



File: A061/21

Applicant: The Salz Corporation

Address: #15A -100 Steeles Avenue, Thornhill

Agent: Maxim Merchasin/Elham Gharagozloo -
Acadia Design Consultants Inc.
Voula Peditas – Westdale Properties

Please note that comments and written public submissions received after the preparation of this Staff Report (up until noon on the last business day prior to the day of the scheduled hearing date) will be provided as an addendum.

| Commenting Department | <input checked="" type="checkbox"/> Positive Comment | Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> |
|---|--|---|
| | <input checked="" type="checkbox"/> Negative Comment | |
| Committee of Adjustment | <input checked="" type="checkbox"/> | |
| Building Standards | <input checked="" type="checkbox"/> | |
| Building Inspection | <input checked="" type="checkbox"/> | |
| Development Planning | | |
| Development Engineering | <input checked="" type="checkbox"/> | |
| Parks, Forestry and Horticulture Operations | <input checked="" type="checkbox"/> | |
| By-law & Compliance | <input checked="" type="checkbox"/> | |
| Financial Planning & Development | <input checked="" type="checkbox"/> | |
| Fire Department | <input checked="" type="checkbox"/> | |
| TRCA | | |
| Ministry of Transportation | <input checked="" type="checkbox"/> | |
| Region of York | <input checked="" type="checkbox"/> | |
| Alectra (Formerly PowerStream) | <input checked="" type="checkbox"/> | |
| Public Correspondence (see Schedule B) | | |

Adjournment History: None

Background History: None

Staff Report Prepared By: Lenore Providence
Hearing Date: Thursday, April 29, 2021

**Please note that additional comments may be received after the publication of the Staff Report. These comments will be processed as an addendum (see website for details).*



Minor Variance Application

Agenda Item: 27

A061/21

Ward: 5

Staff Report Prepared By: Lenore Providence, Assistant Secretary Treasurer

Date & Time of Live Stream Hearing: Thursday, April 29, 2021 at 6:00 p.m.

As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

A live stream of the meeting is available at Vaughan.ca/LiveCouncil

Please submit written comments by mail or email to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

To make an electronic deputation at the meeting please contact the Committee of Adjustment at cofa@vaughan.ca or 905-832-8504. Ext. 8332

Written comments or requests to make a deputation must be received by noon on the last business day before the meeting.

Applicant: The Salz Corporation

Agent: Maxim Merchasin/Elham Gharagozloo - Acadia Design Consultants Inc.
Voula Pedias – Westdale Properties

Property: **100 Steeles Avenue, Unit 15A, Thornhill**

Zoning: The subject lands are zoned C2 9(731) and subject to the provisions of Exception under By-law 1-88 as amended

OP Designation: In-effect Official Plan #210: “General Commercial Area” and Vaughan Official Plan 2010, Volume 2, Yonge Steeles Corridor Secondary Plan (YSCSP): “High-Rise Mixed Use” with a maximum building height of 22-storeys and a Floor Space Index (‘FSI’) of 3.5 times the area of the lot.

Related Files: None.

Purpose: Relief from By-law 1-88, as amended, is being requested to permit a proposed car rental service within Unit 15A.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

| By-law Requirement | Proposal |
|--|--|
| A car rental service use is not permitted. (Exception 731.f.i) | To permit the use of a car rental service. |

Background (previous applications approved by the Committee on the subject land): N/A

For information on the previous approvals listed above please visit www.vaughan.ca. To search for a file number, enter it using quotes around it. For example, “A001/17”.

To search property address, enter street number and street name using quotes. For example, “2141 Major Mackenzie”. Do not include street type (i.e. drive).

Adjournment History: N/A

Staff & Agency Comments

Please note that staff/agency comments received after the preparation of this Report will be provided as an addendum item to the Committee. Addendum items will shall only be received by the Secretary Treasurer until **noon** on the last business day **prior** to the day of the scheduled Meeting.

Committee of Adjustment:

Public notice was mailed on April 14, 2021

Applicant confirmed posting of signage on April 12, 2021.

| Property Information | |
|----------------------|------------------|
| Existing Structures | Year Constructed |
| Commercial Building | >25 years ago. |

Applicant has advised that they cannot comply with By-law for the following reason(s): The use of a Car Rental Company is not permitted under Exception No. 9(731) of By-law 1-88 a.a.

Adjournment Request: None

Building Standards (Zoning Review):

Order No. 19-000097, Order to Comply for , Issue Date: Jul 02, 2019

Order No. 20-115508, Order to Comply for , Issue Date: Dec 15, 2020

Building Permit No. 13-002941 for Eating Establishment - Interior Unit Alteration, Issue Date: Jun 03, 2014

Building Permit No. 13-002941 for Eating Establishment - Interior Unit Alteration, Issue Date: Feb 23, 2015

Building Permit No. 19-001579 for Business and Prof. Office Unit - Interior Unit Alteration, Issue Date: (Not Yet Issued)

Building Permit No. 21-100206 for Single Use (Commercial) - Change in Use, Issue Date: (Not Yet Issued)

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Building Inspections (Septic):

No comments or concerns

Development Planning:

In-effect Official Plan #210: "General Commercial Area" and Vaughan Official Plan 2010, Volume 2, Yonge Steeles Corridor Secondary Plan (YSCSP): "High-Rise Mixed Use" with a maximum building height of 22-stories and a Floor Space Index ('FSI') of 3.5 times the area of the lot.

Application under review.

Development Engineering:

The Development Engineering (DE) Department does not object to variance application A061/21.

Parks Development - Forestry:

No comments received to date.

By-Law and Compliance, Licensing and Permit Services:

No space available on site for storage. If allowed, recommend that vehicles not be stored on site for any duration. This is a multi-unit building with many eating establishments and two government agencies.

Development Finance:

No comment no concerns

Fire Department:

Please note that the applicant will have to address the following as part of the permit process: storage of vehicle not to affect the fire route (2) means of egress not to be obstructed.

