

File: A061/21

Applicant: The Salz Corporation

Address: #15A -100 Steeles Avenue, Thornhill

Agent: Maxim Merchasin/Elham Gharagozloo -
Acadia Design Consultants Inc.
Voula Peditas – Westdale Properties

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection	<input checked="" type="checkbox"/>	
Development Planning		
Development Engineering	<input checked="" type="checkbox"/>	
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	
By-law & Compliance	<input checked="" type="checkbox"/>	
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	
TRCA		
Ministry of Transportation	<input checked="" type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)		

Adjournment History: None

Background History: None

Staff Report Prepared By: Lenore Providence
Hearing Date: Thursday, April 29, 2021

**Please note that additional comments may be received after the publication of the Staff Report. These comments will be processed as an addendum (see website for details).*



Minor Variance
Application

Agenda Item: 27

A061/21

Ward: 5

Staff Report Prepared By: Lenore Providence, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing:	Thursday, April 29, 2021 at 6:00 p.m. As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time. A live stream of the meeting is available at Vaughan.ca/LiveCouncil Please submit written comments by mail or email to: City of Vaughan Office of the City Clerk – Committee of Adjustment 2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1 cofa@vaughan.ca To make an electronic deputation at the meeting please contact the Committee of Adjustment at cofa@vaughan.ca or 905-832-8504. Ext. 8332 Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.
Applicant:	The Salz Corporation
Agent:	Maxim Merchasin/Elham Gharagozloo - Acadia Design Consultants Inc. Voula Pedias – Westdale Properties
Property:	100 Steeles Avenue, Unit 15A, Thornhill
Zoning:	The subject lands are zoned C2 9(731) and subject to the provisions of Exception under By-law 1-88 as amended
OP Designation:	In-effect Official Plan #210: “General Commercial Area” and Vaughan Official Plan 2010, Volume 2, Yonge Steeles Corridor Secondary Plan (YSCSP): “High-Rise Mixed Use” with a maximum building height of 22-storeys and a Floor Space Index ('FSI') of 3.5 times the area of the lot.
Related Files:	None.
Purpose:	Relief from By-law 1-88, as amended, is being requested to permit a proposed car rental service within Unit 15A.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
A car rental service use is not permitted. (Exception 731.f.i)	To permit the use of a car rental service.

Background (previous applications approved by the Committee on the subject land): N/A

For information on the previous approvals listed above please visit www.vaughan.ca. To search for a file number, enter it using quotes around it. For example, “A001/17”.

To search property address, enter street number and street name using quotes. For example, “2141 Major Mackenzie”. Do not include street type (i.e. drive).

Adjournment History: N/A

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:

Public notice was mailed on April 14, 2021

Applicant confirmed posting of signage on April 12, 2021.

Property Information	
Existing Structures	Year Constructed
Commercial Building	>25 years ago.

Applicant has advised that they cannot comply with By-law for the following reason(s): The use of a Car Rental Company is not permitted under Exception No. 9(731) of By-law 1-88 a.a.

Adjournment Request: None

Building Standards (Zoning Review):

Order No. 19-000097, Order to Comply for , Issue Date: Jul 02, 2019
Order No. 20-115508, Order to Comply for , Issue Date: Dec 15, 2020
Building Permit No. 13-002941 for Eating Establishment - Interior Unit Alteration, Issue Date: Jun 03, 2014
Building Permit No. 13-002941 for Eating Establishment - Interior Unit Alteration, Issue Date: Feb 23, 2015
Building Permit No. 19-001579 for Business and Prof. Office Unit - Interior Unit Alteration, Issue Date: (Not Yet Issued)
Building Permit No. 21-100206 for Single Use (Commercial) - Change in Use, Issue Date: (Not Yet Issued)

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Building Inspections (Septic):

No comments or concerns

Development Planning:

In-effect Official Plan #210: “General Commercial Area” and Vaughan Official Plan 2010, Volume 2, Yonge Steeles Corridor Secondary Plan (YSCSP’): “High-Rise Mixed Use” with a maximum building height of 22- storeys and a Floor Space Index ('FSI') of 3.5 times the area of the lot.

Application under review.

Development Engineering:

The Development Engineering (DE) Department does not object to variance application A061/21.

Parks Development - Forestry:

No comments received to date.

By-Law and Compliance, Licensing and Permit Services:

No space available on site for storage. If allowed, recommend that vehicles not be stored on site for any duration. This is a multi-unit building with many eating establishments and two government agencies.

Development Finance:

No comment no concerns

Fire Department:

Please note that the applicant will have to address the following as part of the permit process: storage of vehicle not to affect the fire route (2) means of egress not to be obstructed.

Schedule A – Plans & Sketches

Schedule B – Public Correspondence

None

Schedule C - Agency Comments

Alectra (Formerly PowerStream) – No concerns or objections
Region of York – No concerns or objections
MTO – Located outside of MTO permit control area

Schedule D - Previous Approvals (Notice of Decision)

None

Staff Recommendations:

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	Development Planning Roberto Simbana 905-832-8585 x 8810 roberto.simbana@vaughan.ca	Application under review.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil). To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit www.vaughan.ca

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

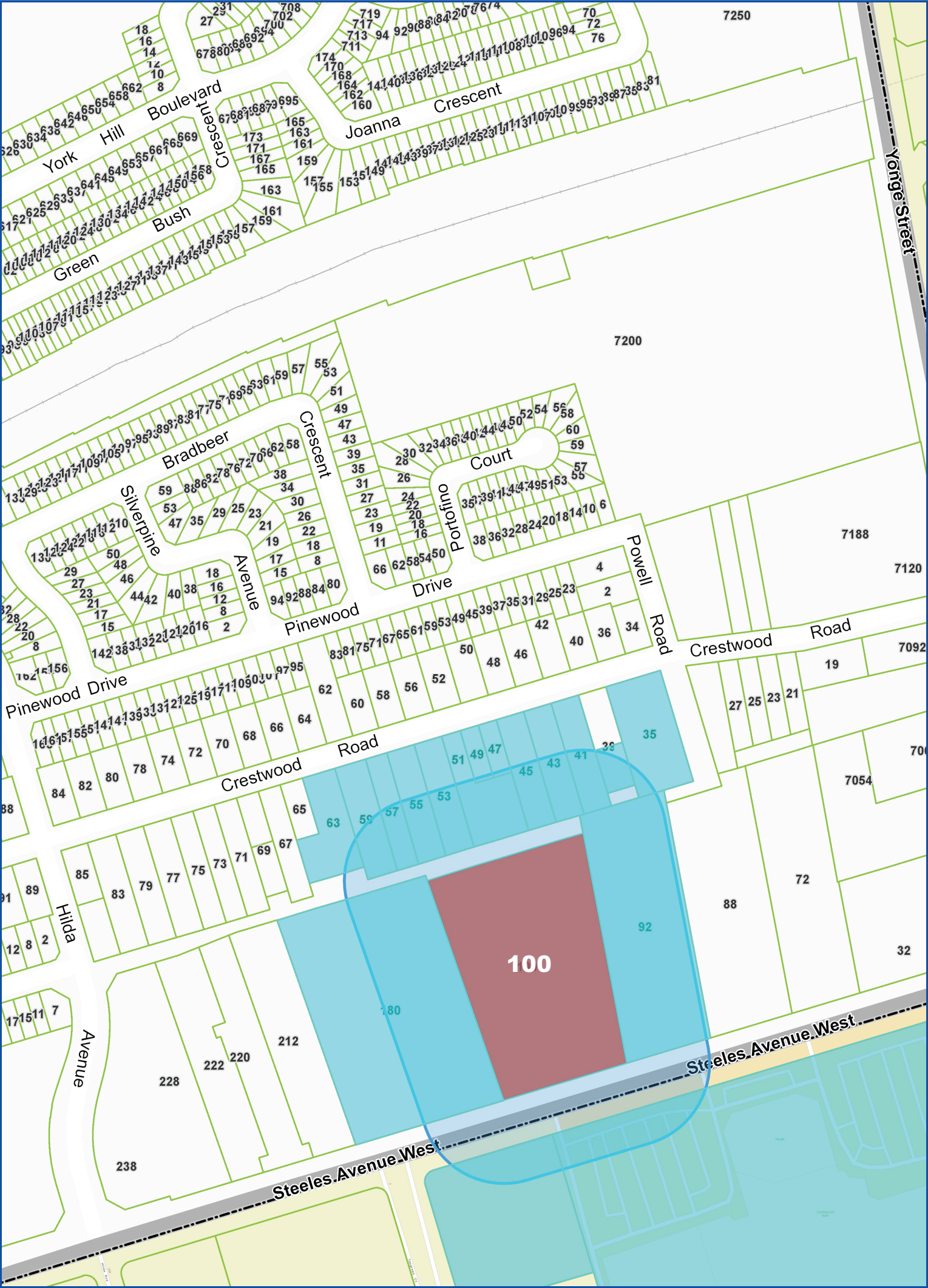
For further information please contact the City of Vaughan, Committee of Adjustment

T 905 832 8585 Extension 8394
E CofA@vaughan.ca

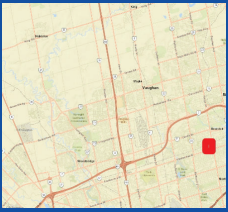
Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

Location Map
Plans & Sketches



Map Information:



Title:

#15A-100 STEELES AVENUE W., THORNHILL

NOTIFICATION MAP - A061/21

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:3,822

0 0.06 km



Created By:

Infrastructure Delivery
Department
March 12, 2021 5:01 PM

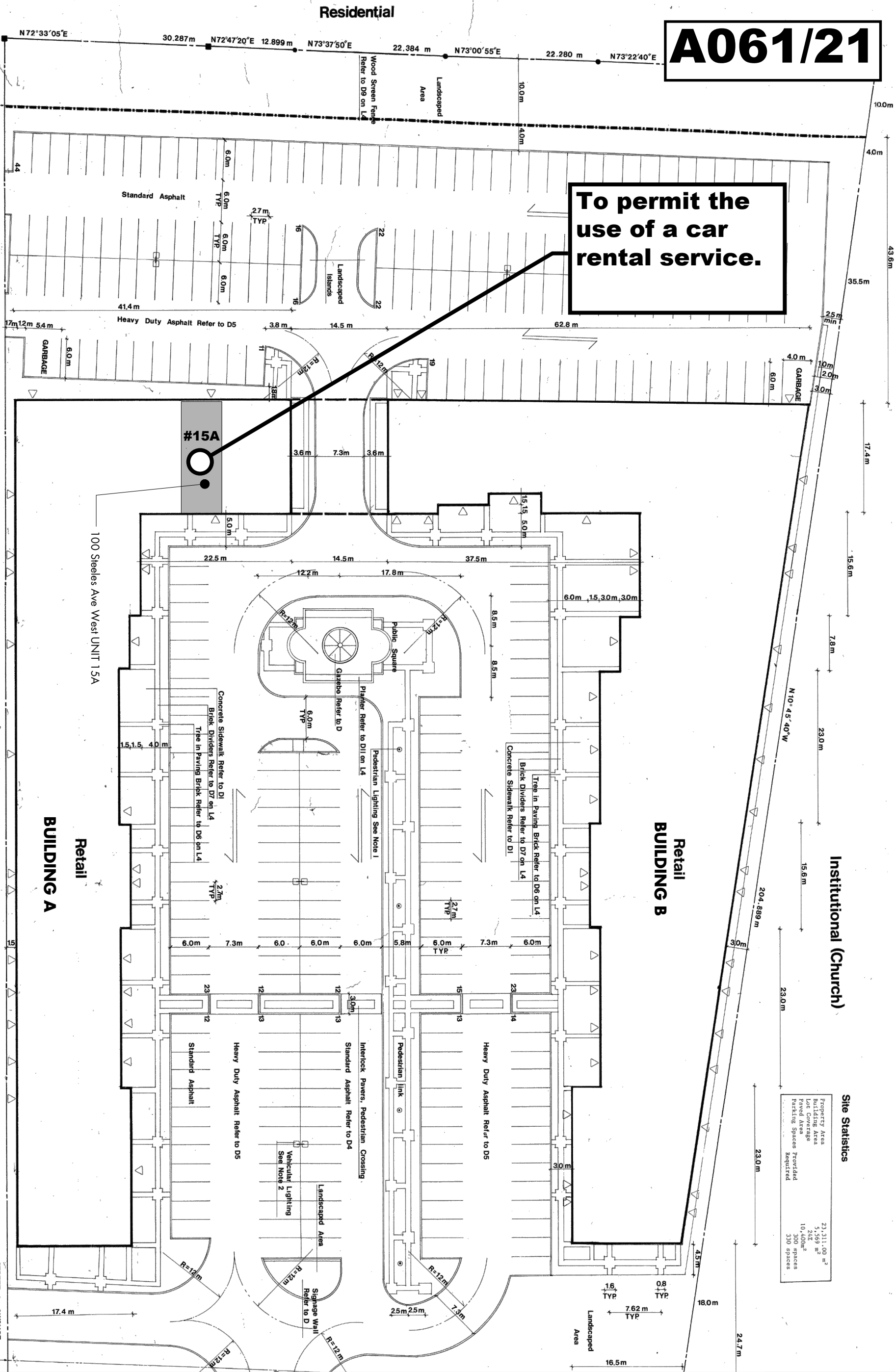
Projection:

NAD 83
UTM Zone
17N

A061/21

To permit the use of a car rental service.

Site Statistics	
Property Area	23,311.00 m ²
Building Area	5,359 m ²
Lot Coverage	23%
Travel Area	10,400m ²
Travel Spaces Provided	300 spaces
Travel Spaces Required	330 spaces



DO NOT SCALE

CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF THE WORK. ALL DRAWINGS & SPECIFICATIONS ARE PROPERTY OF ACADIA DESIGN CONSULTANTS INC. AND MUST BE RETURNED UPON COMPLETION OF THE WORK. DRAWINGS ARE NOT TO BE USED FOR OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.

REVISIONS & ISSUES:	
#	DATE DESCRIPTION
1	2020.12.17 ISSUED TO CLIENT FOR DESIGN REVIEW

DRAWN BY: PS

CHECKED BY: EG

Site Plan

A1

Scale: 1:550

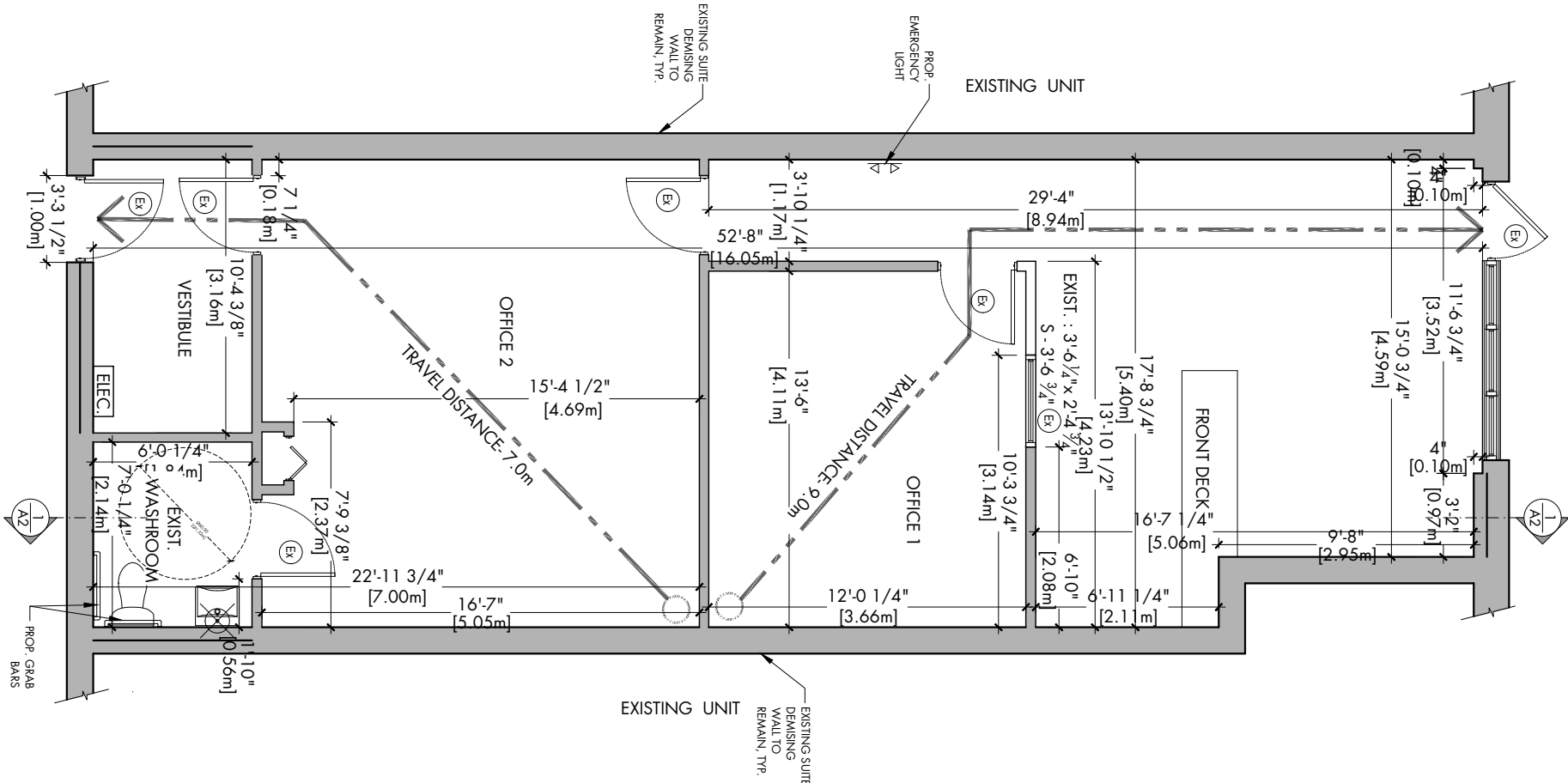
Date: Dec. 17, 2020

CHANGE OF USE















Project: 100 Steeles Ave W, Unit 15A, Vaughan, On.
L4J 7Y1

Phone: +1 (647) 478-0292
Fax: +1 (877) 347-3479
www.AcadiaDC.ca

ACADIA
design+consultants



To permit the
use of a car
rental service.

WALL LEGEND			
	EXISTING EXTERIOR / FOUNDATION WALL		
	EXISTING INTERIOR PARTITION WALL		
	EXISTING INTERIOR WALL TO BE DEMOLISHED		
DOOR SCHEDULE			
EXISTING DOOR	EXIST. 3'-0" DOOR TO REMAIN		
LEGEND			
	CEILING EXHAUST FAN		
	FLOOR/CEILING SUPPLY REGISTER		
	FLOOR/CEILING SUPPLY REGISTER		
	MAINTENANCE / VENT..		
\$	LIGHT SWITCH		
	LIGHT		
	POT LIGHT		
	EXISTING DOOR/WINDOW		
	EXISTING SPRINKLERS		
	EXIT SIGN & EMERGENCY LIGHT COMBO		
	EMERGENCY LIGHT		

Phone: +1 (647) 478-0292
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REVISIONS & ISSUES:

#	DATE	DESCRIPTION
1	2020.12.17	ISSUED TO CLIENT FOR DESIGN REVIEW

DRAWN BY: PS CHECKED BY: EG

Existing Floor Plan

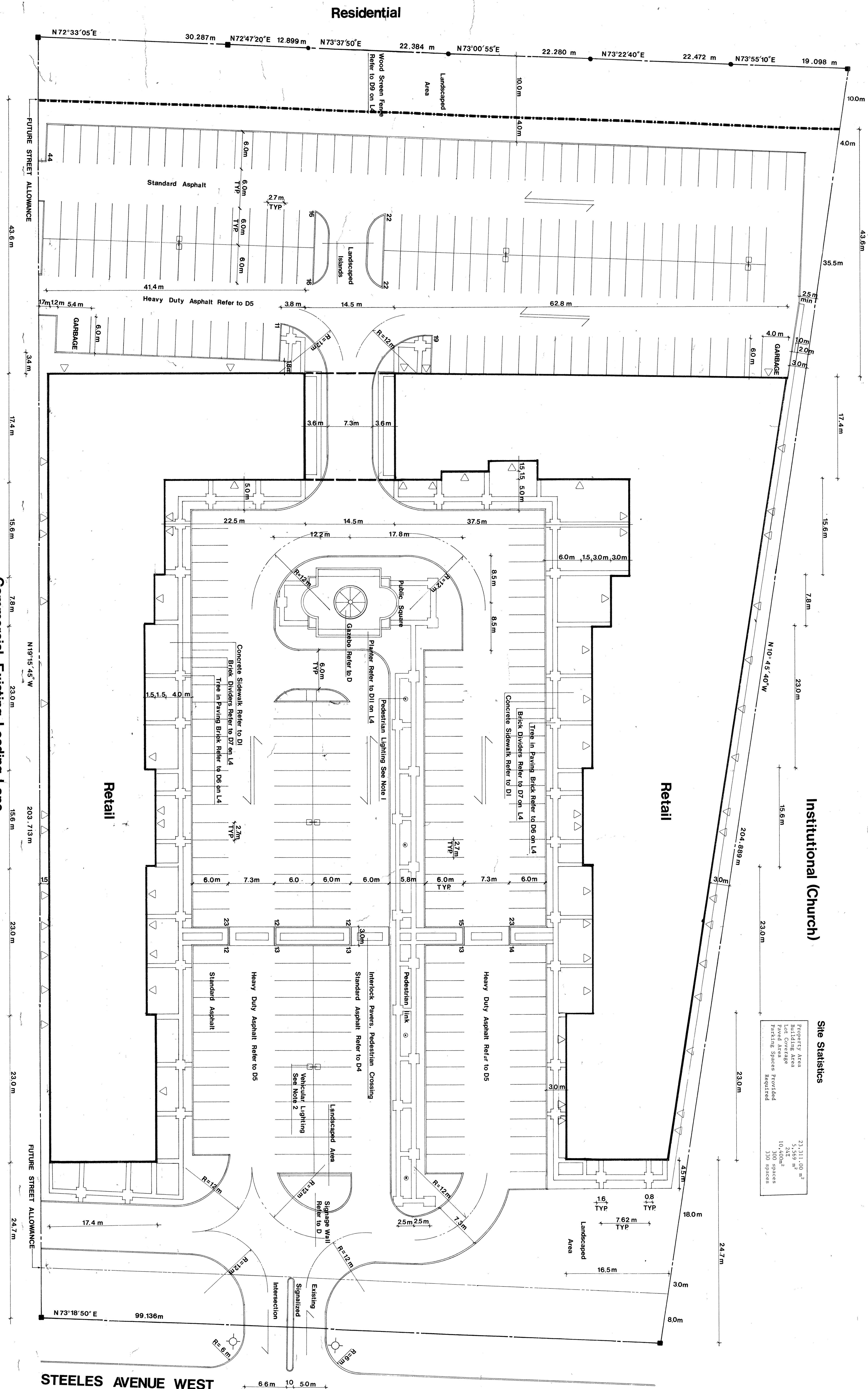
A2

Scale: 1:75

Date: Dec. 17, 2020

CHANGE OF USE

Project: 100 Steeles Ave W, Unit 15A,
Vaughan, On.
L4J 7Y1

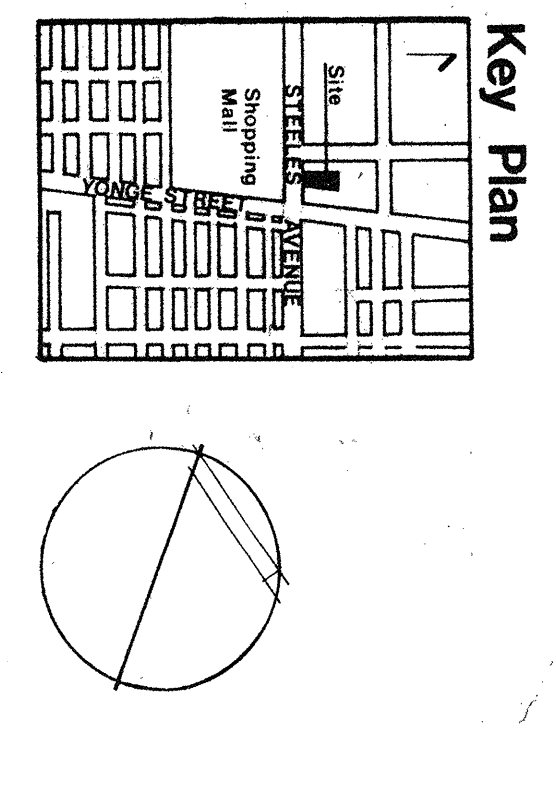


Site Statistics

Property Area	23,311.00 m ²
Building Area	5,369 m ²
Lot Coverage	23.0%
Land Area	10,400 m ²
Parking Spaces Provided	300 spaces
Parking Spaces Required	330 spaces

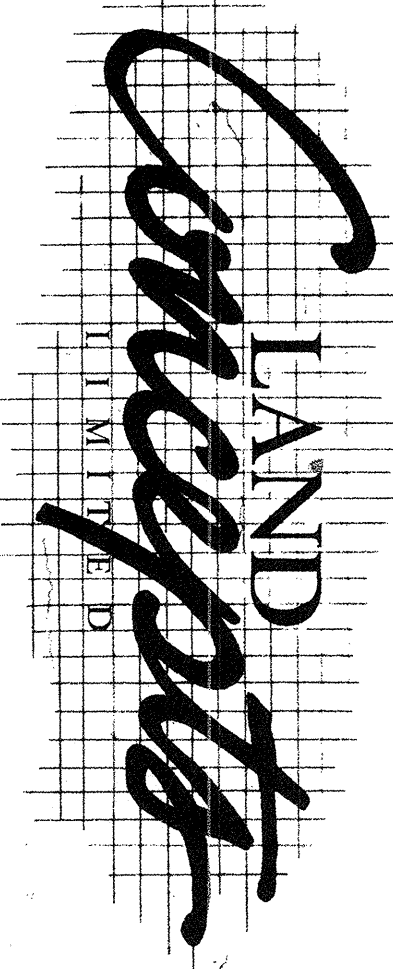
Legend

	PROPERTY LINE
	PROPOSED ENTRANCE/EXIT
	EXISTING SIGNAL, LIGHTS, RELOCATED
	LIGHT STANDARDS, VEHICULAR
	LIGHT STANDARDS, PEDESTRIAN
	WOOD SCRIBE FENCE



Project
Yorkville North
Vaughan, Ontario

Site Plan
JAMES A. RICE LTD.
Engineers and Constructors



ARCHITECTURE
PLANNING
SITE SERVICES
LANDSCAPE ARCHITECTURE
100 York Boulevard
Suite 120
Richmond Hill, Ontario
L4B 1J8
(416) 222-5550

Date: April 22, 88
Revision: 1
Drawn: JK
Scale: 1:250
Stamp

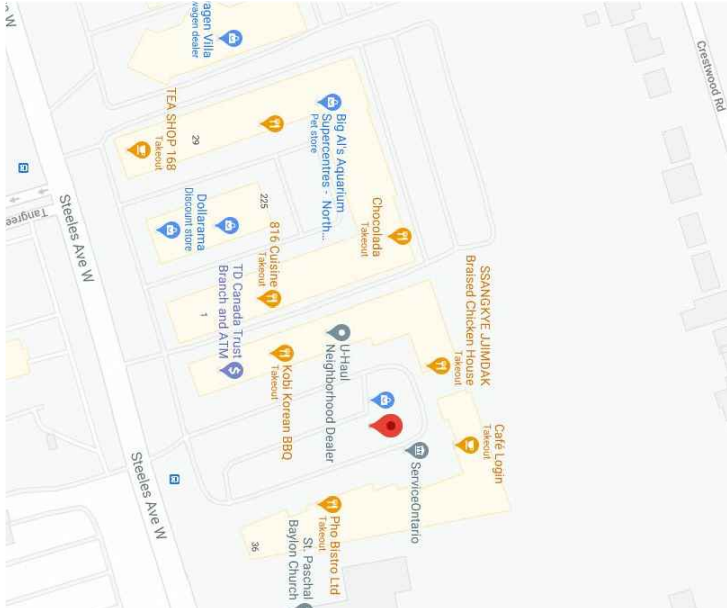
Drawing No. 1

SCOPE OF WORK: ZONING AMENDMENT

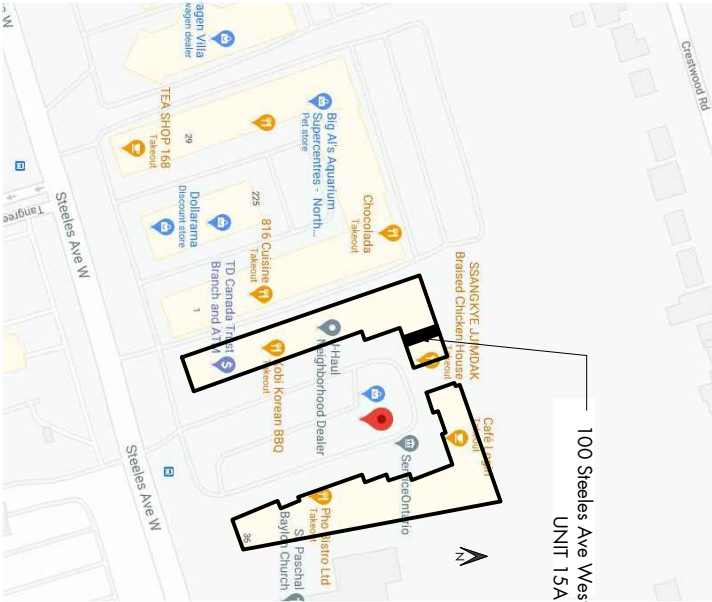
INDEX SHEET:

A0	COVER PAGE
A1	SITE PLAN
A2	EXISTING GROUND FLOOR PLAN
A3	REFLECTED CEILING PLAN / ELECTRICAL LAYOUT
A4	CROSS SECTION

KEY PLAN: 100 Steeles Ave W, Unit 15A, Vaughan, ON L4J 7Y1



Item	Ontario Building Code Matrix	OBC Reference		
Project Description : Interior GOLF SIMULATION BAYS				
1	New <input type="checkbox"/> Addition <input type="checkbox"/> Int. Alt. <input type="checkbox"/> Change Of Use <input checked="" type="checkbox"/>	Part 3	Part 9	Part 10
2	Major Occupancy GROUP "D" CAR RENTAL (PROPOSED) Management Office (EXISTING)	3.1.2.1.(1)	9.10.20	3.1.2.1.(1)
3	Building Area (m²): / Tenant area=92.02²		1.4.1.2.	
4	PROPOSED CONSTRUCTION AREA92.02 m²		1.4.1.2.	
5	No. of Storeys : Above Grade:1 Below Grade:0			
6	Height of Building (m):- m	3.2.1.1.	1.4.1.2. & 9.10.4.	1.4.1.2. & 3.2.1.1.
7	No. of Streets/ Access Routes:1	3.2.2.10 & 3.2.5.	9.10.20	
8	Building Classification: Existing To Remain			
9	Sprinkler System Proposed: Entire UNIT <input checked="" type="checkbox"/> Basement Only <input type="checkbox"/> In lieu of Roof Rating <input type="checkbox"/> None <input type="checkbox"/>	3.2.1.5. & 3.2.2.17.	9.10.8.2.4	
10	Standpipe Required	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	3.2.9.	
11	Fire Alarm Required	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	3.2.4.	9.10.18.
12	Water Service/Supply is Adequate	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		
13	High Building	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	3.2.6.	
14	Construction Combustible <input type="checkbox"/> Non-Combustible <input type="checkbox"/> Both <input checked="" type="checkbox"/>	3.2.2.20-83 & 3.2.1.4.	9.10.6.	
15	Mezzanine(s) Area (m²)	not Applicable <input checked="" type="checkbox"/>	3.2.1.1.	9.10.4.1.
16	Occupancy Load <div>area: m²/person</div> Total2 (Existing to Remain) design of building	3.1.17.	3.1.17.	
17	Washroom Fixtures Existed: 1		9.31 & 3.7.4.	
18	Hazardous Substances	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	3.3.1.2. & 3.3.1.19.	9.10.1.3.
19	Barrier Free: Required	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		



1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL OF THE CONSTRUCTION CONFORMS TO THE REQUIREMENTS OF THE LATEST VERSION OF THE ONTARIO BUILDING CODE.
2. IF ANY DISCREPANCIES FOUND IN DRAWINGS, IT IS CONTRACTOR'S RESPONSIBILITY TO INFORM ARCHITECT/ENGINEER BEFORE PROCEEDING THE WORK.
3. CONTRACTOR TO CAREFULLY EXAMINE ALL EXISTING SITE CONDITIONS AND BUILDING COMPONENTS, ALONG WITH ALL DIMENSIONS WHICH MAY AFFECT PROPER EXECUTION OF THE WORK, SO THAT A CLEAR AND COMPREHENSIVE UNDERSTANDING OF THE SCOPE OF WORK IS ACHIEVED.
4. WHERE EXISTING CONSTRUCTION TO REMAIN IS DAMAGED BY CONTRACTOR'S DEMOLITION WORK, THE CONSTRUCTION MUST BE REPAIRED TO MATCH EXISTING.
5. WHERE WALLS OR PORTION OF WALLS ARE TO BE REMOVED, THE CONTRACTOR IS TO INCLUDE FOR REMEDIAL WORK NECESSARY TO LEVEL ADJACENT FLOORS.
6. IT IS THE CONTRACTOR'S RESPONSIBILITY WHEN DEMOLISHING THE EXISTING WALLS AND CEILINGS TO ENSURE THAT ELECTRICAL SERVICES WITHIN WALLS AND CEILINGS ARE NOT LIVE. CONTRACTOR TO RE-ROUTE ELECTRICAL IF NECESSARY.
7. AT LOCATIONS WHERE EXISTING WALLS, PIPING, DUCTWORK, AND MILLWORK ARE TO BE REMOVED, CONTRACTOR SHALL REPAIR AND MAKE GOOD AFFECTED SURFACES TO MATCH EXISTING.
8. DIMENSION INDICATING EXISTING CONSTRUCTION IS FOR REFERENCE ONLY. CONTRACTOR TO VERY DIMENSIONS AT FIELD THAT AFFECT WORK
9. SHADED ARES REPRESENTS EXISTING CONSTRUCTION TO REMAIN.
10. ALL INTERIOR PARTITION DIMENSIONS ARE TO FINISHED FACE OF WALL, U.N.O.
11. ALL DOOR JAMB ROUGH OPENINGS ARE TO BE 4" FROM ADJACENT WALL ON HINGE SIDE AT GYPSUM WALLS U.N.O.
12. ALL INTERIOR WALLS ARE TYPE P2, U.N.O. IN PLAN.
13. IF ANY DISCREPANCIES FOUND IN DRAWINGS, IT IS CONTRACTOR'S RESPONSIBILITY TO INFORM ARCHITECT/ENGINEER BEFORE PROCEEDING THE WORK.

- DEMOLITION NOTES:**
1. CAREFULLY EXAMINE ALL EXISTING SITE CONDITIONS AND BUILDING COMPONENTS, ALONG WITH ALL DIMENSIONS WHICH MAY AFFECT PROPER EXECUTION OF THE WORK, SO THAT A CLEAR AND COMPREHENSIVE UNDERSTANDING OF THE SCOPE OF WORK IS ACHIEVED.
 2. THE TERM "DEMOLISH" SHALL MEAN DETACH ITEMS FROM EXISTING CONSTRUCTION AND LEGALLY DISPOSE OF THEM OFF SITE.
 3. WHERE EXISTING CONSTRUCTION TO REMAIN IS DAMAGED BY CONTRACTOR'S DEMOLITION WORK, THE CONSTRUCTION MUST BE REPAIRED TO MATCH EXISTING.
 4. ALL DEMOLITION AND EXPOSURE OF INTERIOR SURFACES TO THE EXTERIOR SHALL BE IMMEDIATELY FOLLOWED BY PROTECTIVE CONSTRUCTION. CONTRACTOR SHALL PROVIDE AND INSTALL TEMPORARY PROTECTION IN ALL OPENINGS WHERE EXTERIOR DOORS OR ROOFTOP/MECH. EQUIPMENT HAVE BEEN REMOVED/REPLACED/ ADDED.
 5. AT LOCATIONS WHERE EXISTING WALLS, PIPING, DUCTWORK, AND MILLWORK ARE TO BE REMOVED, CONTRACTOR SHALL REPAIR AND MAKE GOOD AFFECTED SURFACES TO MATCH EXISTING.
 6. ALL EXISTING FURNITURE, APPLIANCES, AND EQUIPMENT ARE TO BE REMOVED BY THE OWNER PRIOR TO THE DEMOLITION WORK COMMENCING UNLESS NOTED OTHERWISE.
 7. IT IS THE CONTRACTOR'S RESPONSIBILITY WHEN DEMOLISHING THE EXISTING WALLS AND CEILINGS TO ENSURE THAT ELECTRICAL SERVICES WITHIN WALLS AND CEILINGS ARE NOT LIVE. CONTRACTOR TO RE-ROUTE ELECTRICAL IF NECESSARY.
 8. IN THE DETERMINED AREA OF WORK, AT LOCATIONS WHERE NEW DOOR OPENINGS ARE TO BE PROVIDED THROUGH EXISTING WALL CONSTRUCTION ASSEMBLIES, CONTRACTOR TO REPAIR WALL TO MATCH EXISTING AND PROVIDE GOOD TRANSITION BETWEEN EXISTING AND NEW FLOOR CONSTRUCTION ASSEMBLIES.
 9. AT LOCATIONS WHERE EXISTING MECHANICAL AND ELECTRICAL COMPONENTS WHICH ARE GOING THROUGH EXISTING CONCRETE SLAB ARE TO BE REMOVED, CONTRACTOR TO REPAIR EXISTING CONCRETE SLAB TO MATCH EXISTING. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS.
 10. IN THE DETERMINED AREA OF WORK, ALL EXISTING ELECTRICAL FIXTURES AND DEVICES C/W CONDUITS AND WIRING ETC.. TO BE REMOVED. REFER TO ELECTRICAL DRAWINGS.
 11. IN THE DETERMINED AREA OF WORK, ALL EXISTING MECHANICAL SYSTEMS, PLUMBING FIXTURES, DUCT WORK, PIPES, RADIATORS, ETC. TO BE REMOVED. REFER TO MECHANICAL DRAWINGS.
 12. ALL EXISTING STRUCTURAL COLUMNS AND BEAMS ARE TO REMAIN UNLESS NOTED OTHERWISE. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
 13. AT LOCATION WHERE EXISTING PARTITIONS, PLUMBING FIXTURES ARE TO BE REMOVED, THE EXISTING FLOOR IS TO BE REPAIRED TO MATCH EXISTING.

Phone: +1 (647) 478-0292
Fax: +1 (877) 347-3479
www.AcadiaDC.ca



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REVISIONS & ISSUES:

#	DATE	DESCRIPTION
1	2020.12.17	ISSUED TO CLIENT FOR DESIGN REVIEW

DRAWN BY: CHECKED BY:

PS EG

Cover Page

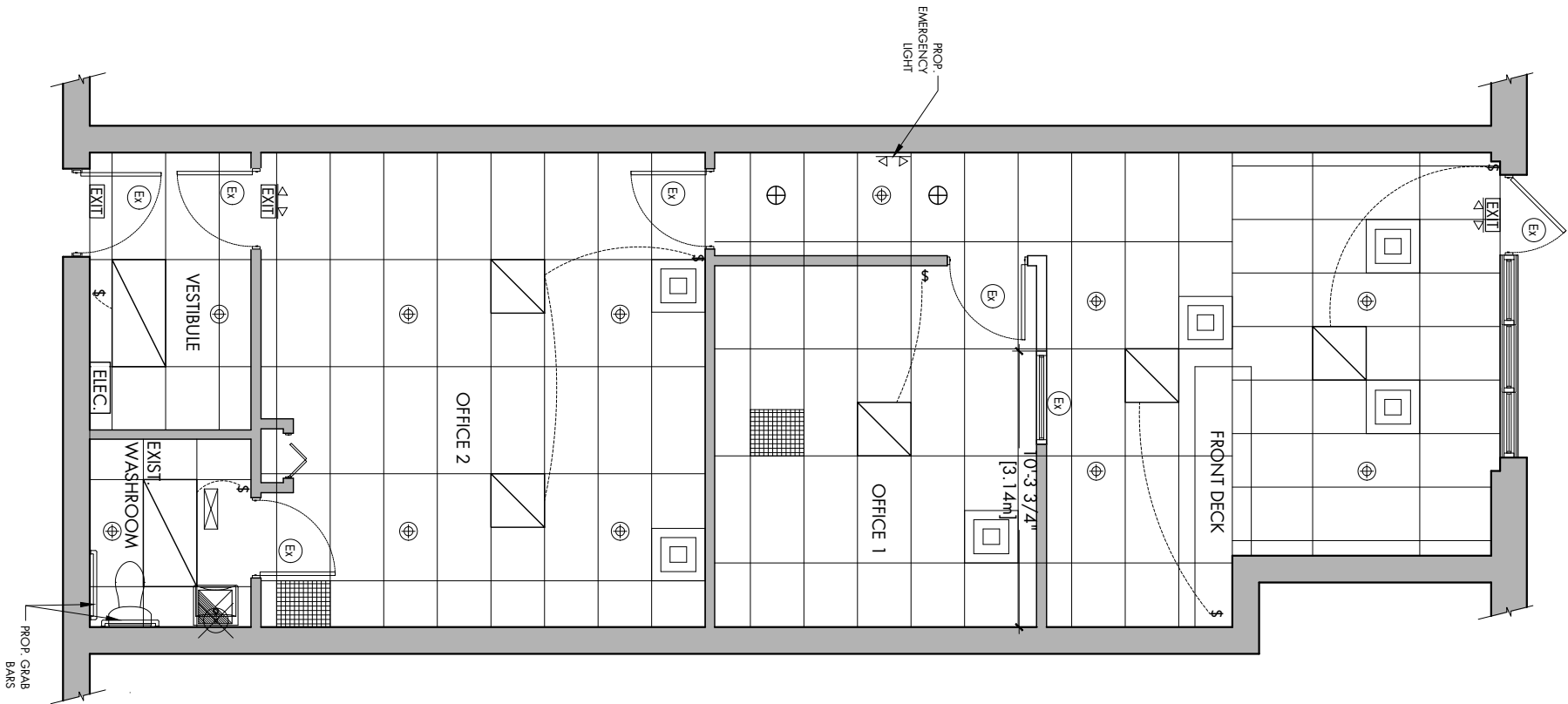
A0










N.T.S

Date: Dec. 17, 2020

CHANGE OF USE

Project: 100 Steeles Ave W, Unit 15A,
Vaughan, On.
L4J 7Y1



WALL LEGEND		
	EXISTING EXTERIOR / FOUNDATION WALL	
	EXISTING INTERIOR PARTITION WALL	
	EXISTING INTERIOR WALL TO BE DEMOLISHED	
DOOR SCHEDULE		
EXISTING DOOR	EXIST. 3'-0" DOOR TO REMAIN	(Ex)
LEGEND		
	CEILING EXHAUST FAN	
	FLOOR /CEILING SUPPLY REGISTER	
	FLOOR/CEILING SUPPLY REGISTER	
	MAINTENANCE / VENT..	
\$	LIGHT SWITCH	
	LIGHT	
⊕	POT LIGHT	
(Ex)	EXISTING DOOR/WINDOW	
⊕	EXISTING SPRINKLERS	
	EXIT SIGN & EMERGENCY LIGHT COMBO	
▽▽	EMERGENCY LIGHT	

Phone: +1 (647) 478-0292
Fax: +1 (877) 347-3479
www.AcadiaDC.ca



DO NOT SCALE

CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF THE WORK. ALL DRAWINGS & SPECIFICATIONS ARE PROPERTY OF ACADIA DESIGN CONSULTANTS INC. AND MUST BE RETURNED UPON COMPLETION OF THE WORK. DRAWINGS ARE NOT TO BE USED FOR OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.

REVISIONS & ISSUES:

#	DATE	DESCRIPTION
1	2020.12.17	ISSUED TO CLIENT FOR DESIGN REVIEW

DRAWN BY: PS CHECKED BY: EG

Existing R.C.P.

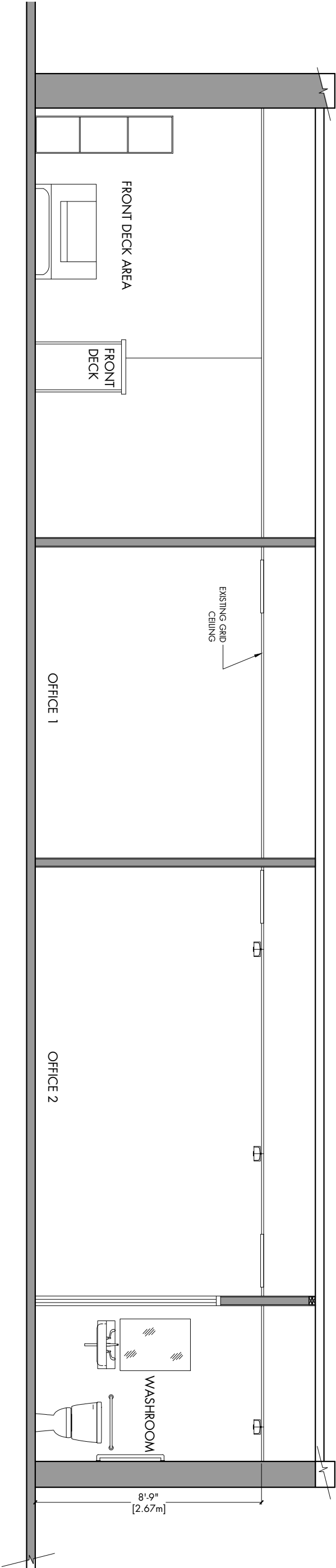
A3

Scale: 1:75

Date: Dec. 17, 2020

CHANGE OF USE

Project: 100 Steeles Ave W, Unit 15A,
Vaughan, On.
L4J 7Y1



DO NOT SCALE

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REVISIONS & ISSUES:

#	DATE	DESCRIPTION
1	2020.12.17	ISSUED TO CLIENT FOR DESIGN REVIEW

DRAWN BY: CHECKED BY:

PS EG

Cross Section

A4

Scale: 1:50

Date: Dec. 17, 2020

CHANGE OF USE

Project: 100 Steeles Ave W, Unit 15A,
Vaughan, On.
L4J 7Y1

1 Cross Section

A4 1:50

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

None

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

- Alectra (Formerly PowerStream) – No concerns or objections
- Region of York – No concerns or objections
- MTO – Located outside of MTO permit control area

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mr. Tony D'Onofrio
Supervisor, Subdivisions (Alectra East)
Phone: 1-877-963-6900 ext. 24419

Email: tony.donofrio@alectrautilities.com

Providence, Lenore

Subject: FW: A061-21 - REQUEST FOR COMMENTS - #15A-100 Steeles Ave, Thornhill (Full Circulation)

From: Mulrenin, Colin (MTO) <Colin.Mulrenin@ontario.ca>

Sent: March-31-21 5:09 PM

To: Providence, Lenore <Lenore.Providence@vaughan.ca>

Cc: Blaney, Cameron (MTO) <Cameron.Blaney@ontario.ca>

Subject: [External] RE: A061-21 - REQUEST FOR COMMENTS - #15A-100 Steeles Ave, Thornhill (Full Circulation)

Good afternoon,

The property at #15A-100 Steeles Ave is not within the MTO permit control area and MTO has no comments.

Colin Mulrenin | Corridor Management Officer | York

Highway Corridor Management Section – Central Operations

159 Sir William Hearst Avenue | Ministry of Transportation

7th Floor, Building D | Downsview, Ontario | M3M 0B7

Colin.Mulrenin@ontario.ca

Providence, Lenore

Subject: FW: A061-21 - REQUEST FOR COMMENTS - #15A-100 Steeles Ave, Thornhill (Full Circulation)

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: April-07-21 3:46 PM

To: Providence, Lenore <Lenore.Providence@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A061-21 - REQUEST FOR COMMENTS - #15A-100 Steeles Ave, Thornhill (Full Circulation)

Good afternoon Lenore,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Gabrielle

Gabrielle Hurst MCIP RPP | Community Planning and Development Services | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca