**ITEM: 6.4** 

## REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A009/25

Report Date: Friday, May 30, 2025

### THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING DEPARTMENTS & AGENCIES (SEE SCHEDULE B):

Additional comments from departments and agencies received after the publication of the report will be made available on the City's <u>website</u>.

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Committee of Adjustment	Yes □	No ⊠	General Comments
Building Standards (Zoning)	Yes □	No ⊠	General Comments
Development Planning	Yes □	No ⊠	Recommend Approval/No Conditions
Development Engineering	Yes □	No □	Application Under Review
Development Finance	Yes □	No ⊠	General Comments

External Agencies *Comments Received	Conditions	Required	Nature of Comments *See Schedule B for full comments
Alectra	Yes □	No ⊠	General Comments
Region of York	Yes □	No ⊠	General Comments
TRCA	Yes ⊠	No □	General Comments w/Conditions

#### PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Kaley Hernandez	56 Foley Crescent	03/03/2025	Letter of Support
Public	Clelia & Rob Proia	82 Sir Modesto Court	03/03/2025	Letter of Support
Public	Steve Paraskevopoulos	103 Sir Modesto Court	03/03/2025	Letter of Support
Public	Ken Aslan	200 Farrell Road	03/03/2025	Letter of Support

BACKGROUND (SCHEDULE D, IF REQUIRED)		
* Background Information contains historical development approvals considered to be related to this file.  This information should not be considered comprehensive.		
Application No. (City File) Application Description		
(i.e. Minor Variance Application; Approved by COA / OLT)		
N/A	N/A	

ADJOURNMENT HISTORY		
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.		
Hearing Date		Reason for Adjournment (to be obtained from NOD_ADJ)
N/A N/A		

SCHEDULES		
Schedule A	Drawings & Plans Submitted with the Application	
Schedule B	Comments from Agencies, Building Standards & Development Planning	
Schedule C (if required)	Public & Applicant Correspondence	
Schedule D (if required)	Background	



### MINOR VARIANCE APPLICATION FILE NUMBER A009/25

CITY WARD #:	4
APPLICANT:	Laura Faye Anava & Oren James Anava
A OFNIT.	Contono o Ctudio
AGENT:	Contempo Studio
PROPERTY:	108 Sir Modesto Court, Maple
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	N/A
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed two-storey dwelling.

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

The subject lands are zoned R2A – Second Density Residential Zone and subject to the provisions of Exception 14.847& 850 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The maximum permitted encroachment for an access stair, open, unenclosed is 1.8m into the minimum required rear yard of 7.5m. Sect 4.13	To permit access stairs to encroach a maximum of 1.93m into the minimum required rear yard of 7.5m.
2	A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall. The height of the retaining wall at the west lot line is 2.31m therefore the required setback is 2.31m.  Sect. 4.13	To permit a minimum setback of 0.0m for the retaining wall at the west lot line.
3	A minimum setback of 2.04m is required from the west lot line to the retaining wall (window well) Sect. 4.13	To permit a retaining wall (window well) with a height of 2.04m to be setback a minimum of 1.0m from the west lot line.
4	A minimum setback of 2.02m is required from the east lot line to the retaining wall (window well) Sect. 4.13	To permit a retaining wall (window well) with a height of 2.02m to be setback a minimum of 0.57m from the east lot line.
5	An uncovered platform (paverstone terrace/grassed area) with a floor height greater than 1.2m as measured above grade and including access stairs, is permitted to encroach to a maximum of 2.4m into the minimum required rear yard of 7.5m.	To permit an uncovered platform (paverstone terrace/grassed area) with a floor height of 2.6m to encroach into the minimum rear yard of 7.5m a maximum of 4.41m.

#### **HEARING INFORMATION**

DATE OF MEETING: Thursday, June 5, 2025

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

#### **PUBLIC PARTICIPATION**

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the Request to Speak Form and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the Request to Speak Form on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS <u>NOON</u> ON THE LAST BUSINESS DAY BEFORE THE MEETING.

#### **INTRODUCTION**

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT		
Date Public Notice Mailed:	May 22, 2025	
Date Applicant Confirmed Posting of Sign:	April 17, 2025	
Applicant Justification for Variances: *As provided in Application Form	Does not comply with By-laws	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:  *ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.	Yes □ No ⊠	
COMMENTS:		
None		
Committee of Adjustment Recommended Conditions of Approval:	None	

BUILDING	STANDARDS (ZONING)	
**See Schedule B for Building Standards (Zoning) Comments		
Building Standards Recommended Conditions of Approval:	None	

DEVELOPMENT PLANNING	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:  None	

# DEVELOPMENT ENGINEERING Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation TBD Development Engineering Recommended Conditions of Approval:

PARKS, FORESTRY & HORTICULTURE (PFH)	
No comments received to date.	
PFH Recommended Conditions of Approval:	

DEVELOPMENT FINANCE		
No comment no concerns		
Development Finance Recommended Conditions of Approval:	None	

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES			
No comments received to date.			
BCLPS Recommended Conditions of Approval:	None		

BUILDING INSPECTION (SEPTIC)		
No comments received to date.		
Building Inspection Recommended Conditions of Approval:	None	

FIRE DEPARTMENT				
No comments received to date.				
Fire Department Recommended Conditions of Approval:				

#### RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering	TBD
	jonal.hall@vaughan.ca	
2	TRCA	That the applicant provides the required fee
	yorkplan@trca.ca	amount of \$660.00 payable to the Toronto and
		Region Conservation Authority.

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#### **IMPORTANT INFORMATION**

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

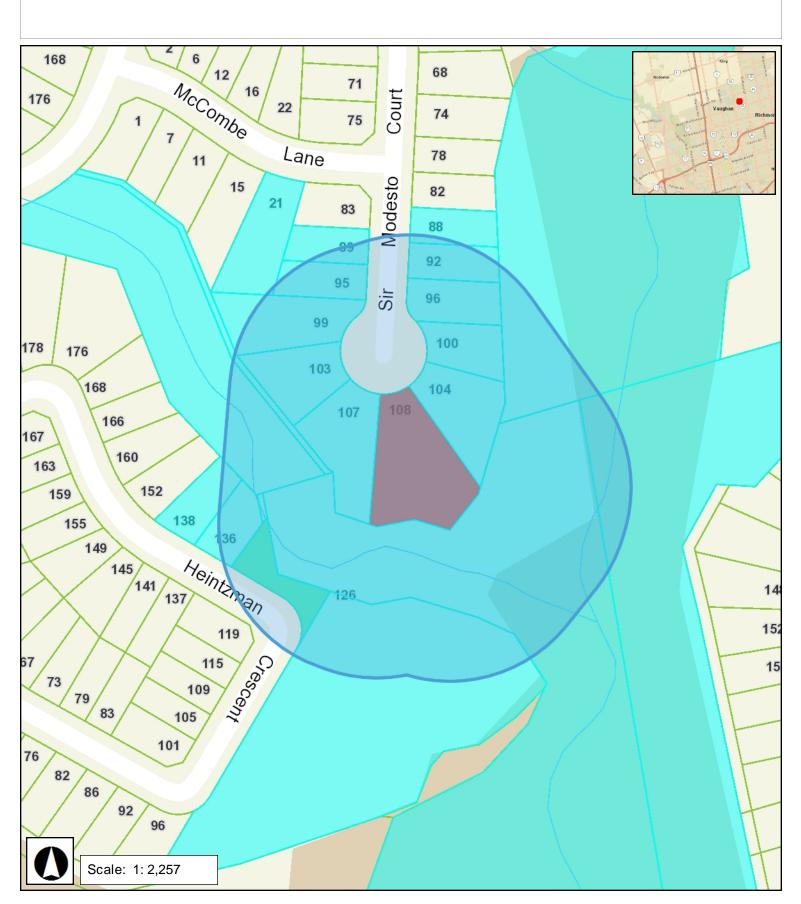
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

#### **SCHEDULE A: DRAWINGS & PLANS**



### VAUGHAN Minor Variance Application: A009/25









KEY PLA

(1) 3D View 1



(2) 3D View 2



#### PROJECT:

108 SIR MODESTO COURT, VAUGHAN, ON

Project number: 2023-26

Date: FEBRUARY, 2025

ISSUED FOR: PERMIT SUBMISSION

ARCHITECTURAL DESIGN CONTRACTOR CONTEMPO STUDIO

1140 THE QUEENSWAY
Toronto, Ontario M8Z 1P7
info@contempostudio.ca
w. contempostudio.ca
t. 416 770 0071
f. 416 642 1691

#### A5.1 ROOF PLAN

Sheet Number

A0.4

A1.1

A2.1

A2.2

A3.1

A5.2 ROOF PLAN (REAR YARD)
A6 FRONT (NORTH) ELEVATION
A7 LEFT (NORTHEAST) ELEVATION

COVER PAGE 3D VIEWS

SITE PLAN

GENERAL NOTES

BASEMENT PLAN

FIRST FLOOR PLAN

SECOND FLOOR PLAN

CONSTRUCTION NOTES

LANDSCAPE DIAGRAM

CONSTRUCTION ASSEMBLIES

LOT COVERAGE & GFA DIAGRAMS

BASEMENT PLAN (REAR YARD)

FIRST FLOOR PLAN (REAR YARD)

A8 LEFT (EAST) ELEVATION
A9 REAR (SOUTHEAST) ELEVATION
A10 REAR (SOUTH) ELEVATION

A11 RIGHT (WEST) ELEVATION
A12 WINDOW & DOOR SCHEDULES 1
A13 WINDOW & DOOR SCHEDULES 2

A14 ELEVATION AREAS 1 (FOR HVAC USE ONLY)
A15 ELEVATION AREAS 2 (FOR HVAC USE ONLY)

Sheet List

**Sheet Name** 

A16 SECTION 1
A17 SECTION 2
A18 SECTION 3

A19 SECTION 4
A20 SECTIONS - CABANA
A21 3D SECTION

A22 3D SECTION
A23 DETAILS
A24 DETAILS
A25 DETAILS

A26 RETAINING WALL SECTIONS

STRUCTURAL ENGINEERS

HVAC CONSULTANT

No. Issued for: Date

This drawing, as an instrument of service, is provided by and is the property of Contempo Studio. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Contempo Studio of any variations from the supplied

The designer is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked 'for construction' must assume full responsibility and bear costs for any corrections or

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of any article without the express written permission.

information.

This drawing is not to be scaled.

damages resulting from his work.

<u>CEVI</u>

### contempostudio

1140 The Queensway, Toronto, Ontario M8Z 1P7 info@contempostudio.ca w. contempostudio.ca t. (416) 770-0071 f. (416) 642-1691

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

QUALIFICATION INFORMATION

Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

MARIN ZABZUNI

45250

MARIN ZABZUNI
NAME
SIGNATURE
REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.
CONTEMPO STUDIO
FIRM NAME
B

PROPOSED 2-STOREY DWELLING

108 SIR MODESTO COURT, VAUGHAN, ON

COVER PAGE

Project number: 2023-26
Rev. no.:
Scale:
Date: FEBRUARY, 2025
Drawn by: J.T. & S.V.
Approved by: M.Z.

Drawing number:

(3) 3D View 3



1 3D View 4



5 3D View 5

This drawing, as an instrument of service, is provided by and is the property of Contempo Studio. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Contempo Studio of any variations from the supplied information.

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SEAL

Issued for:

### **contempo**studio

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MARIN ZABZUNI

NAME

SIGNATURE

BCIN

NAME SIGNATURE
REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.
CONTEMPO STUDIO
FIRM NAME

PROPOSED 2-STOREY DWELLING

108 SIR MODESTO COURT, VAUGHAN, ON

3D VIEWS

Project number:
Rev. no.:
Scale:
Date:
Drawn by:
Approved by:

Drawing number:

A0.1

2023-26

FEBRUARY, 2025 J.T. & S.V.



### 2 ESTABLISHED GRADE CALCULATION 1" = 20'-0"

Wall Segment	Wall Start Grade	Wall End Grade	Wall Average Grade	Wall Length	Product
1	239.78	239.78	239.78	3.82	915.96
2	239.78	239.78	239.78	2.21	529.91
3	239.78	239.78	239.78	7.21	1,728.81
4	239.78	239.78	239.78	1.54	369.26
5	239.78	239.65	239.72	3.23	774.28
6	239.78	239.65	239.72	3.45	827.02
7	239.65	239.55	239.60	5.13	1,229.15
Total			1,678.15	26.59	6,374.39



Section 1:	: Site Management
#	Standard Notes
1	Erosion and Sediment Control (ESC) measures will be implemented prior to, and maintained during the construction phases, to preven of sediment into the water. All damaged erosion and sediment control measures should be repaired and/or replaced within 48 hours of inspection.
2	Disturbed areas will be minimized to the extent possible, and temporarily or permanently stabilized or restored as the work progresses
3	All in-water and near-water works will be conducted in the dry with appropriate erosion and sediment controls.
4	The erosion and sediment control strategies outlined on the plans are not static and may need to be upgraded/amended as site condit change to minimize sediment laden runoff from leaving the work areas. If the prescribed measures on the plans are not effective in preventing the release of a deleterious substance, including sediment, then alternative measures must be implemented immediately to minimize potential ecological impacts. TRCA Enforcement Officer should be immediately contacted. Additional ESC measures to be kep site and used, as necessary.
5	An Environmental Monitor will attend the site to inspect all new controls immediately after installation. Inspection of ESC measures to occur, at minimum:  • On a weekly basis;  • Prior to significant rainfall events (minimum predicted 25mm over 24 hours);  • After every rainfall/snowmelt event; and Daily during extended rainfall periods.  Inspections will focus on measures related to erosion and sediment controls, dewatering or unwatering, restoration and in- or near-watering. Should concerns arise on site the Environmental Monitor will contact the TRCA Enforcement Officer as well as the proponent.
6	All activities, including maintenance procedures, will be controlled to prevent the entry of petroleum products, debris, rubble, concrete other deleterious substances into the water. Vehicular refueling and maintenance will be conducted a minimum of 30 metres from the water.
7	All grades within the Regulatory Flood Plain will be maintained or matched.
8	The proponent/contractor shall monitor the weather several days in advance of the onset of the project to ensure that the works will be conducted during favourable weather conditions. Should an unexpected storm arise, the contractor will remove all unfixed items from Regional Storm Flood Plain that would have the potential to cause a spill or an obstruction to flow, e.g., fuel tanks, porta-potties, mach equipment, construction materials, etc.
9	All dewatering/unwatering shall be treated and released to the environment at least 30 metres from a watercourse or wetland and all drain through a well-vegetated area. No dewatering effluent shall be sent directly to any watercourse, wetland or forest, or allowed to onto disturbed soils within the work area. These control measures shall be monitored for effectiveness and maintained or revised to objective of preventing the release of sediment laden water.
10	All access to the work site shall be from either side of the watercourse. No equipment or vehicles are permitted to cross through the watercourse unless approved by TRCA.
Section 2: agencies)	Construction Timing Best Management Practices (the proponent/contractor should confirm directly with applicable provincial and federal confirmation of the confirmatio
11	Prior to site disturbance the contractor/proponent should ensure that the works are in conformance with the Migratory Birds Convent Act. Please note that the general breeding bird timing window for this area is April 1st to August 31st, however, breeding activities mig initiate prior to and continue past this period.
12	Where impacts to local fish populations may occur during their spawning, nursery and migratory periods, construction timing windows apply to in-water or near-water activities. The proponent/contractor should confirm applicability and dates with appropriate provincia federal agencies.
Section 3:	Fish and Wildlife Relocation
Section 3:	Fish and Wildlife Relocation  Fish and wildlife stranded within the work area shall be captured and released live in suitable habitat upstream of the work area und supervision of qualified aquatic technical staff. The proponent/contractor should confirm requirements directly with Ministry of Natu Resources and

Please notify TRCA Enforcement Officer (xxx at 416.661-6600, ext. xxxx, email), and TRCA Project Manager (xxx at 416.661.6600, ext. xxxx,

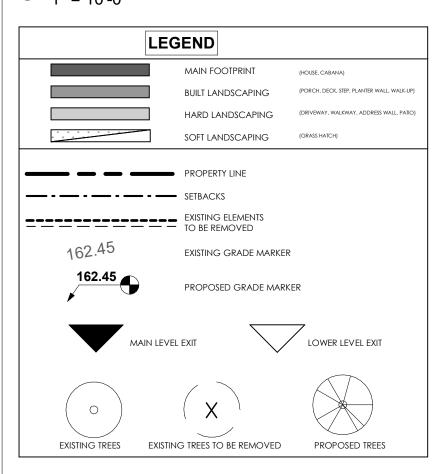
An Environmental Monitor will be on site, and provide advice, to ensure that activities that could have a negative impact to the natural

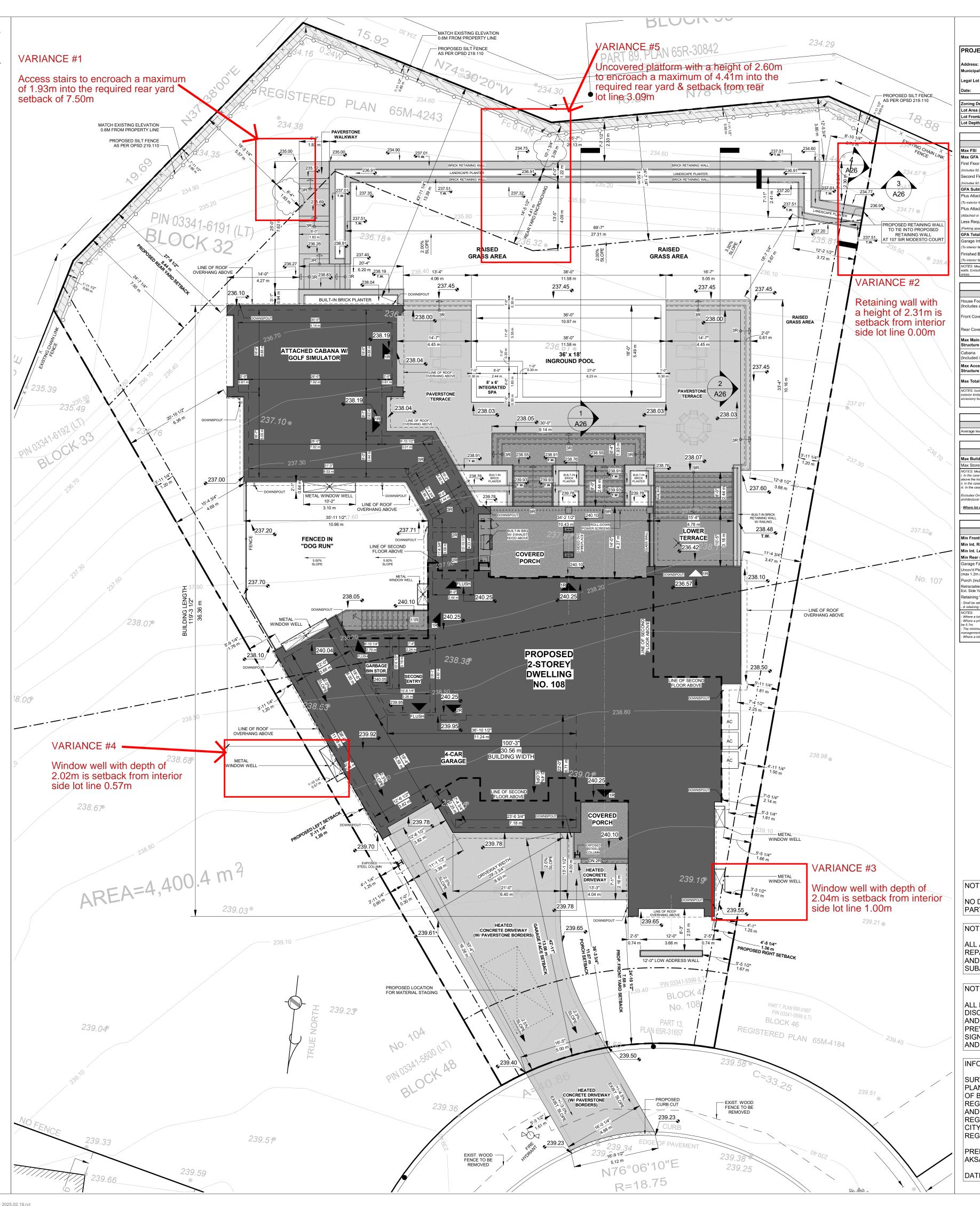
environment are effectively mitigated as construction proceeds. The Environmental Monitor shall notify the TRCA Enforcement Officer and Project Manager if issues arise.

### 1 SITE PLAN 1" = 10'-0"

Resources and

email) 48 hours prior to commencing construction.





PROJECT STATISTICS LANDSCAPE AREA 108 Sir Modesto Court, Vaughan ON COA Total Front Yard Area (Contains Driveway) TRCA Block 47, Registered Plan 65M-4184 117.72 sq.f 10.94 m Block 32, Registered Plan 65M-4243 ORM 1,073.26 sq.f 99.71 m2 111.56 m2 1,210.57 sq.f 112.47 m3 Total Front Yard 50.00% Zoning Designation: Less Hardscaping 20,631.14 sq.f 1,916.69 m2 57.73 ft 17.60 m 208.65 ft 63.60 m Lot Area (Total): Patios/Terraces 0.00 sq.f 0.00 m2 rd-surface arch. element 66.93 m2 1,087.27 sq.f 101.01 m Total Front Yard GROSS FLOOR AREA (FSI) Total Left Side Yard Area (greater than 132.00 m2) Total Left Side Yard Area 2,598.88 sq.f 241.44 m2 68.86 sq.f 6.40 m2 (Includes 92.00sf stairs. Excludes 0.00sf OTB, 25.00sf elevator, & 0.00sf mech room) 0.00 sq.f 0.00 m2 3,138.25 sq.f 291.55 m2 2,096.02 sq.f 194.73 m2 Total Left Side Yard ess Hardscaping Plus Attached Cabana 1,362.94 sq.f 126.62 m2 (To exterior face of walls) 0.00 sq.f 0.00 m2 Patios/Terraces Plus Attached Garage 1,297.88 sq.f 120.58 m2 Retaining Walls 0.00 sq.f 0.00 m2 
 0.00 sq.f
 0.00 m2

 120.67
 m2
 2,096.02 sq.f
 194.73 m2
 Attached or detached garage, to exterior face of garage walls) Hard-surface arch. elemer 331.31 sq.f 30.78 m2 Less Required Parking Total Left Side Yard Softscaping Area Parking space area = 2.7m x 5.7m = 15.39sm each. Min 2 spaces per dwelling unit required) 96.82% 8,066.64 sq.f 749.42 m2 1,189.39 sq.f 110.50 m2 Garage Interior (incl. garbage bin storage) To interior face of garage walls) Finished Basement 4,850.77 sq.f 450.65 m2 786.92 sq.f 73.11 m2 Porch & Steps ower Terrace 288.53 sq.f 26.81 m2 NOTES: Means the aggregate of the floor areas of all storeys of a building measured from the outside of the exterior walls. Excludes any basement, attic, mechanical room, electrical room, elevator shaft, and vehicle and bicycle parking. 9,136.08 sq.f 848.77 m2 Total Rear Yard LOT COVERAGE Ikway & Landscape Ste Permitted Proposed 1,258.37 sq.f 116.91 m2 Patios/Terraces 435.59 sq.f 40.47 m2 5,290.44 sq.f 491.50 m2 Retaining Walls ouse Footprint 25.64% 0.00 sq.f Hard-surface arch. element 569.21 m2 7,149.62 sq.f 664.22 m3 108.47 sq.f 10.08 m2 t Covered Porch 60.00% 70.02% 463.03 sq.f 43.02 m2 ores. The R1, R1A, R1B, R1C, R1D, R1E, R2, R2A, R3, R4, R5 & RT Zones, any portion of a yard in excess of 135.0 m2 mus In min 60% soft landscape. ar Covered Porch 5,861.94 sq.f 544.59 m2 Max Main Building/ 0.00 sq.f 0.00 sq.f Max Accessory Structure Subtotal dscape = open land used for grass, flowers, shrubs, trees, and similar vegetation, and may include granular 55.00% r limits of a building, or covered structure, and excludes eaves and gutters. The maximum lot coverage of all ory buildings / structures, excluding accessory detached garage, shall be 10% or 67.0 m2, whichever is less 29.31 ft 8.93 r Max Driveway Width Not Permitted N/A ft Average level of the ground at the front of a building or structure n Parking Spaces ories. driveway must be a stable surface and treated with a hard surface dustless material, such as asphalt, concrete, perme **BUILDING HEIGHT** paving surface, or a similar material. Circular driveway access(es) must be on same street Permitted indow Mount - Any Yard und - Int. Side Yard here lot coverage exceeds 40%, the maximum permitted height shall be 9.5 m. 1.50 m N/A ft Ground - Rear / Ext. Side Ground - Front Yard Wall Mount - Int. Side Yard 1.00 m N/A ft N/A m Wall Mount - Rear / Ext. Side 7.58 m Wall Mount - Front Yard in Front (North) 4.45 ft 1.36 m Min Int. Right Side (West) 3.94 ft 1.20 m Min Int. Left Side (East) Attached - Any Yard 0.60 m N/A ft N/A m Retractable - Front Yard Min Rear (South) 8.44 m 13.08 m Retractable - Ext. Side Yard N/A ft N/A m (max 1.2m above grade) 1.80 m N/A ft N/A m Retractable - Rear Yard 36.31 ft 11.07 m Porch (including stairs) Retractable - Int. Side Yard ctable Canopy - Front & N/A ft N/A m VARIES m VARIES ft VARIES m Front, Rear, Ext. Side Yard Retaining Wall (varies, see SP) 0.60 m N/A ft N/A m re a lot is accessed by a lane, the minimum lot frontage shall be 9.0 m and the minimum rear yard shall be 13.0m. Rear / Ext. Side Yard to encroach a maximum of 4.41m into the Not Permitted m N/A ft N/A m required rear yard & setback from rear 2.40 m 14.46 ft 4.41 m lot line 3.09m **contempo**studio 
 2.00
 m
 0.00
 ft
 0.00
 m

 Not Permitted
 m
 N/A
 ft
 N/A
 m
 Front, Rear & Ext. Side Yard 1140 The Queensway, Toronto, Ontario M8Z 1P7 info@contempostudio.ca w. contempostudio.ca 1.00 m N/A ft N/A m OUTDOOR POOL 
 2.00
 m
 INGROUND POOL

 1.50
 m
 32.55
 ft
 9.92
 m

 1.50
 m
 35.63
 ft
 10.86
 m
 Min Rear Setback ES: only permitted in rear yard. Not permitted to be any closer to exterior side yard lot line than main house. If he +1.5m, then int. side & rear yard setbacks to be 3.0m The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code. NO DEWATERING IS PROPOSED AS PART OF THIS DEVELOPMENT

ALL ASSOCIATED WORKS, FUTURE REPAIRS AND/OR REPLACEMENTS, AND ACCESS WILL OCCUR ON THE SUBJECT PROPERTY

NOTE:

ALL POOL WATER IS TO BE DISCHARGED TOWARDS THE ROAD AND AWAY FROM THE REAR YARD TO PREVENT IMPACTS TO PROVINCIALLY SIGNIFICANT WETLAND, FLOOD PLAIN, AND STREAM CORRIDOR

INFORMATION TAKEN FROM:

SURVEYOR'S REAL PROPERTY REPORT PLAN OF SURVEY OF BLOCKS 46,47 & 48 REGISTERED PLAN 65M-4184 AND BLOCKS 31,32 & 33 REGISTERED PLAN 65M-4243 CITY OF VAUGHAN REGIONAL MUNICIPALITY OF YORK

PREPARED BY: AKSAN PILLER CORPORATION LTD DATED: SEPTEMBER 8, 2023

Level Schedule				
Name	Elevatio			
LOWER BASEMENT	234.51			
BASEMENT	236.57			
LOWER BASEMENT CEILING	237.51			
FIN. LOWER BASEMENT CEILING	237.87			
CABANA FLOOR PLAN	238.19			
BASEMENT +/- 9'-2" CEILING	239.37			
BASEMENT 9'-10" CEILING	239.57			
ESTABLISHED GRADE	239.73			
EDGE OF GARAGE	239.78			
FIN. BASEMENT CEILING	239.93			
FIRST FLOOR	240.25			
CABANA 10'-0" CEILING	241.24			
F.F. CEILING	243.60			
CABANA TOP OF ROOF	243.78			
SECOND FLOOR	244.01			
GREAT ROOM 13-0" CEILING	244.21			
TOF OF GREAT ROOM	245.84			
S.F. CEILING	247.06			
TOP OF ROOF	249.94			

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Issued for:

Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.

CONTEMPO STUDIO FIRM NAME

t. (416) 770-0071 f. (416) 642-1691

QUALIFICATION INFORMATION

SIGNATURE

REGISTRATION INFORMATION

PROPOSED 2-STOREY DWELLING

ΑT

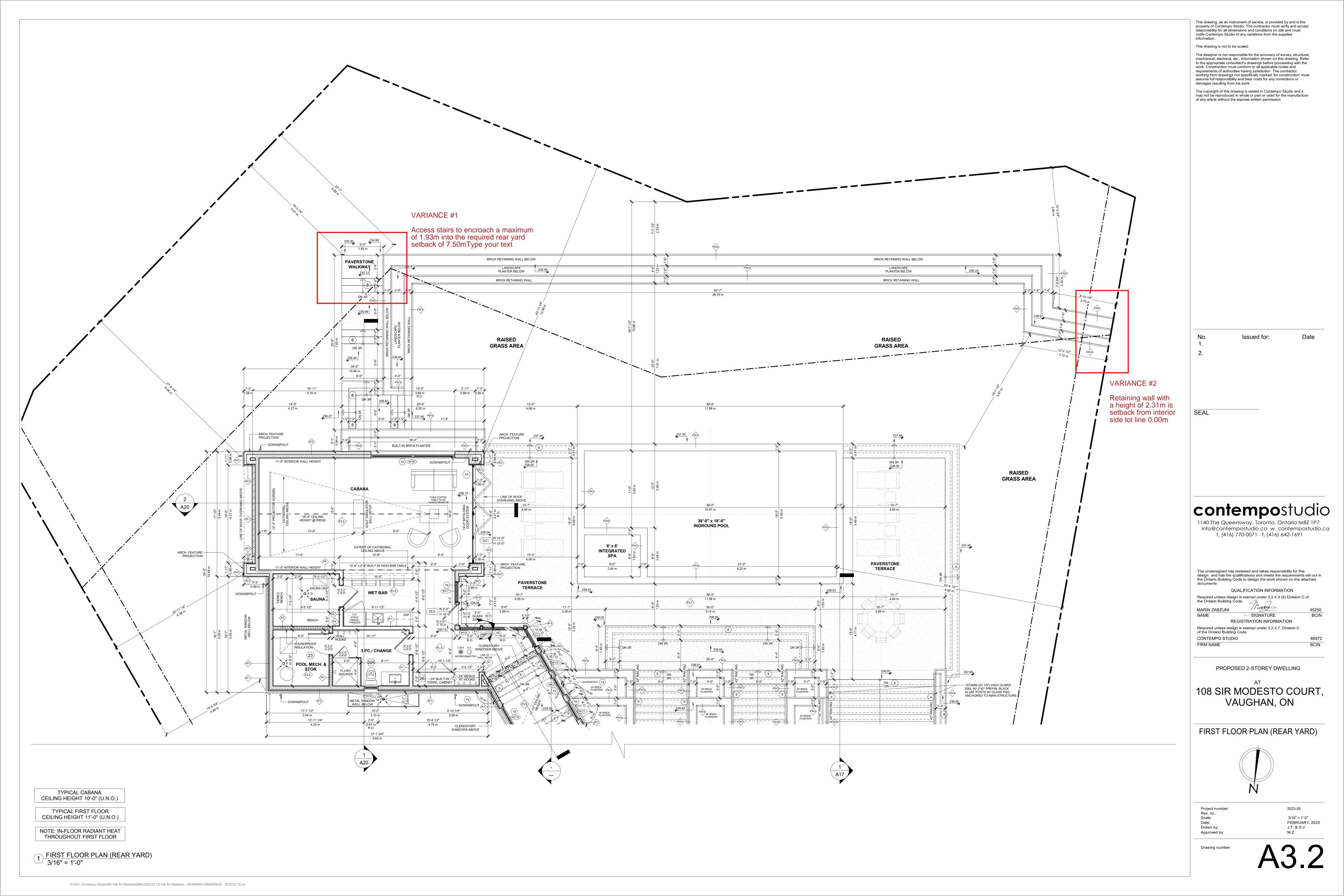
108 SIR MODESTO COURT, VAUGHAN, ON

SITE PLAN



Project number: 2023-26 Scale: As indicated FEBRUARY, 2025 Drawn by: J.T. & S.V. Approved by:

Drawing number:



STANDING SEAM METAL ROOF -STANDING SEAM METAL ROOF BEYOND ——— CABANA 10'-0" CEILING 241.24 BASEMENT 9'-10" CEILING 239.57 BASEMENT +/- 9'-2" CEILING 239.37 VARIANCE #4 Window well with depth of 2.02m is setback from interior side lot line 0.57m 600mm STEP FOOTING

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contempostudio

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The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

QUALIFICATION INFORMATION

Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

MARIN ZABZUNI

NAME

SIGNATURE

REGISTRATION INFORMATION

REGISTRATION INFORMATION

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CONTEMPO STUDIO

FIRM NAME

PROPOSED 2-STOREY DWELLING

108 SIR MODESTO COURT, VAUGHAN, ON

FRONT (NORTH) ELEVATION

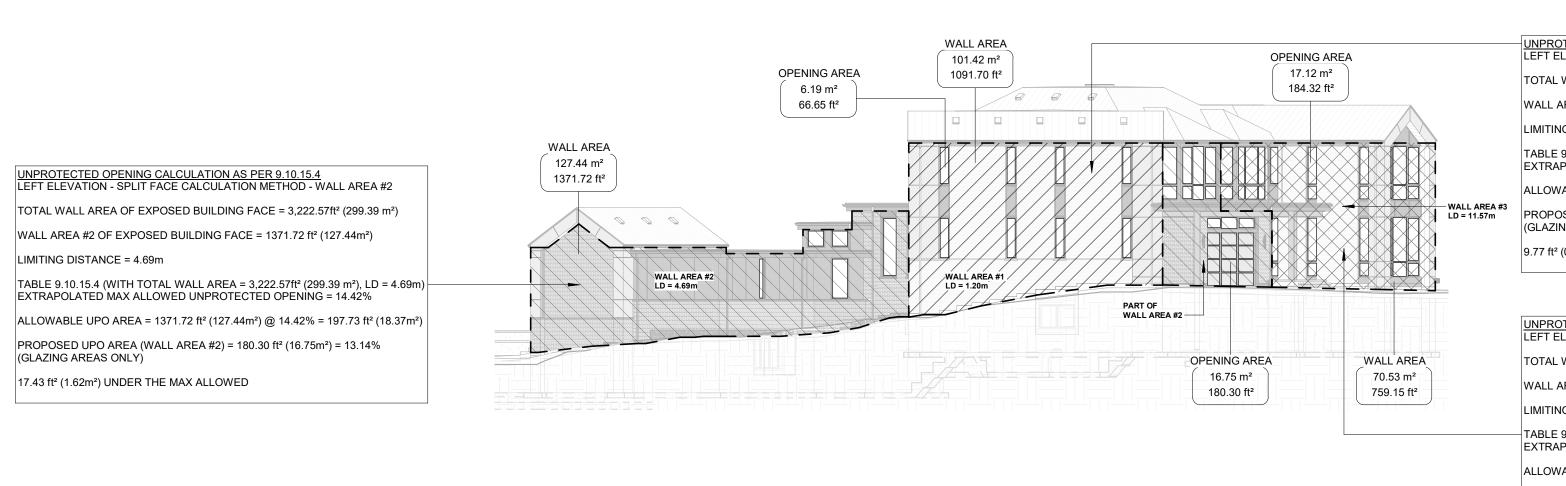
Project number: Rev. no.: Scale: Date: Drawn by:

Approved by:

2023-26 3/16" = 1'-0" FEBRUARY, 2025 J.T. & S.V. M.Z.

Drawing number:

**A6** 



TOTAL WALL AREA OF EXPOSED BUILDING FACE = 3,222.57ft² (299.39 m²)

WALL AREA #1 OF EXPOSED BUILDING FACE = 1091.70 ft² (101.42m²)

LIMITING DISTANCE = 1.20m

TABLE 9.10.15.4 (WITH TOTAL WALL AREA = 3,222.57ft² (299.39 m²), LD = 1.20m)

EXTRAPOLATED MAX ALLOWED UNPROTECTED OPENING = 7.00%

ALLOWABLE UPO AREA = 1091.70 ft² (101.42m²) @ 7.00% = 76.42 ft² (7.10m²)

PROPOSED UPO AREA (WALL AREA #1) = 66.65 ft² (6.19m²) = 6.11%

(GLAZING AREAS ONLY)

9.77 ft² (0.91m²) UNDER THE MAX ALLOWED

UNPROTECTED OPENING CALCULATION AS PER 9.10.15.4
LEFT ELEVATION - SPLIT FACE CALCULATION METHOD - WALL AREA #3

TOTAL WALL AREA OF EXPOSED BUILDING FACE = 3,222.57ft² (299.39 m²)

WALL AREA #3 OF EXPOSED BUILDING FACE = 759.15 ft² (70.53m²)

LIMITING DISTANCE = 11.57m

TABLE 9.10.15.4 (WITH TOTAL WALL AREA = 3,222.57ft² (299.39 m²), LD = 11.57m)

EXTRAPOLATED MAX ALLOWED UNPROTECTED OPENING = 51.78%

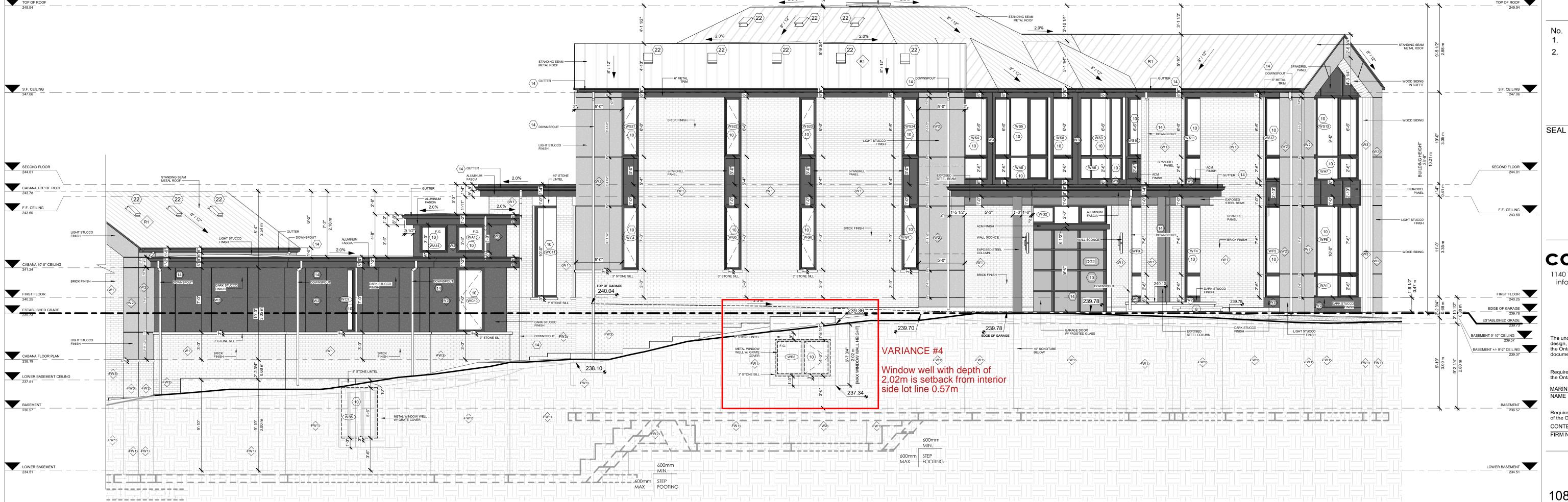
ALLOWABLE UPO AREA = 759.15 ft² (70.53m²) @ 51.78% = 393.05 ft² (36.52m²)

PROPOSED UPO AREA (WALL AREA #3) = 184.32 ft² (17.12m²) = 24.28%

(GLAZING AREAS ONLY)

208.73 ft² (19.39m²) UNDER THE MAX ALLOWED

2 UPO CALCULATION - LEFT (NORTHEAST) ELEVATION 1/16" = 1'-0"



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Issued for:

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

QUALIFICATION INFORMATION

Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

MARIN ZABZUNI
NAME
SIGNATURE
REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.

CONTEMPO STUDIO
FIRM NAME

PROPOSED 2-STOREY DWELLING

108 SIR MODESTO COURT, VAUGHAN, ON

LEFT (NORTHEAST) ELEVATION

Project number:
Rev. no.:
Scale:
Date:
Drawn by:
Approved by:

2023-26
As indicated
FEBRUARY, 2025
J.T. & S.V.

Drawing number:

**A7** 

1 LEFT (NORTHEAST) ELEVATION 3/16" = 1'-0"



S.F. CEILING 247.06 TOF OF GREAT ROOM GREAT ROOM 13-0" CEILING 244.21 FIRST FLOOR
240.25 BASEMENT 9'-10" CEILING 239.57 MAX FOOTING LOWER BASEMENT 234.51 600mm 14" (UNLESS NOTED OTHERWISE ON PLANS) REINFORCED POURED CONC. WALL 25 MPa (3625.94 PSI) STRENGTH @ 28 DAYS W/ 15MBARS 2" FROM INSIDE FACE @12" O.C. (VERTICAL)+15M BARS @12" O.C (HORIZONTAL) 18" LONG 15M DOWELS ON 30"X10" (UNLESS OTHERWISE NOTED BY ENG.) POURED CONC. FTG(25MPA) W/ KEY.

INSTALL 2-15M CONTINUOUS BARS 2" CONC.COVER FROM THE BOTTOM OF FOOTING ON UNDISTURBED SOIL 600mm STEP MAX FOOTING 600mm STEP PROVIDE FOUNDATION WALL DRAINAGE AS PER O.B.C. 9.14.2.1. ORUSE TERRAIN 600 ASPER MANUF. SPECS. 4" DIA. WEEPING TILE W/6" MIN. GRAVEL COVER 4" DIA. WEEPING TILE \_ W/6" MIN. GRAVEL COVER 3/4" FINISHED FLOORING AS NOTED POURED CONCRETE SLAB (AS PER STRUCTURAL, SEE NOTE FL1) W/ RADIANT FLOOR WARMING TUBE (AS PER MECHANICAL) REINF. W/ 6 X 6 6/6 WWM 1 1/2" FROM TOP OF SLAB PROVIDE 2" (50mm) R10 PERIMITER RIGID INSULATION UNDER SLAB AT ALL AREAS OF INFLOOR HEATING MIN. R10, 6 MIL VAPOR BARRIER (ON WARM SIDE) ON MIN. 8" COMPACTED GRANULAR "A" OR CLEAR CRUSHED STONE PER GEOTECH REPORT NON WOVEN GEOTECH TERRAFIX 270R OR EQUIVALENT UNDISTURBED SOIL 2" X 4" WD. STUDS @ 16" O.C. SPRUCE #1 W/ R12 FIBRE GLASS INSULATION IN CAVITY - OFFSET FROM FOUNDATION WALL 3 1/2" W/ CONTINUOUS R12 FIBRE INSUL. BLANKET \_-OR--2" X 4" WD. STUDS @ 16" O.C. SPRUCE #1 W/ R12 FIBRE GLASS INSULATION IN CAVITY - OFFSET FROM FOUNDATION WALL 2" W/ CONTINUOUS R10 RIDGE INSULATION This drawing, as an instrument of service, is provided by and is the property of Contempo Studio. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Contempo Studio of any variations from the supplied information.

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<u>l</u>L

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QUALIFICATION INFORMATION

Required unless design is exempt under 3.2.4.3 (5) Division C. of

Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

MARIN ZABZUNI

NAME

SIGNATURE

REGISTRATION INFORMATION

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.
CONTEMPO STUDIO
FIRM NAME

PROPOSED 2-STOREY DWELLING

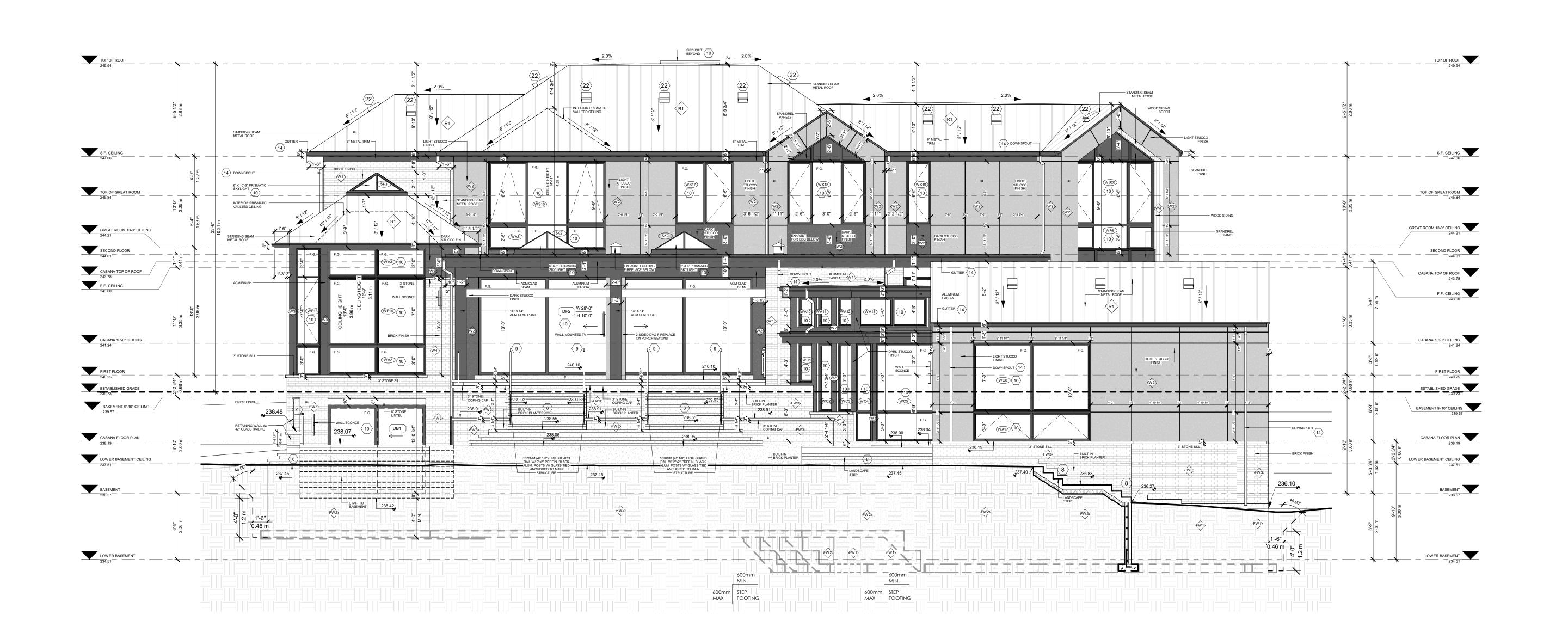
108 SIR MODESTO COURT, VAUGHAN, ON

REAR (SOUTHEAST) ELEVATION

Project number: Rev. no.: Scale: Date: Drawn by: Approved by: 2023-26 3/16" = 1'-0" FEBRUARY, 2025 J.T. & S.V. M.Z.

Drawing number:

**A**9



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MARIN ZABZUNI

NAME

SIGNATURE

REGISTRATION INFORMATION

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CONTEMPO STUDIO

FIRM NAME

PROPOSED 2-STOREY DWELLING

108 SIR MODESTO COURT, VAUGHAN, ON

REAR (SOUTH) ELEVATION

Project number: Rev. no.: Scale: Date: Drawn by: 2023-26 3/16" = 1'-0" FEBRUARY, 2025 J.T. & S.V. M.Z.

Drawing number

Approved by:

A10

UNPROTECTED OPENING CALCULATION AS PER 9.10.15.4
RIGHT ELEVATION - SPLIT FACE CALCULATION METHOD - WALL AREA #1

TOTAL WALL AREA OF EXPOSED BUILDING FACE = 2,427.00 ft² (225.48 m²)

WALL AREA #1 OF EXPOSED BUILDING FACE = 1943.02 ft² (180.51m²)

LIMITING DISTANCE = 1.36m

TABLE 9.10.15.4 (WITH TOTAL WALL AREA = 2,427.00 ft² (225.48 m²), LD = 1.36m) EXTRAPOLATED MAX ALLOWED UNPROTECTED OPENING = 7.00%

ALLOWABLE UPO AREA = 1943.02 ft² (180.51m²) @ 7.00% = 136.01 ft² (12.64m²)

PROPOSED UPO AREA (WALL AREA #1) = 125.30 ft² (11.64m²) = 6.45% (GLAZING AREAS ONLY)

10.71 ft<sup>2</sup> (1.00m<sup>2</sup>) UNDER THE MAX ALLOWED



UNPROTECTED OPENING CALCULATION AS PER 9.10.15.4
RIGHT ELEVATION - SPLIT FACE CALCULATION METHOD - WALL AREA #2

TOTAL WALL AREA OF EXPOSED BUILDING FACE = 2,427.00 ft² (225.48 m²)

WALL AREA #2 OF EXPOSED BUILDING FACE = 483.98 ft² (44.96m²)

LIMITING DISTANCE = 19.47m

TABLE 9.10.15.4 (WITH TOTAL WALL AREA = 2,427.00 ft² (225.48 m²), LD = 19.47m)

EXTRAPOLATED MAX ALLOWED UNPROTECTED OPENING = 98.94%

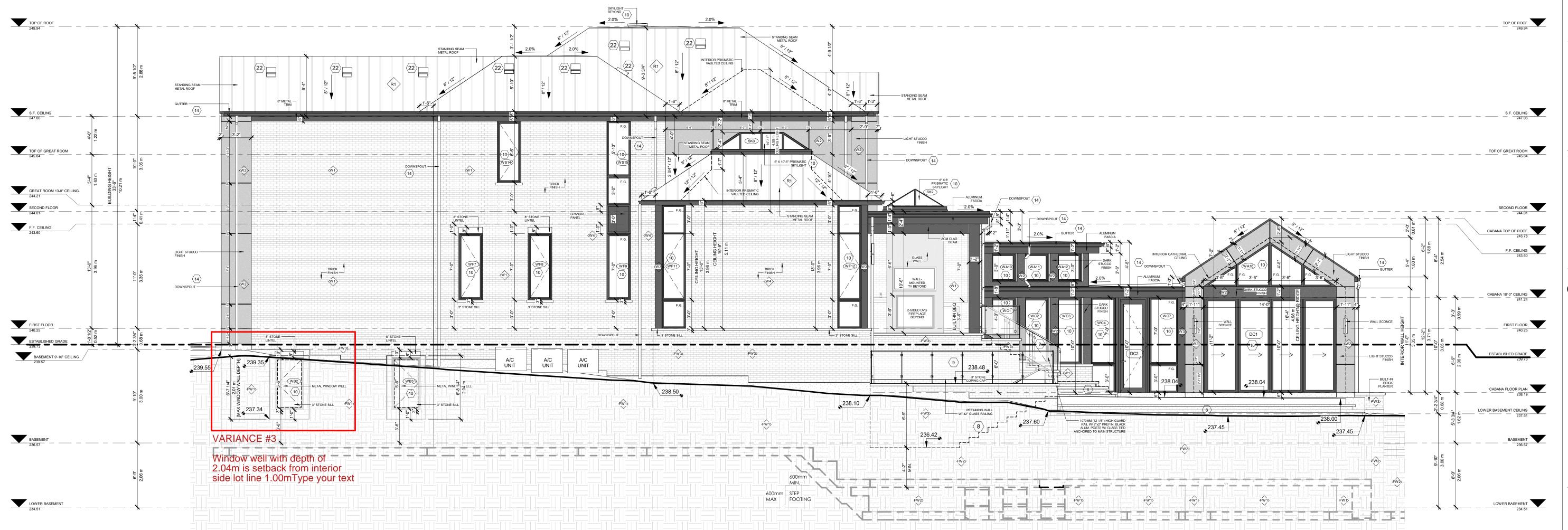
ALLOWABLE UPO AREA = 483.98 ft² (44.96m²) @ 98.94% = 478.85 ft² (44.49m²)

PROPOSED UPO AREA (WALL AREA #2) = 191.15 ft² (17.76m²) = 39.50%

(GLAZING AREAS ONLY)

287.70 ft² (26.73m²) UNDER THE MAX ALLOWED

2 UPO CALCULATION - RIGHT (WEST) ELEVATION 1/16" = 1'-0"



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damages resulting from his work.

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MARIN ZABZUNI
NAME
SIGNATURE
REGISTRATION INFORMATION

Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.

CONTEMPO STUDIO 46

FIRM NAME BO

PROPOSED 2-STOREY DWELLING

108 SIR MODESTO COURT, VAUGHAN, ON

RIGHT (WEST) ELEVATION

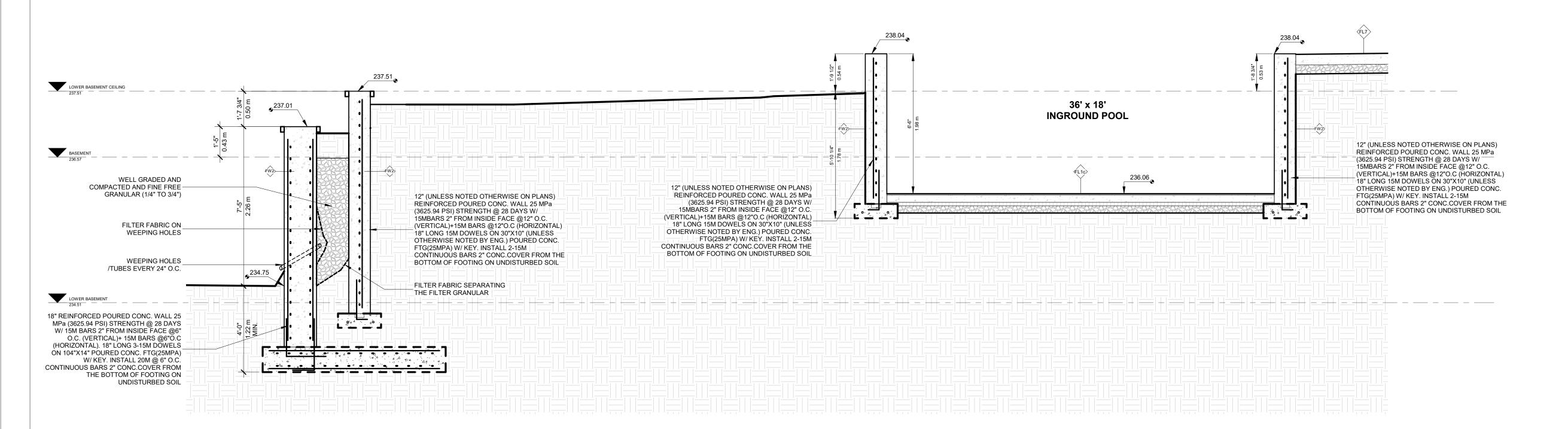
Project number: Rev. no.: Scale: Date: Drawn by:

2023-26
As indicated
FEBRUARY, 2025
J.T. & S.V.

Drawing number

A11

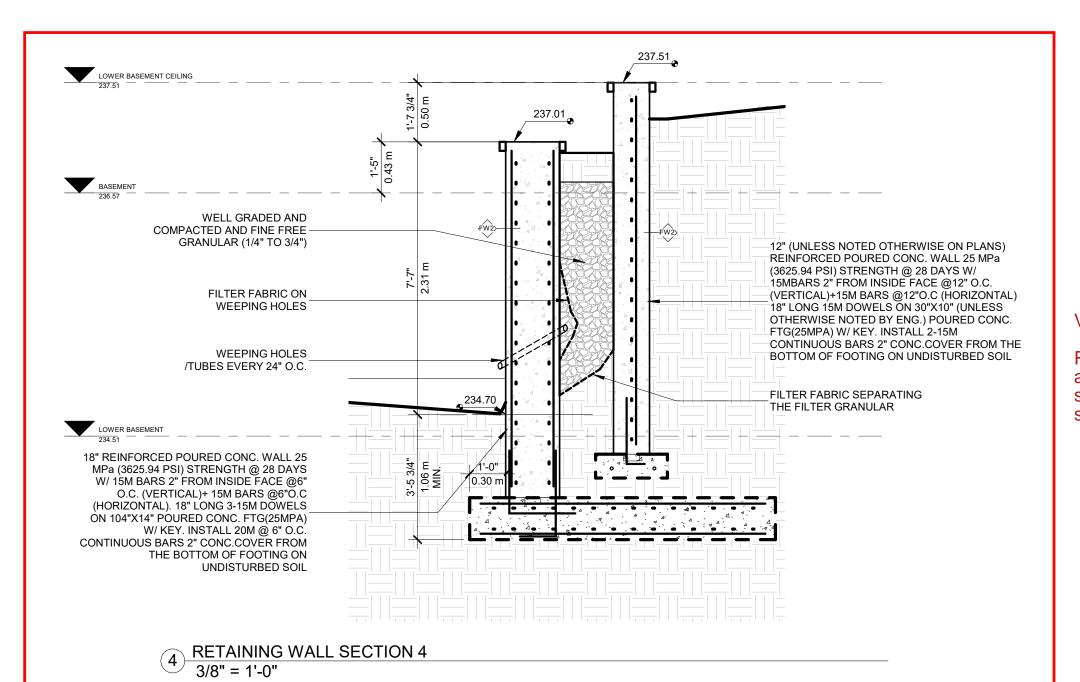
1 RIGHT (WEST) ELEVATION 3/16" = 1'-0"



WELL GRADED AND COMPACTED AND FINE FREE 8" (UNLESS NOTED OTHERWISE ON PLANS) GRANULAR (1/4" TO 3/4") REINFORCED POURED CONC. WALL 25 MPa 12" (UNLESS NOTED OTHERWISE ON PLANS) (3625.94 PSI) STRENGTH @ 28 DAYS W/ REINFORCED POURED CONC. WALL 25 MPa 15MBARS 2" FROM INSIDE FACE @12" O.C. (3625.94 PSI) STRENGTH @ 28 DAYS W/ (VERTICAL)+15M BARS @12"O.C (HORIZONTAL) 15MBARS 2" FROM INSIDE FACE @12" O.C. 18" LONG 15M DOWELS ON 30"X10" (UNLESS FILTER FABRIC ON (VERTICAL)+15M BARS @12"O.C (HORIZONTAL) OTHERWISE NOTED BY ENG.) POURED CONC. WEEPING HOLES FTG(25MPA) W/ KEY. INSTALL 2-15M OTHERWISE NOTED BY ENG.) POURED CONC. CONTINUOUS BARS 2" CONC. COVER FROM THE FTG(25MPA) W/ KEY. INSTALL 2-15M -BOTTOM OF FOOTING ON UNDISTURBED SOIL CONTINUOÚS BARS 2" CONC.COVER FROM THE BOTTOM OF FOOTING ON UNDISTURBED SOIL WEEPING HOLES /TUBES EVERY 24" O.C. FILTER FABRIC SEPARATING THE FILTER GRANULAR -18" REINFORCED POURED CONC. WALL 25 MPa (3625.94 PSI) STRENGTH @ 28 DAYS W/ 15M BARS 2" FROM INSIDE FACE @6" O.C. (VERTICAL)+ 15M BARS @6"O.C (HORIZONTAL). 18" LONG 3-15M DOWELS ON 104"X14" POURED CONC. FTG(25MPA) W/ KEY. INSTALL 20M @ 6" O.C CONTINUOUS BARS 2" CONC.COVER FROM THE BOTTOM OF FOOTING ON UNDISTURBED SOIL

2 RETAINING WALL SECTION 2 3/8" = 1'-0"

1 RETAINING WALL SECTION 1 3/8" = 1'-0"



WELL GRADED AND COMPACTED — AND FINE FREE GRANULAR (1/4" TO 3/4") 12" (UNLESS NOTED OTHERWISE ON PLANS) REINFORCED POURED CONC. WALL 25 MPa (3625.94 PSI) STRENGTH @ 28 DAYS W/ 15MBARS 2" FROM INSIDE FACE @12" O.C. FILTER FABRIC ON WEEPING HOLES (VERTICAL)+15M BARS @12"O.C (HORIZONTAL) 18" LONG 15M DOWELS ON 30"X10" (UNLESS OTHERWISE NOTED BY ENG.) POURED CONC. WEEPING HOLES FTG(25MPA) W/ KEY. INSTALL 2-15M /TUBES EVERY 24" O.C CONTINUOUS BARS 2" CONC.COVER FROM THE BOTTOM OF FOOTING ON UNDISTURBED SOIL 18" REINFORCED POURED CONC. WALL 25 MPa (3625.94 PSI) STRENGTH @ 28 DAYS W/ 15M BARS 2" FROM INSIDE FACE @6" FILTER FABRIC SEPARATING THE FILTER GRANULAR O.C. (VERTICAL)+ 15M BARS @6"O.C (HORIZONTAL). 18" LONG 3-15M DOWELS ON 104"X14" POURED CONC. FTG(25MPA) ─W/ KEY. INSTALL 20M @ 6" O.C. CONTINUOUS BARS 2" CONC.COVER FROM THE BOTTOM OF FOOTING ON UNDISTURBED SOIL

VARIANCE #2

Retaining wall with a height of 2.31m is setback from interior side lot line 0.00m

3 RETAINING WALL SECTION 3
3/8" = 1'-0"

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QUALIFICATION INFORMATION

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the Ontario Building Code.

MARIN ZABZUNI

NAME

SIGNATURE

REGISTRATION INFORMATION

Required unless design is exempt under 3.2.4.7. Division C.

Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.

CONTEMPO STUDIO

FIRM NAME

PROPOSED 2-STOREY DWELLING

108 SIR MODESTO COURT, VAUGHAN, ON

RETAINING WALL SECTIONS

Project number:
Rev. no.:
Scale:
Date:
Drawn by:
Approved by:

2023-26 3/8" = 1'-0" FEBRUARY, 2025 J.T. & S.V. M.Z.

Drawing number:

A26

# SCHEDULE B: COMMENTS FROM AGENCIES, BUILDING STANDARDS & DEVELOPMENT PLANNING

Internal Departments *Comments Received	Conditions Required		Nature of Comments	
Building Standards (Zoning)	Yes □	No ⊠	General Comments	
Development Planning	Yes □	No ⊠	Recommend Approval/No Conditions	

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments	
Alectra	Yes □	No ⊠	General Comments	
Region of York	Yes □	No ⊠	General Comments	
TRCA	Yes ⊠	No □	General Comments w/Conditions	



**Date:** February 14<sup>th</sup> 2025

Attention: Christine Vigneault

**RE:** Request for Comments

File No.:

Related Files: A009-25

Applicant: Contempo Studio

**Location** 108 Sir Modesto Court PLAN 65M4184 Block 47



#### **COMMENTS:**

	We have reviewed the proposed Variance Application and have no comments or objections to its approval.
X	We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
	We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

#### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T

Supervisor, Distribution Design, ICI & Layouts (North)

**Phone**: 1-877-963-6900 ext. 31297

**E-mail**: stephen.cranley@alectrautilities.com

Mitchell Penner

Supervisor, Distribution Design-Subdivisions

**Phone**: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

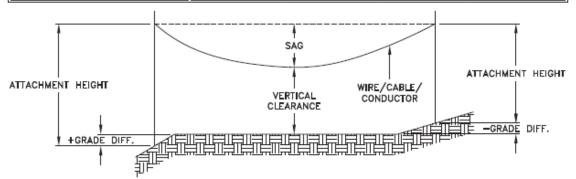


Power Stream 1

#### Construction Standard

03-1

	SYSTEM VOLTAGE				
LOCATION OF WIRES, CABLES OR CONDUCTORS	SPAN GUYS AND COMMUNICATIONS WIRES		4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV	
	MINIMUM	VERTICAL CLEA	ARANCES (SEE	NOTE 2)	
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm	
OVER GROUND ACCESSIBLE TO PEDESTRIANS AND BICYCLES ONLY	250cm	310cm	340cm	370cm	
ABOVE TOP OF RAIL AT RAILWAY CROSSINGS	730cm	730cm	760cm	810cm	



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG

- + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
  ± GRADE DIFFERENCE

- + 0.3m (VEHICLE OR RAILWAY LOCATION) + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

#### NOTES:

- THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
- 2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER  $\underline{\text{MAXIMUM SAG}}$  CONDITIONS.
- 3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH
- 4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

<u>\G</u>	340cm	11'-4"	
	310cm	10'-4"	
VALUES.	250cm	8'-4"	
VALUES.			
REFERENCES			
SAGS AND T	FNSIONS 1	SECTION 02	

METRIC

810cm

760cm 730cm

520cm 480cm

442cm 370cm

CONVERSION TABLE

IMPERIAL (APPROX)

27'-0" 25'-4"

24'-4" 17'-4"

15'-5" 12'-4"

#### MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

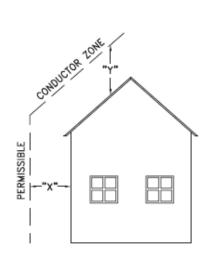
ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

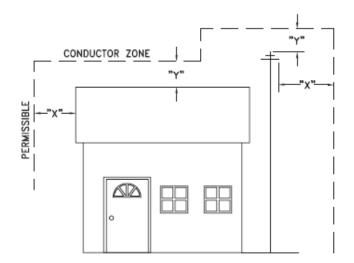
Certificate of Approval This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng. Name	2012-JAN-09 Date
P Fng. Approval By:	Ine Crozier



#### Construction Standard

03 - 4





VOLTAGE	MINIMUM HORIZONTAL CLEARNACE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

#### NOTES

- UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
- 2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
- THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
- 4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
- IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
- 6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
- 7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE		
IMPERIAL		
(APPROX)		
16'-0"		
10'-0"		
8'-4"		
3'-4"		

#### MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010—MAY—05 REVISION NO: REVISION DATE:
PEgystem Planning and Standards/Standard Design/PowerStream Standards/soundard working (lighter/Seedlan 3/3-4/c/wg d3-4 Ro May 5, 2010, s/wg, %/3/2010 8/2/202 AM, Adobe POF



To: Committee of Adjustment

From: Bernd Paessler, Building Standards Department

Date: February 20, 2025

Applicant: Contempo Studio

**Location:** 108 Sir Modesto Court PLAN 65M4184 Block 47

**File No.(s):** A009/25

#### **Zoning Classification:**

The subject lands are zoned R2A – Second Density Residential Zone and subject to the provisions of Exception 14.847& 850 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The maximum permitted encroachment for an access stair, open, unenclosed is 1.8m into the minimum required rear yard of 7.5m.  Sect 4.13	To permit access stairs to encroach a maximum of 1.93m into the minimum required rear yard of 7.5m.
2	A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall. The height of the retaining wall at the west lot line is 2.31m therefore the required setback is 2.31m.  Sect. 4.13	To permit a minimum setback of 0.0m for the retaining wall at the west lot line.
3	A minimum setback of 2.04m is required from the west lot line to the retaining wall (window well)  Sect. 4.13	To permit a retaining wall (window well) with a height of 2.04m to be setback a minimum of 1.0m from the west lot line.
4	A minimum setback of 2.02m is required from the east lot line to the retaining wall (window well)  Sect. 4.13	To permit a retaining wall (window well) with a height of 2.02m to be setback a minimum of 0.57m from the east lot line.
5	An uncovered platform (paverstone terrace/grassed area) with a floor height greater than 1.2m as measured above grade and including access stairs, is permitted to encroach to a maximum of 2.4m into the minimum required rear yard of 7.5m.	To permit an uncovered platform (paverstone terrace/grassed area) with a floor height of 2.6m to encroach into the minimum rear yard of 7.5m a maximum of 4.41m.

#### **Staff Comments:**

#### Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

#### **Building Permit(s) Issued:**

Building Permit No. 24-136464 for Single Detached Dwelling - New, Issue Date: (Not Yet Issued)

#### Other Comments:

Ger	General Comments		
The applicant shall be advised that additional variances may be required upon review of detail drawing for building permit/site plan approval.			
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority.		
3	The subject lands may be subject to the Oak Ridges Moraine Conservation Act, RSO 2001.		
4	Reviewed as a single detached dwelling only. Basement has not been reviewed as a secondary suite.		
5	5 The proposed heated driveway on city property will require city approval.		



#### **Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

 $^{\star}$  Comments are based on the review of documentation supplied with this application.





To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development and Parks Planning

**Date:** May 29, 2025

Name of Owners: Madison Saul, Adam Ryan Saul (107 Sir Modesto Court);

Laura Faye Anava, Oren James Anava (108 Sir Modesto Court)

**Location:** 107 Sir Modesto Court 108 Sir Modesto Court

**File No.(s):** B006/25, A011/25 B007/25, A009/25

#### **A011/25 - 107 Sir Modesto Court**

#### **Proposed Variances:**

- 1. To permit an uncovered platform to encroach a maximum of **5.11 m** into the required rear yard.
- 2. To permit a minimum setback of **0.0 m** for the retaining wall at the east interior side lot line.
- 3. To permit a retaining wall with a height of **1.75 m** to be located at **1.36 m** from the rear lot line.
- 4. To permit a retaining wall (window well) with a height of **2.16 m** to be located at **0.57 m** from the interior lot line.
- 5. To permit an accessory building (cabana) with a maximum height of **5.82 m**.
- 6. To permit a minimum of **52.21%** (295.73 m<sup>2</sup>) of the required minimum landscaped rear yard to be composed of soft landscaping.

#### By-Law 001-2021 Requirement(s):

- 1. The maximum permitted encroachment of an uncovered platform is **2.4 m** into the required rear yard.
- 2. A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall.
- 3. A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall.
- 4. A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall.
- 5. In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be **3.0 m**.
- 6. In the R2A Zone, any portion of a yard in excess of 135.0 m<sup>2</sup> shall be comprised of a minimum **60%** soft landscape.

#### A009/25 - 108 Sir Modesto Court

#### **Proposed Variances:**

- 1. To permit access stairs to encroach a maximum of **1.93 m** into the minimum required rear yard.
- 2. To permit a minimum setback of **0.0 m** for the retaining wall at the west interior lot line.
- 3. To permit a retaining wall (window well) with a height of **2.04 m** to be setback a minimum of **1.0 m** from the west lot line.
- 4. To permit a retaining wall (window well) with a height of **2.02 m** to be setback a minimum of **0.57 m** from the east lot line.
- 5. To permit an uncovered platform (paverstone terrace/grassed area) with a floor height of 2.6 m to encroach into the minimum rear yard of 7.5 m a maximum of 4.41 m.

#### By-Law 001-2021 Requirement(s):

- 1. The maximum permitted encroachment for an access stair is **1.8 m** into the minimum required rear yard of 7.5 m.
- 2. A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall.
- 3. A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall.
- 4. A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall.



5. An uncovered platform (paverstone terrace/grassed area) with a floor height greater than 1.2 m as measured above grade and including access stairs, is permitted to encroach **2.4 m** into the minimum required rear yard of 7.5m.

#### Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Low Rise Residential"

#### Comments:

The Owners of 107 Sir Modesto Court and 108 Sir Modesto Court are seeking relief to permit a new single detached dwelling and accessory structures on each property. Two mutual access easements are proposed to permit the construction and maintenance of a contiguous stretch of retaining wall spanning the width of both properties.

#### B006/25, B007/25

Consent application files B006/25 and B007/25 are received for 107 Sir Modesto Court and 108 Sir Modesto Court to facilitate two mutual access easements required to service and maintain a proposed retaining wall that is contiguously located across both properties. The proposed retaining wall provides for a more consistent lot grading across the proposed rear yards of both properties.

Policy 10.1.2.36 of VOP 2010 permits the creation of private easements over existing lots. The proposed easement areas encompass the proposed retaining wall and a 0.6 m buffer around the retaining wall. Development Engineering staff have reviewed the proposed easement sketches and are satisfied that the easement areas will allow for mutual access and maintenance of the retaining wall.

#### A011/25 - 107 Sir Modesto Court

The Development and Parks Planning Department has no objections to Variances 1 and 3 to permit the encroachment of a raised platform 5.11 m into the minimum required rear yard and to permit the retaining wall on the outer edge of the raised platform, 1.75 m in height, to be located 1.36 m from the rear lot line. The grading of the property slopes downward toward the rear, and the proposed raised terrace and retaining walls provide a leveled rear yard. The spaces beyond the retaining wall are proposed to be sodded. The raised terrace and retaining wall are not anticipated to pose massing impacts on the neighbouring property to the west or the public trail to the south. Development Engineering staff have reviewed the retaining wall and have no concerns with the increased encroachment.

The Development and Parks Planning Department has no objections to Variance 2 to permit a retaining wall to be located 0.0 m from the east interior side lot line. The proposed retaining wall is oriented perpendicular to the eastern interior side lot line and connects to a segment of the retaining wall proposed on 108 Sir Modesto Court, east of the subject property. Consent applications B006/25 and B007/25 have been submitted to facilitate mutual access easements and have been reviewed to the satisfaction of Development Engineering staff.

The Development and Parks Planning Department has no objections to Variance 4 to permit a window well 2.16 m in depth to be setback 0.57 m from the east interior side yard. The remaining side yard is proposed to be sodded. The window well does not prohibit the movement of residents and goods between the front and rear yard, and additional access can be provided through the western interior side yard.

The Development and Parks Planning Department has no objections to Variance 5 to permit a height increase for the proposed cabana from 3 m to 5.82 m. The proposed height is measured from established grade, and the height is most perceived from the rear. The cabana maintains a compliant setback from all lot lines, and is not anticipated to incur massing impacts on neighbouring properties or the public trail to the south.

The Development and Parks Planning Department has no objections to Variance 6 to reduce the minimum soft landscaping in the portion of the rear yard in excess of 135 m² from 60% to 52.21%. The reduction represents approximately 44 m² of soft landscaping, which is minor given the size of the rear yard. Development Engineering staff have reviewed the variance and are satisfied that the reduced soft landscaping remains sufficient for stormwater management.

Development and Parks Planning Department | City of Vaughan | 2141 Major Mackenzie Drive | Vaughan, ON L6A 1T1

#### memorandum



#### A009/25 - 108 Sir Modesto Court

The Development and Parks Planning Department has no objections to Variances 1 and 5 to permit a raised platform to encroach 4.41 m into the minimum required rear yard and for the access stairs to encroach 1.93 m into the minimum required rear yard. The grading of the property slopes downward toward the rear, and the proposed raised terrace provides a level grade within the rear yard. The access stairs located along the outer edge of the raised terrace provides access to the sodded areas beyond the raised terrace. The raised terrace and access stairs are not anticipated to incur any negative impacts on the public open space to the rear of the property.

The Development and Parks Planning Department has no objections to Variance 2 to permit the retaining wall to be setback 0.0 m from the western interior side lot line. The proposed retaining wall is oriented perpendicular to the side lot line and connects to the portion of the proposed retaining wall on 107 Sir Modesto Court, west of the subject property. Consent applications B006/25 and B007/25 have been submitted to facilitate mutual access easements and have been reviewed to the satisfaction of Development Engineering staff.

The Development and Parks Planning Department has no objections to Variances 3 and 4 to permit reduced setbacks to window wells located within the western and eastern interior side yards. The remaining interior side yards are proposed to be sodded. The setback reductions of 0.57 m to the west side lot line and 1.0 m to the east side lot line are sufficient to maintain access between the front and rear yards.

Accordingly, the Development and Parks Planning Department supports the requested variances and is of the opinion that the proposals are minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

#### **Recommendation:**

The Development and Parks Planning Department recommends approval of files B006/25 and A011/25 (107 Sir Modesto Court), and files B007/25 and A009/25 (108 Sir Modesto Court).

#### **Conditions of Approval:**

If the Committee finds merit in the applications, the following conditions of approval are recommended:

None.

#### **Comments Prepared by:**

Harry Zhao, Planner Janany Nagulan, Senior Planner



February 18, 2025. PAR-DPP-2025-00574

#### SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Christine Vigneault Secretary Treasurer Committee of Adjustment City of Vaughan 2141 Major Mackenzie Drive Vaughan, Ontario L6A 1T1

Dear Christine:

Re: Minor Variance Application A009/25

Block 47, Plan 65M4184 108 Sir Modesto Court

City of Vaughan, Regional Municipality of York

**Applicant: Contempo Studio** 

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on February 13, 2025. TRCA staff have reviewed the application and offer the following comments for the consideration of the Committee of Adjustment.

#### Purpose of the Application

It is our understanding that the purpose of the above noted application is to request the following variances under By-Law 001-2021, as amended:

- To permit access stairs to encroach a maximum of 1.93 metres into the minimum required rear yard of 7.5 metres;
- To permit a minimum setback of 0.0 metres for the retaining wall at the west lot line;
- To permit a retaining wall (window well) with a height of 2.04 metres to be setback a minimum of 1.0 metres from the west lot line; and,
- To permit a retaining wall (window well) with a height of 2.02 metres to be setback a minimum of 0.57 metres from the east lot line.

#### Ontario Regulation 41/24

The subject property is located within TRCA's Regulated Area due to a valley corridor and Regional Storm flood plain associated with a tributary of the Don River Watershed. In accordance with Ontario Regulation 41/24, development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, unstable soils, or bedrock will not be affected.

#### **Application-Specific Comments**

TRCA staff have reviewed and issued a permit for the proposed two-storey Dwelling, in-ground pool, retaining wall, hard landscape, and associated grading (TRCA Permit No. PER-DPP-2024-00004, issued September 12, 2024). The plans submitted with this application are consistent with the plans that were approved as part of TRCA's permit.

Based on the above, TRCA staff have no concerns with the proposed variance.

#### **Fees**

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$660.00 (Minor Variance – Residential - Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

#### Recommendations

Based on the comments noted above, TRCA has no objection to the approval of Minor Variance Application A009/25 subject to the following conditions:

1. That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.

We trust these comments are of assistance. Should you have any questions, please contact me at 437-880-1925 or at cameron.mcdonald@trca.ca.

Sincerely,

Cameron McDonald

Cameron McDonald

Planner I

Development Planning and Permits I Development and Engineering Services cameron.mcdonald@trca.ca, 437-880-1925

From: <u>Hurst, Gabrielle</u>

To: Committee of Adjustment Mailbox

**Subject:** [External] RE: A009/25 - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Date: Wednesday, February 19, 2025 7:44:55 AM

Attachments: <u>image001.png</u>

**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

#### Good morning,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Regards,

#### Gabrielle

**Gabrielle Hurst MCIP, RPP**| Associate Planner, Development Planning, Economic and Development Services Branch | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

#### SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence	Name	Address	Date	Summary
Туре			Received (mm/dd/yyyy)	
Public	Kaley Hernandez	56 Foley Crescent	03/03/2025	Letter of Support
Public	Clelia & Rob Proia	82 Sir Modesto Court	03/03/2025	Letter of Support
Public	Steve Paraskevopoulos	103 Sir Modesto Court	03/03/2025	Letter of Support
Public	Ken Aslan	200 Farrell Road	03/03/2025	Letter of Support

To: Committee of Adjustment, City of Vaughan File No. A009/25

Address: 108 SIR MODESTO COURT, VAUGHAN, ON L6A 4G2

Owner(s): LAURA ANAVA AND OREN ANAVA

Proposal: To construct a new single family detached dwelling. The variance(s) are also outlined in the notices sent by the committee and are part of File Number: A009/25

RE: 108 SIR MODESTO COURT, VAUGHAN, ON L6A 4G2

1/We live at 22 Sir Moderto Cout, Vaughan, Ontario. 1/We

SUPPORT the above proposal for 108 SIR MODESTO COURT, VAUGHAN, ON L6A 4G2.

WITH THANKS,

Name\_Club + Rob Proise

Signed Wise.

Dated Jeh 25, 2025

To: Committee of Adjustment, City of Vaughan

File No. A009/25

Address: 108 SIR MODESTO COURT, VAUGHAN, ON L6A 4G2

Owner(s): LAURA ANAVA AND OREN ANAVA

Proposal: To construct a new single family detached dwelling. The variance(s) are also outlined in the notices sent by the committee and are part of File Number: A009/25

RE: 108 SIR MODESTO COURT, VAUGHAN, ON L6A 4G2

1/We live at 103 Sir Modes to Crt., Vaughan, Ontario. I/We

SUPPORT the above proposal for 108 SIR MODESTO COURT, VAUGHAN, ON L6A 4G2.

WITH THANKS,

Name Steur Pauderunganlos

Signed

Dated Feb 25, 2025

File No. A009/25 Address: 108 SIR MODESTO COURT, VAUGHAN, ON L6A 4G2 Owner(s): LAURA ANAVA AND OREN ANAVA			
Proposal: To construct a new single family detached dwelling. The variance(s) are also outlined in the notices sent by the committee and are part of File Number: A009/25			
RE: 108 SIR MODESTO COURT, VAUGHAN, ON L6A 4G2			
I/We live at 200 FARRELL Rp, Vaughan, Ontario. I/We			
SUPPORT the above proposal for 108 SIR MODESTO COURT, VAUGHAN, ON L6A 4G2.			
WITH THANKS,			
Name KEN ASLAN			
Signed			
Dated FEB 27 2025			

To: Committee of Adjustment, City of Vaughan

#### **SCHEDULE D: BACKGROUND**

• •	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A