

ITEM: 6.4	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A009/25
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Report Date: Friday, May 30, 2025

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):

Additional comments from departments and agencies received after the publication of the report will be made available on the City’s [website](#).

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies *Comments Received	Conditions Required		Nature of Comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Kaley Hernandez	56 Foley Crescent	03/03/2025	Letter of Support
Public	Clelia & Rob Proia	82 Sir Modesto Court	03/03/2025	Letter of Support
Public	Steve Paraskevopoulos	103 Sir Modesto Court	03/03/2025	Letter of Support
Public	Ken Aslan	200 Farrell Road	03/03/2025	Letter of Support

BACKGROUND (SCHEDULE D, IF REQUIRED)	
* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.	
Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background

	MINOR VARIANCE APPLICATION FILE NUMBER A009/25
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CITY WARD #:	4
APPLICANT:	Laura Faye Anava & Oren James Anava
AGENT:	Contempo Studio
PROPERTY:	108 Sir Modesto Court, Maple
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	N/A
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed two-storey dwelling.

The following variances are being requested from the City’s Zoning By-law to accommodate the above proposal:

The subject lands are zoned R2A – Second Density Residential Zone and subject to the provisions of Exception 14.847& 850 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The maximum permitted encroachment for an access stair, open, unenclosed is 1.8m into the minimum required rear yard of 7.5m. Sect 4.13	To permit access stairs to encroach a maximum of 1.93m into the minimum required rear yard of 7.5m.
2	A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall. The height of the retaining wall at the west lot line is 2.31m therefore the required setback is 2.31m. Sect. 4.13	To permit a minimum setback of 0.0m for the retaining wall at the west lot line.
3	A minimum setback of 2.04m is required from the west lot line to the retaining wall (window well) Sect. 4.13	To permit a retaining wall (window well) with a height of 2.04m to be setback a minimum of 1.0m from the west lot line.
4	A minimum setback of 2.02m is required from the east lot line to the retaining wall (window well) Sect. 4.13	To permit a retaining wall (window well) with a height of 2.02m to be setback a minimum of 0.57m from the east lot line.
5	An uncovered platform (paverstone terrace/grassed area) with a floor height greater than 1.2m as measured above grade and including access stairs, is permitted to encroach to a maximum of 2.4m into the minimum required rear yard of 7.5m.	To permit an uncovered platform (paverstone terrace/grassed area) with a floor height of 2.6m to encroach into the minimum rear yard of 7.5m a maximum of 4.41m.

HEARING INFORMATION
DATE OF MEETING: Thursday, June 5, 2025 TIME: 6:00 p.m. MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2 nd Floor), 2141 Major Mackenzie Drive LIVE STREAM LINK: Vaughan.ca/LiveCouncil
PUBLIC PARTICIPATION
If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the Request to Speak Form and submit to cofa@vaughan.ca If you would like to submit written comments, please quote file number above and submit by mail or email to: Email: cofa@vaughan.ca Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1 To speak electronically, pre-registration is required by completing the Request to Speak Form on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting. THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION
Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee. Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following: That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature. Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT	
Date Public Notice Mailed:	May 22, 2025
Date Applicant Confirmed Posting of Sign:	April 17, 2025
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Does not comply with By-laws
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
TBD	
Development Engineering Recommended Conditions of Approval:	TBD

PARKS, FORESTRY & HORTICULTURE (PFH)	
No comments received to date.	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE	
No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES	
No comments received to date.	
BCLPS Recommended Conditions of Approval:	None

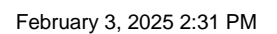
BUILDING INSPECTION (SEPTIC)	
No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT	
No comments received to date.	
Fire Department Recommended Conditions of Approval:	

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY		
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:		
#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering jonal.hall@vaughan.ca	TBD
2	TRCA yorkplan@trca.ca	That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.
<i>All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.</i>		

IMPORTANT INFORMATION	
<p>CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p>	
<p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.</p>	
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>	
<p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will not receive notice.</p>	

SCHEDULE A: DRAWINGS & PLANS



RECEIVED
By Matthew Ka at 3:19 pm, Feb 14, 2025



1 3D View 1



2 3D View 2



3 3D View 3

PROJECT:
108 SIR MODESTO COURT,
VAUGHAN, ON

Project number: 2023-26
Date: FEBRUARY, 2025
ISSUED FOR: PERMIT SUBMISSION

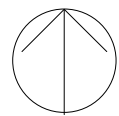
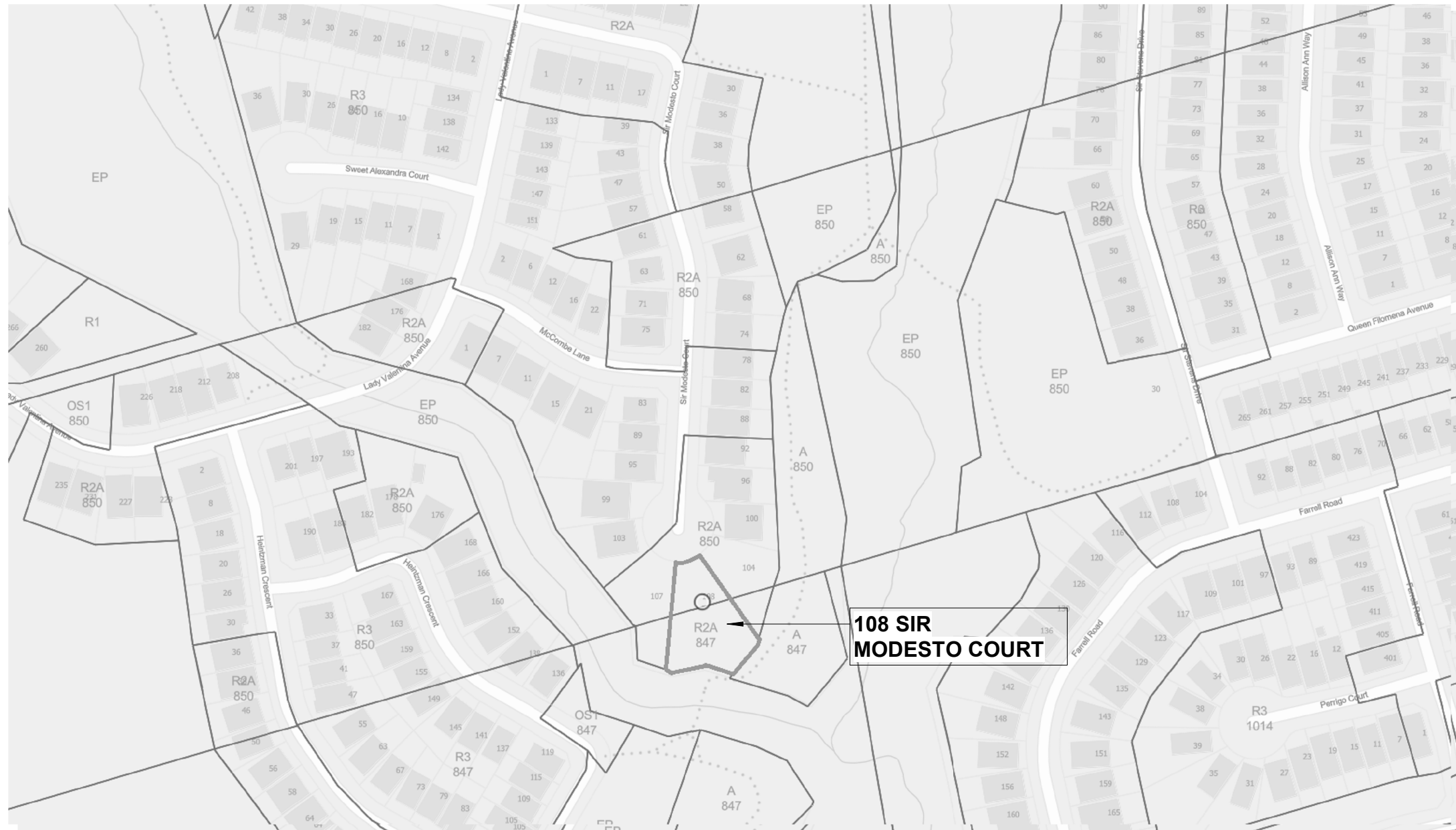
ARCHITECTURAL DESIGN
CONTEMPO STUDIO

1140 THE QUEENSWAY
Toronto, Ontario M8Z 1P7
info@contempostudio.ca
t. 416 770 0071
f. 416 642 1691

CONTRACTOR

STRUCTURAL ENGINEERS

HVAC CONSULTANT



KEY PLAN

Sheet List	
Sheet Number	Sheet Name
A0	COVER PAGE
A0.1	3D VIEWS
A0.2	GENERAL NOTES
A0.3	CONSTRUCTION NOTES
A0.4	CONSTRUCTION ASSEMBLIES
A1	SITE PLAN
A1.1	LANDSCAPE DIAGRAM
A1.2	LOT COVERAGE & GFA DIAGRAMS
A2.1	BASEMENT PLAN
A2.2	BASEMENT PLAN (REAR YARD)
A3.1	FIRST FLOOR PLAN
A3.2	FIRST FLOOR PLAN (REAR YARD)
A4	SECOND FLOOR PLAN
A5.1	ROOF PLAN
A5.2	ROOF PLAN (REAR YARD)
A6	FRONT (NORTH) ELEVATION
A7	LEFT (NORTHEAST) ELEVATION
A8	LEFT (EAST) ELEVATION
A9	REAR (SOUTHEAST) ELEVATION
A10	REAR (SOUTH) ELEVATION
A11	RIGHT (WEST) ELEVATION
A12	WINDOW & DOOR SCHEDULES 1
A13	WINDOW & DOOR SCHEDULES 2
A14	ELEVATION AREAS 1 (FOR HVAC USE ONLY)
A15	ELEVATION AREAS 2 (FOR HVAC USE ONLY)
A16	SECTION 1
A17	SECTION 2
A18	SECTION 3
A19	SECTION 4
A20	SECTIONS - CABANA
A21	3D SECTION
A22	3D SECTION
A23	DETAILS
A24	DETAILS
A25	DETAILS
A26	RETAINING WALL SECTIONS

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t. (416) 770-0071 f. (416) 642-1691

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

MARIN ZABZUNI 45250
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7, Division C of the Ontario Building Code.
CONTEMPO STUDIO 46972
FIRM NAME BCIN

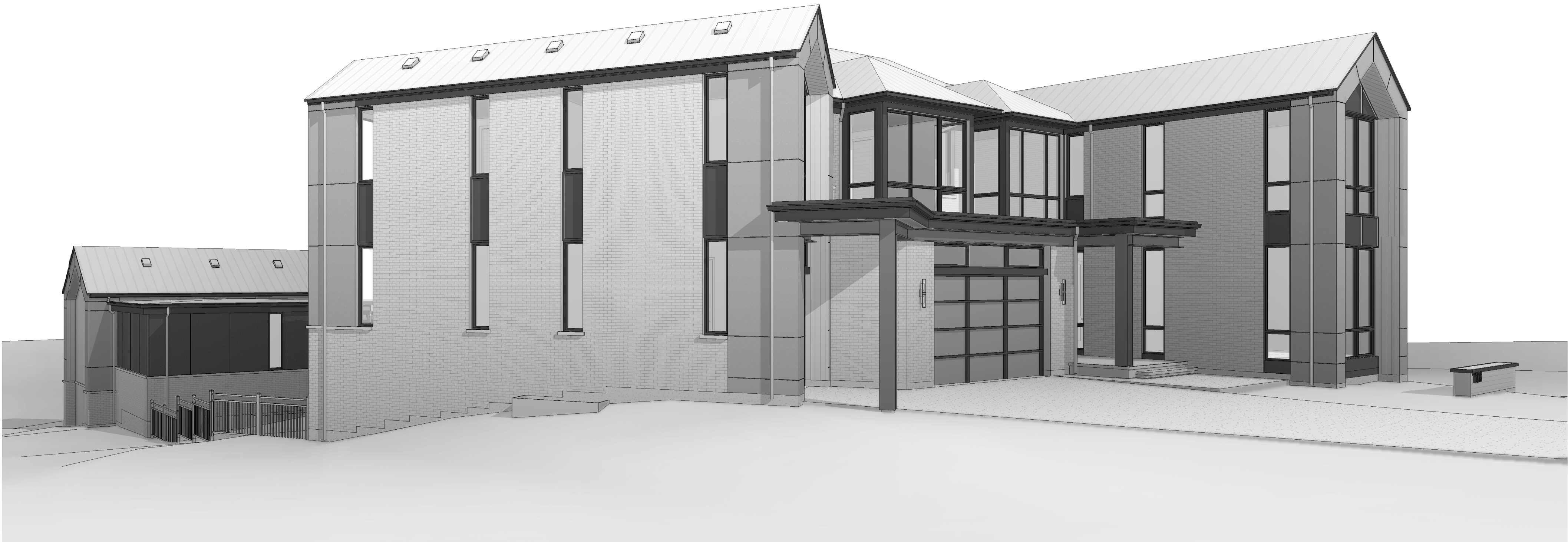
PROPOSED 2-STOREY DWELLING
AT
108 SIR MODESTO COURT,
VAUGHAN, ON

COVER PAGE

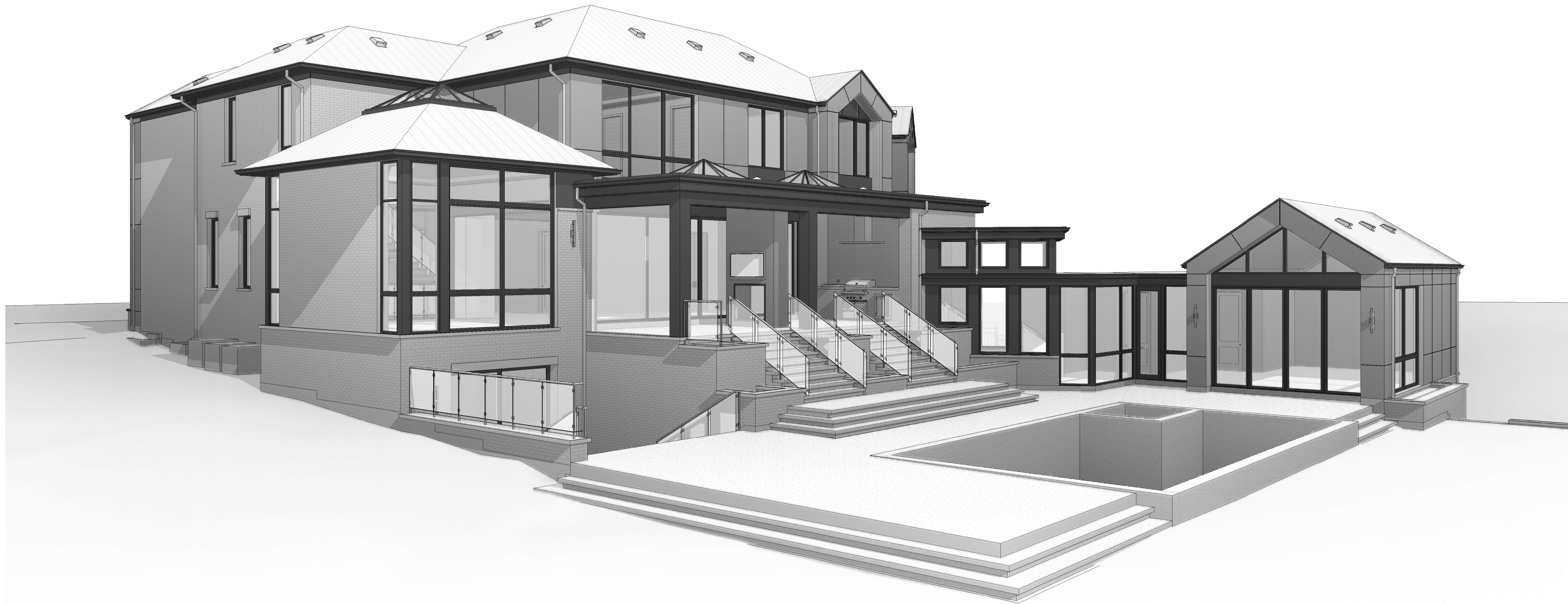
Project number: 2023-26
Rev. no.:
Scale:
Date: FEBRUARY, 2025
Drawn by: J.T. & S.V.
Approved by: M.Z.

Drawing number:

A0



1 3D View 4



5 3D View 5

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1140 The Queensway, Toronto, Ontario M8Z 1P7
info@contempostudio.ca w. contempostudio.ca
t. (416) 770-0071 f. (416) 642-1691

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

MARIN ZABZUNI		45250
NAME	SIGNATURE	BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.

CONTEMPO STUDIO	46972
FIRM NAME	BCIN

PROPOSED 2-STOREY DWELLING
AT
108 SIR MODESTO COURT,
VAUGHAN, ON

3D VIEWS

Project number:	2023-26
Rev. no.:	
Scale:	
Date:	FEBRUARY, 2025
Drawn by:	J.T. & S.V.
Approved by:	M.Z.

Drawing number:

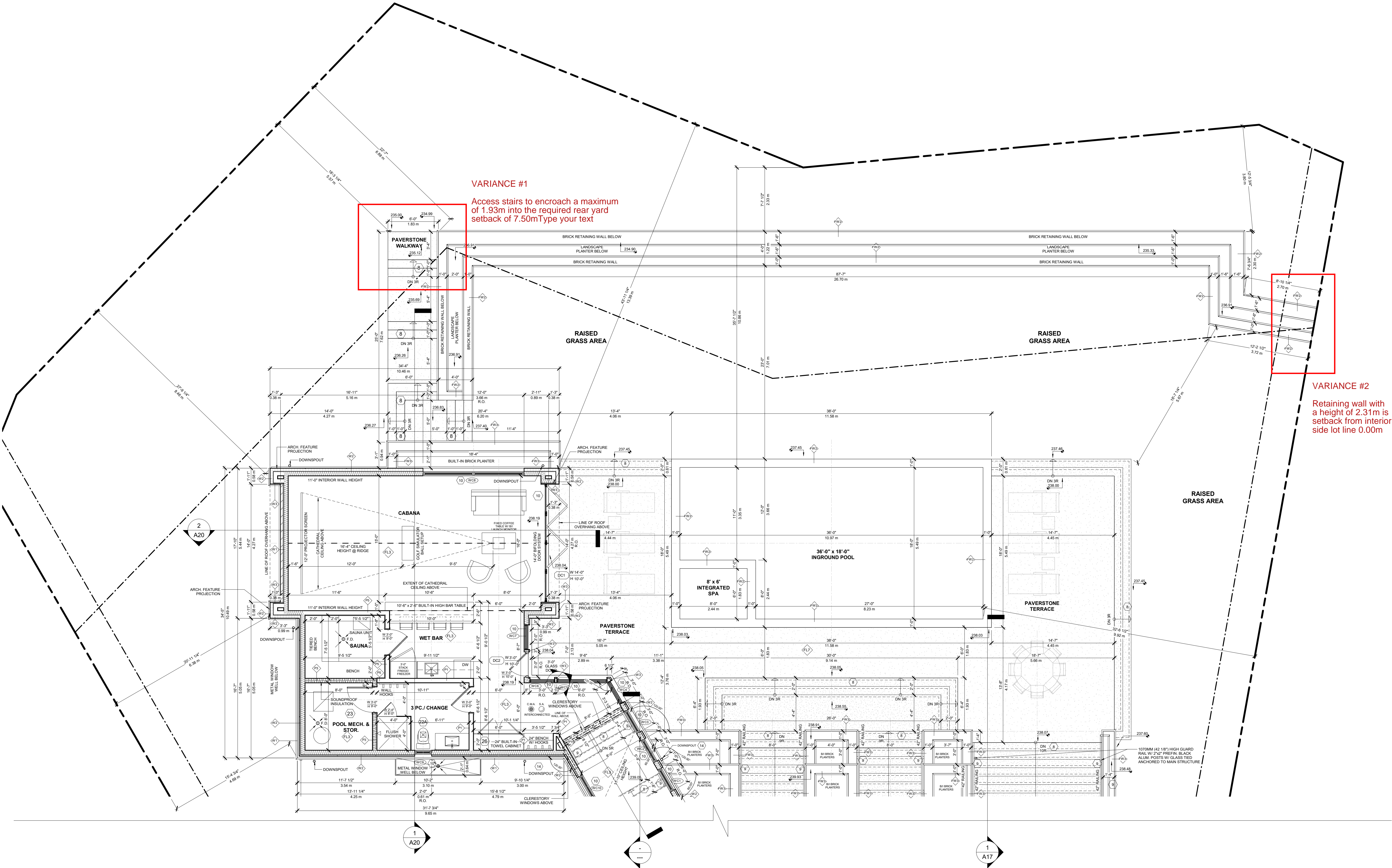
A0.1

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- TYPICAL CABANA
CEILING HEIGHT 10'-0" (U.N.O.)
- TYPICAL FIRST FLOOR
CEILING HEIGHT 11'-0" (U.N.O.)
- NOTE: IN-FLOOR RADIANT HEAT
THROUGHOUT FIRST FLOOR

① FIRST FLOOR PLAN (REAR YARD)
3/16" = 1'-0"

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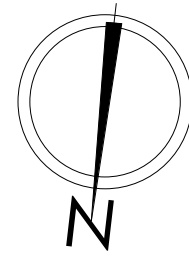
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info@contempostudio.ca w. contempostudio.ca
t. (416) 770-0071 f. (416) 642-1691

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.
MARIN ZABZUNI 45250
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7, Division C of the Ontario Building Code.
CONTEMPO STUDIO 46972
FIRM NAME BCIN

PROPOSED 2-STOREY DWELLING
AT
108 SIR MODESTO COURT,
VAUGHAN, ON

FIRST FLOOR PLAN (REAR YARD)



Project number: 2023-26
Rev. no.: 3/16" = 1'-0"
Date: FEBRUARY, 2025
Drawn by: J.T. & S.V.
Approved by: M.Z.

Drawing number:

A3.2

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QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.
MARIN ZABZUNI SIGNATURE 45250 BCIN
REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7, Division C of the Ontario Building Code.
CONTEMPO STUDIO 46972 BCIN
FIRM NAME

PROPOSED 2-STORY DWELLING
AT
108 SIR MODESTO COURT,
VAUGHAN, ON

FRONT (NORTH) ELEVATION

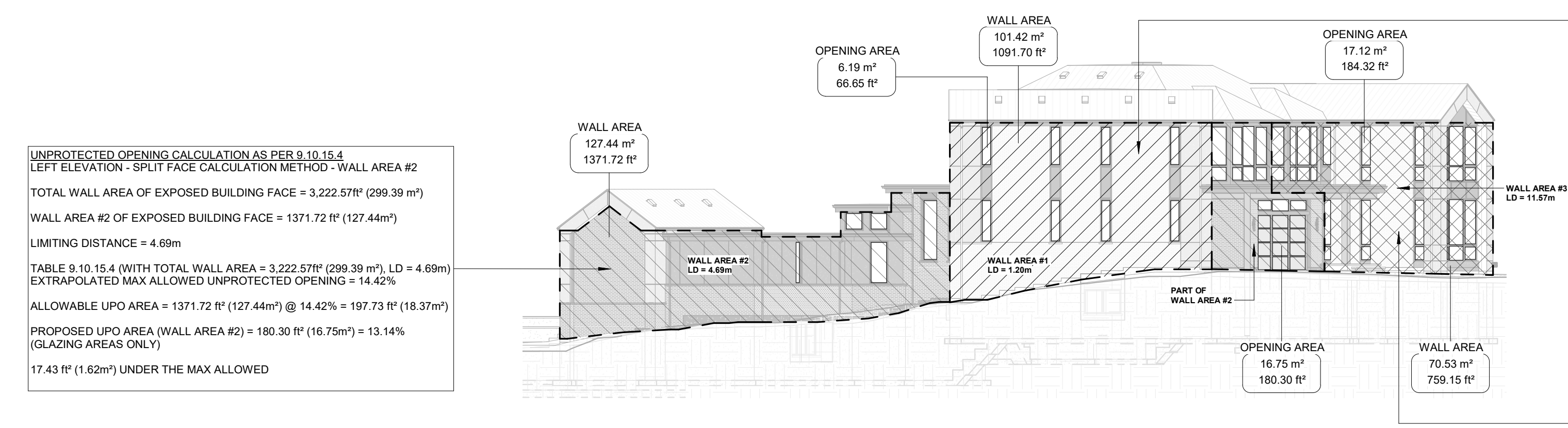
Project number: 2023-26
Rev. no.: 3/16" = 1'-0"
Scale: FEBRUARY, 2025
Date: J.T. & S.V.
Drawn by: M.Z.
Approved by:

Drawing number: A6



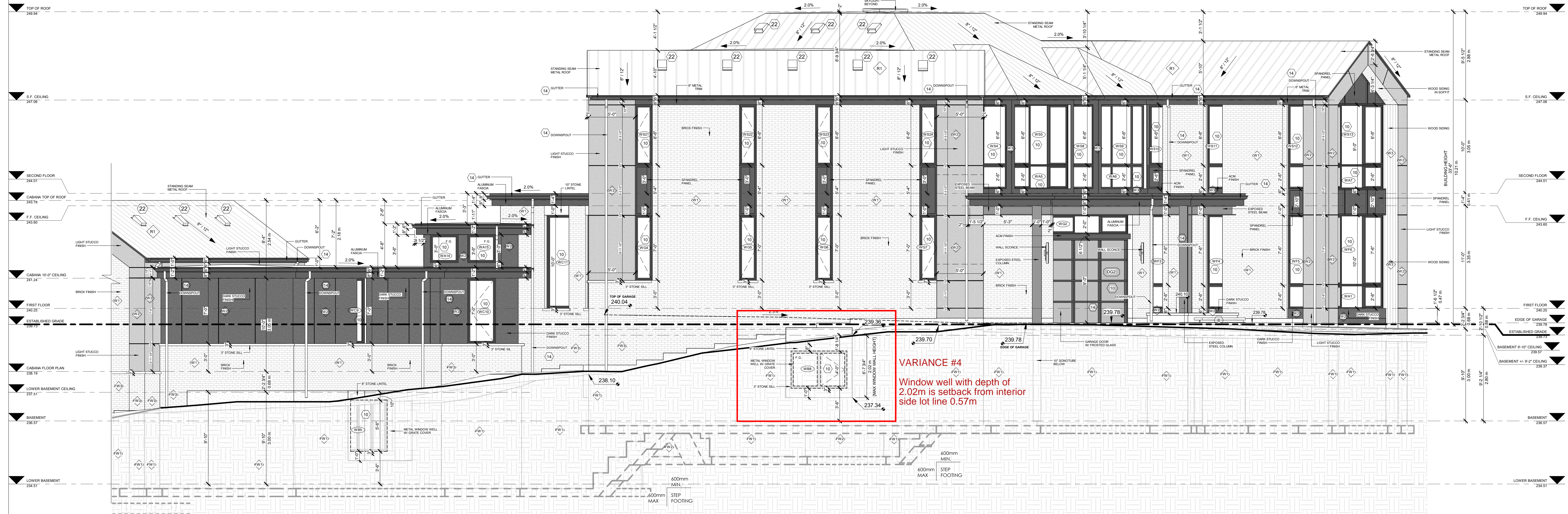
1 FRONT (NORTH) ELEVATION
3/16" = 1'-0"

2 UPO CALCULATION - LEFT (NORTHEAST) ELEVATION
1/16" = 1'-0"



UNPROTECTED OPENING CALCULATION AS PER 9.10.15.4
LEFT ELEVATION - SPLIT FACE CALCULATION METHOD - WALL AREA #1
TOTAL WALL AREA OF EXPOSED BUILDING FACE = 3,222.57ft² (299.39 m²)
WALL AREA #1 OF EXPOSED BUILDING FACE = 1091.70 ft² (101.42m²)
LIMITING DISTANCE = 1.20m
TABLE 9.10.15.4 (WITH TOTAL WALL AREA = 3,222.57ft² (299.39 m²), LD = 1.20m)
EXTRAPOLATED MAX ALLOWED UNPROTECTED OPENING = 7.00%
ALLOWABLE UPO AREA = 1091.70 ft² (101.42m²) @ 7.00% = 76.42 ft² (7.10m²)
PROPOSED UPO AREA (WALL AREA #1) = 66.65 ft² (6.19m²) = 6.11%
(GLAZING AREAS ONLY)
9.77 ft² (0.91m²) UNDER THE MAX ALLOWED

UNPROTECTED OPENING CALCULATION AS PER 9.10.15.4
LEFT ELEVATION - SPLIT FACE CALCULATION METHOD - WALL AREA #3
TOTAL WALL AREA OF EXPOSED BUILDING FACE = 3,222.57ft² (299.39 m²)
WALL AREA #3 OF EXPOSED BUILDING FACE = 759.15 ft² (70.53m²)
LIMITING DISTANCE = 11.57m
TABLE 9.10.15.4 (WITH TOTAL WALL AREA = 3,222.57ft² (299.39 m²), LD = 11.57m)
EXTRAPOLATED MAX ALLOWED UNPROTECTED OPENING = 51.78%
ALLOWABLE UPO AREA = 759.15 ft² (70.53m²) @ 51.78% = 393.05 ft² (36.52m²)
PROPOSED UPO AREA (WALL AREA #3) = 184.32 ft² (17.12m²) = 24.28%
(GLAZING AREAS ONLY)
208.73 ft² (19.39m²) UNDER THE MAX ALLOWED



VARIANCE #4
Window well with depth of 2.02m is setback from interior side lot line 0.57m

1 LEFT (NORTHEAST) ELEVATION
3/16" = 1'-0"

This drawing, as an instrument of service, is provided by and is the property of Contempo Studio. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Contempo Studio of any variations from the supplied information.
This drawing is not to be scaled.
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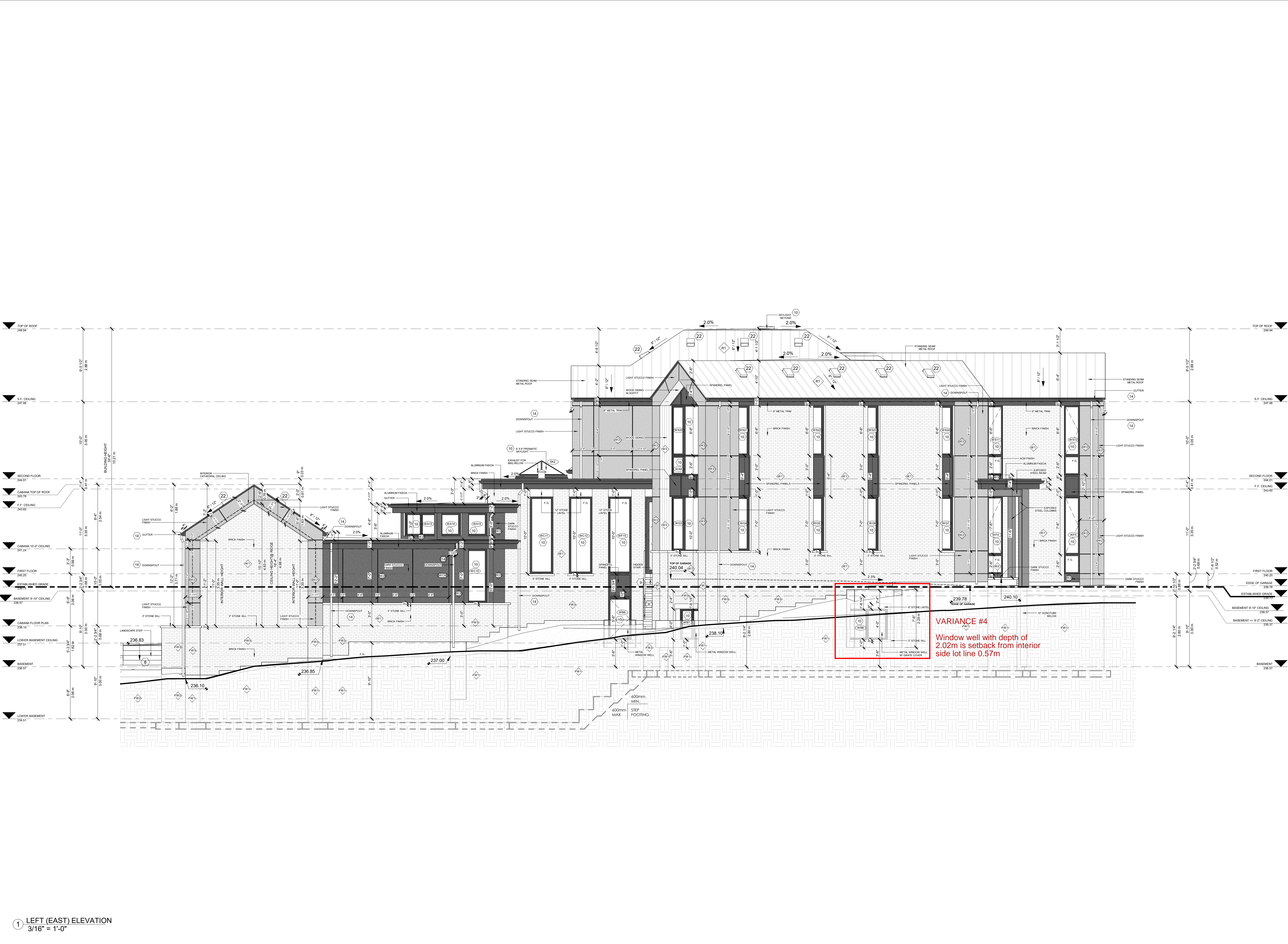
QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.
MARIN ZABZUNI 45250
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.
CONTEMPO STUDIO 46972
FIRM NAME BCIN

PROPOSED 2-STORY DWELLING
AT
108 SIR MODESTO COURT,
VAUGHAN, ON

LEFT (NORTHEAST) ELEVATION

Project number: 2023-26
Rev. no.: As indicated
Scale: FEBRUARY, 2025
Date: J.T. & S.V.
Drawn by: M.Z.
Approved by:

Drawing number: A7



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No. Issued for: Date
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contempostudio
1140 The Queensway, Toronto, Ontario M8Z 1P7
info@contempostudio.ca w. contempostudio.ca
t. (416) 770-0071 f. (416) 642-1691

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.
MARIN ZABZUNI SIGNATURE 45250 BCIN
REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7, Division C of the Ontario Building Code.
CONTEMPO STUDIO 46972 BCIN
FIRM NAME

PROPOSED 2-STOREY DWELLING
AT
108 SIR MODESTO COURT,
VAUGHAN, ON

LEFT (EAST) ELEVATION

Project number: 2023-26
Rev. no.: 3/16" = 1'-0"
Scale: FEBRUARY, 2025
Date: J.T. & S.V.
Drawn by: M.Z.
Approved by:

Drawing number: A8

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CONTEMPO STUDIO 46972 BCIN
FIRM NAME

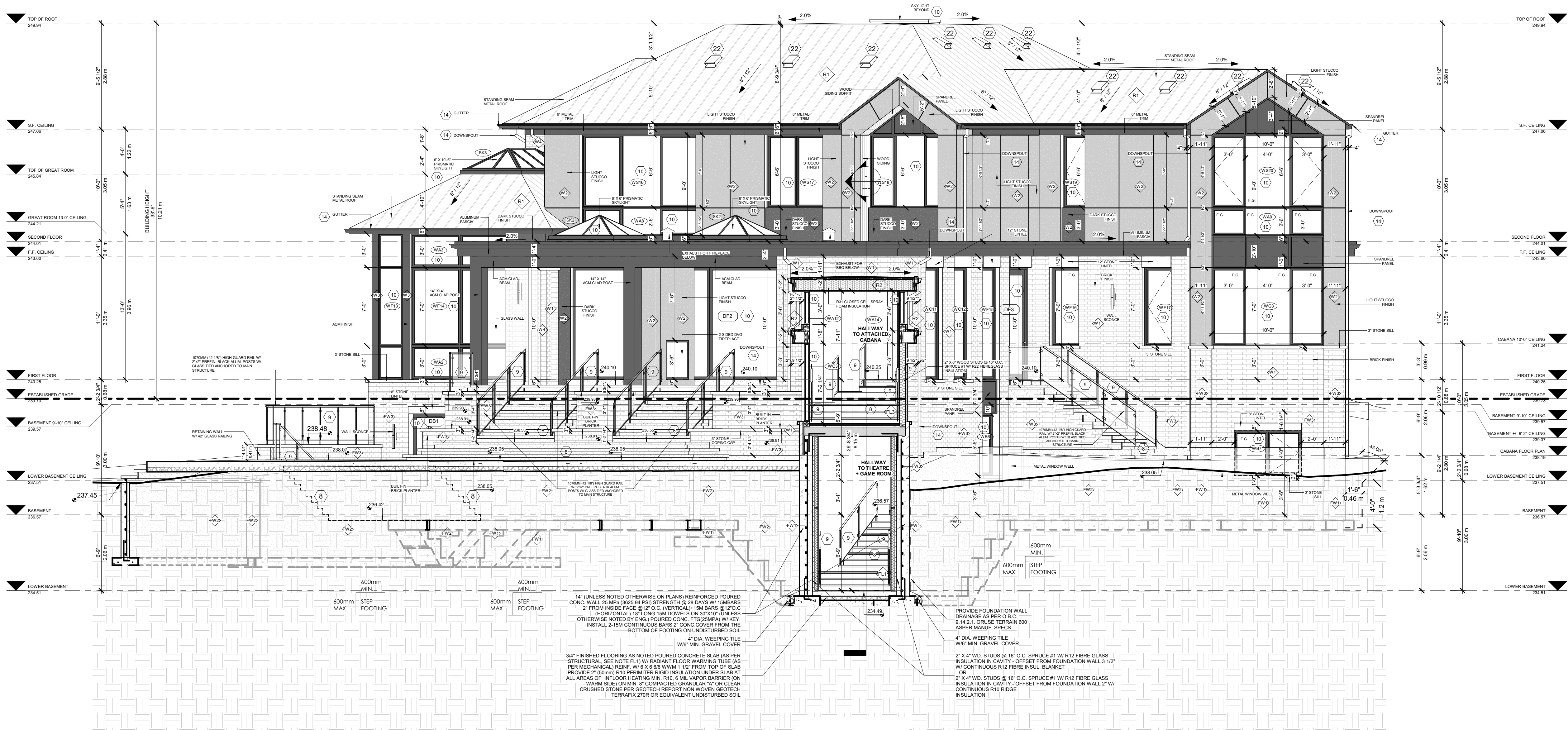
PROPOSED 2-STORY DWELLING
AT
108 SIR MODESTO COURT,
VAUGHAN, ON

REAR (SOUTHEAST) ELEVATION

Project number: 2023-26
Rev. no.: 3/16" = 1'-0"
Scale: FEBRUARY, 2025
Date: J.T. & S.V.
Drawn by: M.Z.
Approved by:

Drawing number:

A9



1 REAR (SOUTHEAST) ELEVATION
3/16" = 1'-0"

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NAME SIGNATURE BCIN
REGISTRATION INFORMATION
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CONTEMPO STUDIO 46972
FIRM NAME BCIN

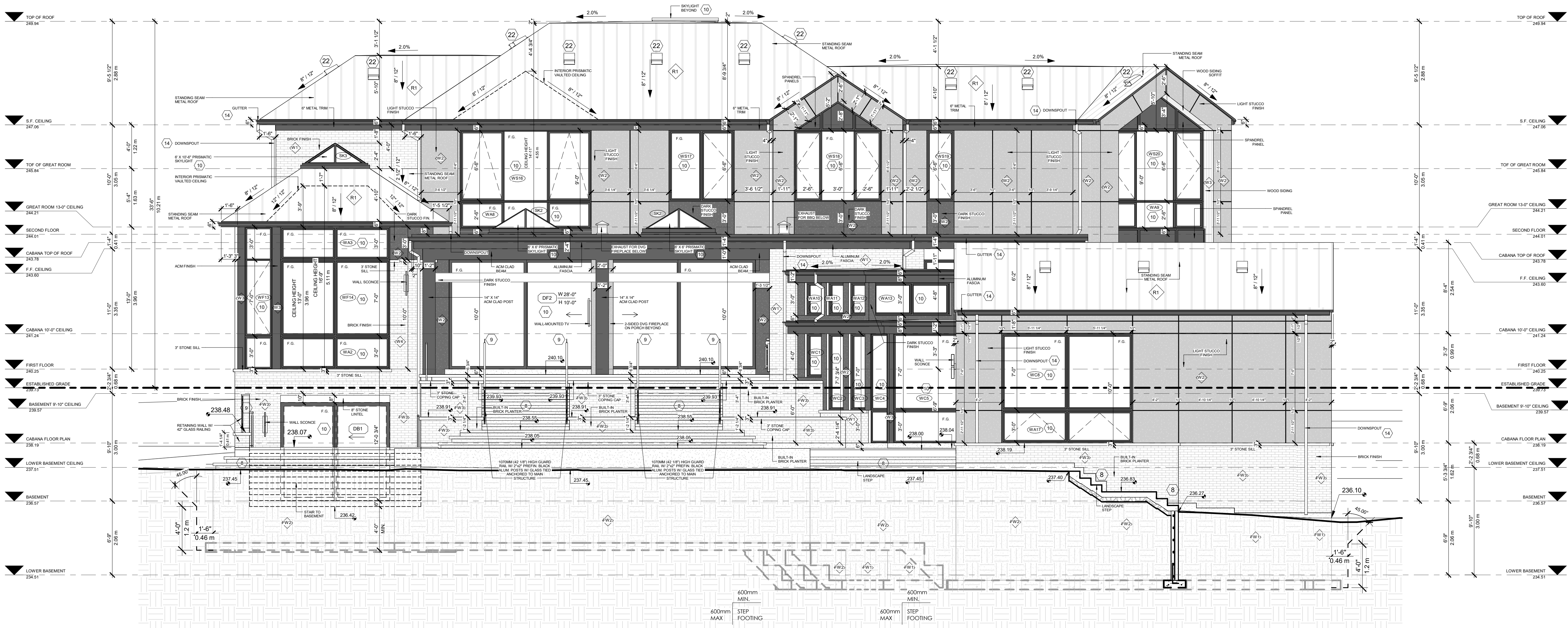
PROPOSED 2-STOREY DWELLING
AT
108 SIR MODESTO COURT,
VAUGHAN, ON

REAR (SOUTH) ELEVATION

Project number: 2023-26
Rev. no.: 3/16" = 1'-0"
Scale: FEBRUARY, 2025
Date: J.T. & S.V.
Drawn by: M.Z.
Approved by:

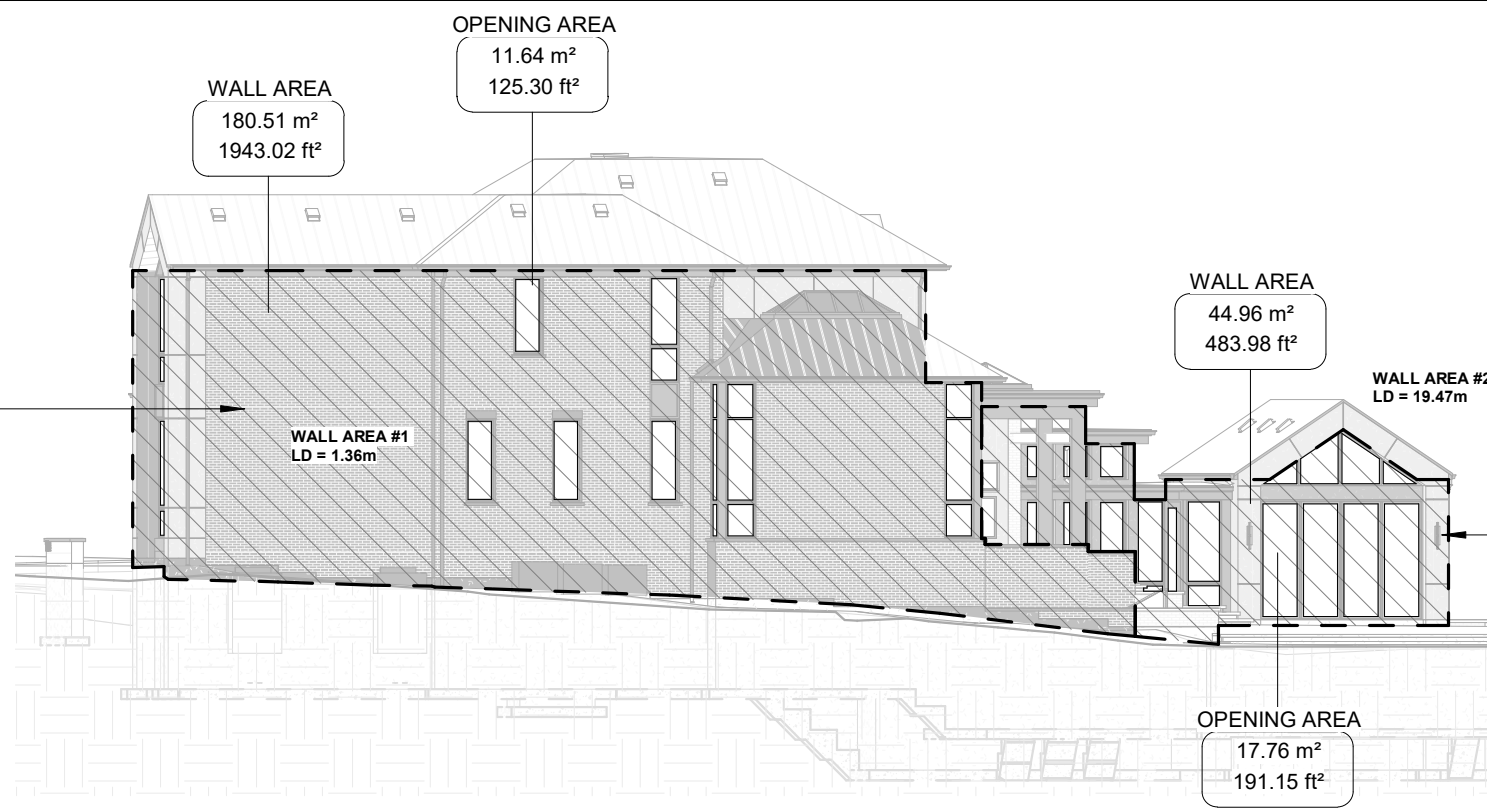
Drawing number:

A10



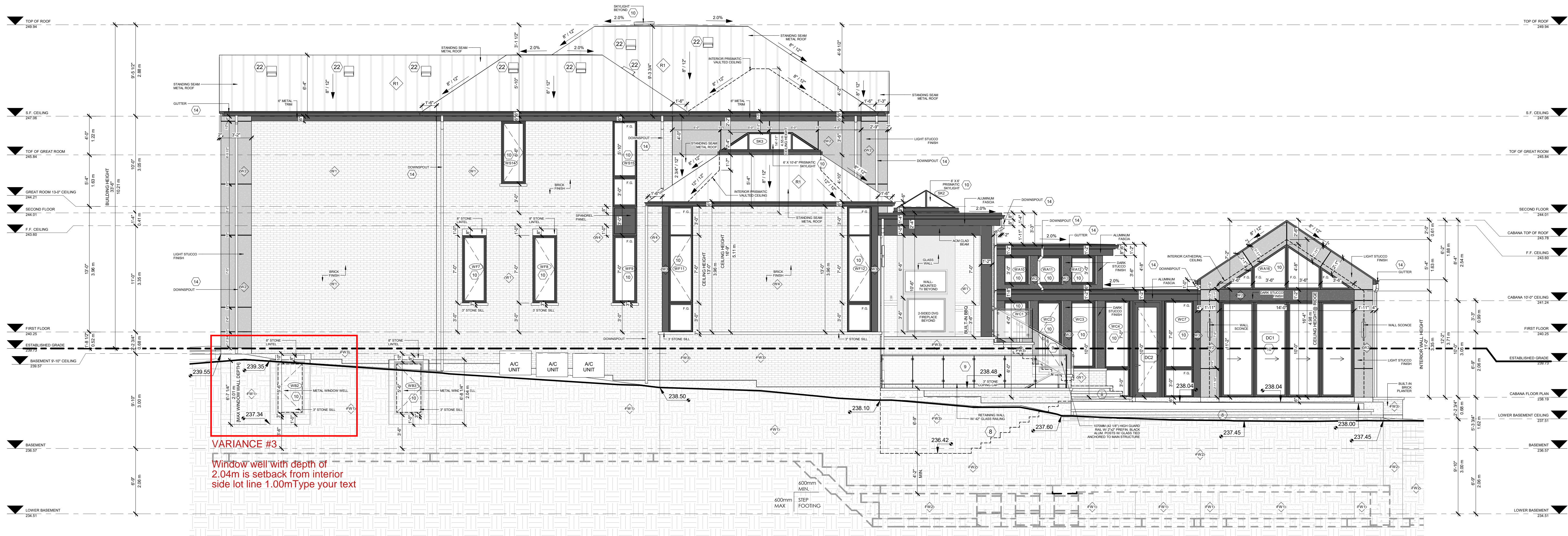
1 REAR (SOUTH) ELEVATION
3/16" = 1'-0"

UNPROTECTED OPENING CALCULATION AS PER 9.10.15.4
RIGHT ELEVATION - SPLIT FACE CALCULATION METHOD - WALL AREA #1
TOTAL WALL AREA OF EXPOSED BUILDING FACE = 2,427.00 ft² (225.48 m²)
WALL AREA #1 OF EXPOSED BUILDING FACE = 1943.02 ft² (180.51m²)
LIMITING DISTANCE = 1.36m
TABLE 9.10.15.4 (WITH TOTAL WALL AREA = 2,427.00 ft² (225.48 m²), LD = 1.36m)
EXTRAPOLATED MAX ALLOWED UNPROTECTED OPENING = 7.00%
ALLOWABLE UPO AREA = 1943.02 ft² (180.51m²) @ 7.00% = 136.01 ft² (12.64m²)
PROPOSED UPO AREA (WALL AREA #1) = 125.30 ft² (11.64m²) = 6.45%
(GLAZING AREAS ONLY)
10.71 ft² (1.00m²) UNDER THE MAX ALLOWED



UNPROTECTED OPENING CALCULATION AS PER 9.10.15.4
RIGHT ELEVATION - SPLIT FACE CALCULATION METHOD - WALL AREA #2
TOTAL WALL AREA OF EXPOSED BUILDING FACE = 2,427.00 ft² (225.48 m²)
WALL AREA #2 OF EXPOSED BUILDING FACE = 483.98 ft² (44.96m²)
LIMITING DISTANCE = 19.47m
TABLE 9.10.15.4 (WITH TOTAL WALL AREA = 2,427.00 ft² (225.48 m²), LD = 19.47m)
EXTRAPOLATED MAX ALLOWED UNPROTECTED OPENING = 98.94%
ALLOWABLE UPO AREA = 483.98 ft² (44.96m²) @ 98.94% = 478.85 ft² (44.49m²)
PROPOSED UPO AREA (WALL AREA #2) = 191.15 ft² (17.76m²) = 39.50%
(GLAZING AREAS ONLY)
287.70 ft² (26.73m²) UNDER THE MAX ALLOWED

2 UPO CALCULATION - RIGHT (WEST) ELEVATION
1/16" = 1'-0"



1 RIGHT (WEST) ELEVATION
3/16" = 1'-0"

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MARIN ZABZUNI 45250
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7, Division C of the Ontario Building Code.
CONTEMPO STUDIO 46972
FIRM NAME BCIN

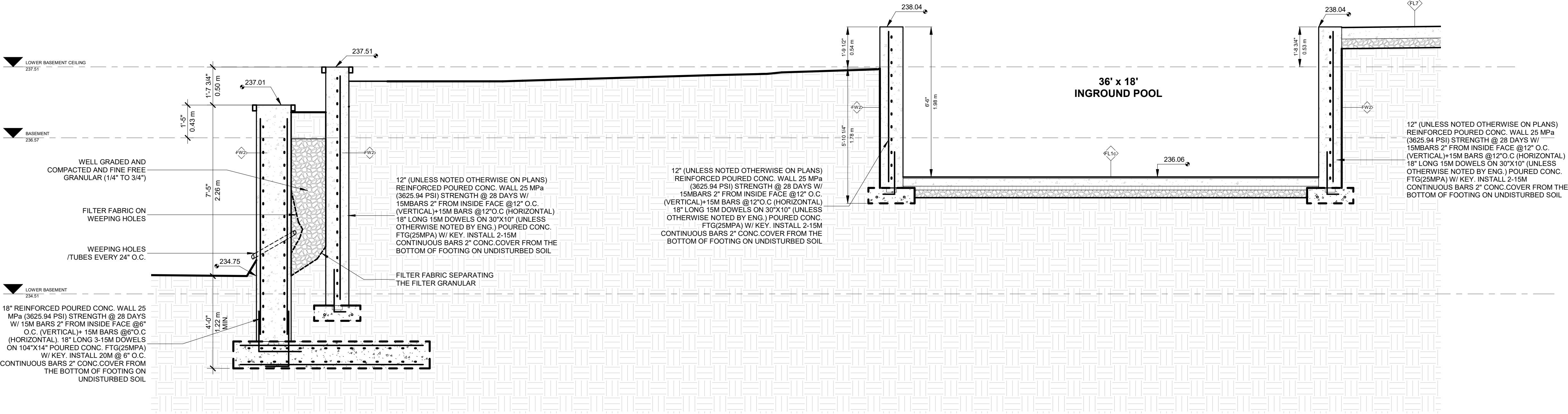
PROPOSED 2-STOREY DWELLING
AT
108 SIR MODESTO COURT,
VAUGHAN, ON

RIGHT (WEST) ELEVATION

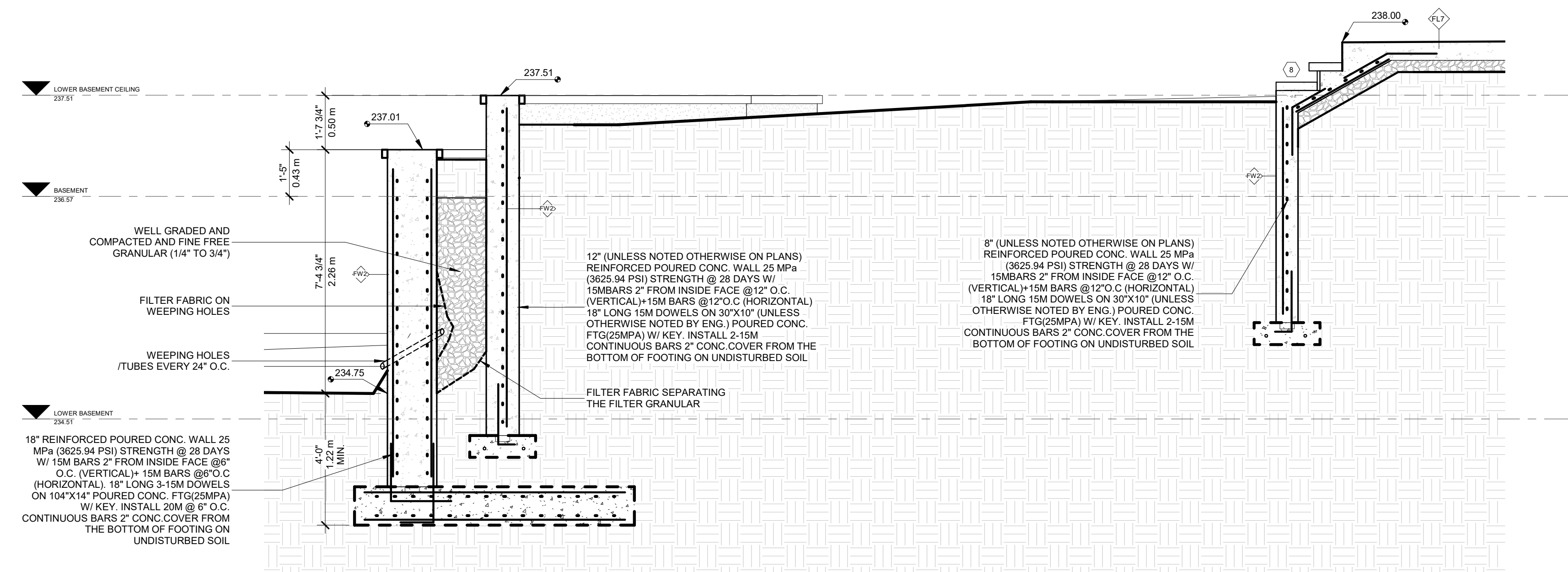
Project number: 2023-26
Rev. no.: As indicated
Scale: As indicated
Date: FEBRUARY, 2025
Drawn by: J.T. & S.V.
Approved by: M.Z.

Drawing number:

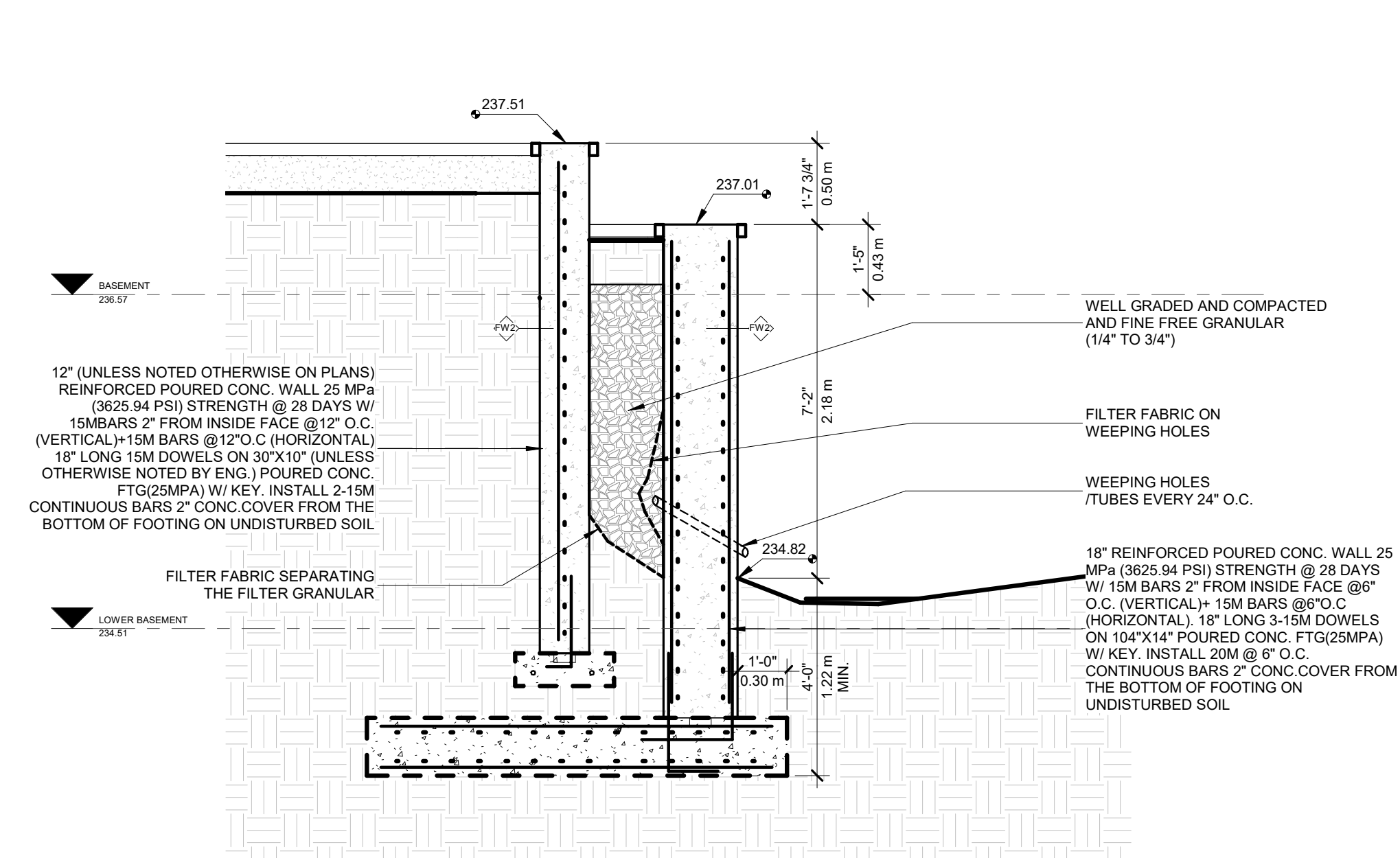
A11



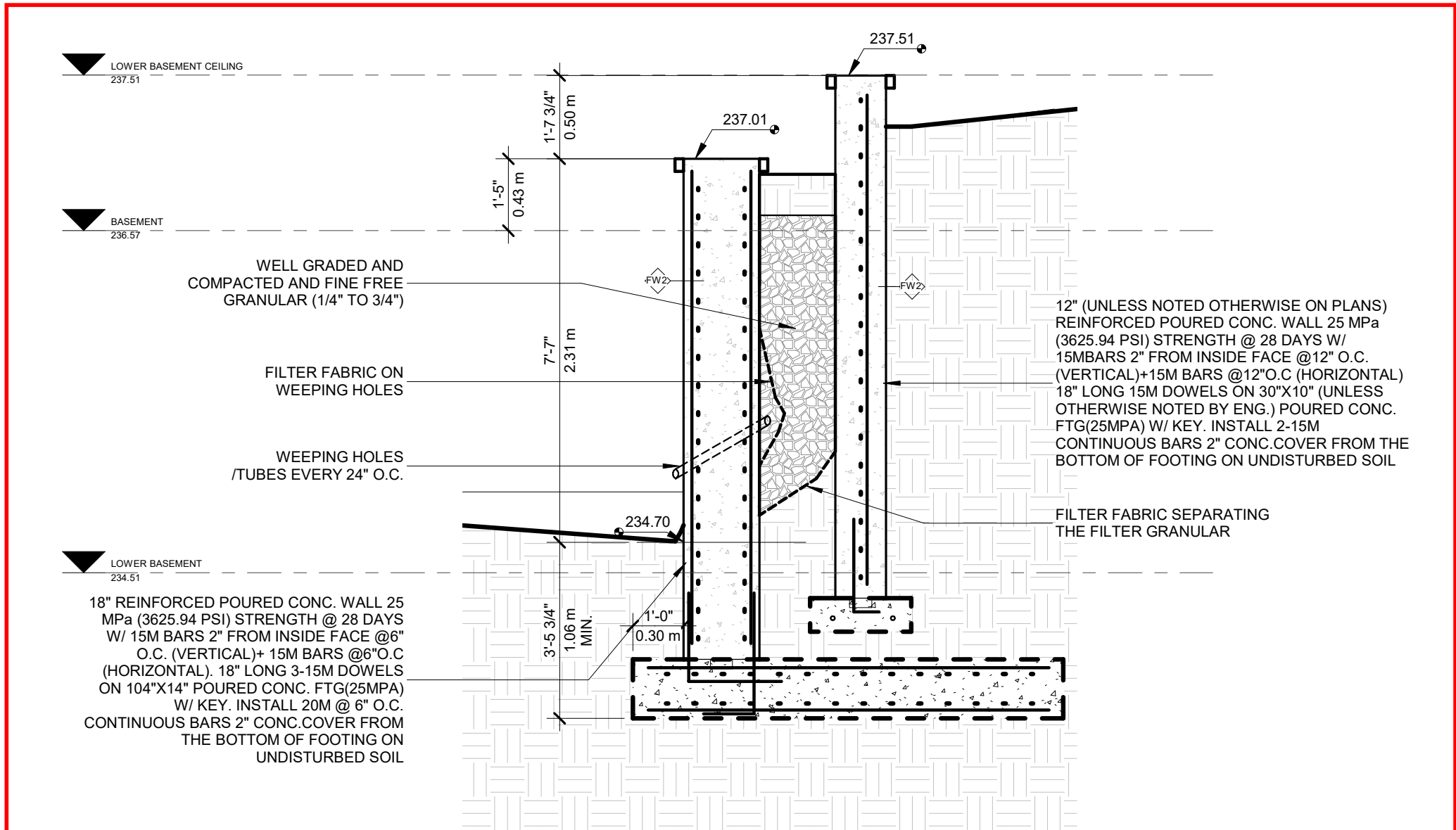
1 RETAINING WALL SECTION 1
3/8" = 1'-0"



2 RETAINING WALL SECTION 2
3/8" = 1'-0"



3 RETAINING WALL SECTION 3
3/8" = 1'-0"



4 RETAINING WALL SECTION 4
3/8" = 1'-0"

VARIANCE #2

Retaining wall with
a height of 2.31m is
setback from interior
side lot line 0.00m

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MARIN ZABZUNI	SIGNATURE	45250
NAME		BCIN
REGISTRATION INFORMATION		
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.		
CONTEMPO STUDIO		46972
FIRM NAME		BCIN

PROPOSED 2-STOREY DWELLING
AT
108 SIR MODESTO COURT,
VAUGHAN, ON

RETAINING WALL SECTIONS

Project number:	2023-26
Rev. no.:	3/8" = 1'-0"
Scale:	
Date:	FEBRUARY, 2025
Drawn by:	J.T. & S.V.
Approved by:	M.Z.

Drawing number:

A26

SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions

Date: February 14th 2025

Attention: **Christine Vigneault**

RE: Request for Comments

File No.:

Related Files: **A009-25**

Applicant: Contempo Studio

Location 108 Sir Modesto Court PLAN 65M4184 Block 47

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

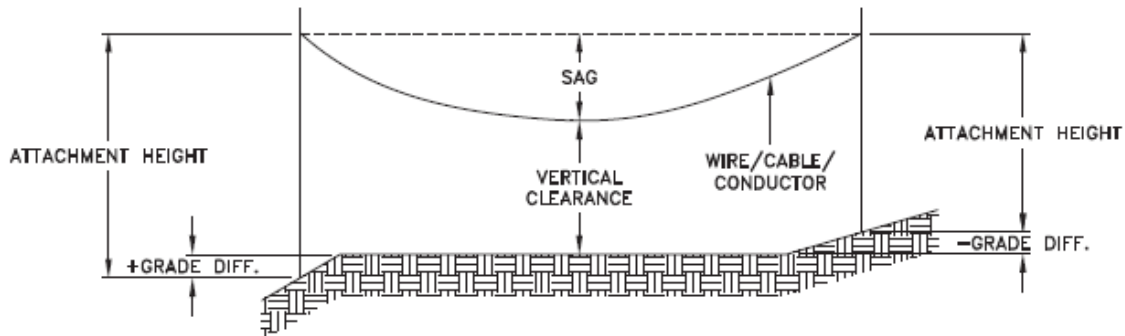
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS</u> AND <u>BICYCLES</u> ONLY	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 + GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

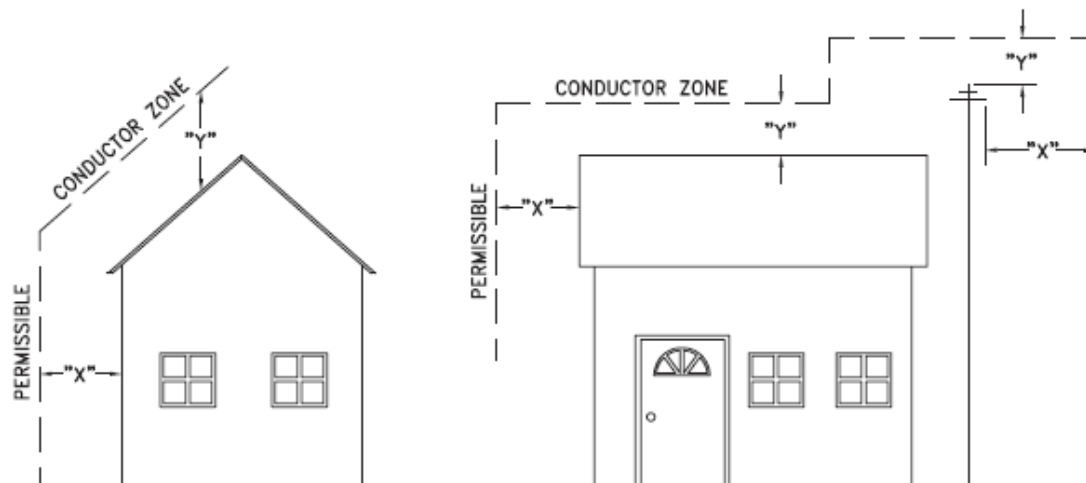
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P.Eng. Approval By: D. Dadwani

To: Committee of Adjustment
From: Bernd Paessler, Building Standards Department
Date: February 20, 2025
Applicant: Contempo Studio
Location: 108 Sir Modesto Court PLAN 65M4184 Block 47
File No.(s): A009/25

Zoning Classification:

The subject lands are zoned R2A – Second Density Residential Zone and subject to the provisions of Exception 14.847& 850 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The maximum permitted encroachment for an access stair, open, unenclosed is 1.8m into the minimum required rear yard of 7.5m. Sect 4.13	To permit access stairs to encroach a maximum of 1.93m into the minimum required rear yard of 7.5m.
2	A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall. The height of the retaining wall at the west lot line is 2.31m therefore the required setback is 2.31m. Sect. 4.13	To permit a minimum setback of 0.0m for the retaining wall at the west lot line.
3	A minimum setback of 2.04m is required from the west lot line to the retaining wall (window well) Sect. 4.13	To permit a retaining wall (window well) with a height of 2.04m to be setback a minimum of 1.0m from the west lot line.
4	A minimum setback of 2.02m is required from the east lot line to the retaining wall (window well) Sect. 4.13	To permit a retaining wall (window well) with a height of 2.02m to be setback a minimum of 0.57m from the east lot line.
5	An uncovered platform (paverstone terrace/grassed area) with a floor height greater than 1.2m as measured above grade and including access stairs, is permitted to encroach to a maximum of 2.4m into the minimum required rear yard of 7.5m.	To permit an uncovered platform (paverstone terrace/grassed area) with a floor height of 2.6m to encroach into the minimum rear yard of 7.5m a maximum of 4.41m.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Building Permit No. 24-136464 for Single Detached Dwelling - New, Issue Date: (Not Yet Issued)

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).
3	The subject lands may be subject to the Oak Ridges Moraine Conservation Act, RSO 2001.
4	Reviewed as a single detached dwelling only. Basement has not been reviewed as a secondary suite.
5	The proposed heated driveway on city property will require city approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development and Parks Planning

Date: May 29, 2025

Name of Owners: Madison Saul, Adam Ryan Saul (107 Sir Modesto Court);
Laura Faye Anava, Oren James Anava (108 Sir Modesto Court)

Location: 107 Sir Modesto Court 108 Sir Modesto Court

File No.(s): B006/25, A011/25 B007/25, A009/25

A011/25 – 107 Sir Modesto Court**Proposed Variances:**

1. To permit an uncovered platform to encroach a maximum of **5.11 m** into the required rear yard.
2. To permit a minimum setback of **0.0 m** for the retaining wall at the east interior side lot line.
3. To permit a retaining wall with a height of **1.75 m** to be located at **1.36 m** from the rear lot line.
4. To permit a retaining wall (window well) with a height of **2.16 m** to be located at **0.57 m** from the interior lot line.
5. To permit an accessory building (cabana) with a maximum height of **5.82 m**.
6. To permit a minimum of **52.21%** (295.73 m²) of the required minimum landscaped rear yard to be composed of soft landscaping.

By-Law 001-2021 Requirement(s):

1. The maximum permitted encroachment of an uncovered platform is **2.4 m** into the required rear yard.
2. A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall.
3. A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall.
4. A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall.
5. In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be **3.0 m**.
6. In the R2A Zone, any portion of a yard in excess of 135.0 m² shall be comprised of a minimum **60%** soft landscape.

A009/25 – 108 Sir Modesto Court**Proposed Variances:**

1. To permit access stairs to encroach a maximum of **1.93 m** into the minimum required rear yard.
2. To permit a minimum setback of **0.0 m** for the retaining wall at the west interior lot line.
3. To permit a retaining wall (window well) with a height of **2.04 m** to be setback a minimum of **1.0 m** from the west lot line.
4. To permit a retaining wall (window well) with a height of **2.02 m** to be setback a minimum of **0.57 m** from the east lot line.
5. To permit an uncovered platform (pavestone terrace/grassed area) with a floor height of 2.6 m to encroach into the minimum rear yard of 7.5 m a maximum of **4.41 m**.

By-Law 001-2021 Requirement(s):

1. The maximum permitted encroachment for an access stair is **1.8 m** into the minimum required rear yard of 7.5 m.
2. A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall.
3. A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall.
4. A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall.

5. An uncovered platform (paverstone terrace/grassed area) with a floor height greater than 1.2 m as measured above grade and including access stairs, is permitted to encroach **2.4 m** into the minimum required rear yard of 7.5m.

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Low Rise Residential"

Comments:

The Owners of 107 Sir Modesto Court and 108 Sir Modesto Court are seeking relief to permit a new single detached dwelling and accessory structures on each property. Two mutual access easements are proposed to permit the construction and maintenance of a contiguous stretch of retaining wall spanning the width of both properties.

B006/25, B007/25

Consent application files B006/25 and B007/25 are received for 107 Sir Modesto Court and 108 Sir Modesto Court to facilitate two mutual access easements required to service and maintain a proposed retaining wall that is contiguously located across both properties. The proposed retaining wall provides for a more consistent lot grading across the proposed rear yards of both properties.

Policy 10.1.2.36 of VOP 2010 permits the creation of private easements over existing lots. The proposed easement areas encompass the proposed retaining wall and a 0.6 m buffer around the retaining wall. Development Engineering staff have reviewed the proposed easement sketches and are satisfied that the easement areas will allow for mutual access and maintenance of the retaining wall.

A011/25 – 107 Sir Modesto Court

The Development and Parks Planning Department has no objections to Variances 1 and 3 to permit the encroachment of a raised platform 5.11 m into the minimum required rear yard and to permit the retaining wall on the outer edge of the raised platform, 1.75 m in height, to be located 1.36 m from the rear lot line. The grading of the property slopes downward toward the rear, and the proposed raised terrace and retaining walls provide a leveled rear yard. The spaces beyond the retaining wall are proposed to be sodded. The raised terrace and retaining wall are not anticipated to pose massing impacts on the neighbouring property to the west or the public trail to the south. Development Engineering staff have reviewed the retaining wall and have no concerns with the increased encroachment.

The Development and Parks Planning Department has no objections to Variance 2 to permit a retaining wall to be located 0.0 m from the east interior side lot line. The proposed retaining wall is oriented perpendicular to the eastern interior side lot line and connects to a segment of the retaining wall proposed on 108 Sir Modesto Court, east of the subject property. Consent applications B006/25 and B007/25 have been submitted to facilitate mutual access easements and have been reviewed to the satisfaction of Development Engineering staff.

The Development and Parks Planning Department has no objections to Variance 4 to permit a window well 2.16 m in depth to be setback 0.57 m from the east interior side yard. The remaining side yard is proposed to be sodded. The window well does not prohibit the movement of residents and goods between the front and rear yard, and additional access can be provided through the western interior side yard.

The Development and Parks Planning Department has no objections to Variance 5 to permit a height increase for the proposed cabana from 3 m to 5.82 m. The proposed height is measured from established grade, and the height is most perceived from the rear. The cabana maintains a compliant setback from all lot lines, and is not anticipated to incur massing impacts on neighbouring properties or the public trail to the south.

The Development and Parks Planning Department has no objections to Variance 6 to reduce the minimum soft landscaping in the portion of the rear yard in excess of 135 m² from 60% to 52.21%. The reduction represents approximately 44 m² of soft landscaping, which is minor given the size of the rear yard. Development Engineering staff have reviewed the variance and are satisfied that the reduced soft landscaping remains sufficient for stormwater management.

A009/25 – 108 Sir Modesto Court

The Development and Parks Planning Department has no objections to Variances 1 and 5 to permit a raised platform to encroach 4.41 m into the minimum required rear yard and for the access stairs to encroach 1.93 m into the minimum required rear yard. The grading of the property slopes downward toward the rear, and the proposed raised terrace provides a level grade within the rear yard. The access stairs located along the outer edge of the raised terrace provides access to the sodded areas beyond the raised terrace. The raised terrace and access stairs are not anticipated to incur any negative impacts on the public open space to the rear of the property.

The Development and Parks Planning Department has no objections to Variance 2 to permit the retaining wall to be setback 0.0 m from the western interior side lot line. The proposed retaining wall is oriented perpendicular to the side lot line and connects to the portion of the proposed retaining wall on 107 Sir Modesto Court, west of the subject property. Consent applications B006/25 and B007/25 have been submitted to facilitate mutual access easements and have been reviewed to the satisfaction of Development Engineering staff.

The Development and Parks Planning Department has no objections to Variances 3 and 4 to permit reduced setbacks to window wells located within the western and eastern interior side yards. The remaining interior side yards are proposed to be sodded. The setback reductions of 0.57 m to the west side lot line and 1.0 m to the east side lot line are sufficient to maintain access between the front and rear yards.

Accordingly, the Development and Parks Planning Department supports the requested variances and is of the opinion that the proposals are minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development and Parks Planning Department recommends approval of files B006/25 and A011/25 (107 Sir Modesto Court), and files B007/25 and A009/25 (108 Sir Modesto Court).

Conditions of Approval:

If the Committee finds merit in the applications, the following conditions of approval are recommended:

None.

Comments Prepared by:

Harry Zhao, Planner

Janany Nagulan, Senior Planner

February 18, 2025.

PAR-DPP-2025-00574

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Christine Vigneault
Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A009/25
Block 47, Plan 65M4184
108 Sir Modesto Court
City of Vaughan, Regional Municipality of York
Applicant: Contempo Studio**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on February 13, 2025. TRCA staff have reviewed the application and offer the following comments for the consideration of the Committee of Adjustment.

Purpose of the Application

It is our understanding that the purpose of the above noted application is to request the following variances under By-Law 001-2021, as amended:

- To permit access stairs to encroach a maximum of 1.93 metres into the minimum required rear yard of 7.5 metres;
- To permit a minimum setback of 0.0 metres for the retaining wall at the west lot line;
- To permit a retaining wall (window well) with a height of 2.04 metres to be setback a minimum of 1.0 metres from the west lot line; and,
- To permit a retaining wall (window well) with a height of 2.02 metres to be setback a minimum of 0.57 metres from the east lot line.

Ontario Regulation 41/24

The subject property is located within TRCA's Regulated Area due to a valley corridor and Regional Storm flood plain associated with a tributary of the Don River Watershed. In accordance with Ontario Regulation 41/24, development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, unstable soils, or bedrock will not be affected.

Application-Specific Comments

TRCA staff have reviewed and issued a permit for the proposed two-storey Dwelling, in-ground pool, retaining wall, hard landscape, and associated grading (TRCA Permit No. PER-DPP-2024-00004, issued September 12, 2024). The plans submitted with this application are consistent with the plans that were approved as part of TRCA's permit.

Based on the above, TRCA staff have no concerns with the proposed variance.

Fees

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$660.00 (Minor Variance – Residential - Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

Recommendations

Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A009/25 subject to the following conditions:

1. That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.

We trust these comments are of assistance. Should you have any questions, please contact me at 437-880-1925 or at cameron.mcdonald@trca.ca.

Sincerely,

Cameron McDonald

Cameron McDonald
Planner I
Development Planning and Permits | Development and Engineering Services
cameron.mcdonald@trca.ca, 437-880-1925

From: [Hurst, Gabrielle](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A009/25 - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Wednesday, February 19, 2025 7:44:55 AM
Attachments: [image001.png](#)

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good morning,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Regards,

Gabrielle

Gabrielle Hurst MCIP, RPP | Associate Planner, Development Planning, Economic and Development Services Branch | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Kaley Hernandez	56 Foley Crescent	03/03/2025	Letter of Support
Public	Clelia & Rob Proia	82 Sir Modesto Court	03/03/2025	Letter of Support
Public	Steve Paraskevopoulos	103 Sir Modesto Court	03/03/2025	Letter of Support
Public	Ken Aslan	200 Farrell Road	03/03/2025	Letter of Support

LETTER OF SUPPORT

To: Committee of Adjustment, City of Vaughan
File No. A009/25
Address: 108 SIR MODESTO COURT, VAUGHAN, ON L6A 4G2
Owner(s): LAURA ANAVA AND OREN ANAVA

Proposal: To construct a new single family detached dwelling. The variance(s) are also outlined in the notices sent by the committee and are part of File Number: A009/25

RE: 108 SIR MODESTO COURT, VAUGHAN, ON L6A 4G2

I/We live at 56 Foley Cres, Vaughan, ON L6A 4Y8, Vaughan, Ontario. I/We

SUPPORT the above proposal for **108 SIR MODESTO COURT, VAUGHAN, ON L6A 4G2.**

WITH THANKS,

Name Kaley Hernandez

Signed 

Dated 2/27/25

LETTER OF SUPPORT

To: Committee of Adjustment, City of Vaughan
File No. A009/25
Address: 108 SIR MODESTO COURT, VAUGHAN, ON L6A 4G2
Owner(s): LAURA ANAVA AND OREN ANAVA

Proposal: To construct a new single family detached dwelling. The variance(s) are also outlined in the notices sent by the committee and are part of File Number: A009/25

RE: 108 SIR MODESTO COURT, VAUGHAN, ON L6A 4G2

I/We live at 82 Sir Modesto Court, Vaughan, Ontario. I/We

SUPPORT the above proposal for **108 SIR MODESTO COURT, VAUGHAN, ON L6A 4G2.**

WITH THANKS,

Name Chels + Rob Proie

Signed Proie.

Dated Feb 25, 2025

LETTER OF SUPPORT

To: Committee of Adjustment, City of Vaughan
File No. A009/25
Address: 108 SIR MODESTO COURT, VAUGHAN, ON L6A 4G2
Owner(s): LAURA ANAVA AND OREN ANAVA

Proposal: To construct a new single family detached dwelling. The variance(s) are also outlined in the notices sent by the committee and are part of File Number: A009/25


RE: 108 SIR MODESTO COURT, VAUGHAN, ON L6A 4G2

I/We live at 103 Sir Modesto Cr, Vaughan, Ontario. I/We

SUPPORT the above proposal for **108 SIR MODESTO COURT, VAUGHAN, ON L6A 4G2.**

WITH THANKS,

Name Steve Paraskevopoulos

Signed 

Dated Feb 25, 2025

LETTER OF SUPPORT

To: Committee of Adjustment, City of Vaughan
File No. A009/25
Address: 108 SIR MODESTO COURT, VAUGHAN, ON L6A 4G2
Owner(s): LAURA ANAVA AND OREN ANAVA

Proposal: To construct a new single family detached dwelling. The variance(s) are also outlined in the notices sent by the committee and are part of File Number: A009/25


RE: 108 SIR MODESTO COURT, VAUGHAN, ON L6A 4G2

I/We live at 200 FARRELL RD., Vaughan, Ontario. I/We

SUPPORT the above proposal for **108 SIR MODESTO COURT, VAUGHAN, ON L6A 4G2.**

WITH THANKS,

Name KEN ASLAN

Signed 

Dated FEB 27 2025

SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A