure (Shed).
5	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 m [Section 4.1.4.1] .	To permit a maximum height of 3.22 m for a residential accessory structure (Additional Residential Unit).
6	A maximum lot coverage of 60.78 m² for all accessory buildings and residential accessory structures is permitted. See note #2 below.	To permit a maximum lot coverage of 79.6 m² for all accessory buildings and residential accessory structures.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Building Permit No. 24-140524 for Single Detached Dwelling - Alteration, Issue Date: (Not Yet Issued)

Other Comments:

Zoning By-law 001-2021	
1	The City does not have a record of building permits for the existing accessory structures (Shed and Pergola) and the Uncovered Platform (Deck). Building permits may be required.
2	In any Residential Zone, the maximum lot coverage of all accessory buildings and residential accessory structures excluding an accessory detached garage shall be 10% or 67.0 m2, whichever is less [Section 4.1.3] . According to the submitted site statistics, the lot area is 607.8 m2, therefore the maximum lot coverage of all accessory buildings and residential accessory structures is 60.78 m2 .

3	An accessory building and residential accessory structure shall be subject to the minimum front yard, <u>interior side yard</u> and exterior side yard requirements for the principal building on the lot, as indicated in the applicable zone [Section 4.1.2.1.a.] .
---	--

General Comments	
4	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
5	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

From: [development.coordinator](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A046/25 (125 Ridgeway Court) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Thursday, May 1, 2025 10:07:04 AM
Attachments: [image001.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Morning CofA Vaughan,

Please be advised that the subject lands (125 Ridgeway Crt) fall outside of the designated Metrolinx review zones. Metrolinx therefore has no comments and / or concerns on this Minor Variance application.

Thank you,

Farah Faroque (she/her)

Project Analyst, Third Party Projects Review

Real Estate & Development

Metrolinx

10 Bay Street | Toronto | Ontario | M5J 2N8

T: 437.900.2291



May 5, 2025.

PAR-DPP-2025-00729

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Christine Vigneault
Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A046/25
Lot 9, Registered Plan 65M3196
125 Ridgeway Court
City of Vaughan, Regional Municipality of York
Applicant: Segal Construction (Owner: Sibi Group)**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on April 30, 2025. TRCA staff have reviewed the application and offer the following comments for the consideration of the Committee of Adjustment.

Purpose of the Application

It is our understanding that the purpose of the above noted application is to request the following variances under By-Law 001-2021:

By-Law 001-2021:

- To permit a minimum rear yard of 2.46 metres for a residential accessory structure (Additional Residential Unit) abutting OS1 Zone;
- To permit a minimum rear yard of 8.33 metres for a residential accessory structure (Pergola) abutting OS1 Zone;
- To permit a minimum rear yard of 1.5 metres for a residential accessory structure (Shed) abutting OS1 Zone;
- To permit a minimum interior side yard of 0.7m metres for a residential accessory structure (Shed);
- To permit a maximum height of 3.22 metres for a residential accessory structure (Additional Residential Unit); and,
- To permit a maximum lot coverage of 79.6 square metres for all accessory buildings and residential accessory structures.

The noted variances are being requested to facilitate the construction of a garden suite (accessory dwelling unit), and the recognition of existing structures, in the rear yard.

Ontario Regulation 41/24

The rear portion of the subject property is within TRCA's Regulated Area due to a Regional Storm flood plain and Provincially Significant Wetland associated with a tributary of the Don River Watershed. In accordance with Ontario Regulation 41/24, development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, unstable soils, or bedrock will not be affected.

Application-Specific Comments

TRCA staff have reviewed and issued a permit for the proposed Garden Suite (TRCA Permit No. PER-DPP-2025-00752, issued March 6, 2025). The plans submitted with this application are consistent with the plans that were approved as part of TRCA's permit.

Based on the above, TRCA staff have no concerns with the proposed variance.

Fees

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$660.00 (Minor Variance – Residential - Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

Recommendations

Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A046/25 subject to the following conditions:

1. That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.

We trust these comments are of assistance. Should you have any questions, please contact me at 437-880-1925 or at cameron.mcdonald@trca.ca.

Sincerely,

Cameron McDonald

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

cameron.mcdonald@trca.ca, 437-880-1925

From: [Development Services](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A046/25 (125 Ridgeway Court) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: May-01-25 3:18:29 PM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good afternoon,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Many thanks.

Gabrielle

Gabrielle Hurst MCIP, RPP | Associate Planner, Development Planning, Economic and Development Services Branch | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Rene Krause	124 Ridgeway Court	05/05/2025	Letter of Support
Public	Harmeet Johal	125 Ridgeway Court	05/12/2025	Letter of Support
Public	Jerry Malfara	127 Ridgeway Court	04/02/25	Letter of Support
Applicant			05/27/25	Arborist Report
Applicant			05/27/25	Tree Protection Plan
Applicant			06/09/2025	Edge Management Plan
Applicant			05/27/25	Tree Inventory

May 3, 2025

Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

RE: Letter of Support for Minor Variance Application – File No. A046/25

Property: 125 Ridgeway Court

Applicants: Ben and Denise Scarcelli


To Whom It May Concern,

As a neighbouring resident of 125 Ridgeway Court, I am writing this letter to express my support for the proposed minor variances submitted under File No. A046/25 for the construction and legalization of a secondary dwelling unit (Additional Residential Unit), pergola, and shed at the above-mentioned property.

I have reviewed the nature of the proposed variances, including the reduced setbacks and accessory structure heights, and I have no objections to the intended improvements. I believe the proposed changes are reasonable and compatible with the surrounding community. Furthermore, I appreciate the effort by the homeowners to ensure compliance through the Committee of Adjustment process.

I support Ben and Denise Scarcelli in their application and believe the additions will enhance the utility of their property without negatively impacting the neighbourhood.

Sincerely,

A handwritten signature in cursive script that reads "Rene Krause" followed by the date "2025/05/04". The signature is written in dark ink and is positioned above the printed name and address.

Rene Krause
124 Ridgeway Court
Maple, ON, L6A-2R5

Date: MAY 10 2025

Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

RE: Letter of Support for Minor Variance Application – File No. A046/25

Property: 125 Ridgeway Court

Applicants: Ben and Denise Scarcelli

To Whom It May Concern,

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Furthermore, I appreciate the effort by the homeowners to ensure compliance through the Committee of Adjustment process.

I support Ben and Denise Scarcelli in their application and believe the additions will enhance the utility of their property without negatively impacting the neighbourhood.

Sincerely,

Name: HARMEET JOHAL

Address: 121 RIDGEWAY COURT

Email/cel : 

Harmeet Johal

Signature

April 30, 2025

Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

RE: Letter of Support for Minor Variance Application – File No. A046/25

Property: 125 Ridgeway Court

Applicants: Ben and Denise Scarcelli

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As a neighbouring resident of 125 Ridgeway Court, I am writing this letter to express my support for the proposed minor variances submitted under File No. A046/25 for the construction and legalization of a secondary dwelling unit (Additional Residential Unit), pergola, and shed at the above-mentioned property.

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I support Ben and Denise Scarcelli in their application and believe the additions will enhance the utility of their property without negatively impacting the neighbourhood.

Sincerely,

Jerry Malfara

127 Ridgeway Court

[REDACTED]

[REDACTED]





ARBORIST REPORT

Pertaining to:

125 Ridgeway Crt.
Vaughan, ON
L6A 2R5

Prepared for:

Leisure Suites
7250 Keele St.
Vaughan, ON
L4K 1Z8

Prepared by:

Urban Arboretum Inc.
2309 Mountain Grove Ave.
Burlington, ON
L7P 2H8
P. 647-884-7716
contact@urbanarboretum.ca

Created: May 14th 2025
Last revised: May14th, 2025

Introduction

Urban Arboretum Inc. (the arborist) was retained by Leisure Suites (the client) to complete an arborist report pertaining to 125 Ridgeway Crt. Vaughan (the subject site). The report was requested relative to the construction of a back of yard dwelling (the scope).

The purpose of this report is to:

- Establish species, size and condition of trees as required by the City of Vaughan.
- Provide a Tree Protection Plan showing required tree protection measures as detailed in the City of Vaughan Tree Protection Protocol.

Methodology

1. The subject site was assessed on May 13th, 2025 by the arborist.
2. Photos were taken at the time of assessment and the most representative are attached as Appendix I.
3. For complete inventory of all assessed trees see Appendix II.
4. The methods used to collect data and the information provided below comply with the details and instructions provided in the City of Vaughan Tree Protection Protocol document and Tree Protection By-law 052-2018.
5. Trees within the following categories were assessed and recorded in this Arborist Report:

Ownership Category	Description
1 - Private	Trees with diameters of 20 cm or greater, situated on private property on the subject site.
2 – Private Adjacent	Trees with diameters of 20 cm or greater, situated on private property within 6 meters of the subject site.
4 - Ravine	Trees of 10cm or greater on lands designated under the York Region Forest Conservation By-law 2013-68.
5 – Public	Trees of all diameters situated within the City road allowance.
6 – Boundary	Trees located on the property line with an adjoining site where the property line crosses the main stem of the tree prior to the formation of the first scaffold limb.

6. Trunk diameter was measured using a calibrated diameter tape. The measurement was taken at 1.4 meters above ground level, generally referred to as the diameter at breast height (DBH) or diameter at representative height (DRH) as applicable. For trees located on adjacent private property DBH was estimated.
7. Trees were assessed in consideration of overall biological condition and structural condition and assigned a condition rating ranging from good (70-100%) to fair (40-69%) to poor (0-39%) for both categories.
8. Tree protection comments were added by the arborist to a survey by Guido Papa Surveying (Reference Number 25-18-868-00) to create the Tree Protection Plan (Appendix III).

Tree Protection Plan

Pre-Construction

1. The following tree protection measures must be read in conjunction with the Tree Protection Plan (Appendix III). Both documents must be provided to the site supervisor prior to any work commencing on the site.
2. No disturbance is allowed within the Tree Protection Zone (TPZ) of the trees without permission from the City of Vaughan.

Table 2: Minimum Tree Protection Zone Determination

Diameter at Breast Height ¹ in centimeters	Minimum Protection Distances Required ² (Public and Private Trees)	Minimum Protection Distances Required Trees in Naturalized Areas
<10	1.2	The drip line ³ or 1.2 m
10-29	1.8	The drip line or 3.6 m
30-40 ⁴	2.4	The drip line or 4.8 m
41-50	3.0	The drip line or 6.0 m
51-60	3.6	The drip line or 7.2 m
61-70	4.2	The drip line or 8.4 m
71-80	4.8	The drip line or 9.6 m
81-90	5.4	The drip line or 10.6 m
91-100	6.0	The drip line or 12.0 m
>100	6 cm protection for each 1 cm diameter	12 cm protection for each 1 cm diameter or the drip line

1. Diameter at breast measurement of tree trunk taken at 1.4 meters (m) above the ground.

2. Minimum Tree Protection Zone distances are to be measured from the outside edge of the tree base.

3. The drip line is defined as the area beneath the outer most branch tips of a tree

4. Converted from ISA (International Society of Arboriculture) Arborist Certification Study Guide, general guidelines for tree protection barriers of 0.3 meters of diameter from the tree stem for each centimeter of tree trunk diameter.

Construction Phase

3. It is the responsibility of the site supervisor to inspect the condition of the tree protection measures outlined on the tree protection plan and within this report each morning. If disturbance to the barriers is observed, it is to be repaired prior to work commencing on site that day.
4. Tree protection barriers must remain in place and in good condition during demolition, construction and/or site disturbance, including landscaping, and must not be altered, moved, or removed until authorized by Forestry Operations.
5. During construction, if any tree roots are exposed or disturbed outside the tree protection zone (TPZ), care is to be taken to minimize their disturbance. If roots must be removed outside the TPZ, they are to be cleanly pruned. Tearing roots hinders wound closure and can increase risk of disease and root rot.

Post-Construction

6. At the completion of the project, Forestry Operations is to be notified prior to removal of the tree protection fencing on the site. With approval, the fencing may be dismantled.
7. Tree 3 is to be monitored for any indications of stress following construction. Stress as a result of the construction may not be apparent for some years following the disturbance and may make the trees more susceptible to other stresses (water stress, insects, disease). If the condition of the trees declines, the most appropriate method to address the issue is to be carried out.

Additional Notes

1. For additional information on tree care and management techniques as a tree owner see <http://www.treesaregood.com/treeowner/treeownerinformation.aspx> for a list of educational brochures provided by the International Society of Arboriculture.

Questions or requests for additional information relative to this report should be directed to the undersigned at contact@urbanarboretum.ca.



Charles Briggs, BAsC.
I.S.A. Board Certified Master Arborist # ON-2176B
I.S.A. Tree Risk Assessment Qualified

Limitations of Assessment

It is the policy of Urban Arboretum Inc. to include this disclaimer to ensure our clients are aware of the technical and professional with respect to the limitations inherent in our work. assessing and retaining trees.

This Report was based on the project scope and details for tree preservation provided for review by to the Arborist. The Arborist assumes no responsibility for verification of ownership or locations of property lines, or for results of any actions or recommendations based on inaccurate information provided to the Arborist.

The assessment(s) of the tree(s) presented in this report have been made using accepted and proper arboricultural techniques. This includes an aboveground examination of the tree(s) including but not limited to evidence of structural defects, external indicators of rot or decay, cracking, included bark unions, pests and diseases, foliage and shoot health, natural or unnatural lean, root structures, site conditions, proximity to property and people. Unless otherwise explicitly noted in writing, assessments do not include probing, coring, sounding, climbing assessments, root excavation, pull testing, or any other advanced assessment techniques.

Notwithstanding the recommendations and conclusions in this report, it must be recognized that trees are living organisms and their health, structure and vigor are constantly changing. They can be susceptible to changes in the seasons or weather conditions. Weather events such as windstorms, ice storms and thunderstorms may result in partial or complete tree failure irrespective of assessment results.

All inspections are limited to visual examination of accessible parts, without dissection, excavation, probing, boring, or other invasive procedures, unless otherwise noted in the report. No warranty or guarantee is made, express or implied, that problems or deficiencies will not occur in the future. The consultant shall not be responsible for damages caused by any tree defects and assumes no responsibility for the correction of defects or tree related problems.

The undersigned provides no warranty, either expressed or implied, as to the suitability of the information contained in the report for any purpose. It remains the responsibility of the client to determine applicability to his/her case.

All reports and other correspondence are confidential and are the property of the undersigned and its named clients and their assignees or agents. Possession of this report or a copy thereof does not imply any right of publication or use for any purpose, without the express permission of the consultant and the client to whom the report was issued. Loss, removal, or alteration of any part of the report invalidates the entire report.

Although every effort has been made to ensure that this assessment is reasonably accurate, the tree(s) should be re-assessed periodically. The assessment presented in this report is only valid at the time of inspection. Living with trees means accepting some degree of risk.



Kyle Berwick, N.P.D., R.P.F. in Training
I.S.A. Board Certified Master Arborist # ON-1786B
I.S.A. Tree Risk Assessment Qualified
Certified Butternut Health Assessor #437

Appendix I – Photographs

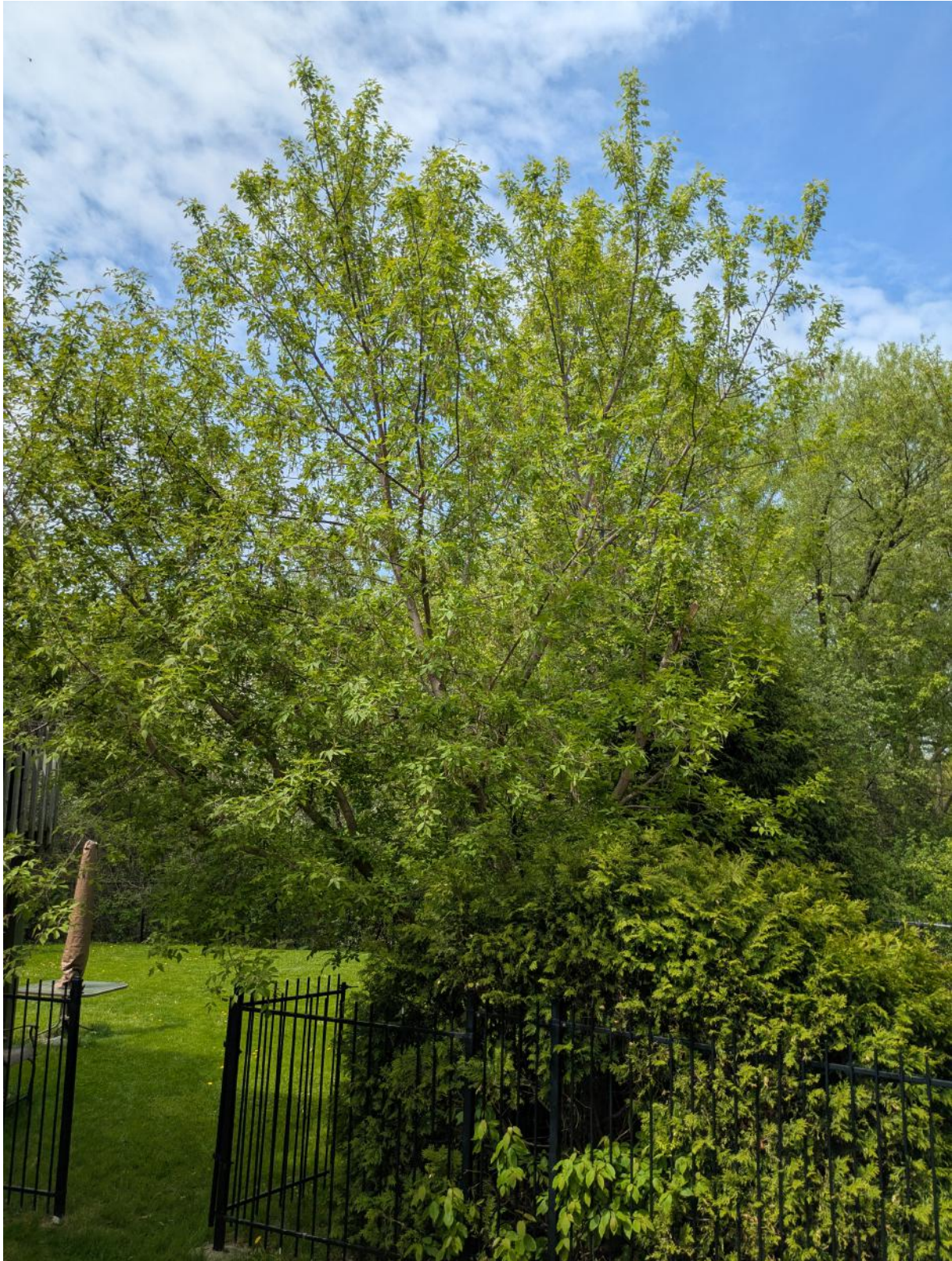


Photo 1. Tree 1



Photo 2. Tree 2



Photo 3. Tree 3



Photo 4. Tree 4



Photo 5. Tree(s) 5-7



Photo 6. Tree 8



Photo 7. Construction Access

Appendix II – Tree Inventory

125 Ridgeway Crt. Vaughan - Tree Inventory
Appendix II

Report Date: May 13th, 2025
Assessment Date: May 13th, 2025



Chart Details:

Tree #: Inventoried trees were assigned an identification number

Species: Includes the botanical name and common name of each tree.

DBH: Diameter in cm measured at 1.4 meters from the ground (diameter at breast height). DBH measurements for trees on neighbouring properties are estimated.

Crown Radius: Average radius of drip line in meters.

Biological Condition Rating: Overall condition rating from good (70-100%) to fair(40-69%) to poor (0-39%) based on overall health.

Structural Condition Rating: Overall rating from good (70-100%) to fair(40-69%) to poor (0-39%) based on tree Structure.

Condition Comments: Specific observations from the visual assessment that have informed the condition rating.

Minimum TPZ: Minimum required tree protection zone in meters.

Ownership Category: Ownership of tree based on the supplied survey.

Recommended Action & Details: Arborist Recommendations.

Tree #	Species	DBH (cm)	Crown Radius (m)	Biological Condition	Structural Condition	Condition Comments	Min TPZ (m)	Ownership Category	Recommended Action & Details
1	<i>Acer negundo</i> Manitoba maple	20	3.5	Good	Good	Good shoot ext., decurrent habit,	1.8	Neighbour	Preserve
2	<i>Tilia cordata</i> Little-leaf linden	40	5.5	Good	Fair	Good shoot ext., decurrent habit, crown elevation pruned on ravine side	2.4	Neighbour	Preserve
3	<i>Tilia cordata</i> Little-leaf linden	47	4.5	Good	Good	Good shoot ext., bifurcate, minor included bark	3	Private	Injury (minor due to helical pile)

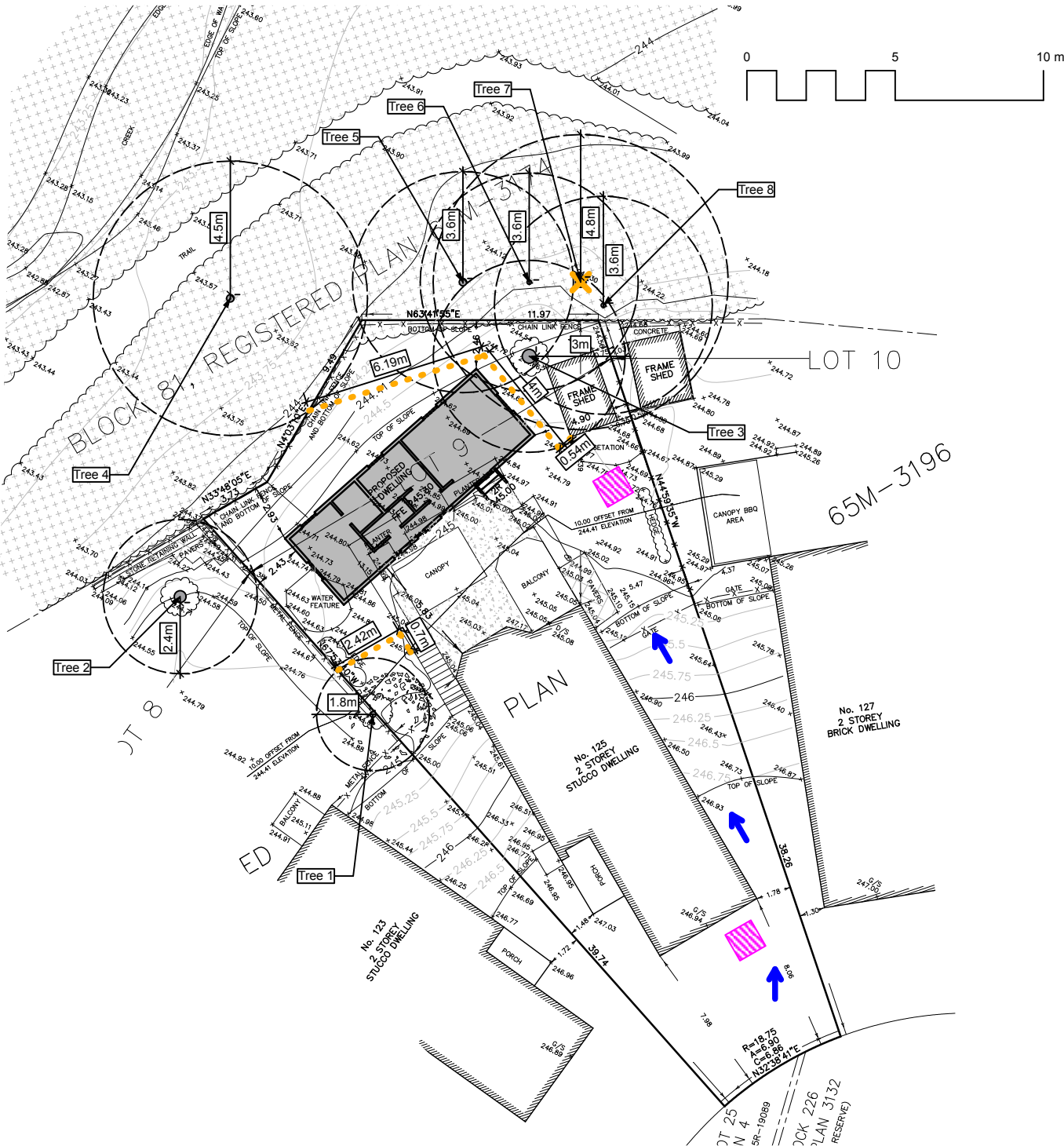
125 Ridgeway Crt. Vaughan - Tree Inventory

Appendix II

Tree #	Species	DBH (cm)	Crown Radius (m)	Biological Condition	Structural Condition	Condition Comments	Min TPZ (m)	Ownership Category	Recommended Action & Details
4	<i>Acer negundo</i> Manitoba maple	25	4.5	Good	Fair	Good shoot ext., Main stem curves back and forth	4.5	Public / Naturalized Area	Injury (very minor due to helical pile)
5	<i>Pice glauca</i> White spruce	25	2.5	Good	Good	Good new growth, single leader	3.6	Public / Naturalized Area	Injury (very minor due to helical pile)
6	<i>Pice glauca</i> White spruce	15	1	Fair	Good	Good new growth, nearly half of crown is dead, single leader	3.6	Public / Naturalized Area	Injury (very minor due to helical pile)
7	<i>Fraxinus pennsylvanica</i> Green ash	35	4.5	Dead	Poor	Dead, decurrent habit	4.8	Public / Naturalized Area	Remove (does not impact construction)
8	<i>Crataegus sp.</i> Hawthorn	15	1.5	Good	Fair	Good new growth, decurrent habit, significant pruning of main stem away from neighbour's yard	3.6	Public / Naturalized Area	Preserve

Appendix III – Tree Protection Plan

Tree #	Species	DBH (cm)	Crown Radius (m)	Biological Condition Rating	Structural Condition Rating	Condition Comments	Min TPZ (m)	Ownership Category	Recommended Action & Details
1	<i>Acer negundo</i> Manitoba maple	20	3.5	Good	Good	Good shoot ext., decurent habit.	1.8	Neighbour	Preserve
2	<i>Tilia cordata</i> Little-leaf linden	40	5.5	Good	Fair	Good shoot ext., decurent habit, crown elevation pruned on ravine side	2.4	Neighbour	Preserve
3	<i>Tilia cordata</i> Little-leaf linden	47	4.5	Good	Good	Good shoot ext., bifurcate, minor included bark	3	Private	Injury (minor due to helical pile)
4	<i>Acer negundo</i> Manitoba maple	25	4.5	Good	Fair	Good shoot ext., Main stem curves back and forth	4.5	Public / Naturalized Area	Injury (very minor due to helical pile)
5	<i>Pice glauca</i> White spruce	25	2.5	Good	Good	Good new growth, single leader	3.6	Public / Naturalized Area	Injury (very minor due to helical pile)
6	<i>Pice glauca</i> White spruce	15	1	Fair	Good	Good new growth, nearly half of crown is dead, single leader	3.6	Public / Naturalized Area	Injury (very minor due to helical pile)
7	<i>Fraxinus pennsylvanica</i> Green ash	35	4.5	Dead	Poor	Dead, decurent habit	4.8	Public / Naturalized Area	Remove (does not impact construction)
8	<i>Crataegus sp.</i> Hawthorn	15	1.5	Good	Fair	Good new growth, decurent habit, significant pruning of main stem away from neighbour's yard	3.6	Public / Naturalized Area	Preserve



Tree Protection Comments:

- Tree protection comments were added by the arborist to a survey by Guido Papa Surveying(Reference Number 25-18-868-00).
- It is the responsibility of the site supervisor to inspect the condition of the tree protection measures outlined on the tree protection plan each morning. If disturbance to the barriers is observed, it is to be repaired prior to work commencing on site that day.
- Tree protection barriers must remain in place and in good condition during demolition, construction and/or site disturbance, including landscaping, and must not be altered, moved or removed until authorized by Urban Forestry.
- Tree Protection Zones (TPZ) distances must be measured from the outside edge at the base of the tree.
- During construction, if any tree roots are exposed or disturbed outside the tree protection zone (TPZ), care is to be taken to minimize their disturbance. If roots must be removed outside the TPZ, they are to be cleanly pruned. Tearing roots hinders wound closure and can increase risk of disease and root rot.
- All landscape and construction work within the Minimum Tree Protection Zones (MTPZs) of affected trees must be competed using hand tools only.
- At the completion of the project, the Forestry Department is to be notified prior to removal of the tree protection fencing on the site. With approval, the fencing may be dismantled.
- The owner is to be aware of the Migratory Birds Convention Act, 1994 that protects birds and their nests. This Act is implemented by Environment Canada, and it is advised that all vegetation be removed between Sept 1 and March 30.

**Tree Protection Plan
Appendix III**

125 Ridgeway Crt.
Vaughan, ON.

Legend:

- Tree Removal
- Material Storage Area
- 4' Tall Snow Fence
Tree Protection Fencing
- Site Access Route
Approx. Width: 1.5m
- Tree Protection Zone



2309 Mountain Grove Ave.
Burlington, ON
L7P 2H8

647-884-7716
contact@urbanarboretum.ca

Scale:
1 - 200

Drawn By:
Charles Briggs

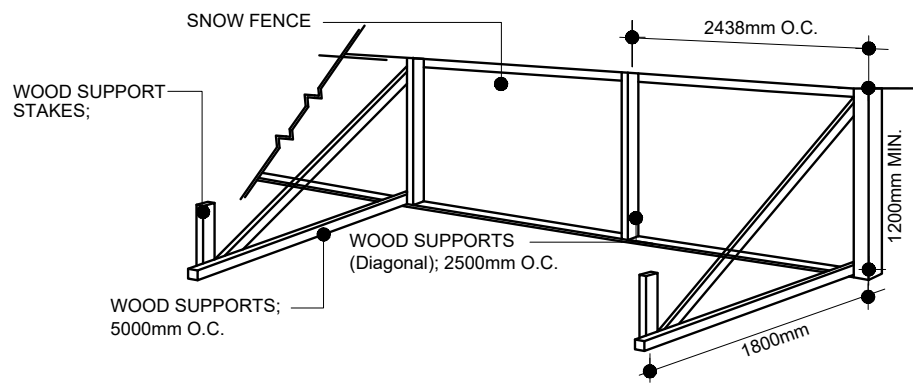
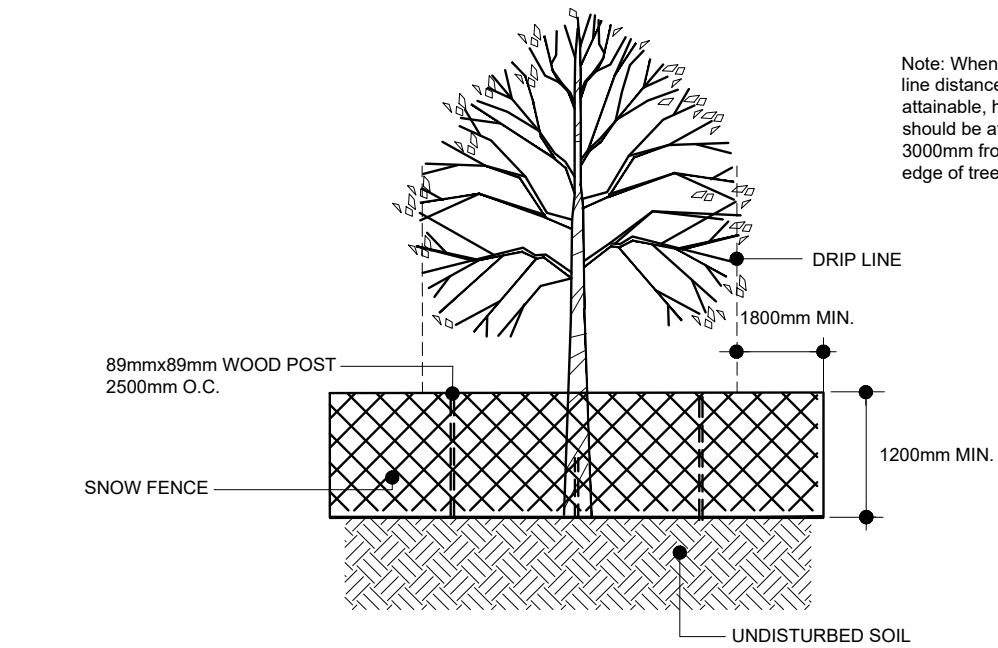
Last Revised:
May 14th, 2025

Date Created:
May 14th, 2025



Drawing No.

TPP1



- NOTES:**
1. Attachment of fence to trees to be preserved is not allowed.
 2. Ensure fence is continuous and is located beyond the drip line of trees to be preserved.
 3. Fencing to be installed prior to start of construction.
 4. All supports and bracing should be inside the Tree Protection Zone. All such supports should minimize damaging roots outside the Tree Protection Barrier.
 5. No Construction activity, grade changes, surface treatment or excavations of any kind is permitted within the Tree Protection Zone.



VAUGHAN
DEVELOPMENT PLANNING DEPT.
URBAN DESIGN DIVISION

LIGHT DUTY TREE HOARDING
PROTECTION DETAIL (SNOW FENCE)

NOTE: THIS TYPICAL DETAIL IS INTENDED TO PROVIDE DESIGN DIRECTION AND IS FOR REFERENCE ONLY. IT MAY BE USED AS PART OF THE CONSTRUCTION PACKAGE OR SITE PLAN APPLICATION PROVIDED THE DETAIL IS CERTIFIED BY A REGISTERED LANDSCAPE ARCHITECT OR PROFESSIONAL ENGINEER AS APPLICABLE.

DRAWN & DESIGNED: URBAN DESIGN

STD. DWG. NO. ULA 110B

NOT TO SCALE

DATE: 04 / 07 / 2016



Edge Management Plan

Pertaining to:

125 Ridgeway Crt.
Vaughan, ON
L6A 2R5

Prepared for:

Leisure Suites
7250 Keele St.
Vaughan, ON
L4K 1Z8

Prepared by:

Urban Arboretum Inc.
2309 Mountain Grove Ave.
Burlington, ON
L7P 2H8
P. 647-884-7716
contact@urbanarboretum.ca

Created: June 9, 2025
Last revised: June 9, 2025

Introduction

Urban Arboretum Inc. (the arborist) was retained by Leisure Suites (the client) to complete an edge management plan pertaining to the treed area between the rear of the subject site and public walking path behind 125 Ridgeway Crt. Vaughan (the subject site). The report was requested relative to the construction of a back of yard dwelling (the scope).

The purpose of this report is to create a plan to mitigate impacts from proposed development to the woodlot edge adjacent to the subject site and maintain health of woodlot edge.

Methodology

1. The subject site was assessed on June 5, 2025 by the arborist.
2. Photos were taken at the time of assessment and the most representative are attached as Appendix I.
3. Woodlot management comments were added by the arborist to a survey by Guido Papa Surveying (Reference Number 25-18-868-00) to create the Edge Management Plan (Appendix II).

Questions or requests for additional information relative to this report should be directed to the undersigned at contact@urbanarboretum.ca.



Kyle Berwick, N.P.D., R.P.F. in Training
I.S.A. Board Certified Master Arborist # ON-1786B
I.S.A. Tree Risk Assessment Qualified
Certified Butternut Health Assessor #437

Limitations of Assessment

It is the policy of Urban Arboretum Inc. to include this disclaimer to ensure our clients are aware of the technical and professional with respect to the limitations inherent in our work. assessing and retaining trees.

This Report was based on the project scope and details for tree preservation provided for review by to the Arborist. The Arborist assumes no responsibility for verification of ownership or locations of property lines, or for results of any actions or recommendations based on inaccurate information provided to the Arborist.

The assessment(s) of the tree(s) presented in this report have been made using accepted and proper arboricultural techniques. This includes an aboveground examination of the tree(s) including but not limited to evidence of structural defects, external indicators of rot or decay, cracking, included bark unions, pests and diseases, foliage and shoot health, natural or unnatural lean, root structures, site conditions, proximity to property and people. Unless otherwise explicitly noted in writing, assessments do not include probing, coring, sounding, climbing assessments, root excavation, pull testing, or any other advanced assessment techniques.

Notwithstanding the recommendations and conclusions in this report, it must be recognized that trees are living organisms and their health, structure and vigor are constantly changing. They can be susceptible to changes in the seasons or weather conditions. Weather events such as windstorms, ice storms and thunderstorms may result in partial or complete tree failure irrespective of assessment results.

All inspections are limited to visual examination of accessible parts, without dissection, excavation, probing, boring, or other invasive procedures, unless otherwise noted in the report. No warranty or guarantee is made, express or implied, that problems or deficiencies will not occur in the future. The consultant shall not be responsible for damages caused by any tree defects and assumes no responsibility for the correction of defects or tree related problems.

The undersigned provides no warranty, either expressed or implied, as to the suitability of the information contained in the report for any purpose. It remains the responsibility of the client to determine applicability to his/her case.

All reports and other correspondence are confidential and are the property of the undersigned and its named clients and their assignees or agents. Possession of this report or a copy thereof does not imply any right of publication or use for any purpose, without the express permission of the consultant and the client to whom the report was issued. Loss, removal, or alteration of any part of the report invalidates the entire report.

Although every effort has been made to ensure that this assessment is reasonably accurate, the tree(s) should be re-assessed periodically. The assessment presented in this report is only valid at the time of inspection. Living with trees means accepting some degree of risk.



Kyle Berwick, N.P.D., R.P.F. in Training
I.S.A. Board Certified Master Arborist # ON-1786B
I.S.A. Tree Risk Assessment Qualified
Certified Butternut Health Assessor #437

Appendix I – Photographs

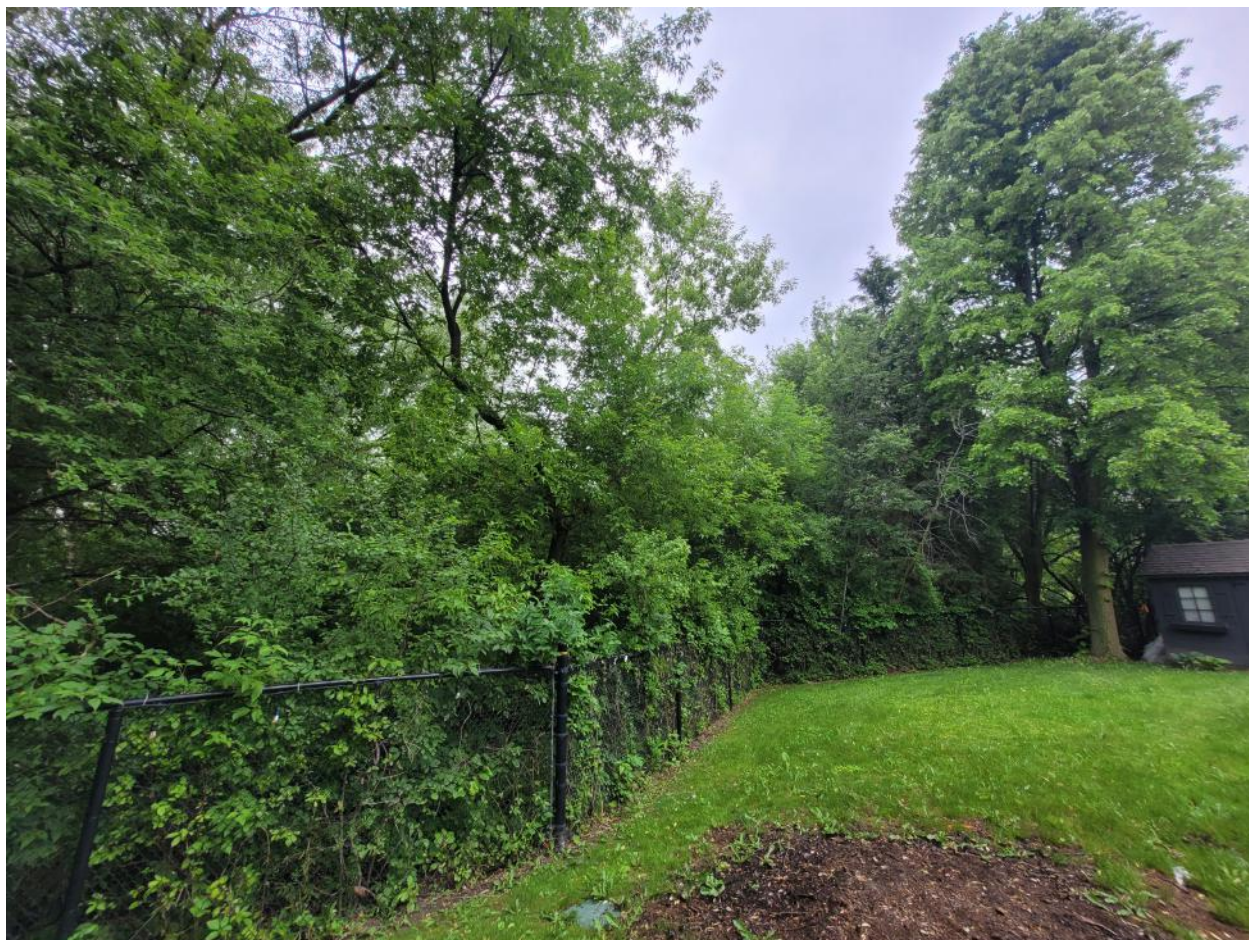


Photo 1. Woodlot edge from subject site.



Photo 2. Woodlot edge from public pathway.



Photo 3. Debris piles to be removed.



Photo 4. Three flagged dead chokecherries for removal and seedlings growing in fence.


Appendix II – Edge Management Plan



Woodlot Edge Managment Comments:

- Comments were added by the arborist to a survey by Guido Papa Surveying(Reference Number 25-18-868-00).
- Overstorey canopy of Manitoba maple (*Acer negundo*), green ash (*Fraxinus pennsylvanica*), and white spruce (*Picea glauca*). Hawthorne (*Crataegus sp.*) main canopy adjacent to public pathway. Single American elm (*Ulmus americana*) with a codominant crown structure.
- Understorey of chokecherry (*Prunus virginiana*), buckthorn (*Rhamnus cathartica*), and Manitoba maple seedlings (*Acer negundo*).
- Change in hydrology from addional water run off from the proposed ADU may result in flooding within the edge managment area if not properly mitigated due to slope of subject site towards woodlot and raised grade along edge of pathway. Flooding in this area would result in the death and decline of trees and plants.
- Green ash in good health currently but with signs of Emerald Ash Borer (EAB) infestation.
- 3x dead chokecherry near subject site marked with orange flagging tape. These trees should be felled and left in place to decomse on site.
- Common buckthorn is an invasive species. All buckthorn is <10cm DBH and should be manually pulled using a weed wrench and debris removed form site.
- There are piles of grass clippings and woody debris puled along side the fence with the subject site. These debris piles should be removed from site. depth of current debris piles are inhibiting plant growth.
- Buckthorn and chokecherry seedling growing in existing chainlink fence should be removed to prevent damage to fence.
- The owner is to be aware of the Migratory Birds Convention Act, 1994 that protects birds and their nests. This Act is implemented by Environment Canada, and it is advised that all vegetation be removed between Sept 1 and March 30.

**Edge Management Plan
Appendix II
125 Ridgeway Crt.
Vaughan, ON.**


Legend:
 Edge Management Plan Area



2309 Mountain Grove Ave.
Burlington, ON
L7P 2H8

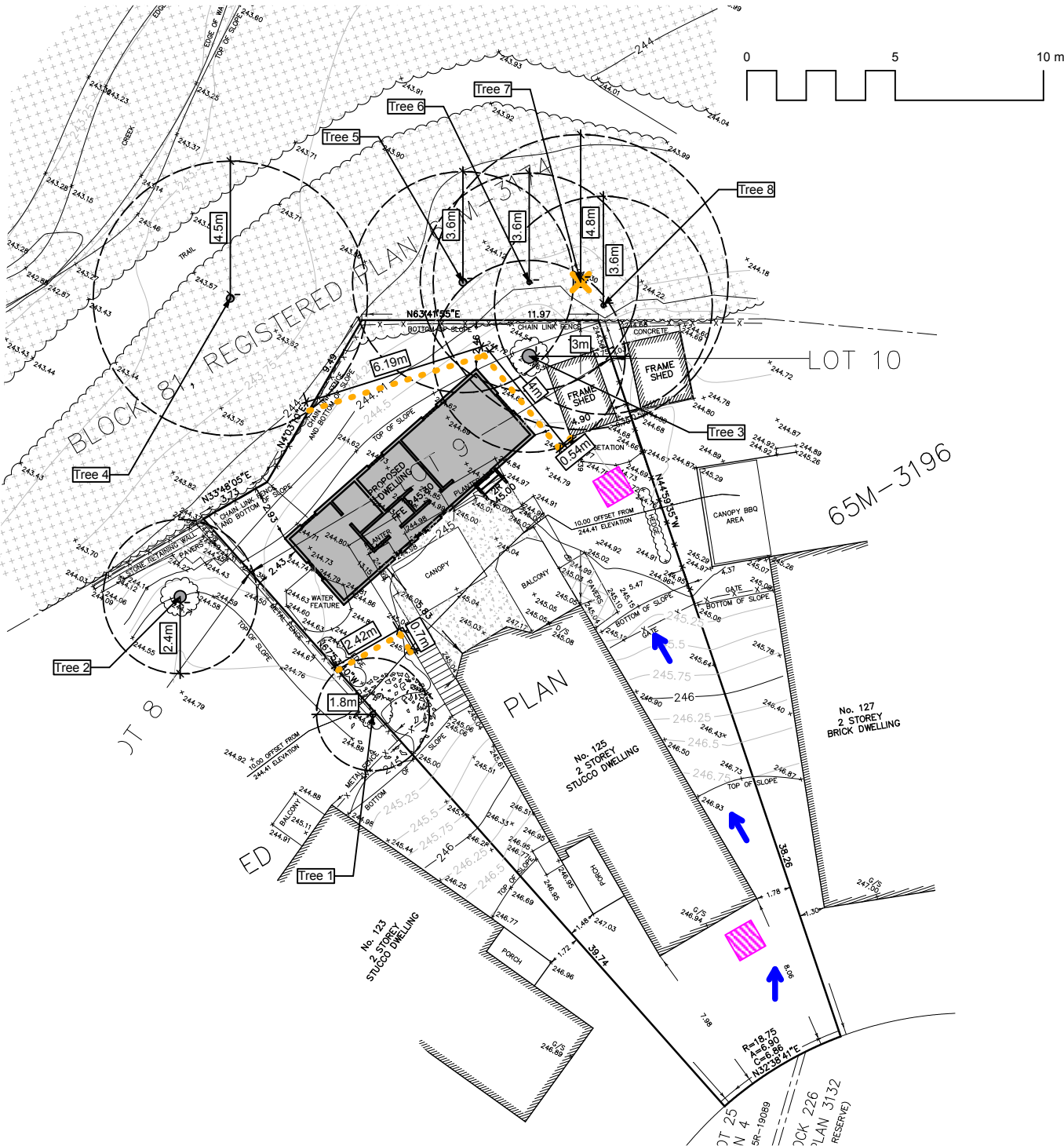
647-884-7716
contact@urbanarboretum.ca

Scale: 1 - 200
Drawn By: Kyle Berwick
Last Revised: June 9, 2025
Date Created: June 9, 2025



Drawing No.
EMP

Tree #	Species	DBH (cm)	Crown Radius (m)	Biological Condition Rating	Structural Condition Rating	Condition Comments	Min TPZ (m)	Ownership Category	Recommended Action & Details
1	<i>Acer negundo</i> Manitoba maple	20	3.5	Good	Good	Good shoot ext., decurent habit.	1.8	Neighbour	Preserve
2	<i>Tilia cordata</i> Little-leaf linden	40	5.5	Good	Fair	Good shoot ext., decurent habit, crown elevation pruned on ravine side	2.4	Neighbour	Preserve
3	<i>Tilia cordata</i> Little-leaf linden	47	4.5	Good	Good	Good shoot ext., bifurcate, minor included bark	3	Private	Injury (minor due to helical pile)
4	<i>Acer negundo</i> Manitoba maple	25	4.5	Good	Fair	Good shoot ext., Main stem curves back and forth	4.5	Public / Naturalized Area	Injury (very minor due to helical pile)
5	<i>Pice glauca</i> White spruce	25	2.5	Good	Good	Good new growth, single leader	3.6	Public / Naturalized Area	Injury (very minor due to helical pile)
6	<i>Pice glauca</i> White spruce	15	1	Fair	Good	Good new growth, nearly half of crown is dead, single leader	3.6	Public / Naturalized Area	Injury (very minor due to helical pile)
7	<i>Fraxinus pennsylvanica</i> Green ash	35	4.5	Dead	Poor	Dead, decurent habit	4.8	Public / Naturalized Area	Remove (does not impact construction)
8	<i>Crataegus sp.</i> Hawthorn	15	1.5	Good	Fair	Good new growth, decurent habit, significant pruning of main stem away from neighbour's yard	3.6	Public / Naturalized Area	Preserve



Tree Protection Comments:

- Tree protection comments were added by the arborist to a survey by Guido Papa Surveying(Reference Number 25-18-868-00).
- It is the responsibility of the site supervisor to inspect the condition of the tree protection measures outlined on the tree protection plan each morning. If disturbance to the barriers is observed, it is to be repaired prior to work commencing on site that day.
- Tree protection barriers must remain in place and in good condition during demolition, construction and/or site disturbance, including landscaping, and must not be altered, moved or removed until authorized by Urban Forestry.
- Tree Protection Zones (TPZ) distances must be measured from the outside edge at the base of the tree.
- During construction, if any tree roots are exposed or disturbed outside the tree protection zone (TPZ), care is to be taken to minimize their disturbance. If roots must be removed outside the TPZ, they are to be cleanly pruned. Tearing roots hinders wound closure and can increase risk of disease and root rot.
- All landscape and construction work within the Minimum Tree Protection Zones (MTPZs) of affected trees must be competed using hand tools only.
- At the completion of the project, the Forestry Department is to be notified prior to removal of the tree protection fencing on the site. With approval, the fencing may be dismantled.
- The owner is to be aware of the Migratory Birds Convention Act, 1994 that protects birds and their nests. This Act is implemented by Environment Canada, and it is advised that all vegetation be removed between Sept 1 and March 30.

Tree Protection Plan
Appendix III

125 Ridgeway Crt.
Vaughan, ON.

Legend:

- ✕ Tree Removal
- Material Storage Area
- 4' Tall Snow Fence
Tree Protection Fencing
- Site Access Route
Approx. Width: 1.5m
- () Tree Protection Zone



2309 Mountain Grove Ave.
Burlington, ON
L7P 2H8

647-884-7716
contact@urbanarboretum.ca

Scale:
1 - 200

Drawn By:
Charles Briggs

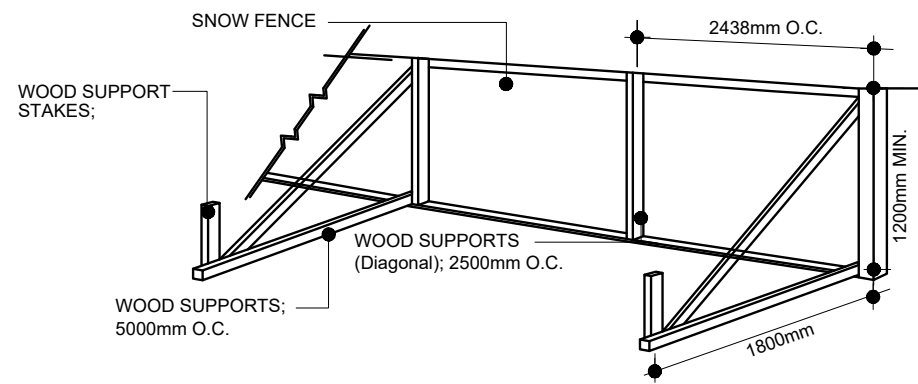
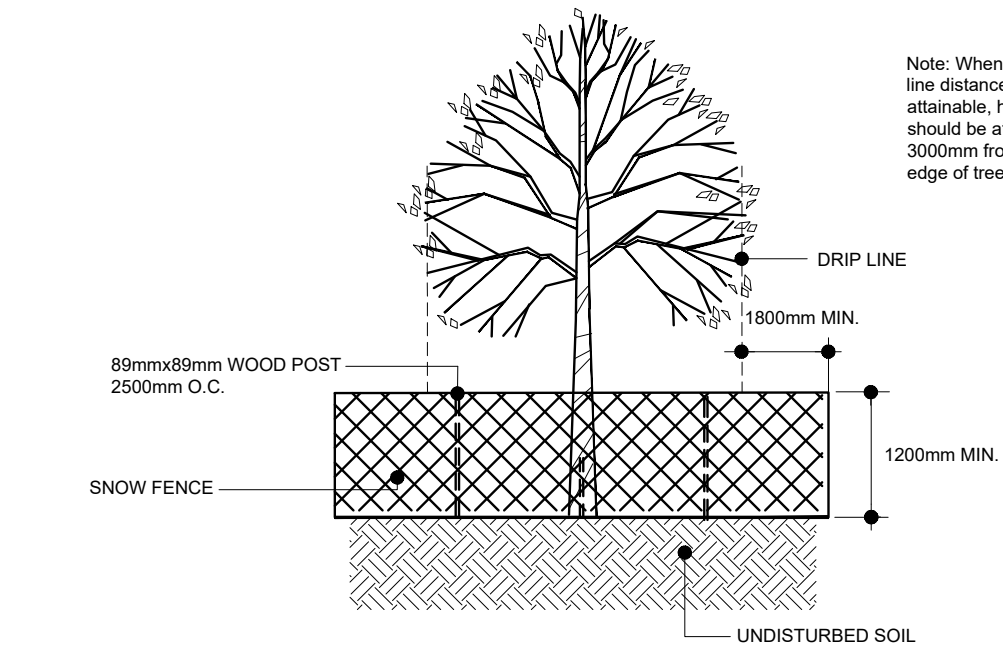
Last Revised:
May 14th, 2025

Date Created:
May 14th, 2025



Drawing No.

TPP1



- NOTES:**
1. Attachment of fence to trees to be preserved is not allowed.
 2. Ensure fence is continuous and is located beyond the drip line of trees to be preserved.
 3. Fencing to be installed prior to start of construction.
 4. All supports and bracing should be inside the Tree Protection Zone. All such supports should minimize damaging roots outside the Tree Protection Barrier.
 5. No Construction activity, grade changes, surface treatment or excavations of any kind is permitted within the Tree Protection Zone.

**VAUGHAN**
DEVELOPMENT PLANNING DEPT.
URBAN DESIGN DIVISION

LIGHT DUTY TREE HOARDING
PROTECTION DETAIL (SNOW FENCE)
NOTE: THIS TYPICAL DETAIL IS INTENDED TO PROVIDE DESIGN DIRECTION AND IS FOR REFERENCE ONLY. IT MAY BE USED AS PART OF THE CONSTRUCTION PACKAGE OR SITE PLAN APPLICATION PROVIDED THE DETAIL IS CERTIFIED BY A REGISTERED LANDSCAPE ARCHITECT OR PROFESSIONAL ENGINEER AS APPLICABLE.

DRAWN & DESIGNED: URBAN DESIGN STD. DWG. NO. ULA 110B
NOT TO SCALE DATE: 04 / 07 / 2016

125 Ridgeway Crt. Vaughan - Tree Inventory
Appendix II

Report Date: May 13th, 2025
Assessment Date: May 13th, 2025



Chart Details:

Tree #: Inventoried trees were assigned an identification number

Species: Includes the botanical name and common name of each tree.

DBH: Diameter in cm measured at 1.4 meters from the ground (diameter at breast height). DBH measurements for trees on neighbouring properties are estimated.

Crown Radius: Average radius of drip line in meters.

Biological Condition Rating: Overall condition rating from good (70-100%) to fair(40-69%) to poor (0-39%) based on overall health.

Structural Condition Rating: Overall rating from good (70-100%) to fair(40-69%) to poor (0-39%) based on tree Structure.

Condition Comments: Specific observations from the visual assessment that have informed the condition rating.

Minimum TPZ: Minimum required tree protection zone in meters.

Ownership Category: Ownership of tree based on the supplied survey.

Recommended Action & Details: Arborist Recommendations.

Tree #	Species	DBH (cm)	Crown Radius (m)	Biological Condition	Structural Condition	Condition Comments	Min TPZ (m)	Ownership Category	Recommended Action & Details
1	<i>Acer negundo</i> Manitoba maple	20	3.5	Good	Good	Good shoot ext., decurrent habit,	1.8	Neighbour	Preserve
2	<i>Tilia cordata</i> Little-leaf linden	40	5.5	Good	Fair	Good shoot ext., decurrent habit, crown elevation pruned on ravine side	2.4	Neighbour	Preserve
3	<i>Tilia cordata</i> Little-leaf linden	47	4.5	Good	Good	Good shoot ext., bifurcate, minor included bark	3	Private	Injury (minor due to helical pile)

125 Ridgeway Crt. Vaughan - Tree Inventory

Appendix II

Tree #	Species	DBH (cm)	Crown Radius (m)	Biological Condition	Structural Condition	Condition Comments	Min TPZ (m)	Ownership Category	Recommended Action & Details
4	<i>Acer negundo</i> Manitoba maple	25	4.5	Good	Fair	Good shoot ext., Main stem curves back and forth	4.5	Public / Naturalized Area	Injury (very minor due to helical pile)
5	<i>Pice glauca</i> White spruce	25	2.5	Good	Good	Good new growth, single leader	3.6	Public / Naturalized Area	Injury (very minor due to helical pile)
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SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
None	None