Schedule A – Plans & Sketches**Schedule B – Public Correspondence**

None

Schedule C - Agency Comments

Alectra (Formerly PowerStream) – No concerns or objections

Region of York – No concerns or objections

MTO – Located outside of MTO permit control area

Schedule D - Previous Approvals (Notice of Decision)

None

Staff Recommendations:

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

| | Department/Agency | Condition |
|---|--|---------------------------|
| 1 | Development Planning Roberto Simbana 905-832-8585 x 8810 roberto.simbana@vaughan.ca | Application under review. |

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

Please Note:

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

Notice to Public

PLEASE NOTE: As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time.

PUBLIC CONSULTATION DURING OFFICE CLOSURE: Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition. Written submissions on an Application shall only be received until **noon** on the last business day **prior** to the day of the scheduled hearing. Written submissions can be mailed and/or emailed to:

City of Vaughan
Office of the City Clerk – Committee of Adjustment
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
cofa@vaughan.ca

ELECTRONIC PARTICIPATION: During the COVID-19 emergency, residents can view a live stream of the meeting Vaughan.ca/LiveCouncil. To make an electronic deputation, residents must complete and submit a [Public Deputation Form](#) no later than **noon** on the last business prior to the scheduled hearing. To obtain a Public Deputation Form please contact our office or visit www.vaughan.ca

Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings may be audio/video recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

PUBLIC RECORD: Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

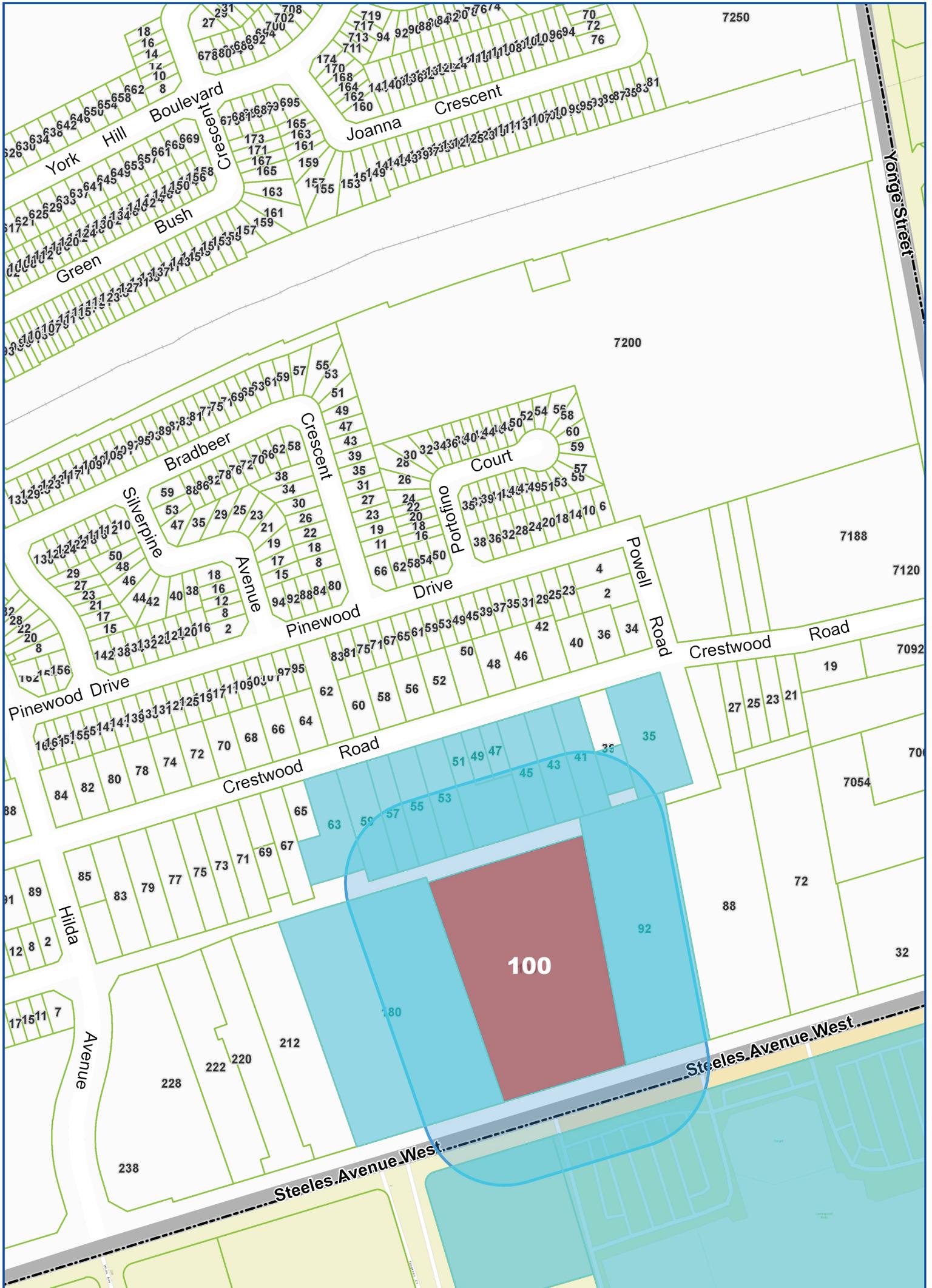
For further information please contact the City of Vaughan, Committee of Adjustment

T 905 832 8585 Extension 8394
E CofA@vaughan.ca

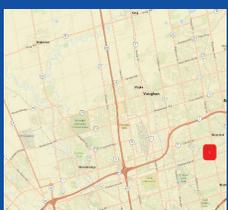
Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum.

