

ITEM: 6.18	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A193/24
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Report Date: May 30, 2025

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Forestry	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Applicant			05/08/2025	Planning Justification Report
Applicant			05/15/2025	Slope Stability Assessment
Applicant			03/29/2025	Arborist Report
Letter of support	Peter & Donna Nella	49 Cromdale Ridge	03/31/2025	Letter of support
Letter of support	Maria Iacobelli	61 Cromdale Ridge	03/31/2025	Letter of support
Letter of support	Harry & Sonia Nagra	62 Cromdale Ridge	03/31/2025	Letter of support
Letter of support	John Keliar & Franca Aquila	66 Cromdale Ridge	03/31/2025	Letter of support
Letter of support	Azher & Jasia Abbas	67 Cromdale Ridge	05/08/2025	Letter of support

BACKGROUND (SCHEDULE D, IF REQUIRED)	
<small>* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.</small>	
Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY	
<small>* Previous hearing dates where this application was adjourned by the Committee and public notice issued.</small>	
Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence

SCHEDULES	
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A193/24

CITY WARD #:	2
APPLICANT:	Giuseppe Nicola Cosentino and Rita Jinette Cosentino
AGENT:	Giuseppe Cosentino
PROPERTY:	55 Cromdale Ridge, Woodbridge
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	N/A
PURPOSE OF APPLICATION:	Relief from zoning by-law is being requested to permit the construction of a pergola and cabana in the rear yard.

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

The subject lands are zoned R1B(EN) – Estate Residential Zone (Established Neighbourhood) and EP Environmental Zone subject to the provisions of Exception 14.253 and 14.326 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A residential accessory structure(pergola) with a height greater than 2.8m shall not be located closer than 2.4m to any lot line. Section 4.1.2.1.b	To permit a residential accessory structure (Pergola) with a height greater than 2.8m to be located a minimum of 0.60m from the interior side lot line.
2	A maximum building height of 3.0m is permitted for the residential accessory structure (Pergola). Section 4.1.4.1	To permit a maximum height of 3.37m for the residential accessory structure (Pergola).
3	For a building or structure within Part 3 on Schedule E-611, a minimum setback of 10.0 metres is required from the area labelled "OS1" on Schedule E-611. Exception 14.326.1	To permit the residential accessory structure (Pergola) to be setback a minimum of 0.0 metres from the area labelled OS1 on Schedule E-611 and to be partially located within the area labelled OS1 on Schedule E-611.
4	A residential accessory structure (Cabana) with a height greater than 2.8m shall not be located closer than 2.4m to any lot line. Section 4.1.2.1.b	To permit a residential accessory structure (Cabana) with a height greater than 2.8m to be located a minimum of 0.60m from the interior side lot line.
5	A maximum building height of 3.0m is permitted for the residential accessory structure (Cabana). Section 4.1.4.1	To permit a maximum height of 3.96m for the residential accessory structure (Cabana).
6	For a building or structure within Part 3 on Schedule E-611, a minimum setback of 10.0 metres is required from the area labelled "OS1" on Schedule E-611. Exception 14.326.1	To permit the residential accessory structure (Cabana) to be setback a minimum of 0.0 metres from the area labelled OS1 on Schedule E-611 and to be partially located within the area labelled OS1 on Schedule E-611.
7	In a residential zone, the maximum lot coverage of all accessory buildings and residential accessory structures shall be 67 square metres. Section 4.1.3 1	To permit a maximum lot coverage of 101.44 square metres.

8	The minimum distance of 0.60m shall be required from any permitted encroachment to the nearest lot line. Section 4.13 3	To permit a minimum of 0.50m from the interior side lot line for the eaves of the residential accessory structure (Cabana)
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HEARING INFORMATION	
DATE OF MEETING: Thursday, June 5, 2025 TIME: 6:00 p.m. MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2 nd Floor), 2141 Major Mackenzie Drive LIVE STREAM LINK: Vaughan.ca/LiveCouncil	
PUBLIC PARTICIPATION	
<p>If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the Request to Speak Form and submit to cofa@vaughan.ca</p> <p>If you would like to submit written comments, please quote file number above and submit by mail or email to:</p> <p>Email: cofa@vaughan.ca</p> <p>Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1</p> <p>To speak electronically, pre-registration is required by completing the Request to Speak Form on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.</p> <p>THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.</p>	

INTRODUCTION
<p>Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.</p> <p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:</p> <p>That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p>

COMMITTEE OF ADJUSTMENT	
Date Public Notice Mailed:	May 22, 2025
Date Applicant Confirmed Posting of Sign:	May 18, 2025
Applicant Justification for Variances: <small>*As provided in Application Form</small>	The Proposed Pergola and Proposed Cabana designs require height and setback variances, as well as variances regarding total structures coverage. The placement of the structures have been designed as proposed due to existing site conditions, including development limits established by the TRCA (permit already recieved). Property also subject to Exception 14.326. A justification brief with further details will be provided.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
<p>The Owner / Applicant shall ensure that the proposed pergola, cabana and swimming pool do not negatively impact neighbours due to surface water runoff. The property should be properly graded, ensuring that surface water from the residence doesn't flow onto adjacent lots in accordance with the City's Engineering Standards. It's important to note that additions more than 40 m² necessitate a Grading Permit. Once the Grading Permit is obtained, please reach out to the Development Engineering Reviewer to clear the Condition imposed on this application. The Owner / Applicant shall apply for a Pool Grading Permit with the Development Engineering (DE) Department. Please visit the grading permits page at City of Vaughan website to learn how to apply for the Pool Permit. If you have any question about Pool Grading Permit, please contact the Development Engineering Department through email at DEPermits@vaughan.ca. The Development Engineering Department does not object to the Minor Variance application A193/24, subject to the following condition(s):</p>	
Development Engineering Recommended Conditions of Approval:	<p>The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Engineering Permits page of the City of Vaughan's website: Engineering Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca</p>

PARKS, FORESTRY & HORTICULTURE (PFH)	
Recommended condition of approval.	
PFH Recommended Conditions of Approval:	<p>Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.</p>

DEVELOPMENT FINANCE	
No comment no concerns.	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES	
No comments received to date.	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC)	
No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT	
No comments received to date.	
Fire Department Recommended Conditions of Approval:	None

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering Rex.bondad@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Engineering Permits page of the City of Vaughan's website: Engineering Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
2	Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca	Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.
3	TRCA yorkplan@trca.ca	That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

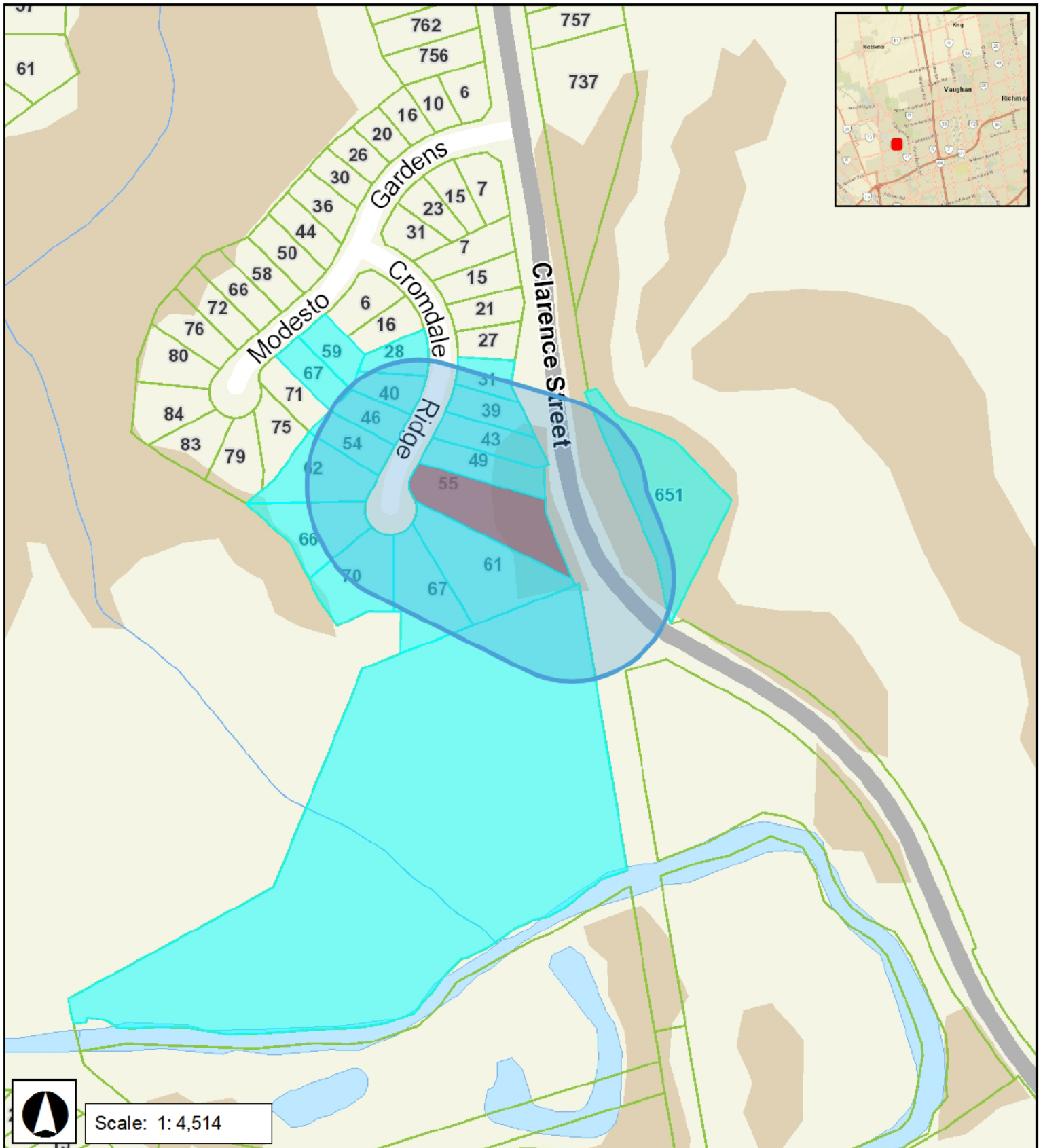
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

IMPORTANT INFORMATION

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



1 SITE PLAN & STATISTICS - COA
C-5 1:300

SITE PLAN

PROPOSED IN-GROUND POOL,
CABANA, & PERGOLA

55 CROMDALE RIDGE,
WOODBRIIDGE, ON

Part of Lot 11, Block 37, Plan 65-2604
City of Vaughan, Regional Municipality of York

ZONING DESIGNATION:

R1B - FIRST DENSITY RESIDENTIAL;
EP ZONE (REAR PART OF LOT);
EXCEPTION 14.326

ALL DIMENSIONS IN METRES UNLESS OTHERWISE
NOTED
MAY 2025

SITE STATISTICS

Total Lot Area: 3097 m2 Required Rear Soft Landscape Area: 1905m² - 135m² x 60% = 1062m²*

LOT COVERAGE:

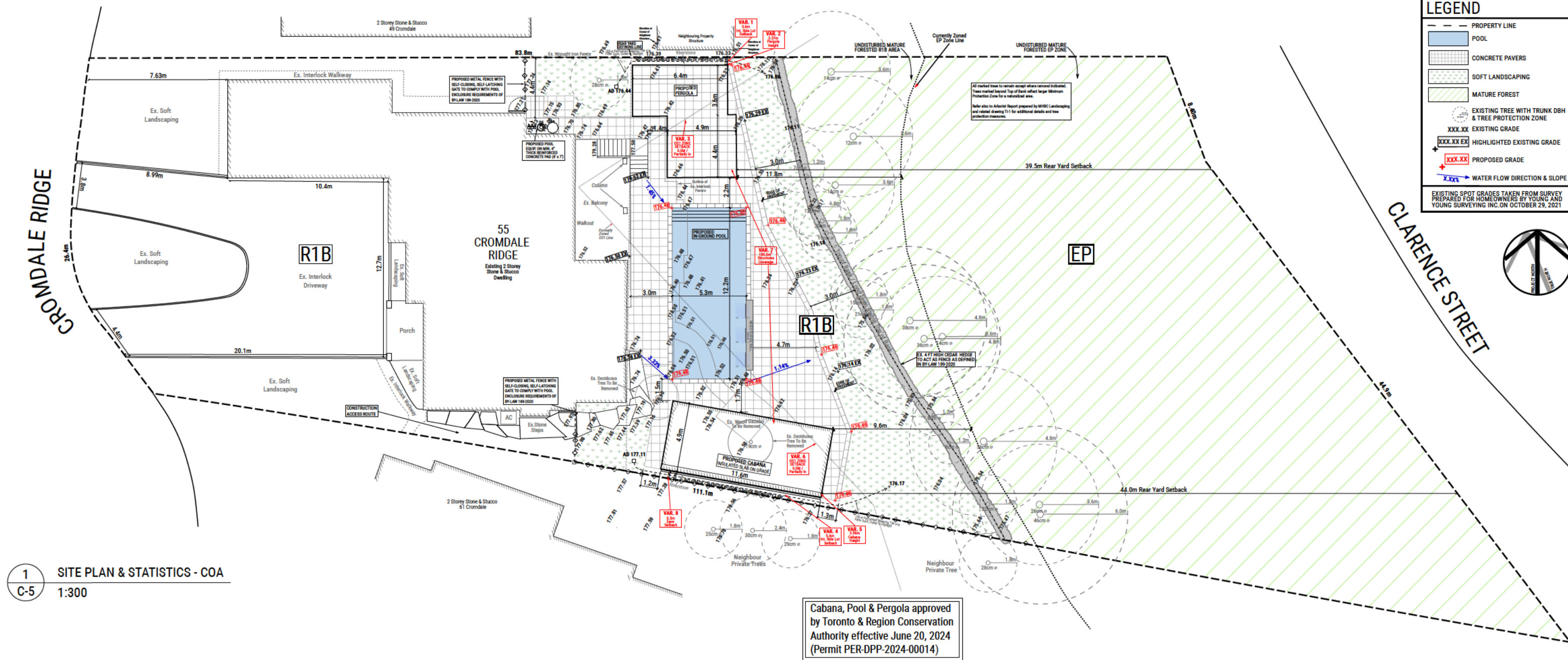
Landscape/Structure Type	Area(m ²)	% of Rear Yd (1905 m ²)	% of Rear Yd. > 135m ² (Full)	% of Rear Yrd. > 135m ² (R1B)	% of Lot
REAR YARD*	1905.0	100%	-	-	61.5%
EXISTING DWELLING	395.9	-	-	-	12.8%
PROPOSED CABANA	56.5	3.0%	3.2%	8.9%	1.8%
PROPOSED PERGOLA	43.8	2.3%	2.5%	6.9%	1.4%
PROPOSED POOL	64.7	3.4%	3.7%	10.2%	2.1%
PROPOSED REAR YARD SOFT LANDSCAPING (Full)	1451.0	76.2%	82.0%	-	46.9%
PROPOSED REAR YARD SOFT LANDSCAPING (R1B)	386.0	-	-	60.7%	12.5%
PROPOSED REAR YARD HARD LANDSCAPING	289.0	15.2%	16.3%	45.5%	9.3%

*R1B portion of the Rear Yard is 770 m2. Required Rear Soft Landscape would be 381m2 if only R1B is considered.

ZONING BY-LAW AND REQUESTED VARIANCES SUMMARY

BY-LAW REQUIREMENT	BY-LAW 011-2021	PROPOSED	VARIANCE #
Setback - Struct. ht > 2.8m	Min. 2.4m (s.4.1.2.1.b)	0.6m (Pergola)	1
Structure Height	Max 3.0m (s.4.1.4.1)	3.37m (Pergola)	2
Setback - OS1 Zone	Min. 10.0m from OS1 Zone* (Exception 14.326.1)	0.0m /Partially In (Pergola)	3
Setback - Struct. ht > 2.8m	Min. 2.4m (s.4.1.2.1.b)	0.6m (Cabana)	4
Structure Height	Max. 3.0m (s.4.1.4.1)	3.96m (Cabana)	5
Setback - OS1 Zone	Min. 10.0m from OS1 Zone* (Exception 14.326.1)	0.0m /Partially In (Cabana)	6
Structures Coverage	Max. 67.0m ² (s.4.1.3.1)	100.3m ² (Pergola & Cabana)	7
Setback - Eavestrough	Min. 0.6m (s. 4.13.3)	0.5 m (Cabana Eave)	8

* Build area for Pergola and Cabana now zoned as R1B.





CLIENT
ADDRESS
DRAWING
DATE

Giuseppe (Joseph) & Rita Cosentino
55 Cromdale Ridge, Vaughan Pergola
Concept Design - Vaughan CofA Application
October 22, 2024 (Rev. Dec. 16, 2024)

GARDENLIVING

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A1 | v2



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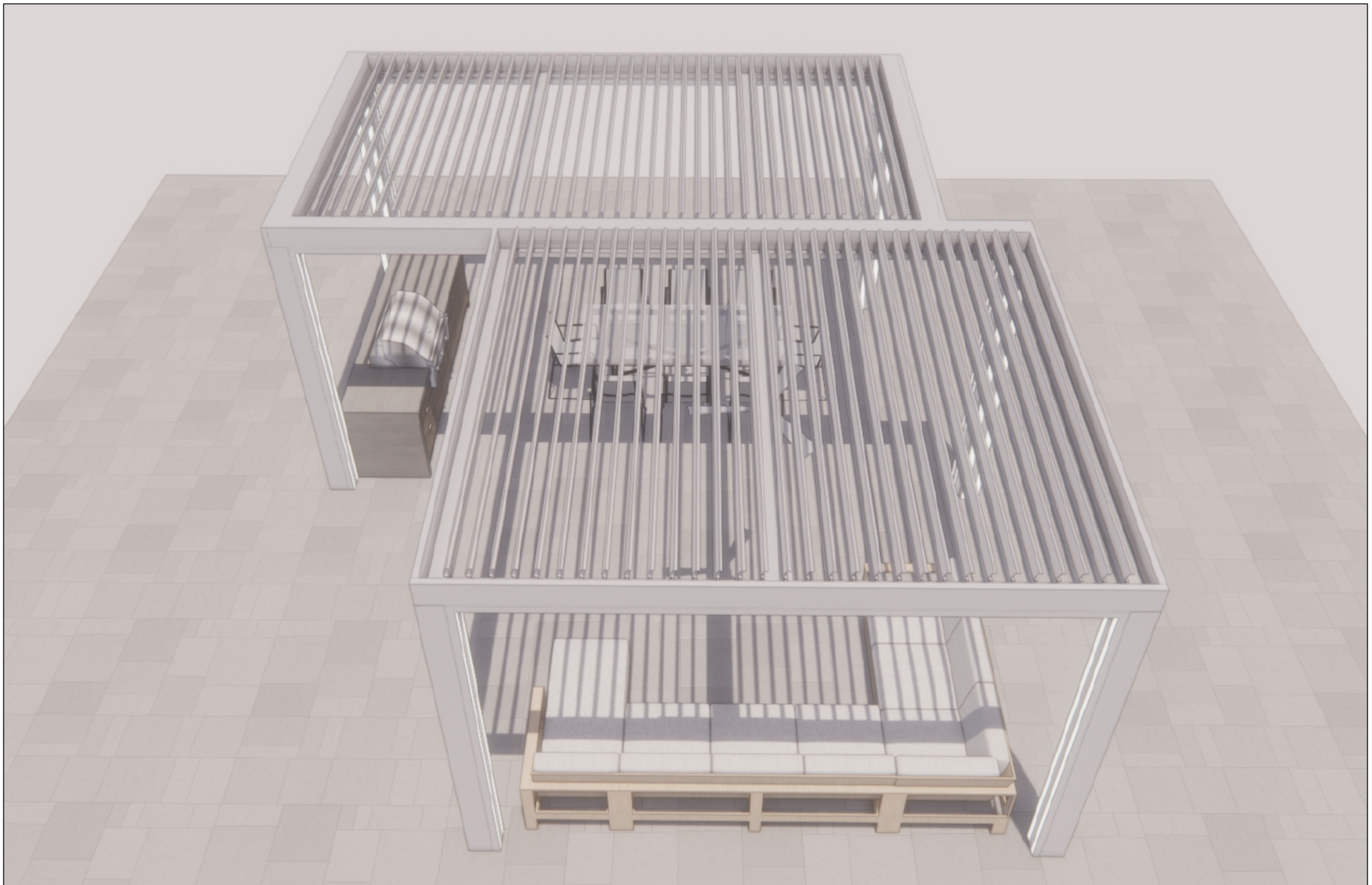
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Concept Design - Vaughan CofA Application
October 22, 2024 (Rev. Dec. 16, 2024)

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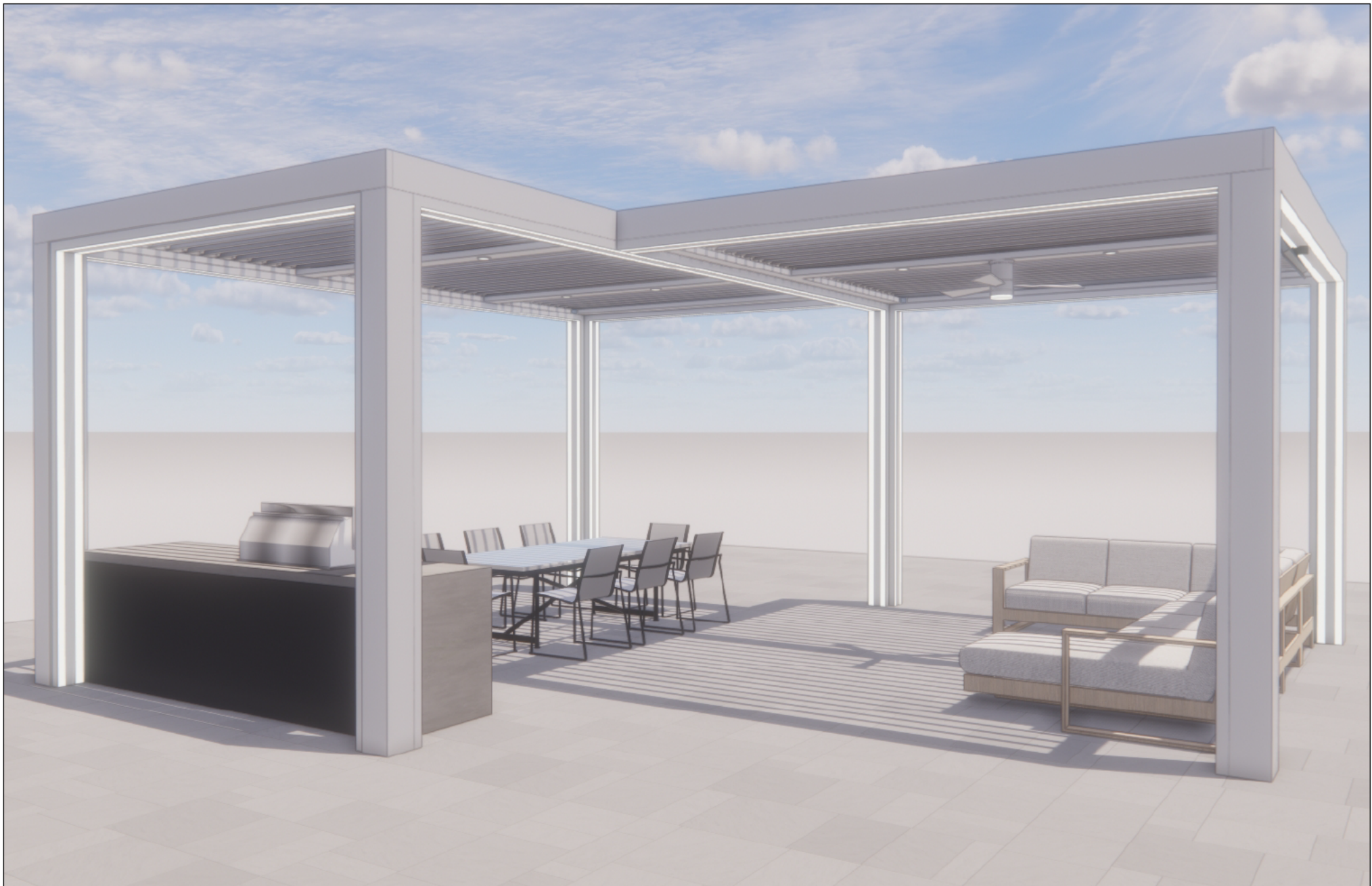
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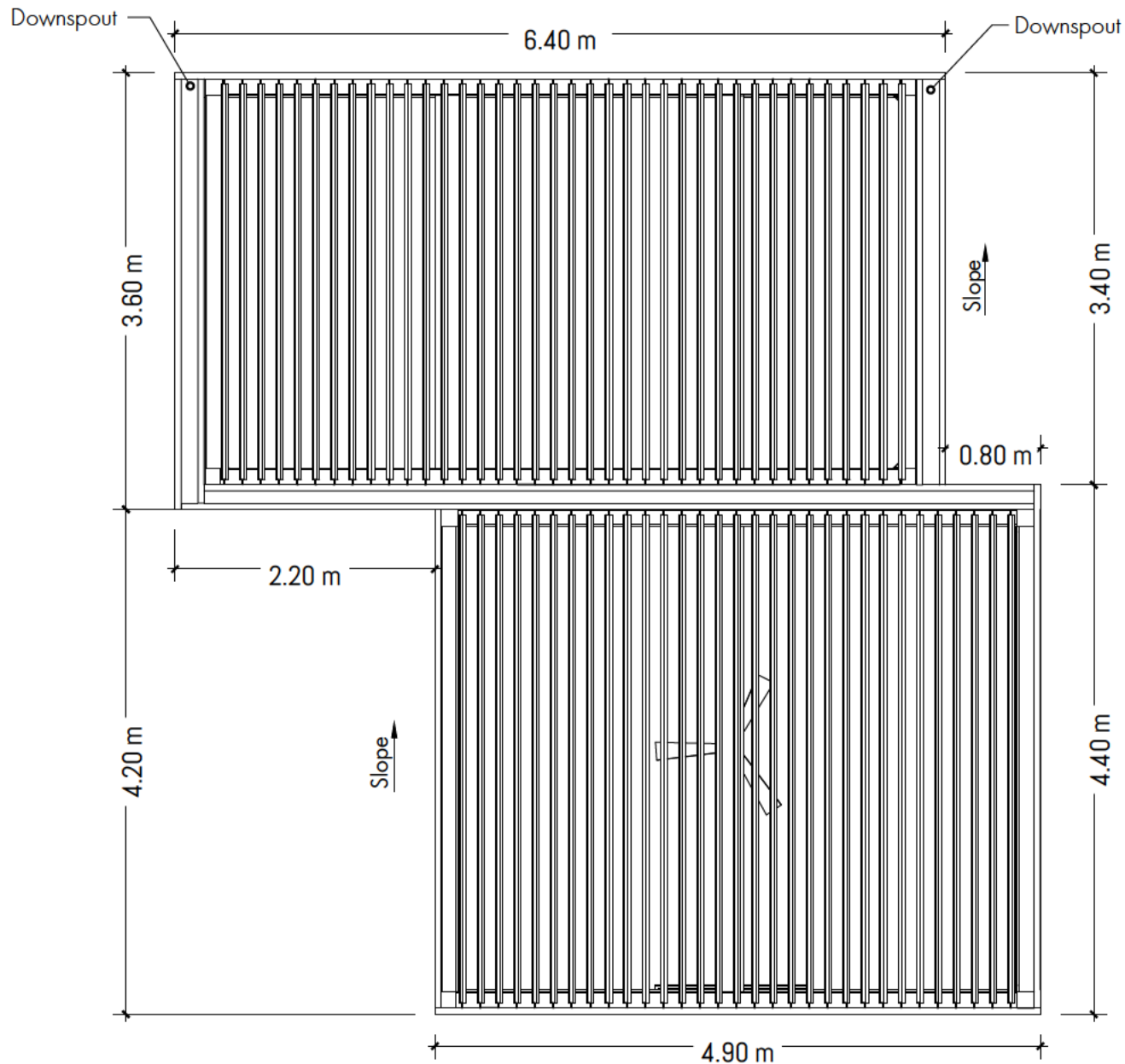
Giuseppe (Joseph) & Rita Cosentino
55 Cromdale Ridge, Vaughan Pergola
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October 22, 2024 (Rev. Dec. 16, 2024)

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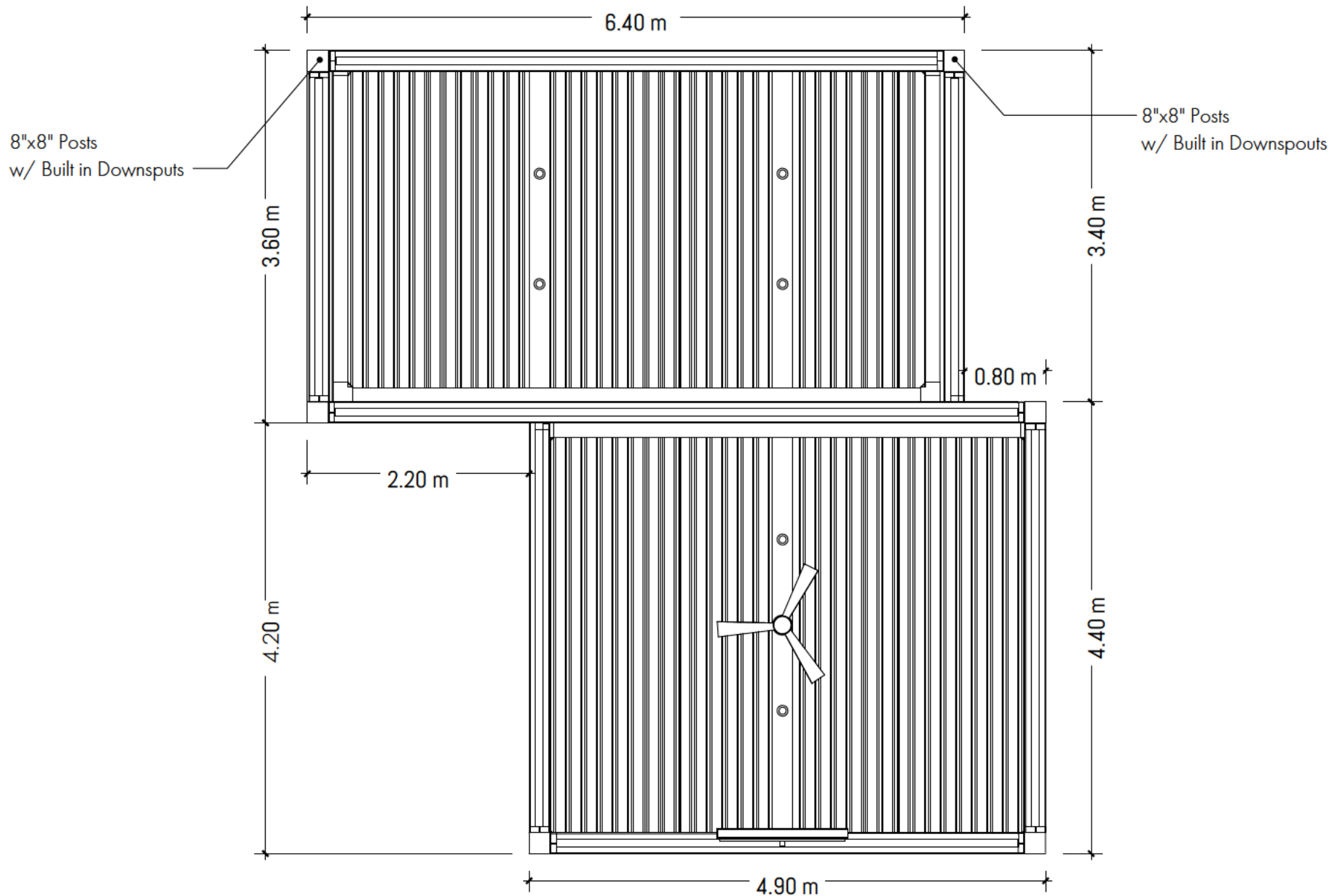
Giuseppe (Joseph) & Rita Cosentino
55 Cromdale Ridge, Vaughan Pergola
Roof Plan (Topview) - Vaughan CofA Application
October 22, 2024 (Rev. Dec. 16, 2024)

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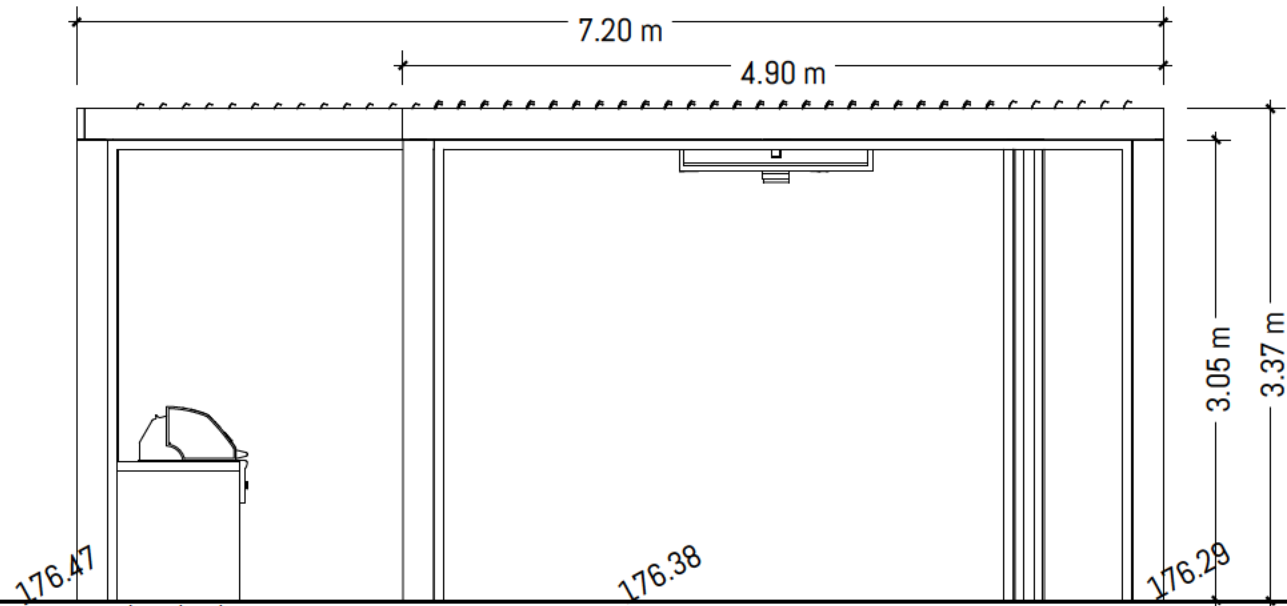
Giuseppe (Joseph) & Rita Cosentino
55 Cromdale Ridge, Vaughan Pergola
Roof Plan (Underside) - Vaughan CofA Application
October 22, 2024 (Rev. Dec. 16, 2024)

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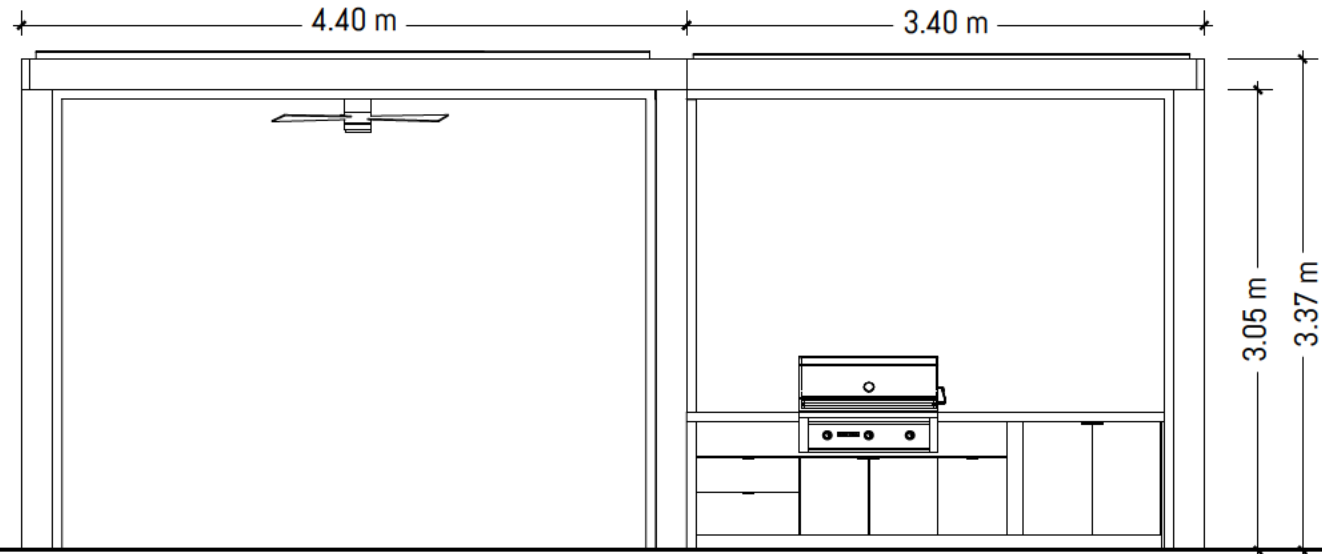
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South Side Elevation



East Side Elevation

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Cromdale Ridge, Vaughan Pergola
Elevations - Vaughan CofA Application
October 22, 2024 (Rev. Dec. 16, 2024)

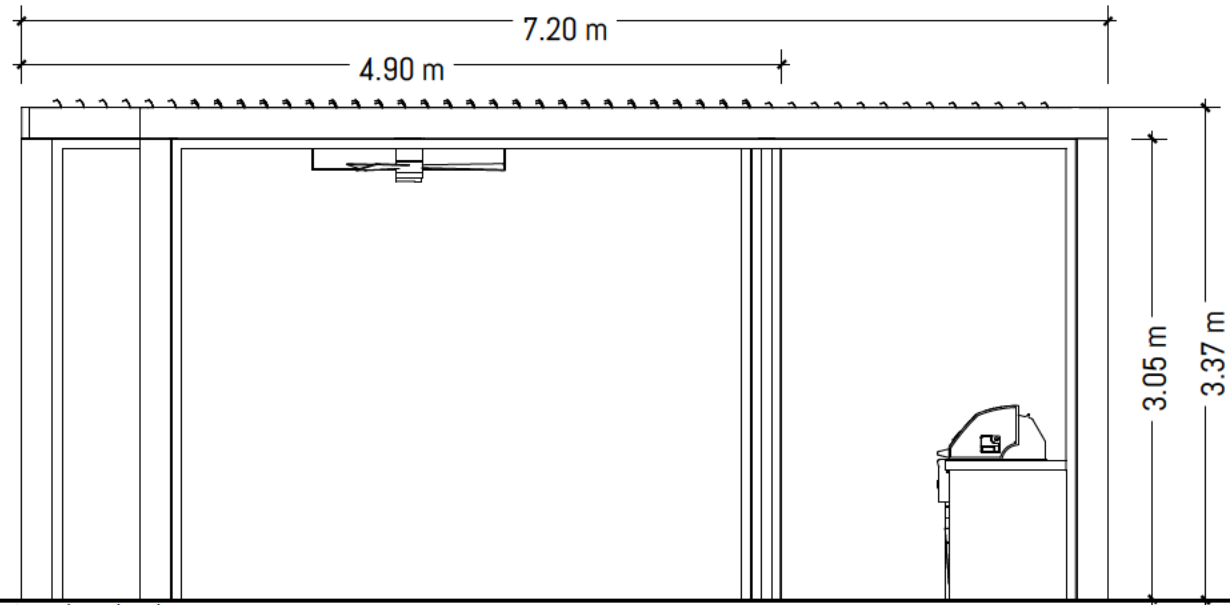
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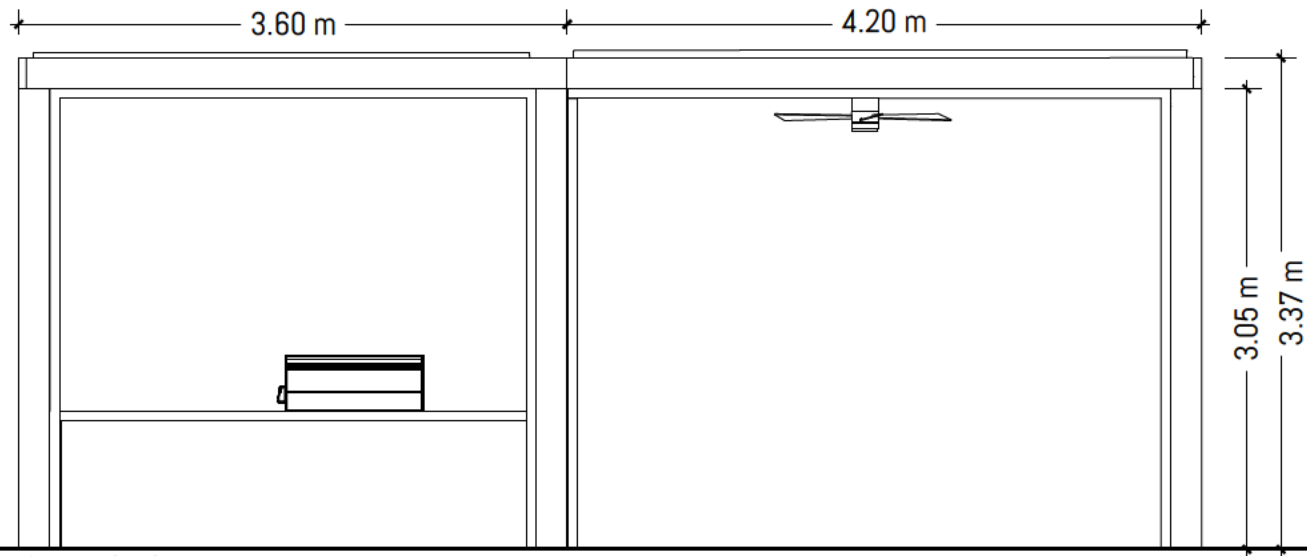
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North Side Elevation



West Side Elevation

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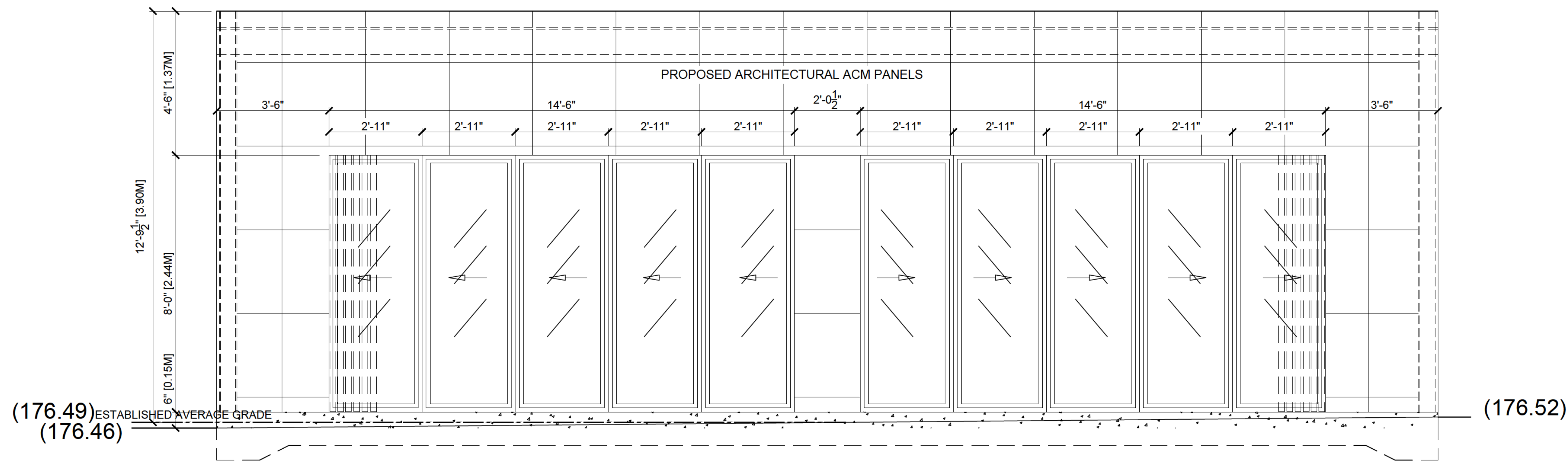
Giuseppe (Joseph) & Rita Cosentino 55
Cromdale Ridge, Vaughan Pergola
Elevations - Vaughan CofA Application
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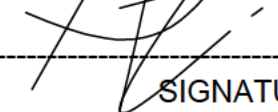
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PROPOSED NORTH ELEVATION

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION
Required unless design is exempted under 2.17.5.1. of the building code

ANTHONY STANISIA		14750
NAME	SIGNATURE	BCIN

REGISTRATION INFORMATION
Required unless design is exempted under 2.17.4.1. of the building code

DIGITECH DESIGNS INC.	31397
FIRM NAME	BCIN

DIGITECH DESIGNS INC

8 FRIMETTE CRESCENT
Toronto, On
M6N 4W6
416.846.3082
EMAIL digitechdesigns@rogers.com

TITLE: PROPOSED CABANA AT 55 CROMDALE
RIDGE IN THE CITY OF VAUGHAN ONTARIO

CLIENT: MR AND MRS COSENTINO

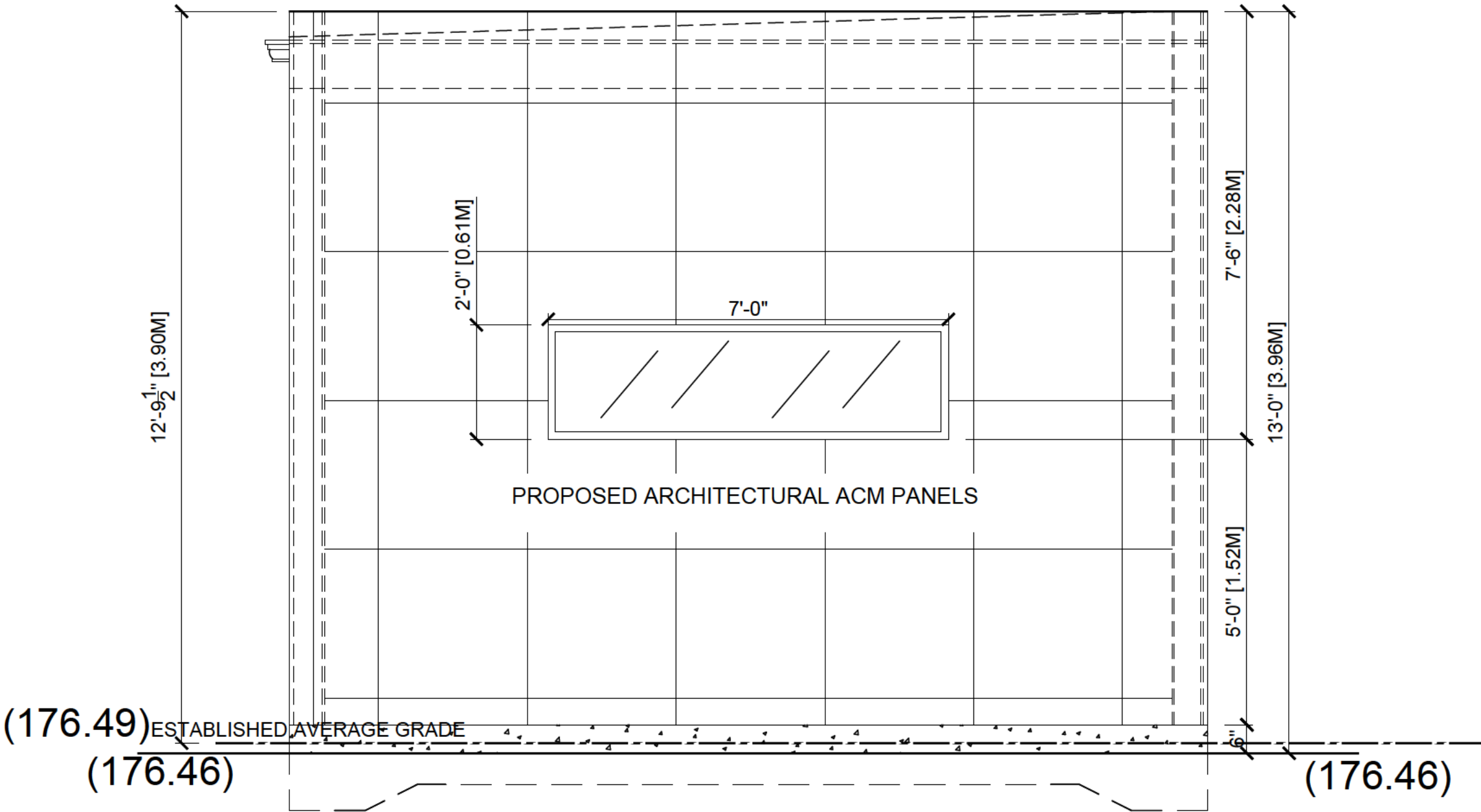
DATE: NOV 2024

DRAWN BY: A.GRISOLIA

SCALE: 1/4" = 1'-0"

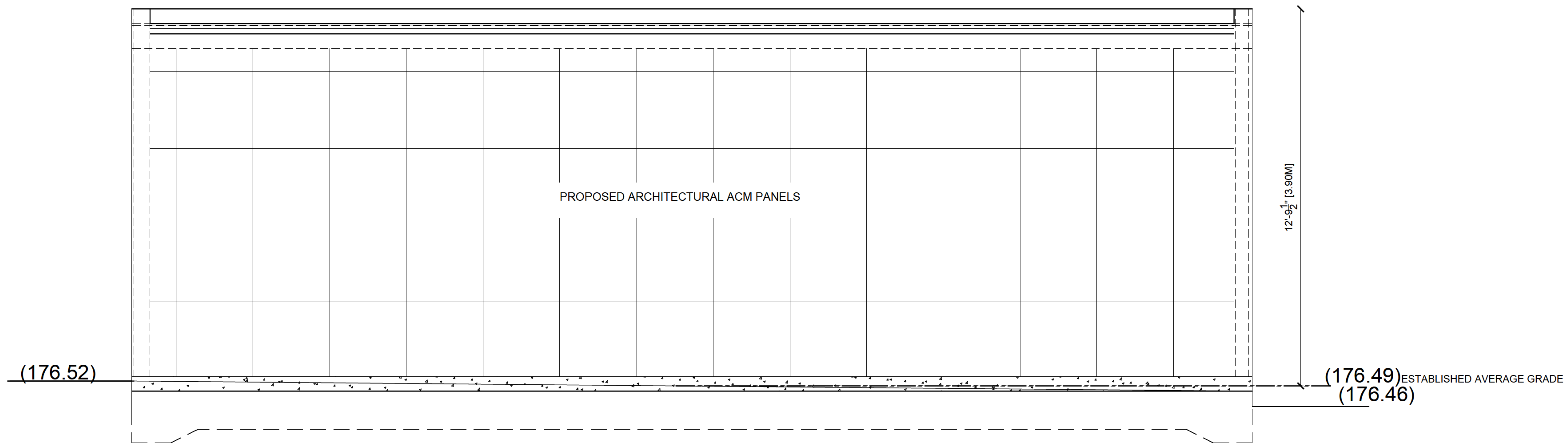
DRAWING NUMBER:

A-I



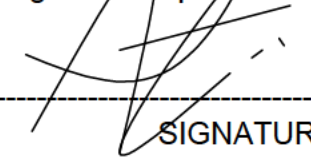
PROPOSED WEST ELEVATION

<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.</p> <p>QUALIFICATION INFORMATION Required unless design is exempted under 2.17.5.1. of the building code</p> <table><tr><td>ANTHONY STANISIA</td><td rowspan="2"></td><td>14750</td></tr><tr><td>NAME</td><td>BCIN</td></tr></table> <p>REGISTRATION INFORMATION Required unless design is exempted under 2.17.4.1. of the building code</p> <table><tr><td>DIGITECH DESIGNS INC.</td><td>31397</td></tr><tr><td>FIRM NAME</td><td>BCIN</td></tr></table>	ANTHONY STANISIA		14750	NAME	BCIN	DIGITECH DESIGNS INC.	31397	FIRM NAME	BCIN	<p>8 FRIMETTE CRESCENT Toronto, On M6N 4W6 416.846.3082 EMAIL digitechdesigns@rogers.com</p> <p>DIGITECH DESIGNS INC</p>
	ANTHONY STANISIA			14750						
	NAME	BCIN								
	DIGITECH DESIGNS INC.	31397								
	FIRM NAME	BCIN								
TITLE: PROPOSED CABANA AT 55 CROMDALE RIDGE IN THE CITY OF VAUGHAN ONTARIO										
CLIENT: MR AND MRS COSENTINO										
DATE: NOV 2024	DRAWING NUMBER: A-2									
DRAWN BY: A.GRISOLIA										
SCALE: 1/4" = 1'-0"										

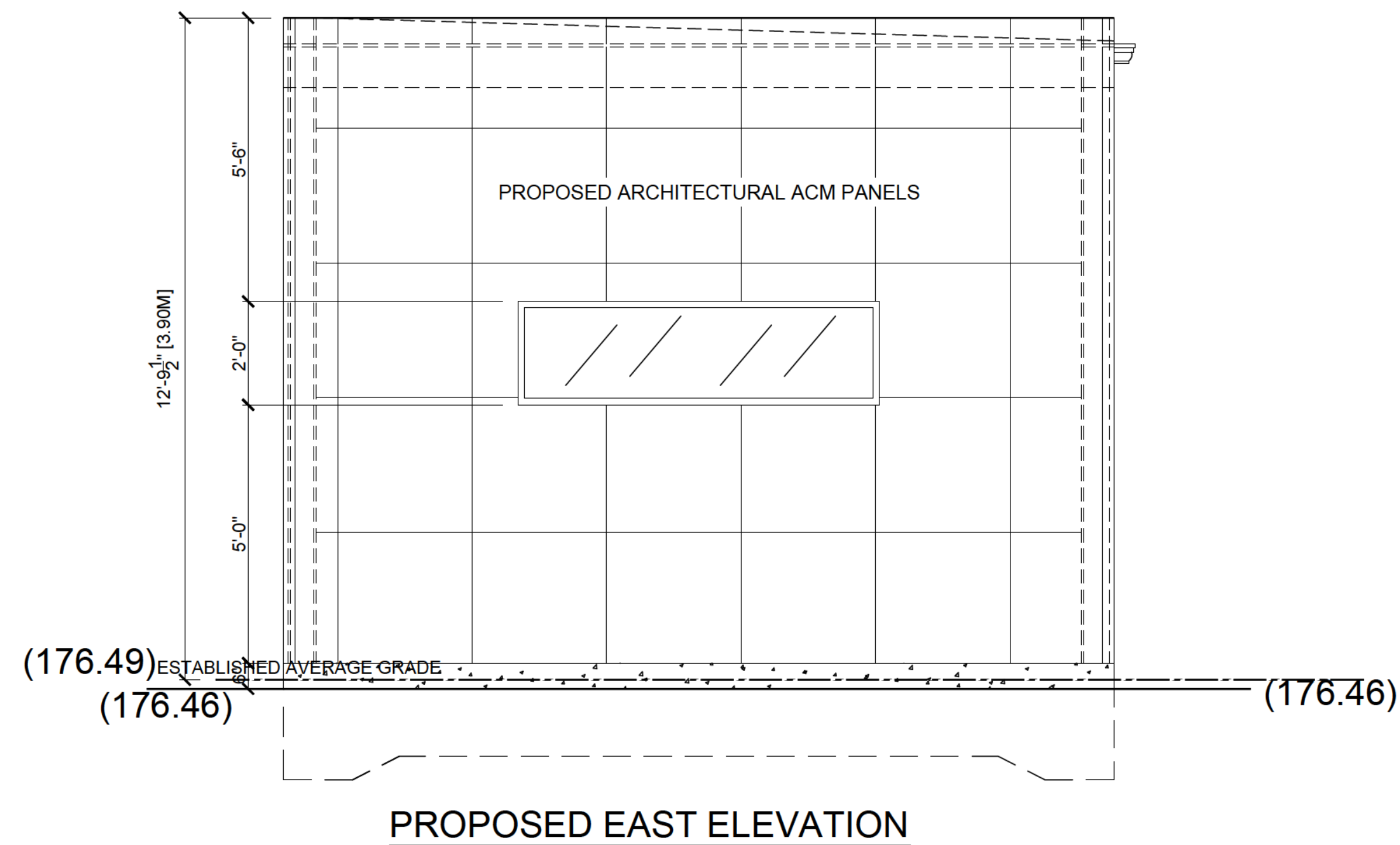


PROPOSED SOUTH ELEVATION

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

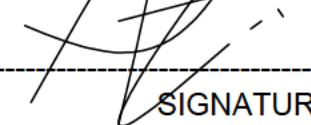
QUALIFICATION INFORMATION		
Required unless design is exempted under 2.17.5.1. of the building code		
ANTHONY STANISIA		14750
NAME	SIGNATURE	BCIN
REGISTRATION INFORMATION		
Required unless design is exempted under 2.17.4.1. of the building code		
DIGITECH DESIGNS INC.		31397
FIRM NAME		BCIN

8 FRIMETTE CRESCENT Toronto, On M6N 4W6 416.846.3082 EMAIL digitechdesigns@rogers.com	
DIGITECH DESIGNS INC	
TITLE: PROPOSED CABANA AT 55 CROMDALE RIDGE IN THE CITY OF VAUGHAN ONTARIO	
CLIENT: MR AND MRS COSENTINO	
DATE: NOV 2024	DRAWING NUMBER: A-3
DRAWN BY: A.GRISOLIA	
SCALE: 1/4" = 1'-0"	



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION
Required unless design is exempted under 2.17.5.1. of the building code

ANTHONY STANISIA		14750
NAME	SIGNATURE	BCIN

REGISTRATION INFORMATION
Required unless design is exempted under 2.17.4.1. of the building code

DIGITECH DESIGNS INC.	31397
FIRM NAME	BCIN

8 FRIMETTE CRESCENT Toronto, On M6N 4W6 416.846.3082 EMAIL digitechdesigns@rogers.com	
DIGITECH DESIGNS INC	
TITLE: PROPOSED CABANA AT 55 CROMDALE RIDGE IN THE CITY OF VAUGHAN ONTARIO	
CLIENT: MR AND MRS COSENTINO	
DATE: NOV 2024	DRAWING NUMBER: A-4
DRAWN BY: A.GRISOLIA	
SCALE: 1/4" = 1'-0"	

SCHEDULE B: COMMENTS FROM AGENCIES, BUILDING STANDARDS & DEVELOPMENT PLANNING

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

To: Committee of Adjustment

From: Bernd Paessler, Building Standards Department

Date: May 6, 2025

Applicant: Giuseppe Cosentino

Location: 55 Cromdale Ridge
PLAN 65M2604 Block 37 CONC 8 Part of Lot 11

File No.(s): A193/24

Zoning Classification:

The subject lands are zoned R1B(EN) – Estate Residential Zone (Established Neighbourhood) and EP Environmental Zone subject to the provisions of Exception 14.253 and 14.326 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A residential accessory structure(pergola) with a height greater than 2.8m shall not be located closer than 2.4m to any lot line. Section 4.1.2.1.b	To permit a residential accessory structure (Pergola) with a height greater than 2.8m to be located a minimum of 0.60m from the interior side lot line.
2	A maximum building height of 3.0m is permitted for the residential accessory structure(Pergola). Section 4.1.4.1	To permit a maximum height of 3.37m for the residential accessory structure(Pergola).
3	For a building or structure within Part 3 on Schedule E-611, a minimum setback of 10.0 metres is required from the area labelled "OS1" on Schedule E-611. Exception 14.326.1	To permit the residential accessory structure (Pergola) to be setback a minimum of 0.0 metres from the area labelled OS1 on Schedule E-611 and to be partially located within the area labelled OS1 on Schedule E-611.
4	A residential accessory structure(Cabana) with a height greater than 2.8m shall not be located closer than 2.4m to any lot line. Section 4.1.2.1.b	To permit a residential accessory structure (Cabana) with a height greater than 2.8m to be located a minimum of 0.60m from the interior side lot line.
5	A maximum building height of 3.0m is permitted for the residential accessory structure (Cabana). Section 4.1.4.1	To permit a maximum height of 3.96m for the residential accessory structure (Cabana).
6	For a building or structure within Part 3 on Schedule E-611, a minimum setback of 10.0 metres is required from the area labelled "OS1" on Schedule E-611. Exception 14.326.1	To permit the residential accessory structure (Cabana) to be setback a minimum of 0.0 metres from the area labelled OS1 on Schedule E-611 and to be partially located within the area labelled OS1 on Schedule E-611.
7	In a residential zone, the maximum lot coverage of all accessory buildings and residential accessory structures shall be 67 square metres. Section 4.1.3 1	To permit a maximum lot coverage of 101.44 square metres.
8	The minimum distance of 0.60m shall be required from any permitted encroachment to the nearest lot line. Section 4.13 3	To permit a minimum of 0.50m from the interior side lot line for the eaves of the residential accessory structure (Cabana)

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m²

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development and Parks Planning

Date: May 27, 2025

Name of Owner: Giuseppe Consentino, Rita Cosentino

Location: 55 Cromdale Ridge

File No.(s): A193/24

Proposed Variance(s):

1. To permit a residential accessory structure (Pergola) with a height greater than 2.8 m to be located a minimum of **0.60 m** from the interior side lot line.
2. To permit a maximum height of **3.37 m** for the residential accessory structure (Pergola).
3. To permit the residential accessory structure (Pergola) to be setback a minimum of **0.0 m** from the area labeled OS1 on Schedule E-611 and to be partially located within the area labeled OS1 on Schedule E-611.
4. To permit a residential accessory structure (Cabana) with a height greater than 2.8 m to be located a minimum of **0.60 m** from the interior side lot line.
5. To permit a maximum height of **3.96 m** for the residential accessory structure (Cabana).
6. To permit the residential accessory structure (Cabana) to be setback a minimum of **0.0 m** from the area labeled OS1 on Schedule E-611 and to be partially located within the area labeled OS1 on Schedule E-611.
7. To permit a maximum accessory structure lot coverage of **101.44 m²**.
8. To permit a minimum setback of **0.50 m** from the interior side lot line for the eaves of the residential accessory structure (Cabana)

By-Law 001-2021 Requirement(s):

1. A residential accessory structure (pergola) with a height greater than 2.8 m shall not be located closer than **2.4 m** to any lot line.
2. A maximum building height of **3.0 m** is permitted for the residential accessory structure (pergola).
3. For a building or structure within Part 3 on Schedule E-611, a minimum setback of **10.0 m** is required from the area labeled "OS1" on Schedule E-611.
4. A residential accessory structure (Cabana) with a height greater than 2.8 m shall not be located closer than **2.4 m** to any lot line.
5. A maximum building height of **3.0 m** is permitted for the residential accessory structure (Cabana).
6. For a building or structure within Part 3 on Schedule E-611, a minimum setback of **10.0 m** is required from the area labeled "OS1" on Schedule E-611.
7. In a residential zone, the maximum lot coverage of all accessory buildings and residential accessory structures shall be **67 m²**.
8. The minimum distance of **0.60 m** shall be required from any permitted encroachment to the nearest lot line.

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owner is seeking relief to permit a pergola and a cabana in the rear yard with the above noted variances.

The Development and Parks Planning Department has no objections to Variances 1 and 2 to permit a reduced side yard setback and an increased height for the pergola. The proposed pergola is unenclosed and has minimum massing impact on the neighbouring property. The 0.6 m setback to the northern interior lot line is sufficient for access and maintenance.

The Development and Parks Planning Department has no objections to Variances 4, 5, and 8 to permit a reduced side yard setback, an increased height, and an increased eaves

encroachment for the proposed cabana. The proposed cabana has a flat roof, and is adequately screened by existing vegetation within the neighbouring property. The 0.6 m setback to the southern interior lot line maintains space for access. The eavestrough is setback 0.5 m from the southern interior lot line and is not anticipated to incur any stormwater drainage impacts on the abutting neighbour to the south.

The Development and Parks Planning Department has no objections to Variance 7 to increase the maximum permitted lot coverage of accessory buildings on the lot from 67 m² to 101.4 m². The rear yard is sizeable to accommodate the proposed structures, and the remaining area in the rear yard is sufficient to provide for a variety of landscaping and stormwater drainage functions.

The Development and Parks Planning Department has no objections to Variances 3 and 6 to permit the proposed cabana and pergola to be located within the Open Space 1 ("OS1") zone as shown on Schedule E-611 of site-specific exception 14.326. The intent of the OS1 zone boundary is to delineate the long-term stable top-of-bank line based on a topographic survey conducted in 1986. The site-specific exception requires a 10 m setback inland, which is based on TRCA standards from 1986. The current top-of-bank line was determined through a 2021 staking exercise and is located drawn further east of the top-of-bank line specified in 1986. TRCA staff have reviewed the Slope Stability Assessment completed in 2023 by EXP Services Inc. and are satisfied with the proposed locations of the structures. As such, the proposed setback reductions to the OS1 zone within the property maintain the intent of the site-specific provision.

Accordingly, the Development and Parks Planning Department supports the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development and Parks Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

Comments Prepared by:

Harry Zhao, Planner

Janany Nagulan, Senior Planner

Date: April 16th 2025

Attention: **Christine Vigneault**

RE: Request for Comments

File No.:

Related Files: **A193-24**

Applicant: Giuseppe Cosentino

Location 55 Cromdale Ridge

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

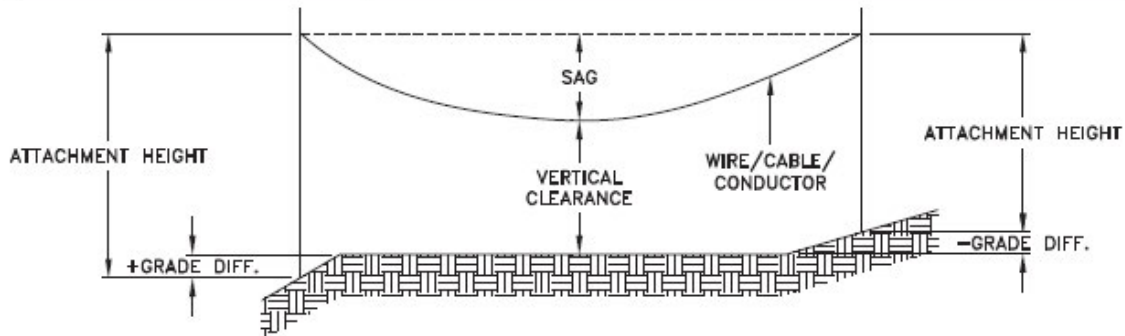
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS</u> AND <u>BICYCLES</u> ONLY	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 + GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

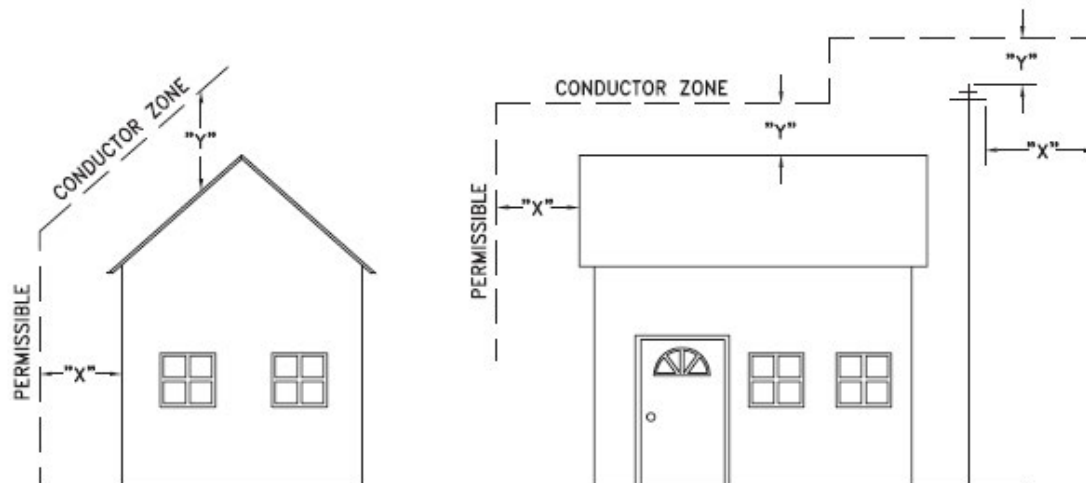
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARNACE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P.Eng. Approval By: D. Dadwani

April 22, 2025

PAR-DPP-2025-00704
Ex Ref. PER-DPP-2024-00014

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Christine Vigneault
Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A193/24
55 Cromdale Ridge
City of Vaughan, Region of York
Applicant: Giuseppe Consentino**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on April 16, 2025. TRCA staff have reviewed the application and offer the following comments for the consideration of the Committee of Adjustment.

Purpose of the Application

It is our understanding that the purpose of the above noted application is to request the following variances under By-Law 001-2021:

By-Law 001-2021:

- To permit a residential accessory structure (Pergola) with a height greater than 2.8 m to be located a minimum of 0.60 m from the interior side lot line;
- To permit a residential accessory structure (Cabana) with a height greater than 2.8 m to be located a minimum of 0.60 m from the interior side lot line;
- To permit a maximum height of 3.37 m for the residential accessory structure (Pergola);
- To permit a maximum height of 3.96 m for the residential accessory structure (Cabana);
- To permit a maximum lot coverage of 101.44 square metres;
- To permit a minimum setback of 9.6m from the OS1 zone; and,
- To permit a minimum of 0.50 m from the interior side lot line for the eaves of the residential accessory structure (Cabana).

The noted variances are being requested to facilitate the construction of an inground pool, cabana, and pergola.

Ontario Regulation 41/24

The subject property is located within TRCA's Regulated Area due to a valley corridor. In accordance with Ontario Regulation 41/24, development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, unstable soils, or bedrock will not be affected.

Application-Specific Comments

TRCA staff have reviewed and issued a permit for the proposed development (TRCA Permit No. PER-DPP-2024-00014, issued June 20, 2024). The plans submitted with this application are consistent with the plans that were approved as part of TRCA's permit.

Based on the above, TRCA staff have no concerns with the proposed variances.

Fees

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$660.00 (Minor Variance – Residential - Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

Recommendations

Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A193/24 subject to the following conditions:

1. That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.

We trust these comments are of assistance. Should you have any questions, please contact me at 437-880-2347 or at joshua.lacaria@trca.ca.

Sincerely,

Joshua Lacaria
Planner
Development Planning and Permits | Development and Engineering Services
joshua.lacaria@trca.ca, 437-880-2347

From: [Development Services](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A193/24 - 55 CROMDALE RIDGE - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: April-17-25 2:49:58 PM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good afternoon,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Regards,

Gabrielle

Gabrielle Hurst MCIP, RPP | Associate Planner, Development Planning, Economic and Development Services Branch | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			05/08/2025	Planning Justification Report
Applicant			05/15/2025	Slope Stability Assessment
Applicant			03/29/2025	Arborist Report
Letter of support	Peter & Donna Nella	49 Cromdale Ridge	03/31/2025	Letter of support
Letter of support	Maria Iacobelli	61 Cromdale Ridge	03/31/2025	Letter of support
Letter of support	Harry & Sonia Nagra	62 Cromdale Ridge	03/31/2025	Letter of support
Letter of support	John Keliar & Franca Aquila	66 Cromdale Ridge	03/31/2025	Letter of support
Letter of support	Azher & Jasia Abbas	67 Cromdale Ridge	05/08/2025	Letter of support

May 7, 2025

Committee of Adjustment Staff
City of Vaughan
2141 Major Mackenzie Drive,
Vaughan, Ontario L6A 1T1

Sent by email: cofa@vaughan.ca

RE: APPLICATION (A193/24) FOR MINOR VARIANCES – JUSTIFICATION BRIEF (55 CROMDALE RIDGE, VAUGHAN) (revised)

This justification brief revises the versions previously submitted, following further discussions with Building Standards/Zoning Services Staff regarding required variances. The brief is submitted by Giuseppe & Rita Cosentino (the “**Applicants**”) to Vaughan’s Committee of Adjustment (the “**Committee**”) in connection with an application for minor variances to permit two proposed accessory structures: a Cabana and Pergola (collectively, the “**Proposed Structures**”), on the lands located at 55 Cromdale Ridge in the City of Vaughan (the “**Subject Property**”). In support of this brief, among other things, the following documents have been included with the original Application or subsequently by email:

- Revised Site Plan and Statistics, prepared by the Applicants¹ (version C-5)
- Revised Proposed Cabana Drawings, prepared by Digitech Designs Inc.
- Revised Proposed Pergola Drawings, prepared by Garden Living
- Concept Drawings for the Proposed Structures

PROPERTY DESCRIPTION

A. Subject Property and Area Context

The Subject Property is located on Cromdale Ridge in the City of Vaughan, to the west of Clarence Avenue; south of Rutherford Road. The legal description of the Subject Property is “Part of Lot 111, Block 37, Concession 8, Registered Plan 65M-2604”. The R1B zoned portion of the Subject Property’s rear yard has an area of approximately 770 sq. metres. The rearmost portion of the Subject Property includes a mature forested, sloped area that backs onto Clarence Avenue. The Subject Property is in an enclave of properties on two courts with adjacent and surrounding properties made up of unique, established, single detached dwellings with sizeable lots and an array of distinctive build styles. Many of these properties feature in-ground swimming pools and accessory structures such as cabanas, pavilions, pergolas, gazebos and sheds.

B. Municipal Zoning Context and Conservation Approval

Under the City of Vaughan Comprehensive Zoning By-Law 001-2021 (the “**CZBL**”) and its Schedule A zoning maps, the Subject Property is zoned primarily as R1B – First Density Residential Zone, with the rearmost portion of the property designated as EP – Environmental Protection Zone (See Appendix A - Map 86). The Subject Property is also subject to

¹ Derived from a topographic survey prepared by Young and Young Surveying Inc. in October 2021, and a site drawing prepared by MHBC Planning in May 2024, each submitted by the Applicants to the TRCA in connection with their conservation permit approval process.

site specific Exception 14.326 to the CZBL (the “**Exception**”), as described below.

1. CZBL Exception 14.326

. The relevant portions of the Exception state:

“1. The following provisions shall apply to the Subject Lands shown on Schedule E-611:

a. No part of a building or structure shall be erected nearer to the boundary of the flood zone than the distances shown below:

[....]

iii. if within Part 3, the minimum setback to the area labelled “OS1” shall be 10.0m.”

2. TRCA Regulated Area & Permit Received

The Subject Property is located within the TRCA’s Regulated Area of the Humber River Watershed due to the valley corridor associated with a tributary of the Humber River that traverses the property. TRCA staff have reviewed and commented on the development of the Proposed Structures, as well as a proposed in-ground swimming pool on the Subject Property. TRCA has confirmed the development limits in relation to the Top of the Bank/Long Term Stable Top of the Slope (LTSOS), for each of the proposed Pergola (3m), the proposed Cabana (6m), and in-ground swimming pool (6m, except for one corner of the pool where a minor encroachment into the 6m buffer was permitted given the unfeasibility of otherwise configuring the pool and Proposed Structures based on existing site conditions and the available buildable area).

A permit (PER-DPP-2024-00014) pursuant to Section 28.1 of the Conservation Authorities Act (Ontario) issued by the TRCA to the Applicants, effective June 20, 2024, with respect to the proposed in-ground swimming pool and the Proposed Structures, was included with the Application materials and remains in effect.

PROPOSAL DESCRIPTION

The predominant land use surrounding the Subject Property is single family detached dwellings. In keeping with the City of Vaughan Official Plan 2010 (the “**VOP**”) and the CZBL, the proposal for the Subject Property is to construct two new accessory structures to be used as a Cabana and Pergola. The intent is to provide the Applicants and their family with structures to: support activities around the proposed in-ground swimming pool, enhance their outdoor living space and provide shaded areas for users of the pool and rear yard. The design of the Proposed Structures, swimming pool and rear yard compliments the existing site and neighbourhood in scale, height, landscaping and massing. Applicant intends to submit an application to Vaughan’s Development Engineering Department for construction of the in-ground swimming pool, and no relief is being sought from the Committee for the pool.²

The site plan included with the Application reflects the proposed placement, shape and orientation of the Proposed Structures and swimming pool on the Subject Property in relation to the physical limitations of the property, including the irregular shape of the rear yard, zoning setbacks and the available buildable area given both these physical constraints and the established TRCA development limits.

² The proposed in-ground swimming pool does not fall within the scope of the Exception as an in-ground pool does not meet the CZBL definitions of “building” or “structure”, the latter of which explicitly excludes in-ground swimming pools, nor are other variances required in respect of the pool.

REQUESTED RELIEF

A Minor Variance application has been submitted requesting relief from the following provisions in the CZBL and the Exception in order to permit the development:

MINOR VARIANCES 1 & 4 – INTERIOR SIDE LOT SETBACKS

Requirement: A residential accessory structure with a height greater than 2.8m shall not be located closer than 2.4m to any lot line (CZBL Section 4.1.2.1.b).

Relief Sought: Approval of an interior side lot setback of 0.6m for the Proposed Structures.

Justification: The following reasons support the requested relief:

Considering the site conditions, including the irregular shape of the rear yard, as well as the available buildable area which is constrained by the development limits established by the TRCA, the only feasible locations to place the Proposed Structures are closer to the side lot lines as indicated in the site plan drawing. The locations proposed maintain perimeter pool access and adequate rear yard amenity spaces.

Similar or more permissive variances have been granted and determined minor by the Committee, including for, among others, the following properties:

Address	File #	Committee Hearing Date	Structure	Approved Int. Side Lot Setback
62 Virtue Cr., Woodbridge	A003/23	January 11, 2024	Gazebo	0.31m
89 Isernia Cr., Woodbridge	A009/23	October 19, 2023	Cabana	0.33m
25 Shale Cr, Maple	A283/22	May 16, 2024	Cabana	0.45m
148 Via Teodoro, Woodbridge	A081/23	August 3, 2023	Cabana	0.50m
9580 Keele Street, Vaughan	A005/25	April 10, 2025	Cabana	0.52m
15 Modesto Valley Ct., Woodbridge	A007/24	May 16, 2024	Pavilion	0.52m
106 Flatbush Ave., Woodbridge	A157/22	January 26, 2023	Cabana	0.54m
95 Jeanne Dr., Woodbridge	A057/23	June 22, 2023	Cabana	0.60m
236 Stormont Trail, Woodbridge	A197/23	Feb. 22, 2024	Cabana	0.60m
67 Cipriano Ct., Woodbridge	A310/22	March 2, 2023	Cabana	0.61m
110 Retreat Blvd., Woodbridge	A042/23	May 11, 2023	Cabana	0.61m

MINOR VARIANCES 2 & 5 – STRUCTURE HEIGHT

Requirement: The maximum height of a residential accessory structure is 3.0m (CZBL Section 4.1.4.1).

Relief Sought: Approval of a height of 3.37m for the proposed Pergola, and 3.96m for the proposed Cabana.

Justification: The following reasons support the requested relief:

The proposed Pergola height is designed to provide sufficient overhead room, including to accommodate roof-mounted accessories such as electric heaters and/or fans. It is an unenclosed structure and will be located in the area of the rear yard where it would be almost entirely obscured from the adjacent neighbours' view by their existing enclosed structure – which is of a similar height. The proposed Pergola has no walls and its open-air nature will minimize visual impact concerns and maintain the openness of the space.

The proposed Cabana height is designed to provide sufficient overhead room and to accommodate an appropriately sized window wall that permits an abundance of natural light. It will be substantially obscured from view by existing large trees on the adjacent property and the required pool fencing.

Each of the Proposed Structures contemplates a flat roof design which we believe minimizes the visual impact of the larger height compared to a traditional hipped roof.

Similar or more permissive variances have been granted and determined minor by the Committee, including, among others, for the following properties:

Address	File #	Committee Hearing Date	Structure	Approved Height
101 Putting Green Cres, Kleinburg	A271/21	May 26, 2022	Cabana	6.20m
11 Putting Green Cres, Kleinburg	A156/24	January 16, 2025	Cabana	4.63m
88 Abbruzzese Ct., Woodbridge	A259/21	February 10, 2022	Cabana	4.5m
96 Spicewood Cres., Kleinburg	A008/25	March 20, 2025	Pool House	4.4m
71 Dorengate Dr., Woodbridge	A129/23	November 16, 2023	Gazebo	4.4m
10 Pennon Rd., Kleinburg	A075/22	May 12, 2022	Cabana	4.27m
116 Farrell Rd., Maple	A070/24	August 1, 2024	Gazebo	4.22m
225 Balding Blvd., Woodbridge	A272/21	June 16, 2022	Cabana	4.3m
112 Thornridge Drive, Thornhill	A121/24	August 22, 2024	Cabana	4.13m
11 Rossmull Cr., Woodbridge	A225/21	January 20, 2022	Cabana	4.08m
246 Sylvadene Pkwy, Woodbridge	A158/24	February 6, 2025	Gazebo	4.07m
31 Quail Run Blvd., Maple	A175/23	January 11, 2024	Cabana	4.0m
411 Nashville Rd., Kleinburg	A148/24	April 10, 2025	Gazebo	4.0m

MINOR VARIANCES 3 & 6 - SETBACK FROM AREA LABELLED OS1

Requirement: 10m setback from area labelled "OS1" for any building or structure (Exception 14.326 1a. iii & Figure E-611).

Relief Sought: Approval to permit a minimum 0.0m setback for the Pergola and Cabana, and for such structures to be partially located within the area labelled OS1 on Schedule E-611

Justification: The following reasons support the requested relief:

Legacy Zoning Designation / Zoning Designation Change in Current CZBL:

- An OS1 designation covers "Public Open Space". Given that the area in question has been privately owned by the Applicants and previous owners for a cumulative 35 years, the designation appears to be either: (i) a misclassification - as this cannot be considered "public open space", or (ii) a residual designation that predates³ the construction of the main dwelling, which itself was fully approved by the City of Vaughan within the 10m setback in the Exception.
- The text of the Exception, which references the flood boundary, appears to align with development considerations relating to an EP Zone ("conservation of environmentally sensitive lands or features and to limit development on hazardous lands and sites") and not the definition of an OS1/OS2 Zone which is to "provide for open space uses, including parks and golf courses".
- The labelled "OS1" area in the Exception has been re-designated under the current CZBL as R1B (including the entire area in which the Proposed Structures will be built) and EP Zone (for the

³ Figure E-611 shows the farmhouse dwelling that existed prior to the construction of the current dwellings that currently exist in each of Part 1 and 2 (each of which is closer to the TRCA flood plain than the Subject Property (and thus the Proposed Structures) in Part 3).

rearmost area of the property). See Map 86 on Schedule A of the CZBL (attached to this brief).

- This re-zoning implicitly recognized a more suitable zoning category (R1B) was appropriate to current circumstances by the zoning experts at the City. Accordingly, the OS1 designation no longer corresponds to the reality of the site. It is not clear what continuing interest the City of Vaughan would have in holding to a misclassified, legacy and/or superceded designation.

Stated Intent of Exception Does Not Appear Relevant to Subject Property:

- The language of the Exception imposes OS1 setback requirements seemingly for protection of the “flood zone”. Setbacks from flood boundaries are required to protect properties and infrastructure from flooding and erosion, while also maintaining natural river flows and floodplains.
- However, the Subject Property is well outside of the TRCA's flood plain map (see Appendix B to this brief) and there are numerous properties in the area with built structures closer to this identified flood zone. The City of Vaughan's own website points to the TRCA flood plain map as authoritative.
- Moreover, given the ground elevation of the Subject Property (approximately 176m at the top of the ridge, and approximately 20m above the low point of Clarence Street), it is not clear how the construction of the Proposed Structures would ever impact the distant flood zone or the Humber river.

TRCA Review & Approval:

- The Proposed Structures have been approved by TRCA whose mandate includes establishment of development limits to ensure flood zone protection, erosion prevention/slope stability and other hazards.
- In receiving such permit, the Applicants had to demonstrate to TRCA's satisfaction that the control of flooding, erosion or the conservation of land will not be affected.
- The undisturbed forested ridge (including a sizable portion of R1B area) provides a significant ecological buffer between the Proposed Structures and the currently zoned EP Zone (9.6m in the case of the Proposed Cabana and 11.8m in the case of the Proposed Pergola).

Proposed Structures Build & Impact

- The Proposed Structures will be constructed only partially in the area labelled OS1 in the Exception.
- The Proposed Pergola is a lightweight, open-air aluminum structure, with the majority of its footprint outside of the OS1 area. Its unenclosed nature will ensure that views are not obstructed. With respect to the Proposed Cabana, only one small corner (representing approximately 5% of the total area of the structure) is contemplated within the area labelled OS1.

Similar or more permissive variances have been granted and determined minor by the Committee for, among others, the following properties, including structures partially or wholly within OS zones:

Address	File #	Committee Hearing Date	Structure	Approved Setback ⁴
15 Lady Bianca Court, Maple	A018/23	Apr. 10, 2025	Pool, Hot Tub & Platform	In EP-ORM Zone [^]
43 Broda Dr., Woodbridge	A121/20	Feb. 4, 2021	Shed	In OS1 zone [^]
20 Silver Fox Place, Maple	A157/20	April 29, 2021	Ex. Shed	In OS5 Zone [^]
94 Vineyard Court, Woodbridge	A119/19	Oct. 31, 2019	Deck & Pergola	In OS1 Zone [^]
75 Valley Road, Kleinburg	A150/18	Nov. 15, 2018	Ex. Dwelling	In OS1 Zone [^]

⁴ Similar to this application, Application A007/24, involved an Exception (14.663) that references a residual zoning designation (a 10m setback from an “OS1” area that has subsequently been re-zoned as EP).

11 Rossmull Cr., Woodbridge	A225/21	Jan. 20, 2022	Cabana	0.47m [^]
15 Grandvista Cr., Woodbridge	A008/24	April 4, 2024	Cabana	1.25m [^]
15 Modesto Valley Ct., Woodbridge	A007/24	May 16, 2024	Pavilion & Cabana	1.2m & 1.9m*

[^] from an OS Zone that has now been re-zoned as EP Zone under the CZBL.

* from EP Zone (despite applicable exception referencing the OS1 Zone).

MINOR VARIANCE 7 – STRUCTURES COVERAGE

Requirement: The maximum lot coverage of all residential accessory structures cannot exceed 67.0m² (CZBL Section 4.1.3.1).

Relief Sought: Approval of a maximum lot coverage for the Proposed Structures of 100.3m².

Justification: The following reasons support the requested relief:

The Proposed Structures have been designed to meet the Applicants' family needs for outdoor recreational spaces, including to support activities related to the proposed swimming pool. Given the large overall size of the lot; the presence of the Proposed Structures will continue to ensure appropriate amenity and open space. The Proposed Structures represent a relatively small percentage of total lot coverage (approximately 3.2% in aggregate). In addition, they are proposed at opposite ends of the rear yard – thereby minimizing the visual effect of the higher coverage in a way that would not be the case if the structures were located together, or the higher coverage was concentrated in one substantially sized structure. The percentage of total lot coverage for the existing dwelling together with the Proposed Structures would be approximately 25% (calculating only R1B area), and 16% (calculating the entire lot). These coverages are substantially below the 40% maximum total coverage permitted in R1B designated zones, and would represent a minor increase in maximum lot coverage compared to Proposed Structures limited to the 67.0 m² CZBL requirement (24% (R1B only) and 15% (entire lot), respectively).

Similar or more permissive variances have been granted and determined minor by the Committee, including for, among others, the following properties:

Address	File #	Committee Hearing Date	Structure	Approved Coverage
101 Putting Green Cres., Kleinburg	A271/21	May 26, 2022	Cabana	134.36m ²
471 Westridge Dr., Kleinburg	A324/22	January 16, 2025	Pergola & Loggia	129.5 m ²
10 Pennon Rd., Kleinburg	A075/22	May 12, 2022	Cabana	121.6 m ²
80 High Valley Ct., Woodbridge	A139/21	July 22, 2021	Pool House	119.01 m ²
186 Treelawn Blvd., Kleinburg	A036/22	April 14, 2022	Pergola	111.10 m ²
305 Pine Valley Cr., Woodbridge	A184/22	December 8, 2022	Cabana	109.65 m ²
16 Weaver Court, Kleinburg	A181/23	January 11, 2024	Cabana, Pergola & Shed	107.50 m ²
343 Vaughan Mills Rd., Woodbridge	A284/22	January 26, 2023	Cabana	95.61 m ²

MINOR VARIANCE 8 – INTERIOR SIDE LOT SETBACK (CABANA EAVE)

Requirement: Unless otherwise expressly permitted by the CZBL, a minimum distance of 0.6m shall be required from any permitted encroachment (CZBL Section 4.13.3).

Relief Sought: Approval of an interior side lot setback of 0.5m for the Cabana eave

Justification: The following reasons support the requested relief:

Applicants are proposing a 4-inch Cabana eave, which is not atypically large, in order to minimize any potential impact. The Cabana eave will overhang into the 0.6m side lot setback (requested for approval by the Committee) a minimal amount of approximately 0.1m.

Similar or more permissive variances have been granted and determined minor by the Committee, including for, among others, the following properties:

Address	File #	Committee Hearing Date	Structure	Approved Int. Side Lot Setback
9580 Keele Street, Vaughan	A005/25	April 10, 2025	Cabana Eave	0.18m
142 Fifth Ave., Woodbridge	A062/24	March 20, 2025	Cabana Eave	0.22m
25 Shale Cr, Maple	A283/22	May 16, 2024	Cabana Eave	0.30m
77 Balderson Dr., Kleinburg	A046/24	June 20, 2024	Shed Eave	0.30m
2 Balderson Dr., Kleinburg	A095/24	October 3, 2024	Shed Eave	0.35m
162 Davidson Dr., Woodbridge	A109/24	October 30, 2024	Patio Eaves	0.46m & 0.39m
505 Wycliffe Ave., Woodbridge	A075/24	July 10, 2024	Cabana Eave	0.47m

MINOR VARIANCE TESTS

All the requested variances, in our opinion, are supportable and meet the four tests for a minor variance pursuant to Section 45(1) of the *Planning Act* (Ontario):

1. The variances maintain the general intent and purpose of the VOP

The Subject Property is designated “Low Rise Residential” on Schedule 13 - Land Use Plan of the VOP⁵. The general intent and purpose of the VOP is to facilitate the development of low-density residential uses while ensuring development is compatible with the surrounding area. The policies of the VOP are to protect and strengthen the character of these areas while recognizing that incremental change is expected as a natural part of maturing neighbourhoods. Accessory structures, such as cabanas and pergolas, are permitted in areas with this designation, provided they adhere to the provisions set out in the CZBL. The proposal is in keeping with the intent of the VOP as follows:

- The proposal will make for efficient use of the low-rise residential site and support development permitted in this designation. The variances requested will facilitate development of high quality, architecturally treated accessory structures on the Subject Property, and allow for their use on the property for residential purposes, which will improve the Subject Property and neighbourhood, without undue impacts on the site or surrounding properties.
- The Proposed Structures are not out of scale or visually incongruous with the Subject Property or the neighbourhood, and still maintain the intent of an accessory structure, in the form of a Cabana and Pergola situated on a pool deck. Further, the proposed variances relating to the setbacks do not intrude on the neighbouring properties and are appropriate in terms of placement on the Subject Property for a cabana and pergola.
- The Proposed Structures are designed and will operate as a Cabana structure and unenclosed Pergola in support of the main single-detached dwelling. The Proposed Structures will add to and respect the clusters of low-rise

⁵ The rearmost portion of the Subject Property zoned as EP Zone is designated as “Natural Area” on Schedule 13.

residential areas within the immediate area and surrounding area that have accessory structures in the rear yard, furthering the conformity to the VOP. The Proposed Structures also represent a “good fit” within the physical context and character of the surrounding area and are compatible with adjacent and surrounding areas that benefit from existing accessory structures of a similar nature.

Based on the foregoing analysis, we believe the requested variances are compatible with and maintain the general intent and purpose of the VOP.

2. The variances maintain the general intent and purpose of the CZBL

The Subject Property is zoned R1B (EN) - First Density Residential Zone and EP Zone (in part), the former of which permits structures like the Proposed Structures.

Interior side yard setbacks are designed to ensure that structures do not encroach on adjacent properties. Given the nature and design of the Proposed Structures and the requested setback variances (0.6m), the structures do not encroach on the adjacent properties and are still located an appropriate distance away from the interior side lot (and, in the case of the proposed Pergola, a distance that matches the distance to the same side lot line as the neighbours' existing structure).

The intent and purpose of structure height limit is to ensure there is uniformity across an area regarding structures. The requested height variances (an additional 0.37m and 0.96m for the Pergola and Cabana, respectively) will not result in structures that dominate or are out of character with the neighbourhood. The Subject Property can handle this addition in height from what is required because of the nature of the site and the considered design of the Proposed Structures (as discussed below).

The intent of the maximum lot coverage provision for all detached accessory structures is to control the maximum amount of structure ground floor area that can cover a particular lot to ensure appropriate amenity and open space. The Proposed Structures are proposed at opposite ends of the rear yard, to maintain openness and amenity space and prevent unacceptable concentration of built structures. As discussed above, the Proposed Structures when combined with the existing dwelling, fall substantially below the 40% maximum lot coverage permitted in R1B designated zones.

With respect to the setback from the area labelled OS1 in the Exception in respect of the Proposed Structures, (i) the build area for the Proposed Structures has been re-zoned to R1B, implicitly recognizing that the legacy OS1 designation is not a suitable guide; (ii) the Applicants have demonstrated to TRCA's satisfaction that the control of flooding, erosion or the conservation of land will not be affected and received a TRCA permit; (iii) the Proposed Pergola is a lightweight, unenclosed, open-air aluminum structure, with the majority of its footprint outside of the OS1 area, and will not obstruct open views; and (v) the Proposed Cabana, contemplates only one small corner (representing less than 1% of the total area of the structure) in the OS1 zone.

Accordingly, the required variances are only proposed where functionally necessary, do not represent significant departures from the CZBL, and are consistent with, and maintain, the general intent and purpose of the CZBL.

3. The variances are desirable for the appropriate development or use of land

The Proposed Structures will feature architectural quality and provide an opportunity to improve and add accessory structures on the Subject Property that are desirable, similar in massing and design to, and compatible with, other accessory structures in the area. The Subject Property is part of an enclave of uniquely characterized homes on substantially sized lots within the Islington Woods community of Woodbridge, and the proposed variances will allow for accessory structures that are appropriate in their high quality design and typical of the large homes within this neighbourhood. As such, the proposed development supports the character of the neighbourhood and is appropriate and desirable for the area. Structures similar to the Proposed Structures are not uncommon for sites within the First Density Residential zone, as many single-detached lots have covered accessory structures such as cabanas and/or pergolas, pavilions, pool houses, loggias or gazebos. Accordingly, the proposal is desirable in that it is similar to and compatible

with other dwellings in the area. The variances will allow for the Subject Property to be optimized for the Proposed Structures, enhancing the Applicant's enjoyment of the rear yard, adding amenity space, while still maintaining the necessary functions of each zoning provision, and respecting the context of the greater surrounding area.

Based on the foregoing analysis, it is our opinion that the Proposed Structures and the variances requested are appropriate, reasonable and desirable for the Subject Property.

4. The variances are minor in nature, and do not create any undue impacts from a planning nature.

This intent of this test is to ensure that proposed variances do not present undue negative impacts to adjacent properties, such as adverse overlook or shadowing impacts. The test also looks to ensure that the development is compatible with the established built form and character of the neighbourhood and does not erode the aesthetics of the streetscape. Existing conditions on the site, as well as the considered design of the Proposed Structures, address any such concerns with respect to adjacent properties and the streetscape, as discussed below.

The location and design of the Proposed Structures has been carefully considered in terms of materials, roofline, and proportions to ensure any potential massing, privacy and shadowing impacts are mitigated or non-existent. The proposed Pergola is an open-air structure with no walls and whose proposed location substantially coincides with, and will be almost entirely obscured by, an existing enclosed structure (of a similar height) on the adjacent property - eliminating any overlook, privacy, shadowing and visual impact concerns. The proposed Pergola setback approximately matches the existing setback distance of the neighbouring cabana to the same interior lot line, further addressing any concerns.

The proposed Cabana location will be partially obscured from neighbouring view by existing large coniferous trees on the adjacent property, as well as the proposed pool fencing. Moreover, because the adjacent dwelling is configured such that their rear yard is angled away from the Subject Property (due to the pie shape of the property), the proposed Cabana will not impact any established neighbouring amenities (decks, walkouts, etc.) which are located out of view from the Subject Property and will not interfere with the neighbour's quiet enjoyment of their property. The proposed Cabana has also been designed with no windows on the rear wall facing the adjacent property, to ensure no privacy/overlook impacts.

Each of the Proposed Structures contemplates a flat roof design which we believe minimizes the visual impact of their height compared to a traditional hipped roof, and neither Proposed Structure includes an overhanging roof on the interior side lot side of the structure. In addition, all sides of the Proposed Structures, including those facing adjacent properties, will be architecturally treated in the same manner. Planned drainage measures are reflected on the Site Plan in respect of the Proposed Structures.

Massing impacts have also been considered, including with respect to the "streetscape." The Proposed Structures have been designed to reflect an architectural character and proportions that appropriately reflect the context and character of the neighbourhood. Moreover, they are proposed at opposite ends of the rear yard to eliminate any concentration effect. The Proposed Structures are, together with the dwelling, well below total lot coverage limits, and the structures themselves cover a relatively small percentage of the total lot (approx. 3.2%). Each structure is set back a substantial (over 35m) distance from the street and will be obscured in whole or in large part by existing and proposed site conditions, including: the required pool enclosure fencing, existing landscaping and trees, and portions of the dwelling envelope. In addition, the Subject Property is sloped from front to rear - resulting in a significantly lower grade in the rear yard compared to street level. This will give the Proposed Structures a "sunken" appearance when viewed from street level such that they will be perceived as smaller and lower in height than in actual fact. All of the foregoing will ensure that the Proposed Structures do not in any way "dominate" the streetscape.

The proposed variances are also minor in nature given that they are not significant departures from CZBL requirements and are supported by a number of previously granted variances of a similar or more permissive nature in the area (as listed in this brief).

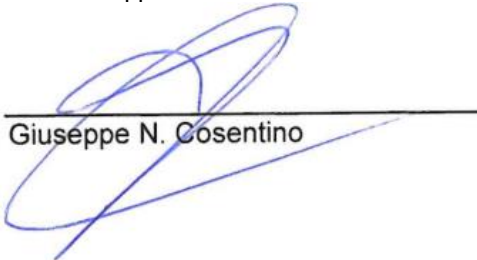
Of note, the only two neighbours with properties abutting the Subject Property have provided letters of support for the variance application, as have several other neighbours with homes in the vicinity of the Subject Property. The Applicants are not aware of any neighbours or other parties that have objected, or plan to object, to the Proposed Structures.

CONCLUSION

Based on the foregoing analysis, the Proposed Structures are not: out of scale, out of character, inappropriate, visually incongruous, undesirable, or detrimental to the neighbourhood or adjacent properties; nor are there undue impacts to adjacent properties or the streetscape. In our opinion, the requested variances meets the four tests required for minor variances in the *Planning Act*, are in the public interest, are minor in nature, and represent good planning.

We look forward to working with the Committee and City Staff in progressing the subject application. Should you have any questions, please contact the Applicants at [REDACTED] or by email at: [REDACTED]

Signed,
The Owner/Applicants

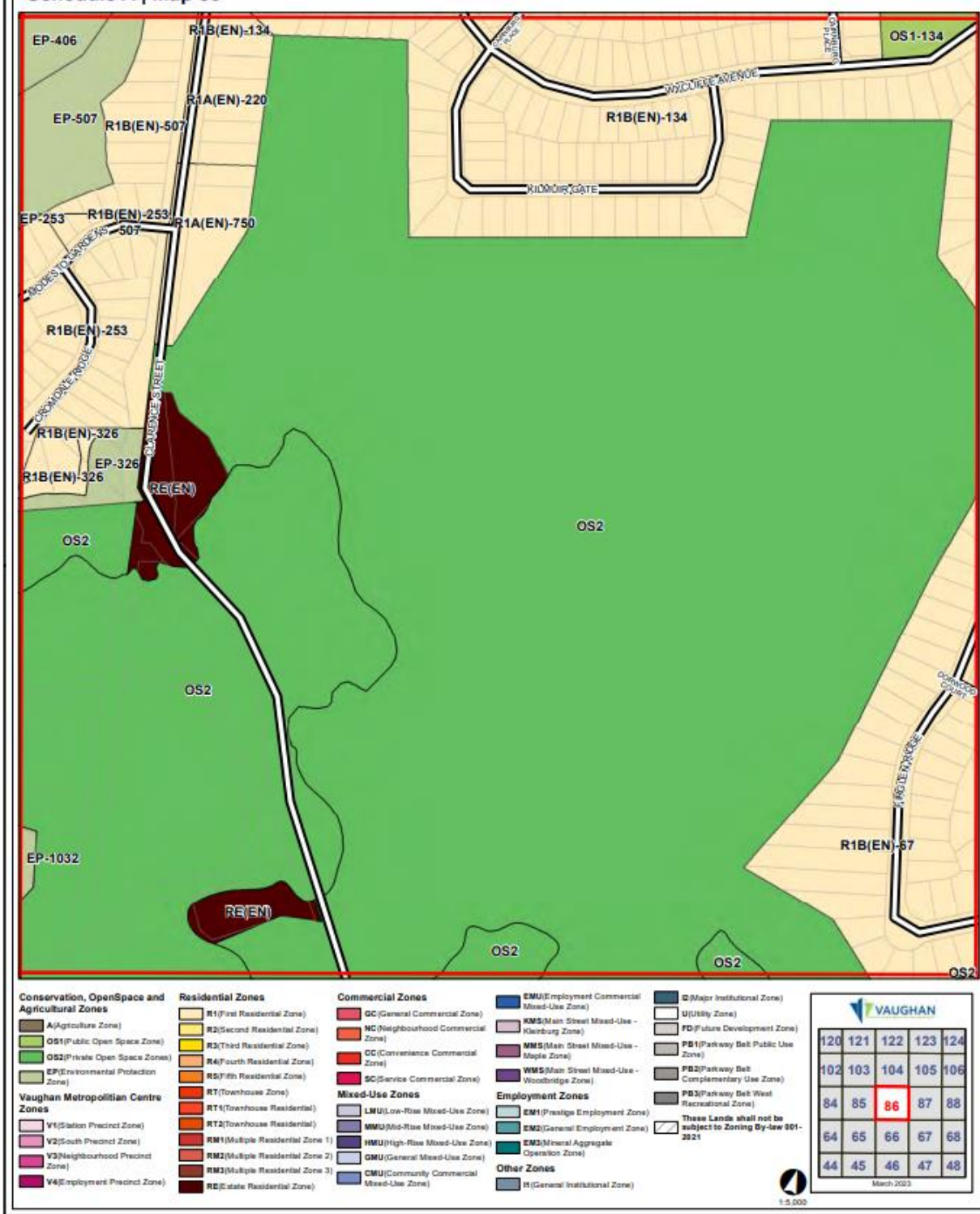


Giuseppe N. Cosentino



Rita J. Cosentino

Zoning By-law 001 - 2021
Schedule A | Map 86



APPENDIX B
TRCA FLOOD PLAIN MAP (AS AT JUNE 2024)

<https://trca.ca/conservation/flood-risk-management/flood-plain-map-viewer/#use-now>





Date: October 23, 2023

Mr. Giuseppe (Joseph) Cosentino

55 Cromdale Ridge
Vaughan, Ontario
L4L 8C9

Via email

Re: **Slope Stability Assessment – Rev 3**
55 Cromdale Ridge, Vaughan, Ontario
Reference: BRM-23012004-A0

Dear Mr. Cosentino:

The letter provides the results of a preliminary slope stability assessment carried out for the property located at 55 Cromdale Ridge in the City of Vaughan, Ontario, hereafter referred to as the “Site”. Based on the information provided, the proposed work will consist of the construction of a swimming pool, a cabana and a gazebo at the backyard of the Site. The approximate location of the Site is shown in Figure 1.

The purpose of this assessment was to assess the stability of the existing slope to the east of the Site, and provide geotechnical comments on the potential impact(s) of the proposed construction to the existing slope’s stability, in connection with a permit application to TRCA.

The assessment was carried out in general accordance with our proposal letter dated September 11, 2023. Authorization to proceed with the assessment was provided by you on September 21, 2023.

Procedure

The slope stability assessment consisted of a desk top review of the readily available information for the Site from our files, followed by a site reconnaissance and preliminary slope stability evaluation. The desk top review involved the examination of readily available geological and topographical mapping.

Site reconnaissance was carried out on September 29, 2023, by a senior geotechnical engineer and a geoscientist from our staff. It included a walkover of the Site and the existing slope in the

east, observations of vegetation, soil type (where possible), seepage conditions, slope measurements, and erosion activity, if any. Additionally, the existing slope was evaluated in accordance to the Ontario Ministry of Natural Resources (MNR) Slope Stability Rating Chart.

Site Description and Proposed Work

The Site resides in a residential area about 60 m west of Clarence Street. It encompasses a roughly trapezoid-shaped lot with an existing 2 storeys high detached dwelling and features a wooden framed gazebo and a trampoline in the backyard. Between the east property line and the existing house, the backyard area is relatively flat. Based on available lidar data derived from the Ontario digital terrain model, the ground elevation is approximately 175.5 m at the top of the existing slope. Below the backyard the concave ground surface slopes down towards Clarence Street, reaching a low point of about Elevation 155.5 m at about 5 m west of Clarence Street. The low point appeared to be a drainage channel that was dry at the time of the field inspection. The overall height of the slope is approximately 20 m, with an average overall gradient of 2H:1V.

Geologically, the existing slope falls within the physiographic region of southern Ontario known as the South Slope, as identified in "The Physiography of Southern Ontario" by Chapman and Putnam (1984). This region represents the southern flank of the Oak Ridges Moraine and to the north of the Lake Iroquois sand plain. It is characterized by low-lying, fine grained undulating ground moraine and knolls. Localized pockets of sand and gravel exist amongst the moraines. In areas of groundwater discharge, cedar swamps and meadow marshes can be present. According to the Maps produced by the Geological Survey of Canada, Map 2556, "Quaternary Geology of Ontario – Southern Sheet" (1991, 1:1,000,000 scale), the existing slope is underlain by Halton Till of Wisconsinan age and is composed of silty clay to silt till with poor clast content. There exists local sand to silty sand lenses within the till with limited lateral and vertical extent. They may contribute perennial base flow to the streams if appear in the stream valleys. Halton Till formed as sediments deposited in ice-marginal or sub-glacial setting as the Ontario ice lobe re-advanced during the Port Huron Stadial.

Site Reconnaissance and MNR Slope Stability Rating

At the time of the site reconnaissance, the subject slope was heavily covered with mature vertical trees and brush. No seepage was observed within the slope or at its base, and no signs of toe erosion, failure scarps, tension cracks, or any other indications of global instability were noted. No free water was observed in the channel at the slope toe. Details of the findings from site

reconnaissance are summarized in the Slope Inspection Record, presented in this report as Figure 2.

A desk top stability assessment was made in accordance with the MNR Slope Stability Rating Chart (Table 4.2 of MNR's Technical Guide, 2002), with the results presented in Figure 3. The existing slope received a rating of 23, which is classified as "stable" in the MNR Guide.

Geotechnical Comments

Based on our site reconnaissance and desk top evaluation, the existing slope to the east of the physical top of bank staked out by TRCA, was stable at the time of this study. The proposed construction of a swimming pool and a cabana in the backyard should have no adverse effect on the stability of the slope, provided the following recommendations are followed:

- The foundations for the cabana must be constructed on native, undisturbed soils;
- The swimming pool must be water-tight so that it will not introduce any water into the soils of the slope;
- The finished grades should be such that all surface water run-off is directed away from the slope;
- The geometry of the existing slope must not be altered;
- All existing vegetations on the slope are preserved;
- During construction, no fill should be placed on the slope surfaces; and no water should be discharged onto the slope.

All proposed work should be conducted with the full consent of the TRCA, where required, and must adhere to all local and regional by-laws and regulations. Further geotechnical involvement may be necessary if unsuitable conditions are encountered during construction.

We trust the information is sufficient for your current needs. Should TRCA wish to discuss the technical contents of the report, we would be pleased to participate in an online meeting. If you have any questions regarding this letter, please do not hesitate to call the undersigned.

Yours truly,

exp Services Inc.

JN



2023 10 23

Raymond Yan, P. Geo.
Geoscientist
Geotechnical Services



James Ng, P. Eng.
Geotechnical Manager
Geotechnical Services

Figure 1

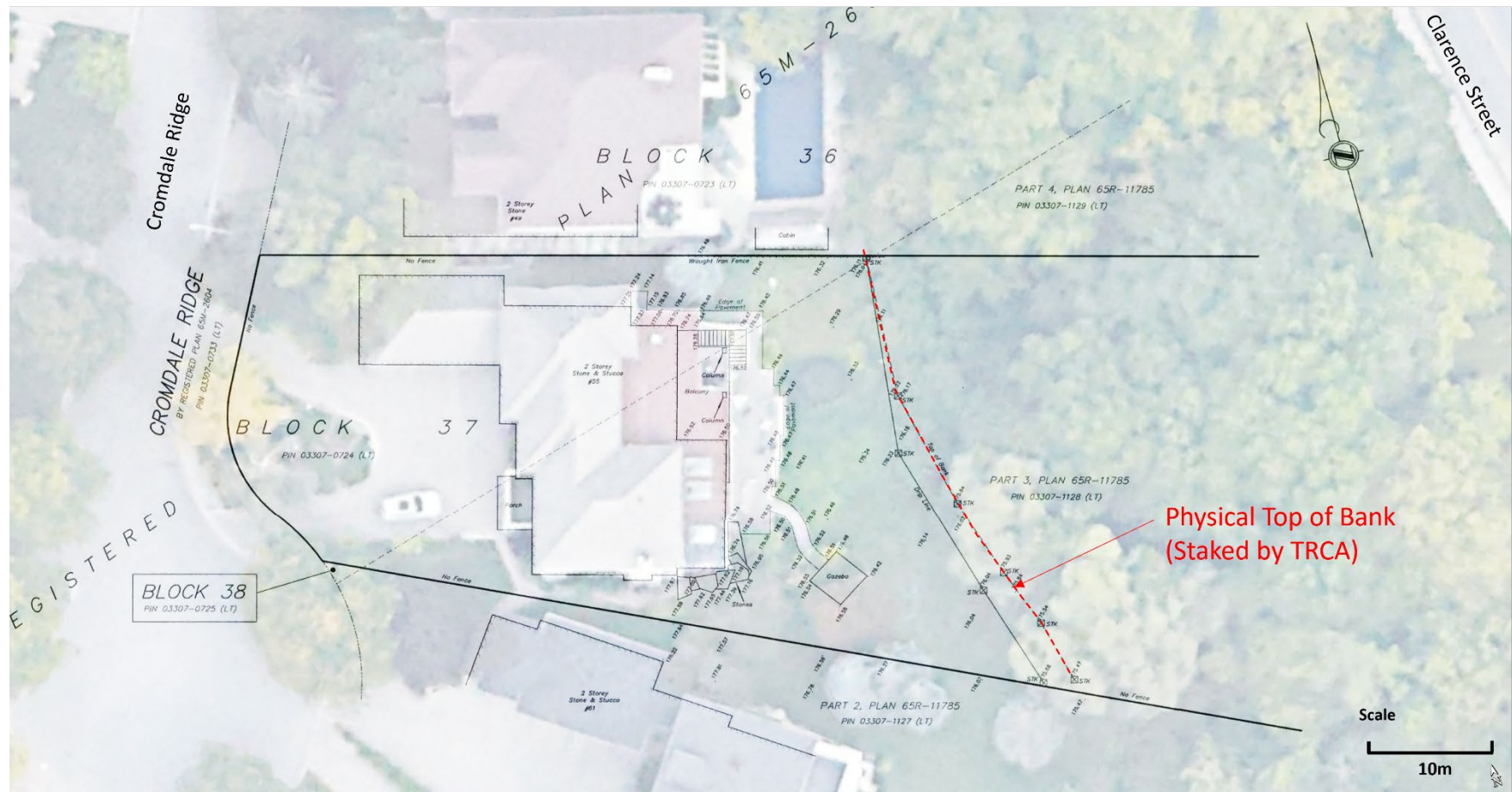


Figure 2

TABLE 4.1 - Slope Inspection Record		
1. FILE NAME / NO. SR 1 INSPECTION DATE (DDMMYY): September 29, 2023 WEATHER (circle): <div style="float: right;"> <input checked="" type="radio"/> sunny • partly cloudy • cloudy <input checked="" type="radio"/> calm • breeze • windy <input checked="" type="radio"/> clear • fog • rain • snow • cold • cool <input checked="" type="radio"/> warm • hot estimated air temperature: 27 Deg Celsius </div>		
INSPECTED BY (name): Raymond Yan and James Ng		
2. SITE LOCATION (describe main roads, features) SKETCH Referred to Figure 1		
3. WATERSHED No Watercourse except a dry channel at slope toe		
4. PROPERTY OWNERSHIP (name, address, phone): LEGAL DESCRIPTION Lot Concession Township County CURRENT LAND USE (circle and describe) • vacant -field, bush, woods, forest, wilderness, tundra, • passive -recreational parks, golf courses, non-habitable structures, buried utilities, swimming pools, <input checked="" type="radio"/> active -habitable structures, residential, commercial, industrial, warehousing and storage, • infra-structure or public use - stadiums, hospitals, schools, bridges, high voltage power lines, waste management sites,		
5. SLOPE DATA HEIGHT • 3 - 6 m • 6 - 10 m • 10 - 15 m <input checked="" type="radio"/> 15 - 20 m • 20 - 25 m • 25 - 30 m • > 30 m <div style="text-align: right;">estimated height (m): 20 m from Lidar data</div> INCLINATION AND SHAPE <div style="display: flex; justify-content: space-between;"> <div> • 4:1 or flatter 25 % 14° • up to 1:1 100 % 45° </div> <div> • up to 3:1 33 % 18° • up to :1 200 % 63° </div> <div> <input checked="" type="radio"/> up to 2:1 Overall Slope 50 % 26° • steeper than :1 > 63° </div> </div>		
6. SLOPE DRAINAGE (describe) TOP No concentrated flow of water was observed over the slope crest FACE No concentrated flow of water was observed over the slope face BOTTOM No watercourse was observed near the slope toe except a drainage channel. It was dry at the time of inspection		

Figure 2 - Continued

7. SLOPE SOIL STRATIGRAPHY (describe, positions, thicknesses, types)	
TOP	No soil exposure was observed
FACE	No soil exposure was observed
BOTTOM	Native soil visible at the bank of the channel at slope toe, including native silty sand.
8. WATER COURSE FEATURES (circle and describe)	
SWALE, CHANNEL	
GULLY	
STREAM, CREEK, RIVER	No water course features was observed in the vicinity of the slope
POND, BAY, LAKE	
SPRINGS	
MARSHY GROUND	
9. VEGETATION COVER(grasses, weeds, shrubs, saplings, trees)	
TOP	The slope crest is maintained with small grasses and shrubs
FACE	The slope face is densely forested with straight mature trees
BOTTOM	The slope toe is generally forested with some bare soil exposed at the bank of the channel
10. STRUCTURES(buildings, walls, fences, sewers, roads, stairs, decks, towers,)	
TOP	There is a trampoline and an old gazebo in the backyard of the existing dwelling above the slope crest. Few old abandoned short light pole was present above the slope crest
FACE	No structure was observed on the slope face
BOTTOM	A drainage pipe extended from underneath the Clarence Street to a continued section of the channel adjacent to the toe of the existing slope. No free water was observed in the pipe.
11. EROSION FEATURES(scour, undercutting, bare areas, piping, rills, gully)	
TOP	No erosion was observed in the slope crest
FACE	No erosion was observed in the slope face
BOTTOM	No erosion was observed in the slope toe except some bare soil exposed along the bank of the channel
12. SLOPE SLIDE FEATURES(tension cracks, scarps, slumps, bulges, grabens, ridges, bent trees)	
TOP	No slope slide feature was observed in the slope crest
FACE	No slope slide feature was observed in the slope face
BOTTOM	No slope slide feature was observed in the slope bottom
13. PLAN SKETCH OF SLOPE	
14. PROFILE SKETCH OF SLOPE	

Figure 3

TABLE 4.2 - SLOPE STABILITY RATING CHART		
Site Location: Existing slope east of 55 Cromdale Ridge, Toronto Property Owner: Joseph Cosentino Inspected By: Raymond Yan & James Ng		
File No.: SSR 1 Inspection Date: September 29, 2023 Weather: Clear		
1. SLOPE INCLINATION		
degrees	horiz. : vert.	
a) 18 or less	3 : 1 or flatter	0
b) 18 - 26	2 : 1 to more than 3 : 1	6
c) more than 26	steeper than 2 : 1	16
2. SOIL STRATIGRAPHY		
a) Shale, Limestone, Granite (Bedrock)		0
b) Sand, Gravel		6
c) Glacial Till		9
d) Clay, Silt		12
e) Fill		16
f) Leda Clay		24
3. SEEPAGE FROM SLOPE FACE		
a) None or Near bottom only		0
b) Near mid-slope only		6
c) Near crest only or, From several levels		12
4. SLOPE HEIGHT		
a) 2 m or less		0
b) 2.1 to 5 m		2
c) 5.1 to 10 m		4
d) more than 10 m		8
5. VEGETATION COVER ON SLOPE FACE		
a) Well vegetated; heavy shrubs or forested with mature trees		0
b) Light vegetation; Mostly grass, weeds, occasional trees, shrubs		4
c) No vegetation, bare		8
6. TABLE LAND DRAINAGE		
a) Table land flat, no apparent drainage over slope		0
b) Minor drainage over slope, no active erosion		2
c) Drainage over slope, active erosion, gullies		4
7. PROXIMITY OF WATERCOURSE TO SLOPE TOE		
a) 15 metres or more from slope toe		0
b) Less than 15 metres from slope toe		6
8. PREVIOUS LANDSLIDE ACTIVITY		
a) No		0
b) Yes		6
SLOPE INSTABILITY RATING VALUES INVESTIGATION RATING SUMMARY		TOTAL 23



February 26, 2025

ARBORIST REPORT

55 Cromdale Ridge, Woodbridge, Ontario

BACKGROUND

MHBC was retained to conduct an inventory of the existing trees within the boundaries of the property known as 55 Cromdale Ridge, as they pertain to the City of Vaughan Tree By-laws. This investigation examined 25 trees within and around the subject property. Field work was completed February 17, 2025, and this report relates to the condition of the trees at that time.

PROCEDURE

The on-site inventory of existing trees was carried out using the current survey of the property and relies on the accuracy of this survey. The scoped tree inventory includes all trees within the rear yard (area of the proposed backyard landscape and pool project), all trees within 6.0 metres of the site boundary, and trees within approximately 10.0m of the top of the ridge.

This inventory is summarized graphically in the Tree Inventory Plan TI-1, which shall always be read in conjunction with this report and shall form part of this report. For the purposes of this report, trees and groupings of trees are identified in terms of species, size, condition, and recommendations.

The following rating system was used in describing the general condition of the trees inventoried:

- Good: Indicates a condition of vigor and no major concerns.
- Fair: Indicates an adequate tree, which may have some minor issues.
- Poor: Indicates declining health, bad form, or other more serious issues.
- Dead: Indicates a dead tree that should be removed.

ASSUMPTIONS AND LIMITING CONDITIONS

- Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible and is assumed to be correct; however MHBC can neither guarantee nor be responsible for the accuracy of information provided by others.
- It is assumed that the properties are not in violation of any applicable codes, ordinances, statutes, or other governmental regulations.
- Unless otherwise required by law, possession of this report or a copy thereof does not imply right of publication or use for any purpose in whole or in part by any other than the person or company by whom it was commissioned.

- The use of excerpts from this report or alterations to this report, without the authorization of MHBC Planning will invalidate the entire report. This report may not be used for any purpose other than its intended purpose as outlined.
- Unless expressed otherwise: 1) information contained in this report covers only those items that were examined and reflect the condition of those items at the time of inspection; and 2) the inspection is limited to visual examination or accessible items without dissection, excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that problems or deficiencies in the plants inventoried may not arise in the future.
- The determination of ownership of any subject tree(s) is the responsibility of the owner and any civil or common-law issues, which may exist between property owners with respect to trees, must be resolved by the owner. The recommendation to remove or maintain any tree(s) does not grant authority to encroach in any manner onto adjacent private properties.

SUMMARY OF TREES INVENTORIED

Tree #	Common Name	Botanical Name	DBH (CM)	Minimum TPZ (M)	Condition	Comments	Recommendation
1	Black Walnut	Juglans nigra	14	3.6	F	2 stems at base	Retain
2	Black Walnut	Juglans nigra	12	3.6	F		Retain
3	Plum Tree	Prunus domestica	7	1.2	F	Water shoots	Retain
4	Manitoba Maple	Acer negundo	14	3.6	F	6 stems	Retain
5	Plum Tree	Prunus domestica	12	1.8	F	Water shoots	Retain
6	Mullberry Sp.	Morus Sp.	20	1.8	P		Retain
7	Manitoba Maple	Acer negundo	15	1.8	F		Retain
8	Manitoba Maple	Acer negundo	15	1.8	F		Retain
9	Flowering Crabapple Tree	Malus Sp.	21	1.8	F/P		Retain
10	Willow Sp.	Salix Sp.	38	4.8	F/P	Significant structural failures in upper canopy	Retain
11	Willow Sp.	Salix Sp.	36	4.8	P	Significant structural failures in upper canopy	Retain
12	Silver Maple	Acer saccharinum	14	3.6	F	2 stems	Retain
13	Manitoba Maple	Acer negundo	8	1.2	F		Retain
14	Flowering Crabapple Tree	Malus Sp.	8	1.2	F/P		Retain
15	Willow Sp.	Salix Sp.	36	4.8	F/P	Co-dominant at 1.5 metres, moderate deadwood throughout, past failures evident	Retain
16	Silver Maple	Acer saccharinum	26	3.6	F	2 stems	Retain
17	Willow Sp.	Salix Sp.	46	6.0	F/P	Structural issues	Retain

18	Colorado Blue Spruce	Picea pungens var. glauca	28	1.8	F	Moderate needle drop	Retain
19	Flowering Crabapple Tree	Malus Sp.	22	1.8	P	Internal rot	Retain
20	Colorado Blue Spruce	Picea pungens var. glauca	29	1.8	F		Retain
21	Colorado Blue Spruce	Picea pungens var. glauca	30	2.4	F		Retain
22	Colorado Blue Spruce	Picea pungens var. glauca	25	1.8	F		Retain
23	Japanese Maple	Acer palmatum	19	1.8	F/G		Remove due to construction
24	Plum Tree	Prunus domestica	13	1.8	F		Remove due to construction
25	Colorado Blue Spruce	Picea pungens var. glauca	28	1.8	F		Retain

The above table summarizes the on-site trees as inventoried. The trees shown with a tone are proposed for removal. The remaining trees will be subject to tree protection per City of Vaughan Tree Preservation Detail as outlined on drawing 2-TI-1. It is noted that not all trees marked for retention require tree protection hoarding. Refer to TI-1 for size and layout of tree protection hoarding.

PHOTO RECORD



Trees 1 – 6



Trees 5 – 10



Trees 11 – 17, 19



Trees 18, 20 – 22



Trees 22, 23



Tree 24



Tree 25

TREE PROTECTION RECOMMENDATIONS

The following standards shall apply to any trees that are identified to be retained. Where the municipality enforces its own standards, those of the governing municipality shall supersede the recommendations contained herein. In all other instances, the following recommendations shall be treated as minimum standards for tree protection and retention.

1.0 ESTABLISH A TREE PROTECTION ZONE

The purpose of the tree protection zone is to prevent root damage, soil compaction and soil contamination during construction activities. Workers and machinery shall not disturb the tree protection zone in any way. In order to prevent access, the following recommendations are offered.

- Install tree protection hoarding as per City of Vaughan detail 2-TI-1.
- Allow no fill, equipment, supplies, or waste within the tree protection zone.
- Maintain the tree protection hoarding in good condition for the duration of construction.
- Tree protection hoarding is not to be removed until all construction activities have been completed.

2.0 ROOT PRUNING

Where possible, hand dig areas closest to each tree to prevent any unnecessary tearing or pulling of roots. Removal of roots that are greater than 2.5 centimeters in diameter or roots that are injured or diseased should be performed as follows:

- Preserve the root bark ridge (similar in structure to the branch bark ridge). Directional Root Pruning (DRP) is the recommended technique and should be employed during hand excavation around tree roots. Roots are similar to branches in their response to pruning practices. With DRP, objectionable and severely injured roots are properly cut to a lateral root that is growing downward or in a favorable direction.
- All roots needing to be pruned or removed shall be cut cleanly with sharp hand tools, by a Certified Arborist.
- No wound dressings or pruning paint shall be used to cover the ends of each cut.
- All roots requiring pruning shall be cut using any of the following tools:
Large or small loppers, Hand pruners, Small hand saws, Wound scribes
- Avoid prolonged exposure of tree roots during construction - keep exposed roots moist and dampened with mulching materials, irrigation or wrap in burlap if exposed for longer than 4 hours.

3.0 FERTILIZATION AND IRRIGATION

The following measures are recommended:

- Aeration and deep root fertilize to ensure that all trees receive the appropriate nutrients for healthy growth.
- Fertilizer must be a low nitrogen formula such as 5-30-30 to promote root growth rather than shoot growth.
- If construction occurs during July and / or August, roots must be irrigated during conditions of drought.

4.0 ESTABLISH MAINTENANCE PROGRAM

Pre-Construction:

- Prune all trees to remove any deadwood and obstruction prune as required.

During Construction:

- Irrigate tree preservation zones during drought conditions (June through September), in an attempt to reduce the effects of drought stress.
- Inspect the site every month to ensure that all tree protection fence / hoarding is in place and in good condition, inspect the trees to monitor condition.

Post-Construction:

- Prune crowns to remove any newly developed deadwood only. Do not remove any live growth.
- Inspect the trees three times per year (May, July, and September) to monitor condition for a minimum period of 2 additional years.

5.0 LANDSCAPING

Any landscaping completed within the tree preservation zones, after construction is completed and tree protection fencing / hoarding has been removed, is to be carried out in such a way that it will not cause damage to any of the trees or their roots. The trees must be protected to the same standards listed earlier in this report, but without the use of tree protection fence or hoarding.

The following guidelines are recommended:

- **No grade changes** are permitted which include adding and/or removing soil.
- **No excavation** is permitted that can cause damage to the roots of the tree.
- **No heavy equipment** can be used to compact the soil within the tree preservation zone.
- Where possible, hard surface paving around trees to be protected should be constructed using permeable products such as interlocking stone. Areas to be paved must be hand dug when encroaching within the tree protection zone.

CONCLUSIONS

Based on our investigations, we are of the opinion that Tree #23 and #24 will require removal in order to accommodate the proposed construction. We note that both of these trees are below the by-law threshold of 20cm DBH. No by-law protected tree shall be harmed or removed prior to applying for and receiving the requisite permits from the City of Vaughan.

The Tree Protection Costs for this proposed project are \$1,034.00

Based on the City of Vaughan's Tree Protection Protocol, Section 4.1 "Tree Replacement Requirement (For Private Trees)", no compensation trees will be required for the removal of the 2 trees noted for removal in this report.

Tree protection methods must be followed according to City of Vaughan's Tree Protection By-law 052-2018. Tree protection shall be installed as outlined in the arborist report/TPP prior to the commencement of any construction/demolition activities. The tree protection barriers shall be installed at their approved location and shall be maintained in their original location and condition until all construction activities within the site have ceased and all equipment is removed from the site. No equipment or material storage, flushing of fuel or washing of equipment is allowed within the TPZ. Any works within the TPZ area to be performed or supervised by an ISA Certified Arborist.

It is our opinion that the trees slated for retention can be successfully retained by following the recommendations set out in this report.

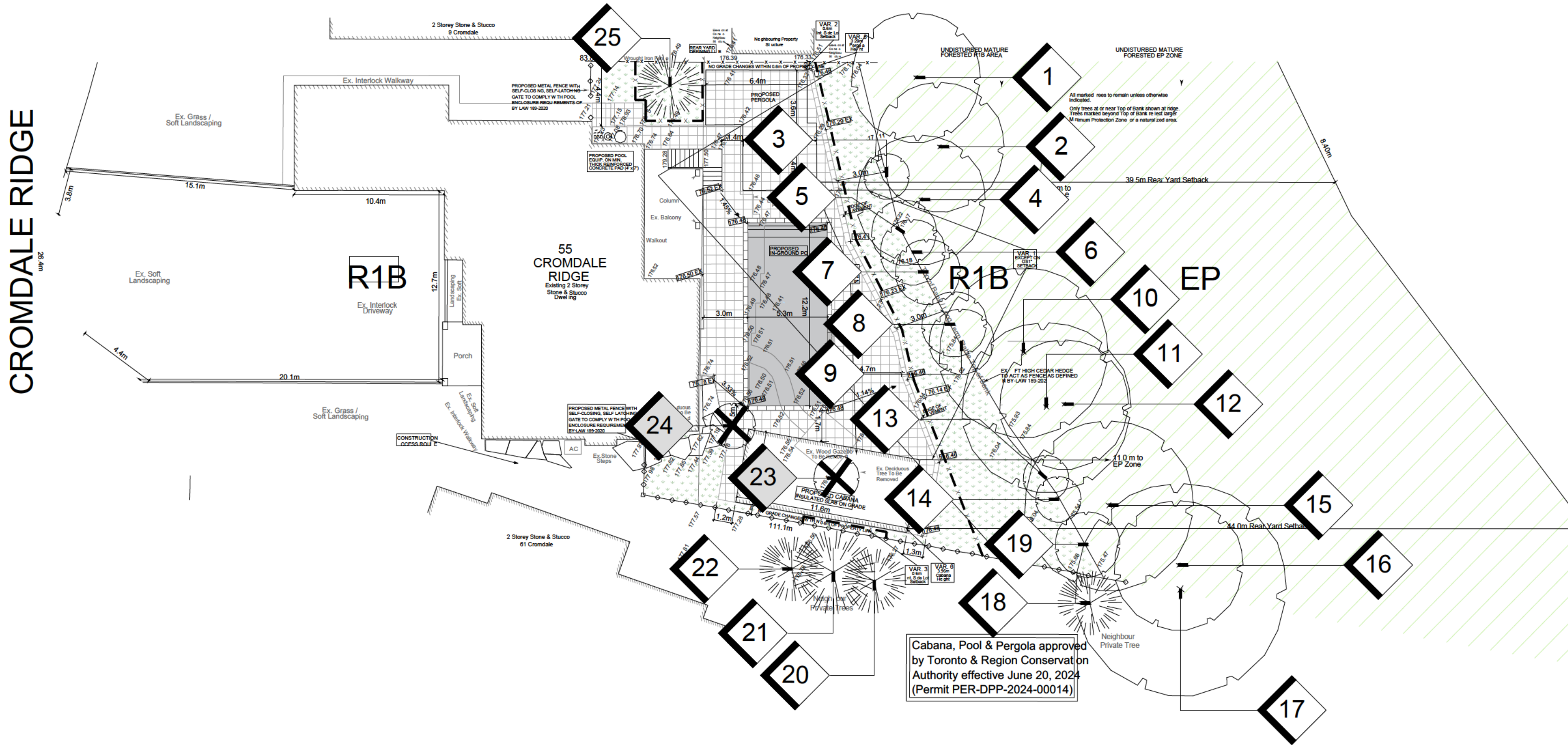
Should you have any questions regarding this report, please contact the undersigned directly.

Respectfully submitted,
MHBC Planning, Urban Design & Landscape Architecture



Nick A. Miele BLA, OALA, CSLA, ISA
Partner | Landscape Architect | Arborist
ISA Certified Arborist No. ON-1251A

CROMDALE RIDGE



TREE INVENTORY NOTES

Tree #	Common Name	Botanical Name	DBH (CM)	Minimum TPZ (M)	Condition	Comments	Recommendation
1	Black Walnut	Juglans nigra	14	3.6	F	2 stems at base	Retain
2	Black Walnut	Juglans nigra	12	3.6	F		Retain
3	Plum Tree	Prunus domestica	7	1.2	F	Water shoots	Retain
4	Manitoba Maple	Acer negundo	14	3.6	F	6 stems	Retain
5	Plum Tree	Prunus domestica	12	1.8	F	Water shoots	Retain
6	Mulberry Sp.	Morus Sp.	20	1.8	P		Retain
7	Manitoba Maple	Acer negundo	15	1.8	F		Retain
8	Manitoba Maple	Acer negundo	15	1.8	F		Retain
9	Flowering Crabapple Tree	Malus Sp.	21	1.8	F/P		Retain
10	Willow Sp.	Salix Sp.	38	4.8	F/P	Significant structural failures in upper canopy	Retain
11	Willow Sp.	Salix Sp.	36	4.8	P	Significant structural failures in upper canopy	Retain
12	Silver Maple	Acer saccharinum	14	3.6	F	2 stems	Retain
13	Manitoba Maple	Acer negundo	8	1.2	F		Retain
14	Flowering Crabapple Tree	Malus Sp.	8	1.2	F/P		Retain
15	Willow Sp.	Salix Sp.	36	4.8	F/P	Co-dominant at 1.5 metres, moderate deadwood throughout, past failures evident	Retain
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20	Colorado Blue Spruce	Picea pungens var. glauca	29	1.8	F		Retain
21	Colorado Blue Spruce	Picea pungens var. glauca	30	2.4	F		Retain
22	Colorado Blue Spruce	Picea pungens var. glauca	25	1.8	F		Retain
23	Japanese Maple	Acer palmatum	19	1.8	F/G		Remove due to construction
24	Plum Tree	Prunus domestica	13	1.8	F		Remove due to construction
25	Colorado Blue Spruce	Picea pungens var. glauca	28	1.8	F		Retain

LEGEND

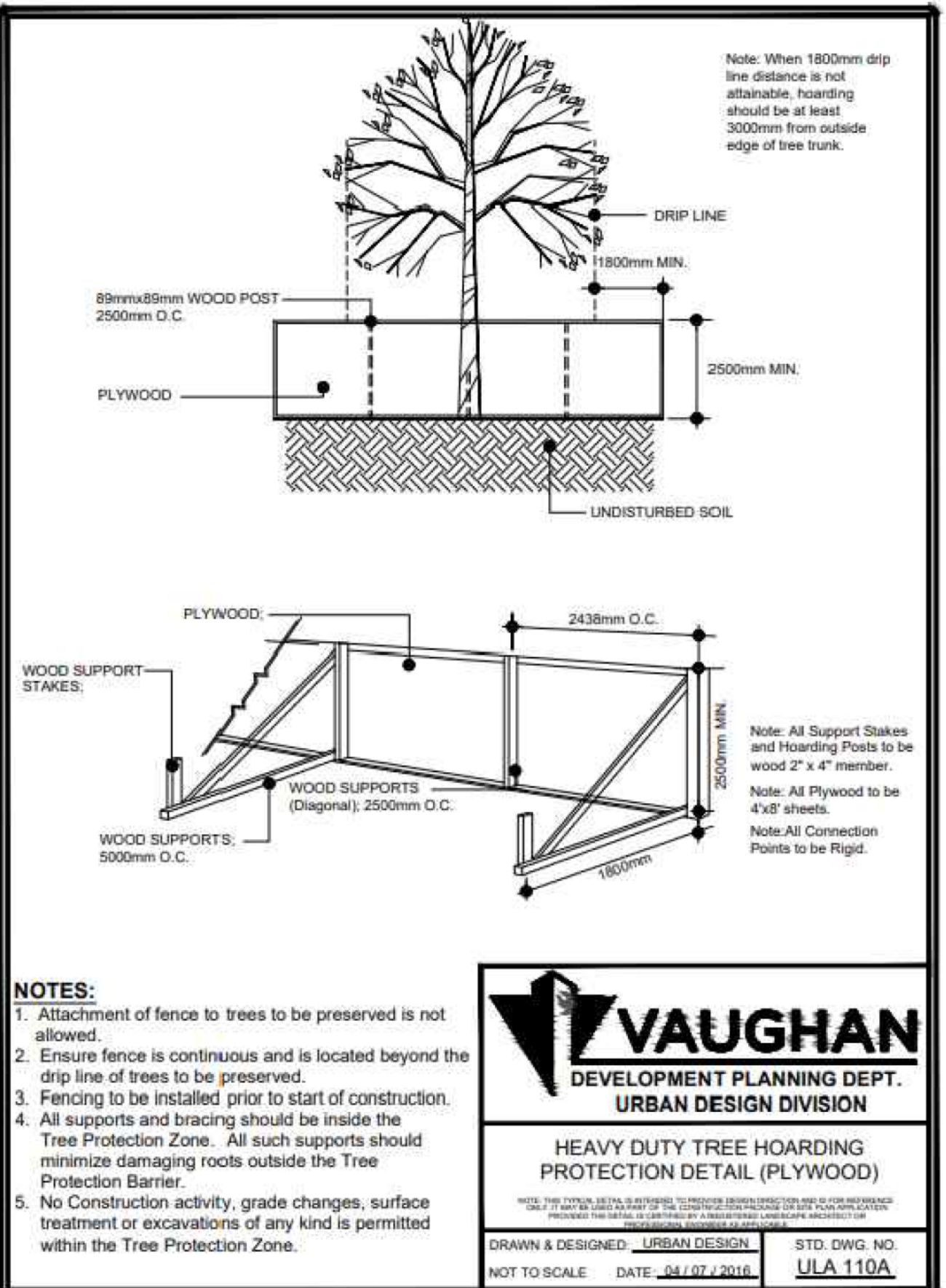
- EXISTING DECIDUOUS TREE TO REMAIN
- EXISTING DECIDUOUS TREE TO BE REMOVED (REFER TO ARBORIST REPORT)
- EXISTING CONIFEROUS TREE TO REMAIN
- TREE IDENTIFICATION KEY (TREES TO BE RETAINED)
- TREE IDENTIFICATION KEY (TREES TO BE REMOVED)
- TREE PROTECTION FENCING PER CITY OF VAUGHAN STANDARDS

TREE INVENTORY, PROTECTION, AND REMOVALS PLAN

SCALE: 1:200

GENERAL NOTES

- Do not scale the drawings. All dimensions are in millimetres unless noted otherwise.
- This drawing is to be read in conjunction with the project site plan, landscape plan, and engineering plan.
- The tree inventory includes assessment of trees >10cm DBH. The trees have been assessed based on species, size and condition.
- The contractor shall check and verify all existing and proposed grading and conditions on the project and immediately report any discrepancies to the consultant before proceeding with any removals.
- The contractor is to be aware of all existing and proposed services and utilities. The contractor is responsible for having all underground services and utility lines staked by each agency having jurisdiction prior to commencing work.
- This drawing is to be used for development approval only.
- Do not leave any holes open overnight.
- Keep area outside construction zone clean and useable by others at all times. Contractor shall thoroughly clean areas surrounding the construction zone at the end of each work day.
- Contractor to make good any and all damages outside of the development area that may occur as a result of tree removals at no extra cost.
- This drawing is Copyright MHBC, 2025.



HEAVY DUTY TREE PROTECTION DETAIL

CITY OF VAUGHAN STANDARD

1. FEBRUARY 26, 2025 ISSUED FOR SPA NV

REVISION NO. DATE ISSUED / REVISION BY

MHBC

PLANNING URBAN DESIGN & LANDSCAPE ARCHITECTURE

230-7050 WESTON ROAD WOODBRIDGE, ON, L4L 6G7 | P: 905 761 5588 F: 905 761 5589 | WWW.MHBCPLAN.COM

STAMP

ASSOCIATION OF LANDSCAPE ARCHITECTS

MEMBER

ISSUED FOR SPA ONLY NOT FOR CONSTRUCTION

All drawings and specifications are instruments of service and will remain the property of MHBC Planning and must be returned at the completion of the work. This drawing shall not be used for construction purposes unless the drawings are marked 'Issued for Construction' and the professional seal is signed and dated by the landscape architect.

DATE JANUARY 2025

DRAWN BY NV

PLAN SCALE 1 200

FILE NO. 23416A

CHECKED BY N.M.

OTHER

PROJECT

55 CROMDALE RIDGE WOODBRIDGE, ONTARIO

FILE NAME TREE INVENTORY, PROTECTION, AND REMOVALS

DWG NO. TI-1

Letter of Support

Date: November 27, 2024

To: Committee of Adjustment
City of Vaughan

Re: 55 Cromdale Ridge, Woodbridge, Ontario, L4L 8C9
Minor Variances Application (File # A193/24)

We are the owners of 49 Cromdale Ridge, the neighbour immediately adjacent to 55 Cromdale Ridge on the North side.

We are aware of the proposed development for a pool, pergola and cabana, and have discussed the application for minor variances with my neighbours Giuseppe (Joseph) and Rita Cosentino. We confirm that we have no objections to, and support, the Committee of Adjustment approving the minor variances sought.

Regards,



Peter Nella



Donna Nella

Letter of Support

Date: JAN, 22, 2025

To: Committee of Adjustment
City of Vaughan

Re: 55 Cromdale Ridge, Woodbridge, Ontario, L4L 8C9
Minor Variances Application (File # A193/24)

I am the owner of 61 Cromdale Ridge, the neighbour immediately adjacent to 55 Cromdale Ridge on the South side.

I am aware of the proposed development for a pool, pergola and cabana, and have discussed the application for minor variances with my neighbours Giuseppe (Joseph) and Rita Cosentino. I confirm that I have no objections to, and support, the Committee of Adjustment approving the minor variances sought.

Regards,



Maria Iacobelli

Letter of Support

Date: Nov. 27, 2024


To: Committee of Adjustment
City of Vaughan

Re: 55 Cromdale Ridge, Woodbridge, Ontario, L4L 8C9
Minor Variances Application (File # A193/24)

We are the owners of 62 Cromdale Ridge.

We are aware of the proposed development for a pool, pergola and cabana, and have discussed the application for minor variances with my neighbours Giuseppe (Joseph) and Rita Cosentino. We confirm that we have no objections to, and support, the Committee of Adjustment approving the minor variances sought.

Regards,


Harry Nagra


Sonia Nagra

Letter of Support

Date: *December 1st*, 2024

To: Committee of Adjustment
City of Vaughan

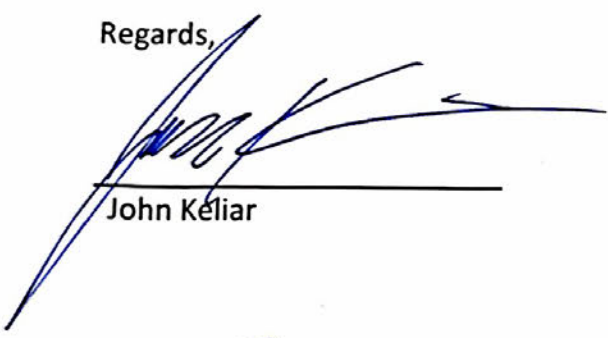
Re: 55 Cromdale Ridge, Woodbridge, Ontario, L4L 8C9
Minor Variances Application (File # A193/24)


We are the owners of 66 Cromdale Ridge.

We are aware of the proposed development for a pool, pergola and cabana, and have discussed the application for minor variances with my neighbours Giuseppe (Joseph) and Rita Cosentino.

We confirm that we have no objections to, and support, the Committee of Adjustment approving the minor variances sought.

Regards,



John Keliar

Franca Aquila

Letter of Support

Date: May 6, 2025

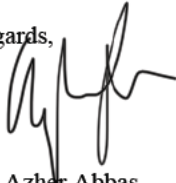
To: Committee of Adjustment
City of Vaughan

Re: 55 Cromdale Ridge, Woodbridge, Ontario, L4L 8C9
Minor Variances Application (File # A193/24)

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Regards,



Dr. Azher Abbas



Jasia Abbas

SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A