Location Map
Plans & Sketches



Map Information:



Title:

#15A-100 STEELES AVENUE W., THORNHILL

NOTIFICATION MAP - A061/21

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:3,822

0 0.06 km



Created By:

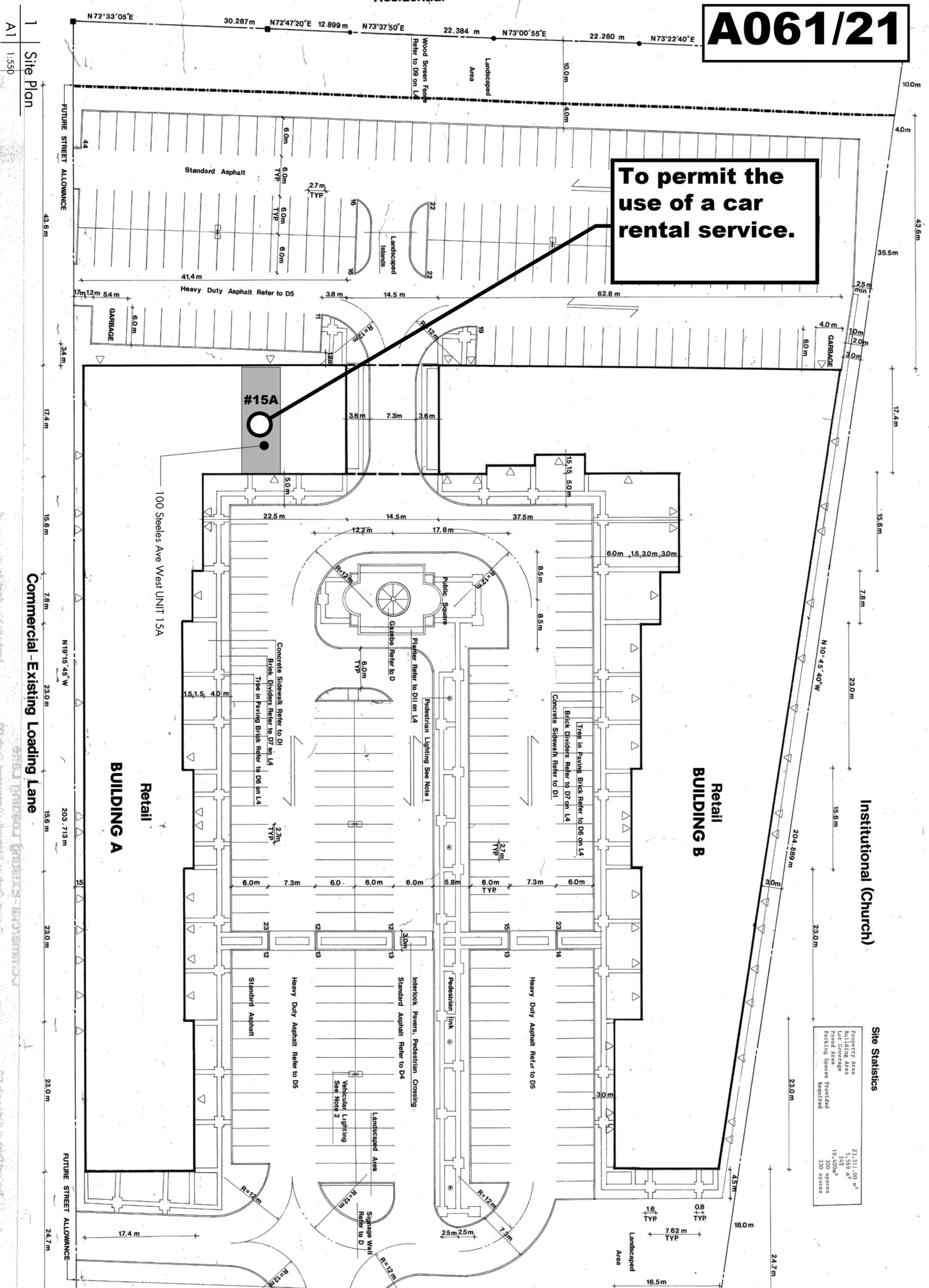
Infrastructure Delivery
Department
March 12, 2021 5:01 PM

Projection:
NAD 83
UTM Zone
17N

A061/21

Residential

To permit the use of a car rental service.



Site Statistics

| | |
|-------------------------|--------------------------|
| Property Area | 23,311.00 m ² |
| Building Area | 5,359 m ² |
| Lot Coverage | 10,400m ² |
| Traveled Areas Provided | 300 spaces |
| Parking Spaces Required | 330 spaces |

1 Site Plan
A1 1:550

Commercial - Existing Loading Lane

Project: 100 Steeles Ave W, Unit 15A, Vaughan, On. L4J 7Y1

Date: Dec. 17, 2020

Scale: 1:550

Drawing: A1

Site Plan

DRAWN BY: PS
CHECKED BY: EG

DO NOT SCALE

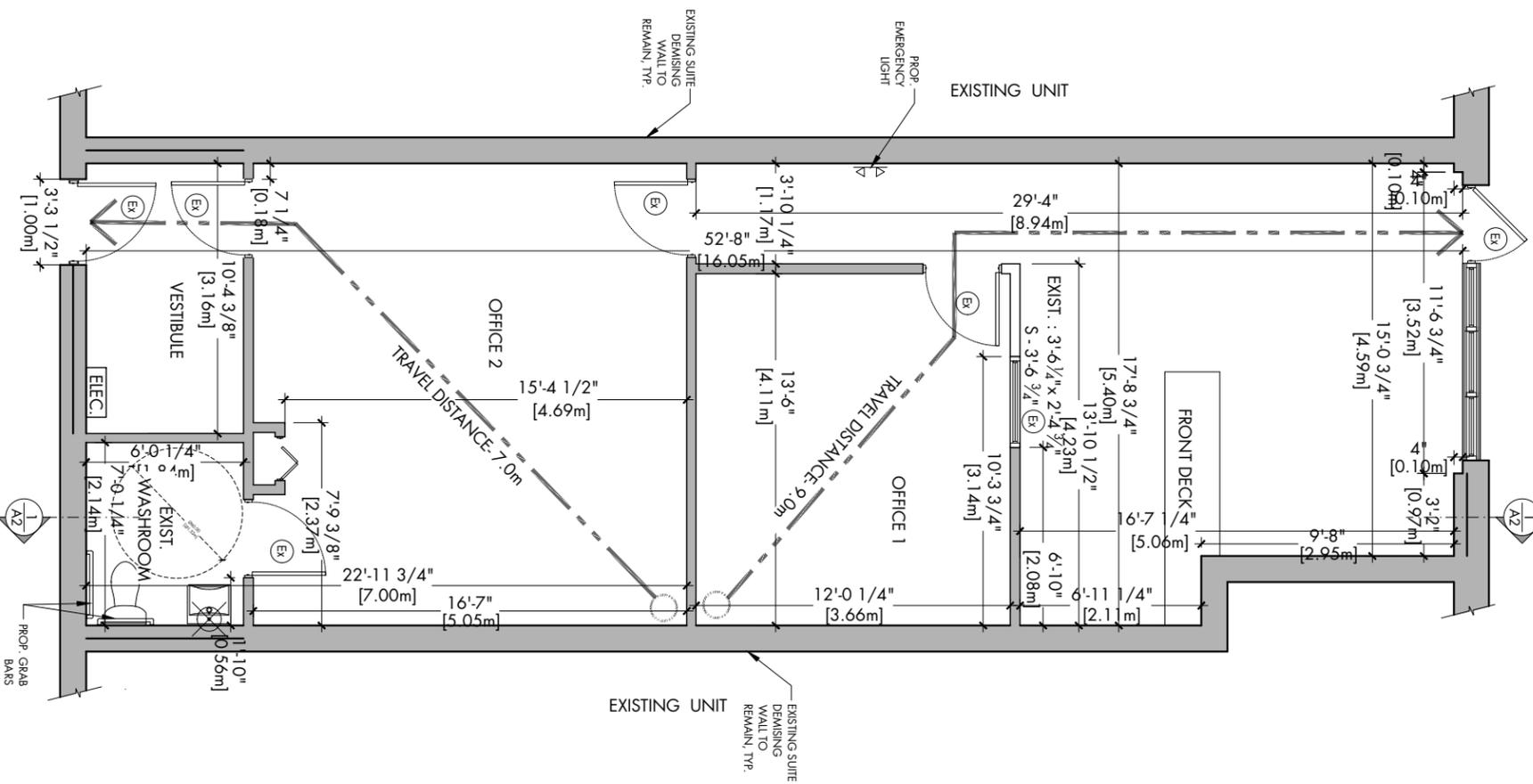
CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF THE WORK. ALL DRAWINGS & SPECIFICATIONS ARE PROPERTY OF ACADIA DESIGN CONSULTANTS INC. AND MUST BE RETURNED UPON COMPLETION OF THE WORK. DRAWINGS ARE NOT TO BE USED FOR OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.

REVISIONS & ISSUES:

| # | DATE | DESCRIPTION |
|---|------------|---------------------------------------|
| 1 | 2020.12.17 | SUBMITTED TO CLIENT FOR DESIGN REVIEW |

ACADIA
design+consultants

Phone: +1 (647) 478-0292
Fax: +1 (877) 347-3479
www.AcadiaDC.ca



1 Existing Ground Floor Plan
A2 1:75

**To permit the
use of a car
rental service.**

| WALL LEGEND | |
|---------------|---|
| | EXISTING EXTERIOR / FOUNDATION WALL |
| | EXISTING INTERIOR PARTITION WALL |
| | EXISTING INTERIOR WALL TO BE DEMOLISHED |
| DOOR SCHEDULE | |
| | EXIST. 3'-0" DOOR TO REMAIN (Ex) |
| LEGEND | |
| | CEILING EXHAUST FAN |
| | FLOOR/CEILING SUPPLY REGISTER |
| | FLOOR/CEILING SUPPLY REGISTER |
| | MAINTENANCE / VENT.. |
| | LIGHT SWITCH |
| | LIGHT |
| | POT LIGHT |
| | EXISTING DOOR/WINDOW |
| | EXISTING SPRINKLERS |
| | EXIT SIGN & EMERGENCY LIGHT COMBO |
| | EMERGENCY LIGHT |

DO NOT SCALE
CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF THE WORK. ALL DRAWINGS & SPECIFICATIONS ARE PROPERTY OF ACADIA DESIGN CONSULTANTS INC. AND MUST BE RETURNED UPON COMPLETION OF THE WORK. DRAWINGS ARE NOT TO BE USED FOR OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.

REVISIONS & ISSUES:

| # | DATE | DESCRIPTION |
|---|------------|------------------------------------|
| 1 | 2020.12.17 | ISSUED TO CLIENT FOR DESIGN REVIEW |

DRAWN BY: PS CHECKED BY: EG

Existing Floor Plan

A2

Scale: 1:75

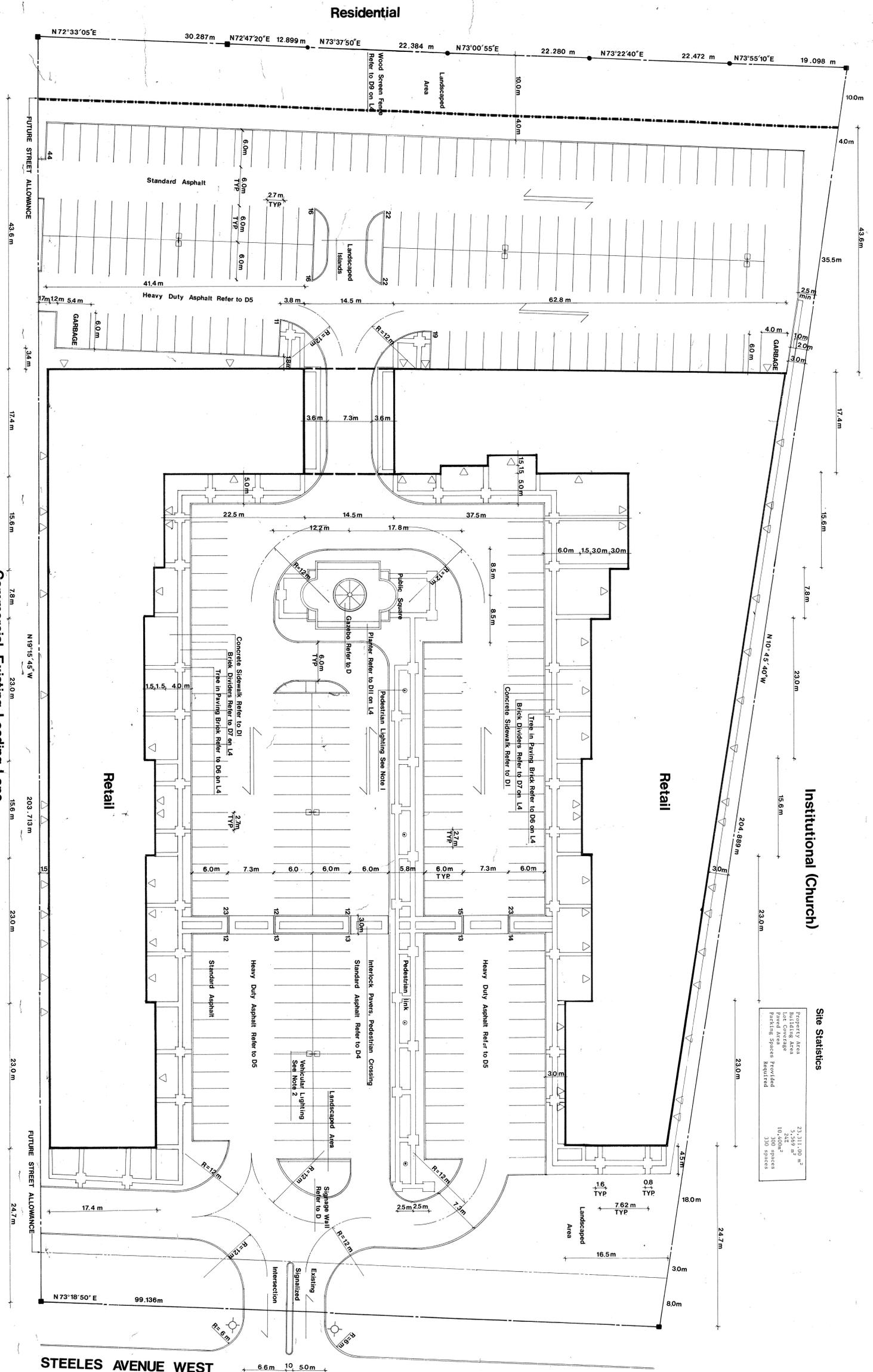
Date: Dec. 17, 2020

CHANGE OF USE

Project: 100 Steeles Ave W, Unit 15A, Vaughan, On. L4J 7Y1

Phone: +1 (647) 478-9292
Fax: +1 (877) 347-3479
www.AcadiaDC.ca





Site Statistics

| | |
|--------------------------|--------------------------|
| Property Area | 23,311.00 m ² |
| Building Area | 5,349 m ² |
| Lot Coverage | 23% |
| Landscaped Area | 10,400 m ² |
| Planting Spaces Provided | 300 spaces |
| Planting Spaces Required | 330 spaces |

Institutional (Church)

Retail

Retail

Commercial - Existing Loading Lane

Residential

STEELES AVENUE WEST

Legend

- PROPERTY LINE
- PROPOSED ENTRANCE/EXIT
- EXISTING SIGNAL, LIGHTS, RELOCATED
- LIGHT STANDARDS, VEHICULAR
- LIGHT STANDARDS, PEDESTRIAN
- WOOD SCREEN FENCE



Project
Yorkville North
Vaughan, Ontario

Site Plan
JAMES A. RICE LTD.
Engineers and Constructors



ARCHITECTURE
PLANNING
SITE SERVICES
LANDSCAPE ARCHITECTURE

100 York Boulevard
Suite 120
Richmond Hill, Ontario
L4B 1J8
(416) 222-5550

Date: April 22, 88
Revision: 1
Scale: 1:250
Drawn: JK
Stamp

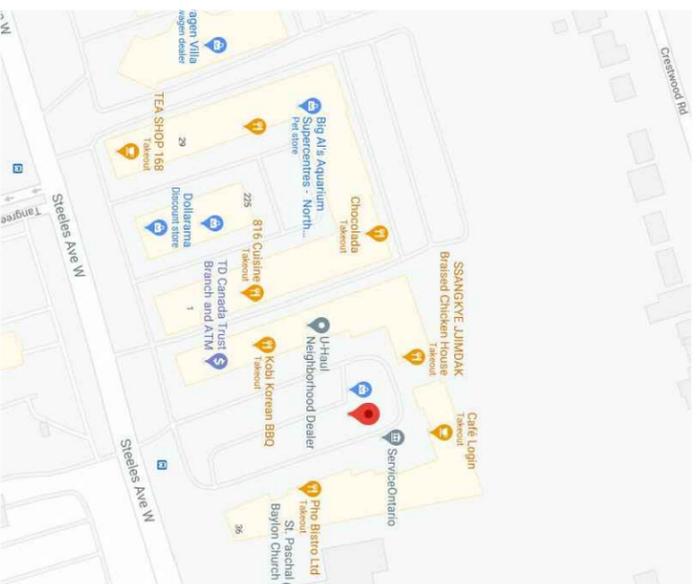
Drawing No. 1

SCOPE OF WORK: ZONING AMENDMENT

KEY PLAN: 100 Steeles Ave W, Unit 15A, Vaughan, ON L4J 7Y1

INDEX SHEET:

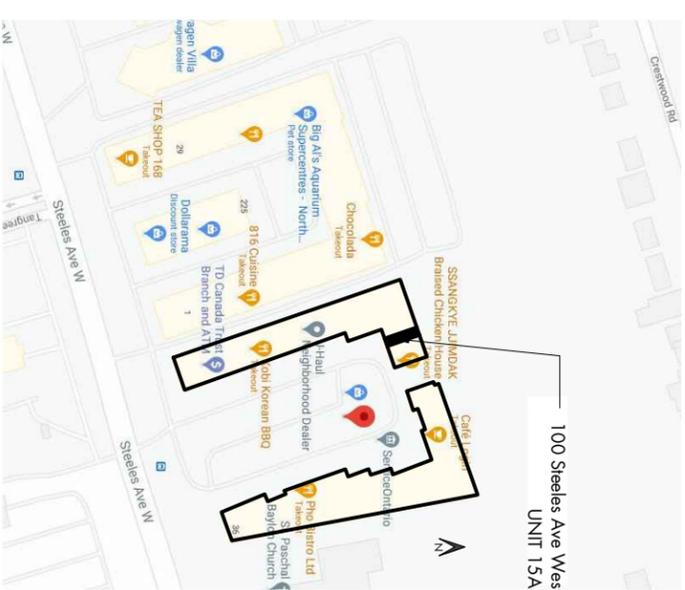
- A0 COVER PAGE
- A1 SITE PLAN
- A2 EXISTING GROUND FLOOR PLAN
- A3 REFLECTED CEILING PLAN / ELECTRICAL LAYOUT
- A4 CROSS SECTION



- GENERAL NOTES (APPLY TO ALL SHEETS):**
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL OF THE CONSTRUCTION CONFORMS TO THE REQUIREMENTS OF THE LATEST VERSION OF THE ONTARIO BUILDING CODE.
 - IF ANY DISCREPANCIES FOUND IN DRAWINGS, IT IS CONTRACTOR'S RESPONSIBILITY TO INFORM ARCHITECT/ENGINEER BEFORE PROCEEDING THE WORK.
 - CONTRACTOR TO CAREFULLY EXAMINE ALL EXISTING SITE CONDITIONS AND BUILDING COMPONENTS, ALONG WITH ALL DIMENSIONS WHICH MAY AFFECT PROPER EXECUTION OF THE WORK, SO THAT A CLEAR AND COMPREHENSIVE UNDERSTANDING OF THE SCOPE OF WORK IS ACHIEVED.
 - WHERE EXISTING CONSTRUCTION TO REMAIN IS DAMAGED BY CONTRACTOR'S DEMOLITION WORK, THE CONSTRUCTION MUST BE REPAIRED TO MATCH EXISTING.
 - WHERE WALLS OR PORTION OF WALLS ARE TO BE REMOVED, THE CONTRACTOR IS TO INCLUDE FOR REMEDIAL WORK NECESSARY TO LEVEL ADJACENT FLOORS.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY WHEN DEMOLISHING THE EXISTING WALLS AND CEILINGS TO ENSURE THAT ELECTRICAL SERVICES WITHIN WALLS AND CEILINGS ARE NOT LIVE. CONTRACTOR TO REROUTE ELECTRICAL IF NECESSARY.
 - AT LOCATIONS WHERE EXISTING WALLS, PIPING, DUCTWORK, AND MILLWORK ARE TO BE REMOVED, CONTRACTOR SHALL REPAIR AND MAKE GOOD AFFECTED SURFACES TO MATCH EXISTING.
 - DIMENSION INDICATING EXISTING CONSTRUCTION IS FOR REFERENCE ONLY. CONTRACTOR TO VERY DIMENSIONS AT FIELD THAT AFFECT WORK
 - SHADED AREAS REPRESENTS EXISTING CONSTRUCTION TO REMAIN.
 - ALL INTERIOR PARTITION DIMENSIONS ARE TO FINISHED FACE OF WALL, U.N.O.
 - ALL DOOR JAMB ROUGH OPENINGS ARE TO BE 4" FROM ADJACENT WALL ON HINGE SIDE AT GYPSUM WALLS U.N.O.
 - ALL INTERIOR WALLS ARE TYPE P2, U.N.O. IN PLAN.
 - IF ANY DISCREPANCIES FOUND IN DRAWINGS, IT IS CONTRACTOR'S RESPONSIBILITY TO INFORM ARCHITECT/ENGINEER BEFORE PROCEEDING THE WORK.

- DEMOLITION NOTES:**
- CAREFULLY EXAMINE ALL EXISTING SITE CONDITIONS AND BUILDING COMPONENTS, ALONG WITH ALL DIMENSIONS WHICH MAY AFFECT PROPER EXECUTION OF THE WORK, SO THAT A CLEAR AND COMPREHENSIVE UNDERSTANDING OF THE SCOPE OF WORK IS ACHIEVED.
 - THE TERM "DEMOLISH" SHALL MEAN DETACH ITEMS FROM EXISTING CONSTRUCTION AND LEGALLY DISPOSE OF THEM OFF SITE.
 - WHERE EXISTING CONSTRUCTION TO REMAIN IS DAMAGED BY CONTRACTOR'S DEMOLITION WORK, THE CONSTRUCTION MUST BE REPAIRED TO MATCH EXISTING.
 - ALL DEMOLITION AND EXPOSURE OF INTERIOR SURFACES TO THE EXTERIOR SHALL BE IMMEDIATELY FOLLOWED BY PROTECTIVE CONSTRUCTION. CONTRACTOR SHALL PROVIDE AND INSTALL TEMPORARY PROTECTION IN ALL OPENINGS WHERE EXTERIOR DOORS OR ROOFTOP/MECH. EQUIPMENT HAVE BEEN REMOVED/REPLACED/ADDED.
 - AT LOCATIONS WHERE EXISTING WALLS, PIPING, DUCTWORK, AND MILLWORK ARE TO BE REMOVED, CONTRACTOR SHALL REPAIR AND MAKE GOOD AFFECTED SURFACES TO MATCH EXISTING.
 - ALL EXISTING FURNITURE, APPLIANCES, AND EQUIPMENT ARE TO BE REMOVED BY THE OWNER PRIOR TO THE DEMOLITION WORK COMMENCING UNLESS NOTED OTHERWISE.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY WHEN DEMOLISHING THE EXISTING WALLS AND CEILINGS TO ENSURE THAT ELECTRICAL SERVICES WITHIN WALLS AND CEILINGS ARE NOT LIVE. CONTRACTOR TO REROUTE ELECTRICAL IF NECESSARY.
 - IN THE DETERMINED AREA OF WORK, AT LOCATIONS WHERE NEW DOOR OPENINGS ARE TO BE PROVIDED THROUGH EXISTING WALL CONSTRUCTION ASSEMBLIES, CONTRACTOR TO REPAIR WALL TO MATCH EXISTING AND PROVIDE GOOD TRANSITION BETWEEN EXISTING AND NEW FLOOR CONSTRUCTION ASSEMBLIES.
 - AT LOCATIONS WHERE EXISTING MECHANICAL AND ELECTRICAL COMPONENTS WHICH ARE GOING THROUGH EXISTING CONCRETE SLAB ARE TO BE REMOVED, CONTRACTOR TO REPAIR EXISTING CONCRETE SLAB TO MATCH EXISTING. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS.
 - IN THE DETERMINED AREA OF WORK, ALL EXISTING ELECTRICAL FIXTURES AND DEVICES C/W CONDUITS AND WIRING ETC. TO BE REMOVED. REFER TO ELECTRICAL DRAWINGS.
 - IN THE DETERMINED AREA OF WORK, ALL EXISTING MECHANICAL SYSTEMS, PLUMBING FIXTURES, DUCT WORK, PIPES, RADIATORS, ETC. TO BE REMOVED. REFER TO MECHANICAL DRAWINGS.
 - ALL EXISTING STRUCTURAL COLUMNS AND BEAMS ARE TO REMAIN UNLESS NOTED OTHERWISE. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - AT LOCATION WHERE EXISTING PARTITIONS, PLUMBING FIXTURES ARE TO BE REMOVED, THE EXISTING FLOOR IS TO BE REPAIRED TO MATCH EXISTING.

| Item | Ontario Building Code Matrix | OBC Reference |
|------|---|--|
| 1 | Project Description : Interior GOLF SIMULATION BAYS New <input type="checkbox"/> Addition <input type="checkbox"/> Change Of Use <input checked="" type="checkbox"/> Int. Alt. <input type="checkbox"/> | Part 3 Part 9 Part 10 |
| 2 | GROUP 1 CAR RENTAL (PROPOSED) Major Occupancy Management Office (EXISTING) | GROUP 1 3.1.2.1(1) 9.10.20 3.1.2.1(1) |
| 3 | Building Area (m ²): / Tenant area=92.02 ² | 1.4.1.2. |
| 4 | PROPOSED CONSTRUCTION AREA 92.02 m ² | 1.4.1.2. |
| 5 | No. of Storeys : Above Grade: 1 Below Grade: 0 | 1.4.1.2. & 9.10.4. 3.2.1.1. |
| 6 | Height of Building (m):- m | 3.2.1.1. 1.4.1.2. & 9.10.4. 3.2.1.1. |
| 7 | No. of Streets/ Access Routes: 1 | 3.2.2.10 & 3.2.5. 9.10.20 |
| 8 | Building Classification: Existing To Remain | |
| 9 | Sprinkler System Proposed: Entire UNIT <input checked="" type="checkbox"/> Basement Only <input type="checkbox"/> In Lieu of Roof Rating <input type="checkbox"/> None <input type="checkbox"/> | 3.2.1.5. & 3.2.2.17. 9.10.8.2.4 |
| 10 | Standpipe Required | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> 3.2.9. |
| 11 | Fire Alarm Required | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> 3.2.4. 9.10.18. |
| 12 | Water Service/Supply is Adequate | Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> |
| 13 | High Building | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> 3.2.6. |
| 14 | Construction Combustible <input type="checkbox"/> Non-Combustible <input type="checkbox"/> Both <input checked="" type="checkbox"/> | 3.2.2.20-83 & 3.2.1.4. 9.10.6. |
| 15 | Mezzanine(s) Area (m ²) not Applicable | 3.2.1.1. 9.10.4.1. |
| 16 | Occupancy Load Total (Existing to Remain) design of building | 3.1.17. 3.1.17. |
| 17 | Washroom Fixtures Existed: 1 | 9.31 & 3.7.4 |
| 18 | Hazardous Substances | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> 3.3.1.2. & 3.3.1.19. 9.10.1.3. |
| 19 | Barrier Free: Required | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> |



ACADIA
design•consultants

Phone: +1 (416) 478-0292
Fax: +1 (877) 347-3479
www.AcadiaDC.ca

DO NOT SCALE

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REVISIONS & ISSUES:

| # | DATE | DESCRIPTION |
|---|------------|------------------------------------|
| 1 | 2020.12.17 | ISSUED TO CLIENT FOR DESIGN REVIEW |

| DRAWN BY: | CHECKED BY: |
|-----------|-------------|
| PS | EG |

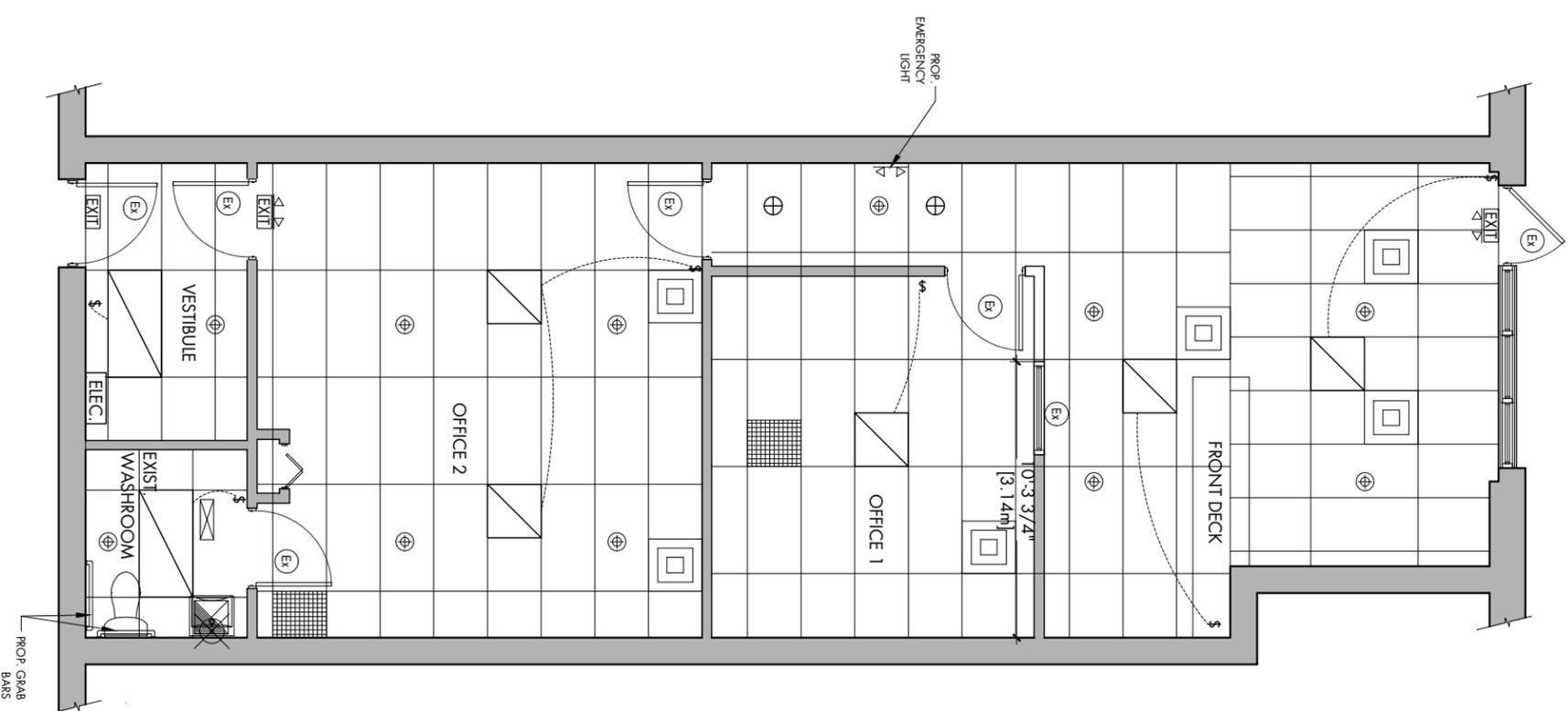
Cover Page

A0

Scale: N.T.S.
Date: Dec. 17, 2020

CHANGE OF USE

Project: 100 Steeles Ave W, Unit 15A,
Vaughan, On.
L4J 7Y1



2 Existing Reflected Ceiling Plan

A3 1:75

| WALL LEGEND | |
|-------------|---|
| | EXISTING EXTERIOR / FOUNDATION WALL |
| | EXISTING INTERIOR PARTITION WALL |
| | EXISTING INTERIOR WALL TO BE DEMOLISHED |

| DOOR SCHEDULE | |
|---------------|----------------------------------|
| EXISTING DOOR | EXIST. 3'-0" DOOR TO REMAIN (Ex) |

| LEGEND | |
|--------|-----------------------------------|
| | CEILING EXHAUST FAN |
| | FLOOR/CEILING SUPPLY REGISTER |
| | MAINTENANCE / VENT.. |
| | LIGHT SWITCH |
| | LIGHT |
| | POT LIGHT |
| | EXISTING DOOR/WINDOW |
| | EXISTING SPRINKLERS |
| | EXIT SIGN & EMERGENCY LIGHT COMBO |
| | EMERGENCY LIGHT |

DO NOT SCALE
 CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF THE WORK. ALL DRAWINGS & SPECIFICATIONS ARE PROPERTY OF ACADIA DESIGN CONSULTANTS INC. AND MUST BE RETURNED UPON COMPLETION OF THE WORK. DRAWINGS ARE NOT TO BE USED FOR OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.

REVISIONS & ISSUES:

| # | DATE | DESCRIPTION |
|---|------------|------------------------------------|
| 1 | 2020.12.17 | ISSUED TO CLIENT FOR DESIGN REVIEW |

DRAWN BY: PS
 CHECKED BY: EG
 Existing R.C.P.

Drawing: A3
 Scale: 1:75
 Date: Dec. 17, 2020

CHANGE OF USE

Project: 100 Steeles Ave W, Unit 15A, Vaughan, On. L4J 7Y1

Phone: +1 (647) 478-0292
 Fax: +1 (877) 347-3479
 www.AcadiaDC.ca

Schedule B: Public Correspondence Received

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum.

None

Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum.-

Alectra (Formerly PowerStream) – No concerns or objections

Region of York – No concerns or objections

MTO – Located outside of MTO permit control area



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

Mr. Tony D'Onofrio
Supervisor, Subdivisions (Alectra East)
Phone: 1-877-963-6900 ext. 24419

E-mail: stephen.cranley@alectrautilities.com

Email: tony.donofrio@alectrautilities.com

Providence, Lenore

Subject: FW: A061-21 - REQUEST FOR COMMENTS - #15A-100 Steeles Ave, Thornhill (Full Circulation)

From: Mulrenin, Colin (MTO) <Colin.Mulrenin@ontario.ca>

Sent: March-31-21 5:09 PM

To: Providence, Lenore <Lenore.Providence@vaughan.ca>

Cc: Blaney, Cameron (MTO) <Cameron.Blaney@ontario.ca>

Subject: [External] RE: A061-21 - REQUEST FOR COMMENTS - #15A-100 Steeles Ave, Thornhill (Full Circulation)

Good afternoon,

The property at #15A-100 Steeles Ave is not within the MTO permit control area and MTO has no comments.

Colin Mulrenin | Corridor Management Officer | York

Highway Corridor Management Section – Central Operations

159 Sir William Hearst Avenue | Ministry of Transportation

7th Floor, Building D | Downsview, Ontario | M3M 0B7

Colin.Mulrenin@ontario.ca

Providence, Lenore

Subject: FW: A061-21 - REQUEST FOR COMMENTS - #15A-100 Steeles Ave, Thornhill (Full Circulation)

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: April-07-21 3:46 PM

To: Providence, Lenore <Lenore.Providence@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A061-21 - REQUEST FOR COMMENTS - #15A-100 Steeles Ave, Thornhill (Full Circulation)

Good afternoon Lenore,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Gabrielle

Gabrielle Hurst MCIP RPP | Community Planning and Development Services | The Regional Municipality of York | 1-877
464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca