

ITEM: 6.6	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A032/25
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Report Date: Friday, May 30, 2025

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):

Additional comments from departments and agencies received after the publication of the report will be made available on the City’s [website](#).

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Development Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
By-law & Compliance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Metrolinx	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			05/21/2025	Planning Justification Report

BACKGROUND (SCHEDULE D, IF REQUIRED)	
* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.	
Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background

	<b>MINOR VARIANCE APPLICATION FILE NUMBER A032/25</b>
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<b>CITY WARD #:</b>	5
<b>APPLICANT:</b>	Promenade General Partner Inc
<b>AGENT:</b>	Kate Cooper (Bousfields Inc.)
<b>PROPERTY:</b>	1 Promenade Circle, Thornhill
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): Mid-Rise Mixed-Use and Park, Schedule C, PCSP, Volume 2
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	DA.22.050, 19T-24V009, Z.22.026
<b>PURPOSE OF APPLICATION:</b>	Relief from the zoning by-law is being requested to permit an eleven-storey building with office and hotel uses and to facilitate related site development application DA.22.050.

The following variances are being requested from the City’s Zoning By-law to accommodate the above proposal:

**The subject lands are zoned HMU – High-Rise Mixed-Use Zone and subject to the provisions of Exception 14.1167 under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 001-2021	Variance requested
1	The minimum exterior yard shall be 3.1 m at grade [14.1167.2.4.b].	To permit a minimum exterior side yard of 2.2 metres at grade for the Gas meter enclosure only on the east side exterior side yard.
2	The maximum permitted height shall be 28.5 m. [14.1167.2.4.d].	To permit a maximum height of 42.25 metres.
3	The minimum street wall measured from established grade shall be 6.9 m [14.1167.2.4.i].	To permit a minimum street wall of 4.12 metres.
4	A maximum podium height of 20 metres is required [Table 8-3].	To permit a maximum podium height of 21.75 metres.
5	The maximum permitted tower floor plate shall be 1,399 m2 [14.1167.4.2.k.].	To permit a maximum tower floor plate of 1,672 m2.

HEARING INFORMATION
<b>DATE OF MEETING:</b> Thursday, June 5, 2025 <b>TIME:</b> 6:00 p.m. <b>MEETING LOCATION:</b> Vaughan City Hall, Woodbridge Room (2 <sup>nd</sup> Floor), 2141 Major Mackenzie Drive <b>LIVE STREAM LINK:</b> <a href="https://vaughan.ca/LiveCouncil">Vaughan.ca/LiveCouncil</a>
PUBLIC PARTICIPATION
If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the <a href="#">Request to Speak Form</a> and submit to <a href="mailto:cofa@vaughan.ca">cofa@vaughan.ca</a>  If you would like to submit written comments, please quote file number above and submit by mail or email to:  <b>Email:</b> <a href="mailto:cofa@vaughan.ca">cofa@vaughan.ca</a>



HEARING INFORMATION
<b>Mail:</b> City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1
To speak electronically, pre-registration is required by completing the <a href="#">Request to Speak Form</a> on-line and submitting it to <a href="mailto:cofa@vaughan.ca">cofa@vaughan.ca</a> no later than NOON on the last business day before the meeting.
<b>THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.</b>

INTRODUCTION
Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.
Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:
That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.
Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT	
<b>Date Public Notice Mailed:</b>	May 22, 2025
<b>Date Applicant Confirmed Posting of Sign:</b>	May 22, 2025
<b>Applicant Justification for Variances:</b> <small>*As provided in Application Form</small>	Site-specific Exception 14.1167.2.4 permits a maximum height of 28.5 metres and a maximum tower floor plate of 1,399 square metres.
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b> <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
<b>COMMENTS:</b>	
N/A	
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None

BUILDING STANDARDS (ZONING)	
<b>**See Schedule B for Building Standards (Zoning) Comments</b>	
<b>Building Standards Recommended Conditions of Approval:</b>	None

DEVELOPMENT PLANNING	
<b>**See Schedule B for Development Planning Comments.</b>	
<b>Development Planning Recommended Conditions of Approval:</b>	TBD

DEVELOPMENT ENGINEERING	
<a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>	
Development Engineering has no objections to the Minor Variance should the Applicant/Owner satisfy the attached condition(s):	
<b>Development Engineering Recommended Conditions of Approval:</b>	The Owner/Applicant shall satisfy the Development Engineering Department requirements for the related Site Plan Development Application (DA.22.050)

PARKS, FORESTRY & HORTICULTURE (PFH)
No comments received to date.

PARKS, FORESTRY & HORTICULTURE (PFH)		
PFH Recommended Conditions of Approval:	None	

DEVELOPMENT FINANCE		
No comment no concerns		
Development Finance Recommended Conditions of Approval:	None	

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES		
no conditions		
BCLPS Recommended Conditions of Approval:	None	

BUILDING INSPECTION (SEPTIC)		
No comments received to date.		
Building Inspection Recommended Conditions of Approval:	None	

FIRE DEPARTMENT		
No comments received to date.		
Fire Department Recommended Conditions of Approval:	None	

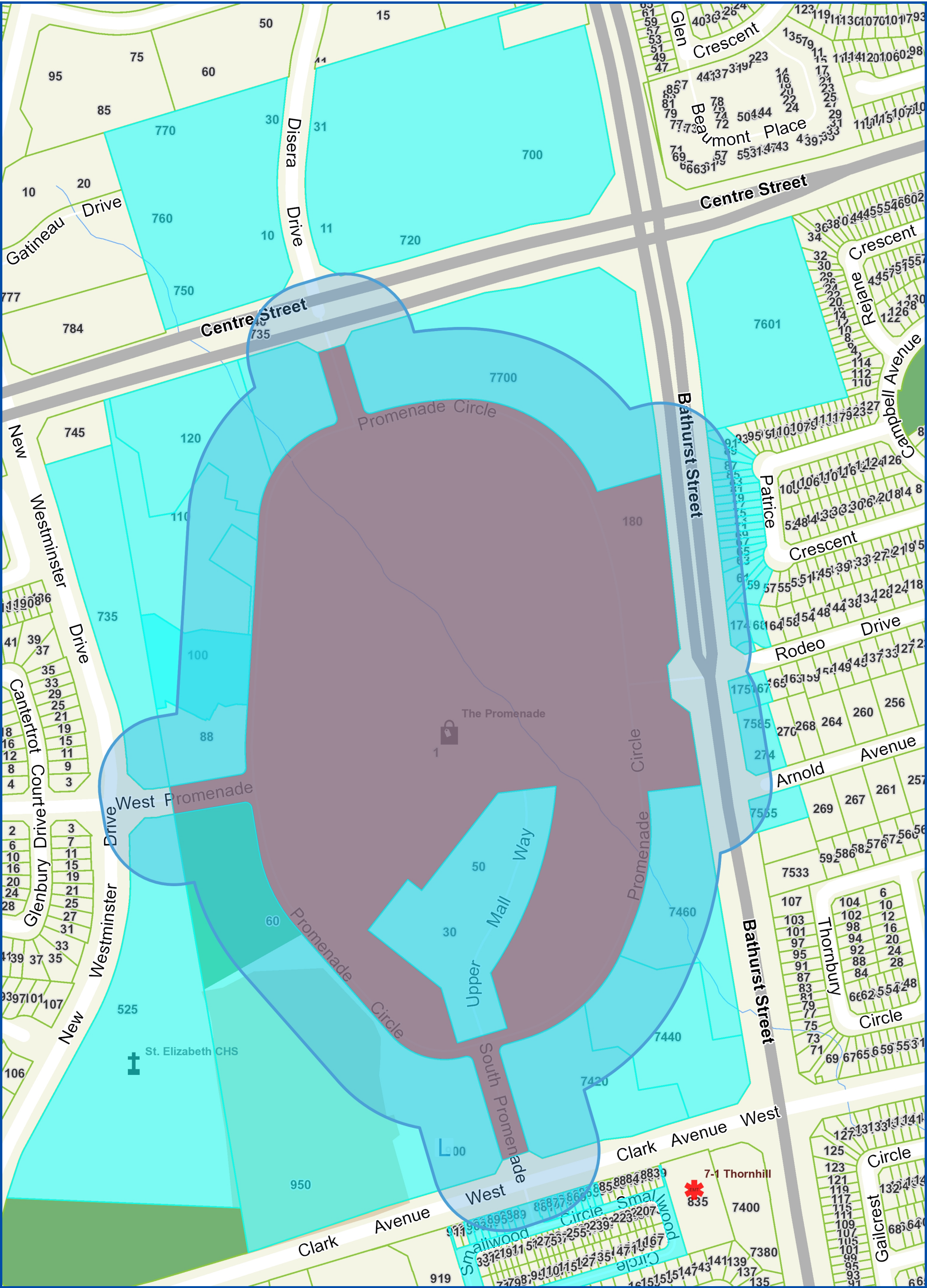
RECOMMENDED CONDITIONS OF APPROVAL SUMMARY		
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:		
#	DEPARTMENT / AGENCY	CONDITION
1	Development Planning <a href="mailto:Alyssa.pangilinan@vaughan.ca">Alyssa.pangilinan@vaughan.ca</a>	TBD
2	Development Engineering <a href="mailto:jonal.hall@vaughan.ca">jonal.hall@vaughan.ca</a>	The Owner/Applicant shall satisfy the Development Engineering Department requirements for the related Site Plan Development Application (DA.22.050).
<i>All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.</i>		

IMPORTANT INFORMATION		
<b>CONDITIONS:</b> It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency ( <b>see condition chart above for contact</b> ). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.		

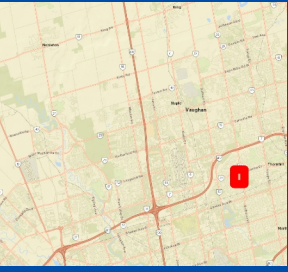
IMPORTANT INFORMATION	
<p><b>APPROVALS:</b> Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>	
<p><b>DEVELOPMENT CHARGES:</b> That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>	
<p><b>NOTICE OF DECISION:</b> If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will <b>not</b> receive notice.</p>	

**SCHEDULE A: DRAWINGS & PLANS**





Map Information:



Title:

# A032/25 - Notification Map



Scale: 1:4,514

0 0.07 km



Created By:  
Infrastructure Delivery  
Department  
March 18, 2025 11:01 AM

Projection:  
NAD 83  
UTM Zone  
17N

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.





PROPOSED OFFICE AND HOTEL  
DEVELOPMENT  
PROMENADE CIRCLE, VAUGHAN, ON

CONSULTANT LIST

PROMENADE CIRCLE, VAUGHAN, ON, L4J 4P8  
PROJECT NUMBER 21012

CLIENTS:

PROMENADE OFFICE/HOTEL LIMITED  
PARTNERSHIP  
3601 HIGHWAY 7 E. UNIT 401, MARKHAM, ON  
L3R 0M3  
905-731-8687  
www.libertydevelopment.ca

SITE SERVICING:

SCHAEFFERS CONSULTING ENGINEERS  
6 RONROSE DRIVE, CONCORD, ON L4K 4R3  
905-738-6100  
www.schaeffers.com

GEOTECHNICAL, &  
HYDROGEOLOGY ENGINEER:

EXP  
220 COMMERCE VALLEY DRIVE W,  
SUITE 110 MARKHAM, ON L3T 0A8  
905-695-3217  
www.exp.com

PROJECT ARCHITECT:

ZO1 ARCHITECTS  
85 SCARSDALE RD, UNIT 201 NORTH  
YORK, ON M3B 2R2  
647-636-8771  
www.zo1.ca

MECHANICAL AND ELECTRICAL  
CONSULTANT:

M. V. SHORE ASSOCIATES  
250 FERRAND DRIVE, SUITE 304, ON M3C 3G8  
416-443-1995  
www.mvshore.com

STRUCTURAL ENGINEER:

JABLONSKY AST & PARTNERS  
3 CONCORDE GATE #400, NORTH YORK,  
ON M3C3N7  
416-447-7405  
www.astint.on.ca

LANDSCAPE ARCHITECT:

STUDIO TLA  
20 CHAMPLAIN BLVD, SUITE 102 TORONTO,  
ON M3H 2Z1  
416-636-4911  
www.studiotla.ca

CODE CONSULTANT:

Glen D. Good Building Code Consulting & Training Inc.

519-498-1575

ENERGY CONSULTANT:

EQ Building Performance Inc.  
20 Floral Pkwy, Concord, ON L4K 4R1  
(416) 645-1186  
www.eqbuilding.com

DRAWING LIST					
Sheet Number	Sheet Name	Dec 17, 2024	Apr 09, 2025		
12 SITE PLAN APPROVAL-Office					
A0					
A0-0	Cover Sheet				
A1					
A1-1	Statistics, OBC, Context Map and Notes				
A1-3	Ultimate Site Context Plan				
A1-7	Ultimate Site Plan				
A1-8	Roof Diagram				
A1-10	Subdivision Plan				
A1-11	Established Grade Calculation Diagram & Statistics				
A2					
A2-1	Office - P2 Floor Plan				
A2-2	Office - P1 Floor Plan				
A2-4	Office - Ultimate L1 Floor Plan				
A2-5	Office - L2 & L3 Floor Plan				
A2-6	Office - L4 & L5 Floor Plan				
A2-7	Hotel - L5 & L7 Floor Plan				
A2-8	Hotel - L8 & L9 Floor Plan				
A2-9	Hotel - L10 & L11 Floor Plan				
A2-10	Hotel-MPH & ROOF PLAN				
A4					
A4-1	Elevations - South & East				
A4-2	Elevations - North & West				
A4-3	Elevation Details				
A4-4	Elevation Details				
A4-5	Elevation Details				
A4-6	Elevation Details				
A4-7	Elevations - External Stairwells				
A4-8	Material Board				
A4-9	Window to Wall Ratio				
A5					
A5-1	East-West Section				
A5-2	North-South Section				
A6					
A6-1	3D Perspective Views - Office				
A6-2	NW & SE Perspective Views - Hotel/Office				
A6-3	Perspective - Render 1				
A6-4	Perspective - Render 2				
A7					
A7-1	Sun and Shadow Study - June				
A7-2	Sun and Shadow Study - March/September				
A7-3	Sun and Shadow Study - December				

2	Apr 09, 2025	Issued For SPA
1	Dec 17, 2024	Issued For SPA

No.: Date: Description:

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Architects:

ZO1

Seal:



Client:  
Promenade  
Office/Hotel Limited  
Partnership

Project:  
Promenade Circle  
Office

Address: Promenade Circle

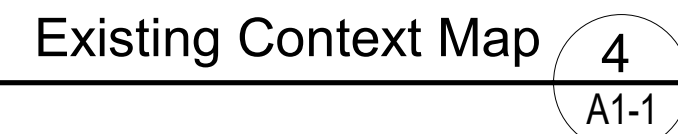
Drawing Title:

Cover Sheet


Scale:	1 : 1	Drawn by:	S.N.
Checked by:	D.L. & B.C.	Project No.:	21012
Date:	04/09/2025	Drawing No.:	A0-0



CHANGE AND SHOWER FACILITIES		
	M	F
Required	1	1
Provided	1	1

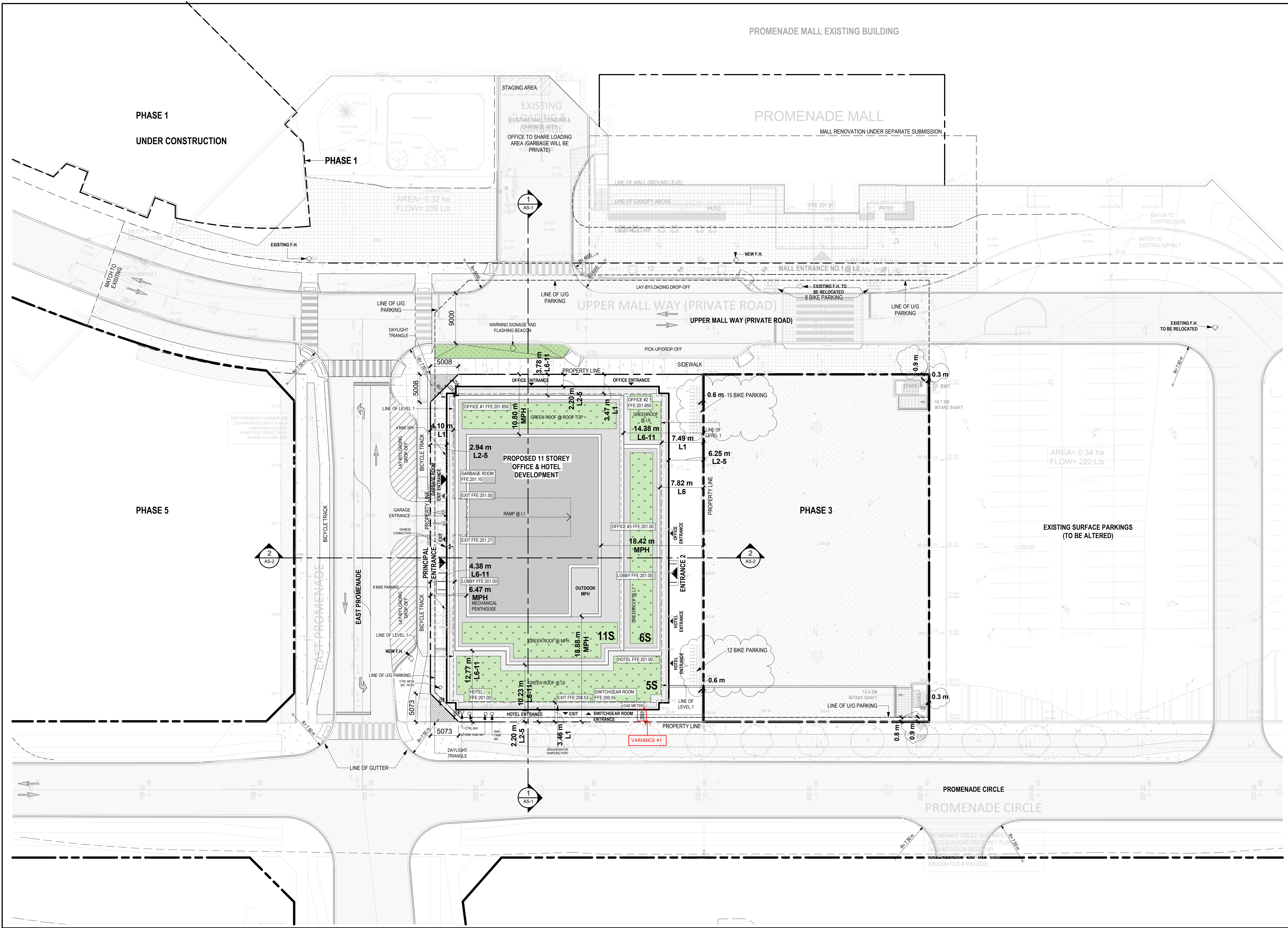


Ontario Building Code Data Matrix Part 3				Building Code Reference <sup>1</sup>																												
3.00	Building Code Version:	<u>O. Reg. 332/12</u>	Last Amendment <u>O. Reg. 191/14</u>																													
3.01	Project Type:	<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Renovation <input type="checkbox"/> Change of use <input type="checkbox"/> Addition and renovation  Description: <u>The 11-storey building includes a 2-storey below-grade storage garage, first-storey Office suites and amenity rooms, 4 storeys of offices and a 6-storey hotel. A proposed underground tunnel/pedestrian walkway will connect the new building to an existing commercial retail mall building.</u>		[A] 1.1.2.																												
3.02	Major Occupancy Classification:	<u>Occupancy</u> <u>Use</u> Group C                      Hotel  Group D                      Office  Group F3                      Storage Garage		3.1.2.1.(f)																												
3.03	Superimposed Major Occupancies:	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes  Description: <u>Group D on 1<sup>st</sup>-5<sup>th</sup> Storey and level 6<sup>th</sup>-11<sup>th</sup> Group C</u>		3.2.2.7.																												
3.04	Building Area (m <sup>2</sup> )	<table border="0"> <thead> <tr> <th>Description:</th> <th>Existing</th> <th>New</th> <th>Total</th> </tr> </thead> <tbody> <tr> <td>6 Storey Hotel with 5-storey Office</td> <td>0</td> <td>2,312.73sm</td> <td>2312.73sm</td> </tr> <tr> <td>_____</td> <td>0</td> <td>0</td> <td>0</td> </tr> <tr> <td>_____</td> <td>0</td> <td>0</td> <td>0</td> </tr> <tr> <td>_____</td> <td>0</td> <td>0</td> <td>0</td> </tr> <tr> <td>_____</td> <td>0</td> <td>0</td> <td>0</td> </tr> <tr> <td>Total</td> <td>0</td> <td>0</td> <td>0</td> </tr> </tbody> </table>		Description:	Existing	New	Total	6 Storey Hotel with 5-storey Office	0	2,312.73sm	2312.73sm	_____	0	0	0	_____	0	0	0	_____	0	0	0	_____	0	0	0	Total	0	0	0	[A] 1.4.1.2.
Description:	Existing	New	Total																													
6 Storey Hotel with 5-storey Office	0	2,312.73sm	2312.73sm																													
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Total	0	0	0																													
Insert additional lines as needed																																

Seal: 

Date:	Drawing No.:
04/09/2025	A1-1





**NOTE FOR MOVE-IN/MOVE-OUT ACTIVITIES:**  
MOVE-IN/MOVE-OUT ACTIVITIES WILL BE COORDINATED WITH GARBAGE REMOVAL ACTIVITY BY TRAINED ON-SITE PERSONNEL.

**LOCATION OF LOADING AREA:**  
THE LOADING AREA SHALL BE SITUATED IN A LOCATION THAT WILL MINIMIZE ANY INTERFACE WITH PEDESTRAIN TRAFFIC AND PUBLIC VEHICULAR ACCESS TO THE BUILDING'S MAIN PARKING AREA INCLUDING UNDERGROUND GARAGE AND VISITOR PARKING AREAS.  
LOADING FOR THE FUTURE DEVELOPMENT SHALL WORK IN CONJUNCTION WITH THE EXISTING LOADING AREA USED BY THE PROMENADE MALL AT 1 PROMENADE CIRCLE.

**GARBAGE BIN CALCULATION:**  
REFER TO WASTE MANAGEMENT REPORT PREPARED BY TBD

2	Apr 09, 2025	Issued For SPA
1	Dec 17, 2024	Issued For SPA
No.:	Date:	Description:

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Architects:

**ZOI**

Client:

**Promenade Office/Hotel Limited Partnership**

Project:

**Promenade Circle Office**

Address: Promenade Circle

Drawing Title:

**Ultimate Site Plan**

Scale:	1 : 300	Drawn by:	B.S. / J.S.
Checked by:	D.L.	Project No.:	21012
Date:	04/09/2025	Drawing No.:	A1-7







EXTERIOR FINISH LEGEND			21-021 - PROMENADE OFFICE-HOTEL		
	1A1	PRECAST CONCRETE	COLOUR : BONE WHITE	MANUFACTURER : RES PRECAST OR APPROVED EQUIVALENT	
	2A1	MASONRY - BUILDING STONE	COLOUR : BLUE VELOUR IRONSPOT (SIOUX CITY BLUES)	MANUFACTURER : BRAMPTON BRICK	STYLE : NORMAN
	2C1	STONE	COLOUR : CRYSTAL BLACK HONED	MANUFACTURER : YORK MARBLE	STYLE : BLACK CAULKING WITH SILICA SAND TO MATCH
	3A1	WINDOW WALL SYSTEM - VISION GLASS (BIRD-FRIENDLY)	GLASS COLOUR : SNR 35 ON CLEAR	MANUFACTURER : GUARDIAN SUNGLASS	MULLION COLOUR : ONYX, UCXF13555, ACRYNAR (EXTERIOR)
	3A2	WINDOW WALL SYSTEM - VISION GLASS	GLASS COLOUR : SNR 35 ON CLEAR	MANUFACTURER : GUARDIAN SUNGLASS	MULLION COLOUR : ONYX, UCXF13555, ACRYNAR (EXTERIOR)
	3A3	WINDOW WALL SYSTEM - AWNING	GLASS COLOUR : SNR 35 ON CLEAR	MANUFACTURER : GUARDIAN SUNGLASS	MULLION COLOUR : ONYX, UCXF13555, ACRYNAR (EXTERIOR)
	3A4	WINDOW WALL SYSTEM - VISION GLASS (BIRD-FRIENDLY)	GLASS COLOUR : SNR 35 ON CLEAR	MANUFACTURER : GUARDIAN SUNGLASS	MULLION COLOUR : ONYX, UCXF13555, ACRYNAR (EXTERIOR)
	3A5	WINDOW WALL SYSTEM - AWNING (BIRD-FRIENDLY)	GLASS COLOUR : SNR 35 ON CLEAR	MANUFACTURER : GUARDIAN SUNGLASS	MULLION COLOUR : ONYX, UCXF13555, ACRYNAR (EXTERIOR)
	3B1	WINDOW WALL SYSTEM - GLASS SPANDREL	GLASS COLOUR : #1-0512 BLACK PEPPER ON VITRO CLEAR 6MM	MANUFACTURER : ICD HIGH PERFORMANCE COATINGS	MULLION COLOUR : ONYX, UCXF13555, ACRYNAR (EXTERIOR)
	3B2	WINDOW WALL SYSTEM - GLASS SPANDREL	GLASS COLOUR : #1-0257 ONYX ON VITRO CLEAR 6MM	MANUFACTURER : ICD HIGH PERFORMANCE COATINGS	MULLION COLOUR : ONYX, UCXF13555, ACRYNAR (EXTERIOR)
	3C1	WINDOW WALL SYSTEM - FLAT METAL PANEL	COLOUR : ONYX, UCXF13555, ACRYNAR	MANUFACTURER : PPG METAL COATINGS	MULLION COLOUR : ONYX, UCXF13555, ACRYNAR (EXTERIOR)
	3D1	WINDOW WALL SYSTEM - RAISED METAL PANEL	COLOUR : BONE WHITE, UCXF11225, ACRYNAR	MANUFACTURER : PPG METAL COATINGS	MULLION COLOUR : ONYX, UCXF13555, ACRYNAR (EXTERIOR)
	3E1	WINDOW WALL SYSTEM - ARCHITECTURAL ALUMINUM LOUVRE	COLOUR : ONYX, UCXF13555, ACRYNAR	MANUFACTURER : PPG METAL COATINGS	MULLION COLOUR : ONYX, UCXF13555, ACRYNAR (EXTERIOR)
	4A1	CURTAIN WALL SYSTEM - VISION GLASS (BIRD-FRIENDLY)	GLASS COLOUR : SNR 50 ON CLEAR	MANUFACTURER : GUARDIAN SUNGLASS	MULLION COLOUR : SUNSTORM SILVERSMITH, UCXF10144, ACRYNAR (EXTERIOR)
	4A2	CURTAIN WALL SYSTEM - VISION GLASS (BIRD-FRIENDLY)	GLASS COLOUR : SNR 35 ON CLEAR	MANUFACTURER : GUARDIAN SUNGLASS	MULLION COLOUR : ONYX, UCXF13555, ACRYNAR (EXTERIOR)
	4B1	CURTAIN WALL SYSTEM - GLASS SPANDREL	GLASS COLOUR : #1-0257 ONYX ON VITRO CLEAR 6MM	MANUFACTURER : ICD HIGH PERFORMANCE COATINGS	MULLION COLOUR : ONYX, UCXF13555, ACRYNAR (EXTERIOR)
	4B2	CURTAIN WALL SYSTEM - GLASS SPANDREL	GLASS COLOUR : #1-0512 BLACK PEPPER ON VITRO CLEAR 6MM	MANUFACTURER : ICD HIGH PERFORMANCE COATINGS	MULLION COLOUR : ONYX, UCXF13555, ACRYNAR (EXTERIOR)
	4C1	CURTAIN WALL SYSTEM - FLAT METAL PANEL	COLOUR : ONYX, UCXF13555, ACRYNAR	MANUFACTURER : PPG METAL COATINGS	MULLION COLOUR : ONYX, UCXF13555, ACRYNAR (EXTERIOR)
	4C2	CURTAIN WALL SYSTEM - FLAT METAL PANEL	COLOUR : BLACK PEPPER, UCXF13554, ACRYNAR	MANUFACTURER : PPG METAL COATINGS	MULLION COLOUR : ONYX, UCXF13555, ACRYNAR (EXTERIOR)
	4D1	CURTAIN WALL SYSTEM - RAISED METAL PANEL	COLOUR : ONYX, UCXF13555, ACRYNAR	MANUFACTURER : PPG METAL COATINGS	MULLION COLOUR : SUNSTORM SILVERSMITH, UCXF10144, ACRYNAR (EXTERIOR)
	4D2	CURTAIN WALL SYSTEM - RAISED METAL PANEL	GLASS COLOUR : BONE WHITE, UCXF11225, ACRYNAR	MANUFACTURER : PPG METAL COATINGS	MULLION COLOUR : ONYX, UCXF13555, ACRYNAR (EXTERIOR)
	4E1	CURTAIN WALL SYSTEM - ARCHITECTURAL ALUMINUM LOUVRE	COLOUR : ONYX, UCXF13555, ACRYNAR	MANUFACTURER : PPG METAL COATINGS	MULLION COLOUR : ONYX, UCXF13555, ACRYNAR (EXTERIOR)
	4E2	CURTAIN WALL SYSTEM - ARCHITECTURAL ALUMINUM LOUVRE	COLOUR : SUNSTORM SILVERSMITH, UCXF10144, ACRYNAR	MANUFACTURER : PPG METAL COATINGS	MULLION COLOUR : ONYX, UCXF13555, ACRYNAR (EXTERIOR)
	4E3	ARCHITECTURAL ALUMINUM LOUVRE	COLOUR : SILVER SHADOW, UCXF13039, ACRYNAR	MANUFACTURER : PPG METAL COATINGS	MULLION COLOUR : SILVER SHADOW, UCXF13039, ACRYNAR (EXTERIOR)
	6A1	ALUMINUM SIDING	COLOUR : SILVER SHADOW, UCXF13039, ACRYNAR	MANUFACTURER : RITZ ARCHITECTURAL SYSTEMS OR APPROVED EQUIVALENT	TYPE : ALUMINUM COMPOSITE
	7A1	PRE-FINISHED ALUMINUM METAL SOFFIT	COLOUR : CEDAR	MANUFACTURER : LUXARPRO OR APPROVED EQUIVALENT	TYPE : PRE-FINISHED ALUMINUM
	RA1	GLASS RAILING (BIRD-FRIENDLY)	GLASS COLOUR : SNR 50 ON CLEAR	MANUFACTURER : GUARDIAN	BALESTRADE COLOUR : ONYX, UCXF13555, ACRYNAR (EXTERIOR)

Bird-Friendly Pattern

1 : 2

6

A4-1

Bird Safe Treatment Exterior Specification Checklist

Applies to include treatment on Elevation Drawings at first site plan submission. Drawings to be stamped and signed by an OAA member.

Mandatory Primary Treatments for all site and shaft plan applications.

At Grade Condition (check to confirm the below is applied)

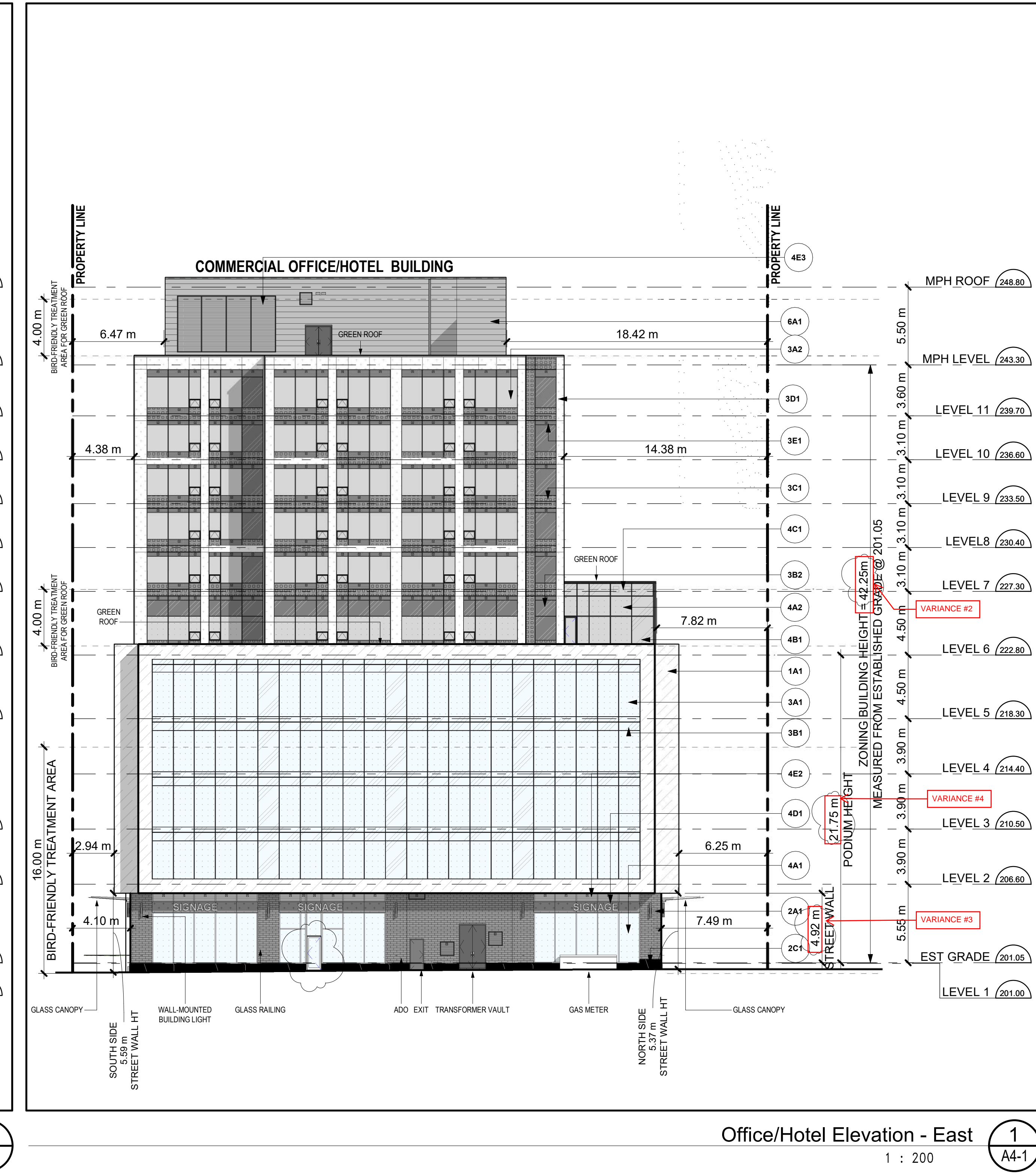
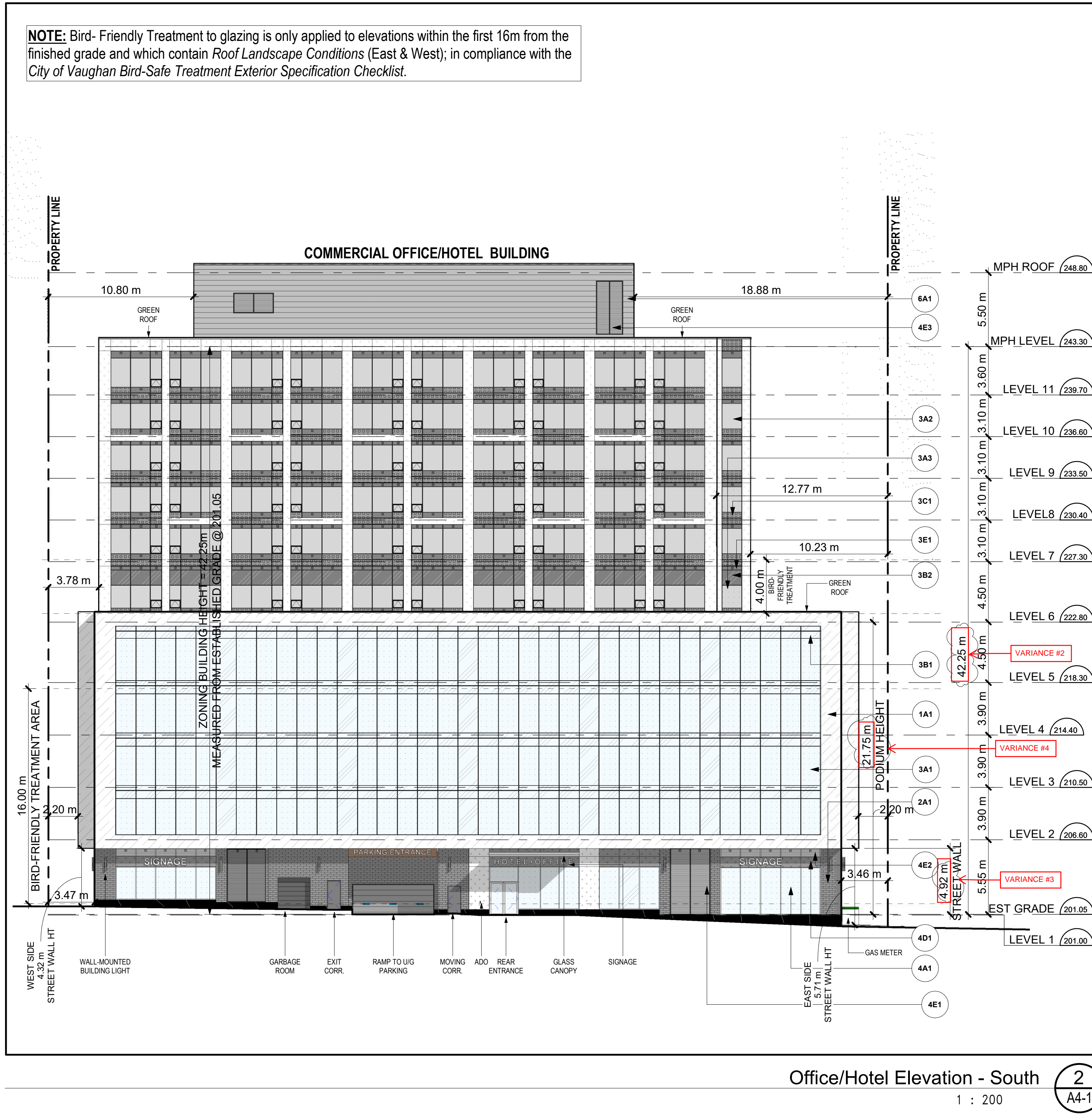
- ✓ Bird safe treatment (a) is applied on minimum 90% of contiguous glass panel area greater than 2 sq. m, and within 15m from finished grade or to the height of the adjacent mature tree canopy, whichever is greater.
- ✓ Treatments are applied to all glass panel areas that creates fly-through conditions and are adjacent to natural wildlife features.
- ✓ Treatments are identified and redlined on the elevation drawings.

Roof Landscape Conditions (check to confirm the below is applied)

- ✓ Development contains no glass panel within 15m from roof level finished grade.
- ✓ If glazing is adjacent to green roof and/or rooftop vegetation, bird safe treatment is applied at a height of 4m from the surface of the green roof or the height of the adjacent mature vegetation, whichever is greater.

EXTERIOR FINISH LEGEND 5 Bird Friendly Checklist 4

A4-1 A4-1



2 Apr 09, 2025 Issued For SPA

1 Dec 17, 2024 Issued For SPA

No.: Date: Description:

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Architects:

**ZOI**

Seal:

ONTARIO ASSOCIATION OF ARCHITECTS

AH-CHEER BONNIE CHAN

LICENCE 6291

Client:

**Promenade Office/Hotel Limited Partnership**

Project:

**Promenade Circle Office**

Address: Promenade Circle

Drawing Title:

**Elevations - South & East**

Scale: As indicated

Checked by: D.L. & B.C.

Date: 04/09/2025

Drawn by: P.K.

Project No.: 21012

Drawing No.: A4-1



EXTERIOR FINISH LEGEND		21-021 - PROMENADE OFFICE-HOTEL	
	<b>1A1 PRECAST CONCRETE</b> COLOUR : BONE WHITE MANUFACTURER : RES PRECAST OR APPROVED EQUIVALENT		<b>WINDOW WALL SYSTEM - VISION GLASS (BIRD-FRIENDLY)</b> GLASS COLOUR : SNR 35 ON CLEAR MANUFACTURER : GUARDIAN SUNGLASS MULLION COLOUR : ONYX, UCXF13555, ACRYNAR (EXTERIOR) BONE WHITE, UCXF11225, ACRYNAR (INTERIOR)
	<b>2A1 MASONRY - BUILDING STONE</b> COLOUR : BLUE VELOUR IRONSPOT (SIOUX CITY BLUES) MANUFACTURER : BRAMPTON BRICK STYLE : NORMAN		<b>WINDOW WALL SYSTEM - AWNING (BIRD-FRIENDLY)</b> GLASS COLOUR : SNR 35 ON CLEAR MANUFACTURER : GUARDIAN SUNGLASS MULLION COLOUR : ONYX, UCXF13555, ACRYNAR (EXTERIOR) BONE WHITE, UCXF11225, ACRYNAR (INTERIOR)
	<b>2C1 STONE</b> COLOUR : CRYSTAL BLACK HONED MANUFACTURER : YORK MARBLE STYLE : BLACK CAULKING WITH SILICA SAND TO MATCH		<b>WINDOW WALL SYSTEM - GLASS SPANDREL</b> GLASS COLOUR : #1-0512 BLACK PEPPER ON VITRO CLEAR 6MM MANUFACTURER : ICD HIGH PERFORMANCE COATINGS MULLION COLOUR : ONYX, UCXF13555, ACRYNAR (EXTERIOR) BONE WHITE, UCXF11225, ACRYNAR (INTERIOR)
	<b>3A1 WINDOW WALL SYSTEM - VISION GLASS (BIRD-FRIENDLY)</b> GLASS COLOUR : SNR 50 ON CLEAR MANUFACTURER : GUARDIAN SUNGLASS MULLION COLOUR : ONYX, UCXF13555, ACRYNAR (EXTERIOR) BONE WHITE, UCXF11225, ACRYNAR (INTERIOR)		<b>WINDOW WALL SYSTEM - FLAT METAL PANEL</b> GLASS COLOUR : SNR 50 ON CLEAR MANUFACTURER : PPG METAL COATINGS MULLION COLOUR : ONYX, UCXF13555, ACRYNAR (EXTERIOR) BONE WHITE, UCXF11225, ACRYNAR (INTERIOR)
	<b>3A2 WINDOW WALL SYSTEM - VISION GLASS</b> GLASS COLOUR : SNR 35 ON CLEAR MANUFACTURER : GUARDIAN SUNGLASS MULLION COLOUR : ONYX, UCXF13555, ACRYNAR (EXTERIOR) BONE WHITE, UCXF11225, ACRYNAR (INTERIOR)		<b>WINDOW WALL SYSTEM - RAISED METAL PANEL</b> GLASS COLOUR : SNR 35 ON CLEAR MANUFACTURER : PPG METAL COATINGS MULLION COLOUR : ONYX, UCXF13555, ACRYNAR (EXTERIOR) BONE WHITE, UCXF11225, ACRYNAR (INTERIOR)
	<b>3A3 WINDOW WALL SYSTEM - AWNING</b> GLASS COLOUR : SNR 35 ON CLEAR MANUFACTURER : GUARDIAN SUNGLASS MULLION COLOUR : ONYX, UCXF13555, ACRYNAR (EXTERIOR) BONE WHITE, UCXF11225, ACRYNAR (INTERIOR)		<b>WINDOW WALL SYSTEM - ARCHITECTURAL ALUMINUM LOUVRE</b> GLASS COLOUR : SNR 35 ON CLEAR MANUFACTURER : PPG METAL COATINGS MULLION COLOUR : ONYX, UCXF13555, ACRYNAR (EXTERIOR) BONE WHITE, UCXF11225, ACRYNAR (INTERIOR)
	<b>4A1 CURTAIN WALL SYSTEM - VISION GLASS (BIRD-FRIENDLY)</b> GLASS COLOUR : SNR 50 ON CLEAR MANUFACTURER : GUARDIAN SUNGLASS MULLION COLOUR : SUNSTORM SILVERSMITH, UCXF10144, ACRYNAR (EXTERIOR) BONE WHITE, UCXF11225, ACRYNAR (INTERIOR)		<b>4A2 CURTAIN WALL SYSTEM - VISION GLASS (BIRD-FRIENDLY)</b> GLASS COLOUR : SNR 35 ON CLEAR MANUFACTURER : GUARDIAN SUNGLASS MULLION COLOUR : ONYX, UCXF13555, ACRYNAR (EXTERIOR) BONE WHITE, UCXF11225, ACRYNAR (INTERIOR)
	<b>4B1 CURTAIN WALL SYSTEM - GLASS SPANDREL</b> GLASS COLOUR : #1-0257 ONYX ON VITRO CLEAR 6MM MANUFACTURER : ICD HIGH PERFORMANCE COATINGS MULLION COLOUR : ONYX, UCXF13555, ACRYNAR (EXTERIOR) BONE WHITE, UCXF11225, ACRYNAR (INTERIOR)		<b>4B2 CURTAIN WALL SYSTEM - GLASS SPANDREL</b> GLASS COLOUR : #1-0512 BLACK PEPPER ON VITRO CLEAR 6MM MANUFACTURER : ICD HIGH PERFORMANCE COATINGS MULLION COLOUR : ONYX, UCXF13555, ACRYNAR (EXTERIOR) BONE WHITE, UCXF11225, ACRYNAR (INTERIOR)
	<b>4C1 CURTAIN WALL SYSTEM - FLAT METAL PANEL</b> GLASS COLOUR : SNR 50 ON CLEAR MANUFACTURER : PPG METAL COATINGS MULLION COLOUR : ONYX, UCXF13555, ACRYNAR (EXTERIOR) BONE WHITE, UCXF11225, ACRYNAR (INTERIOR)		<b>4C2 CURTAIN WALL SYSTEM - FLAT METAL PANEL</b> GLASS COLOUR : SNR 50 ON CLEAR MANUFACTURER : PPG METAL COATINGS MULLION COLOUR : ONYX, UCXF13555, ACRYNAR (EXTERIOR) BONE WHITE, UCXF11225, ACRYNAR (INTERIOR)
	<b>4D1 CURTAIN WALL SYSTEM - RAISED METAL PANEL</b> GLASS COLOUR : SNR 50 ON CLEAR MANUFACTURER : PPG METAL COATINGS MULLION COLOUR : SUNSTORM SILVERSMITH, UCXF10144, ACRYNAR (EXTERIOR) BONE WHITE, UCXF11225, ACRYNAR (INTERIOR)		<b>4D2 CURTAIN WALL SYSTEM - RAISED METAL PANEL</b> GLASS COLOUR : SNR 50 ON CLEAR MANUFACTURER : PPG METAL COATINGS MULLION COLOUR : SUNSTORM SILVERSMITH, UCXF10144, ACRYNAR (EXTERIOR) BONE WHITE, UCXF11225, ACRYNAR (INTERIOR)
	<b>4E1 CURTAIN WALL SYSTEM - ARCHITECTURAL ALUMINUM LOUVRE</b> GLASS COLOUR : SNR 35 ON CLEAR MANUFACTURER : PPG METAL COATINGS MULLION COLOUR : ONYX, UCXF13555, ACRYNAR (EXTERIOR) BONE WHITE, UCXF11225, ACRYNAR (INTERIOR)		<b>4E2 CURTAIN WALL SYSTEM - ARCHITECTURAL ALUMINUM LOUVRE</b> GLASS COLOUR : SNR 35 ON CLEAR MANUFACTURER : PPG METAL COATINGS MULLION COLOUR : ONYX, UCXF13555, ACRYNAR (EXTERIOR) BONE WHITE, UCXF11225, ACRYNAR (INTERIOR)
	<b>4E3 ARCHITECTURAL ALUMINUM LOUVRE</b> GLASS COLOUR : SNR 35 ON CLEAR MANUFACTURER : PPG METAL COATINGS MULLION COLOUR : SUNSTORM SILVERSMITH, UCXF10144, ACRYNAR (EXTERIOR) BONE WHITE, UCXF11225, ACRYNAR (INTERIOR)		<b>4E4 ARCHITECTURAL ALUMINUM LOUVRE</b> GLASS COLOUR : SNR 35 ON CLEAR MANUFACTURER : PPG METAL COATINGS MULLION COLOUR : SUNSTORM SILVERSMITH, UCXF10144, ACRYNAR (EXTERIOR) BONE WHITE, UCXF11225, ACRYNAR (INTERIOR)
	<b>6A1 ALUMINUM SIDING</b> GLASS COLOUR : SILVER SHADOW, UCXF13039, ACRYNAR MANUFACTURER : RITZ ARCHITECTURAL SYSTEMS OR APPROVED EQUIVALENT TYPE : ALUMINUM COMPOSITE		<b>7A1 PRE-FINISHED ALUMINUM METAL SOFFIT</b> GLASS COLOUR : CEDAR MANUFACTURER : LUXARPRO OR APPROVED EQUIVALENT TYPE : PRE-FINISHED ALUMINUM
	<b>RA1 GLASS RAILING (BIRD-FRIENDLY)</b> GLASS COLOUR : SNR 50 ON CLEAR MANUFACTURER : GUARDIAN BALUSTRADE COLOUR : ONYX, UCXF13555, ACRYNAR (EXTERIOR)		<b>RA2 GLASS RAILING (BIRD-FRIENDLY)</b> GLASS COLOUR : SNR 50 ON CLEAR MANUFACTURER : GUARDIAN BALUSTRADE COLOUR : ONYX, UCXF13555, ACRYNAR (EXTERIOR)

Bird-Friendly Pattern 6  
1 : 2

Bird Safe Treatment Exterior Specification Checklist

Appliment to include treatment on Elevation Drawings at first site plan submission. Drawings to be stamped and signed by an OAA member.

Mandatory Primary Treatments for all site and shaft plan applications:

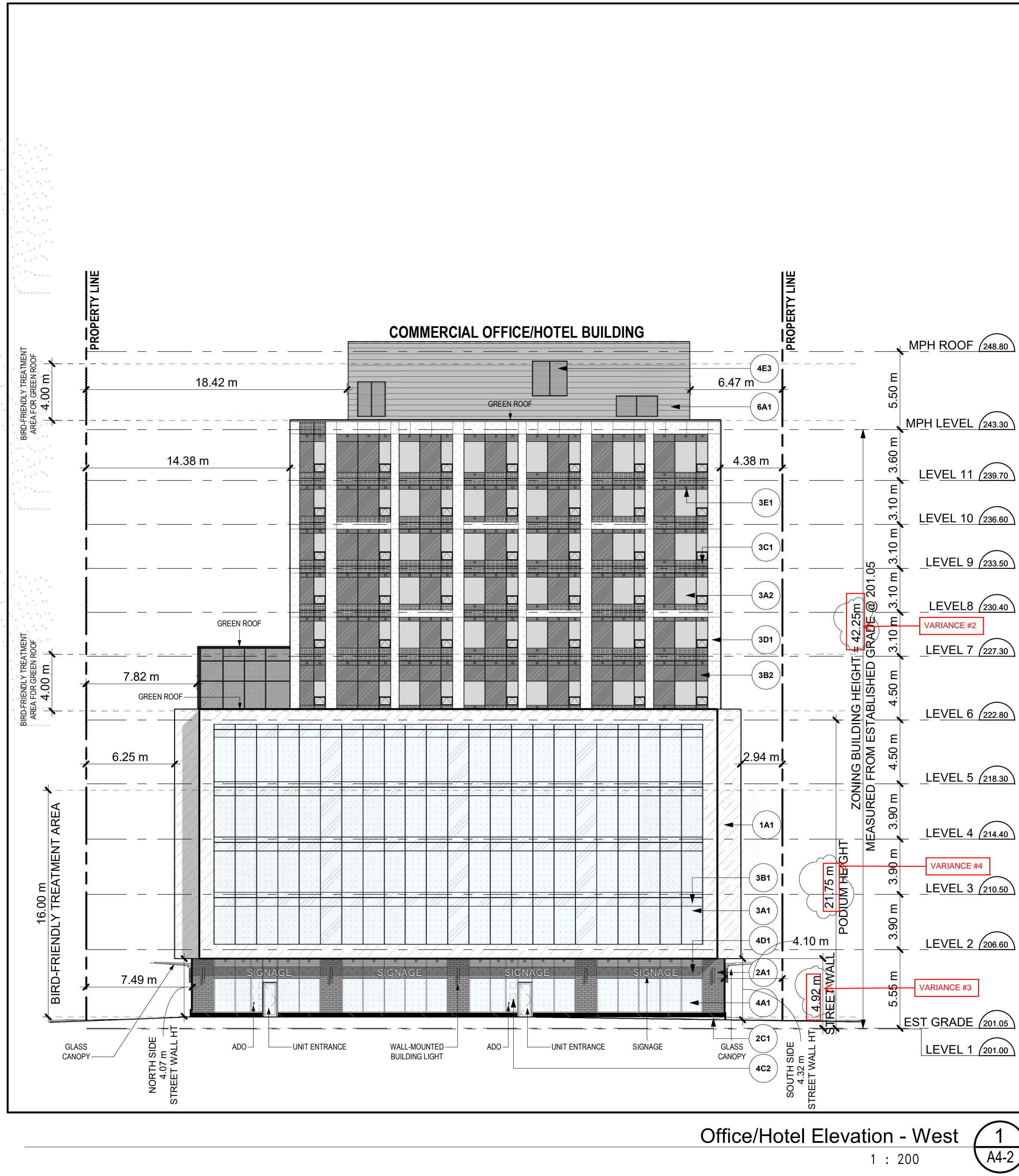
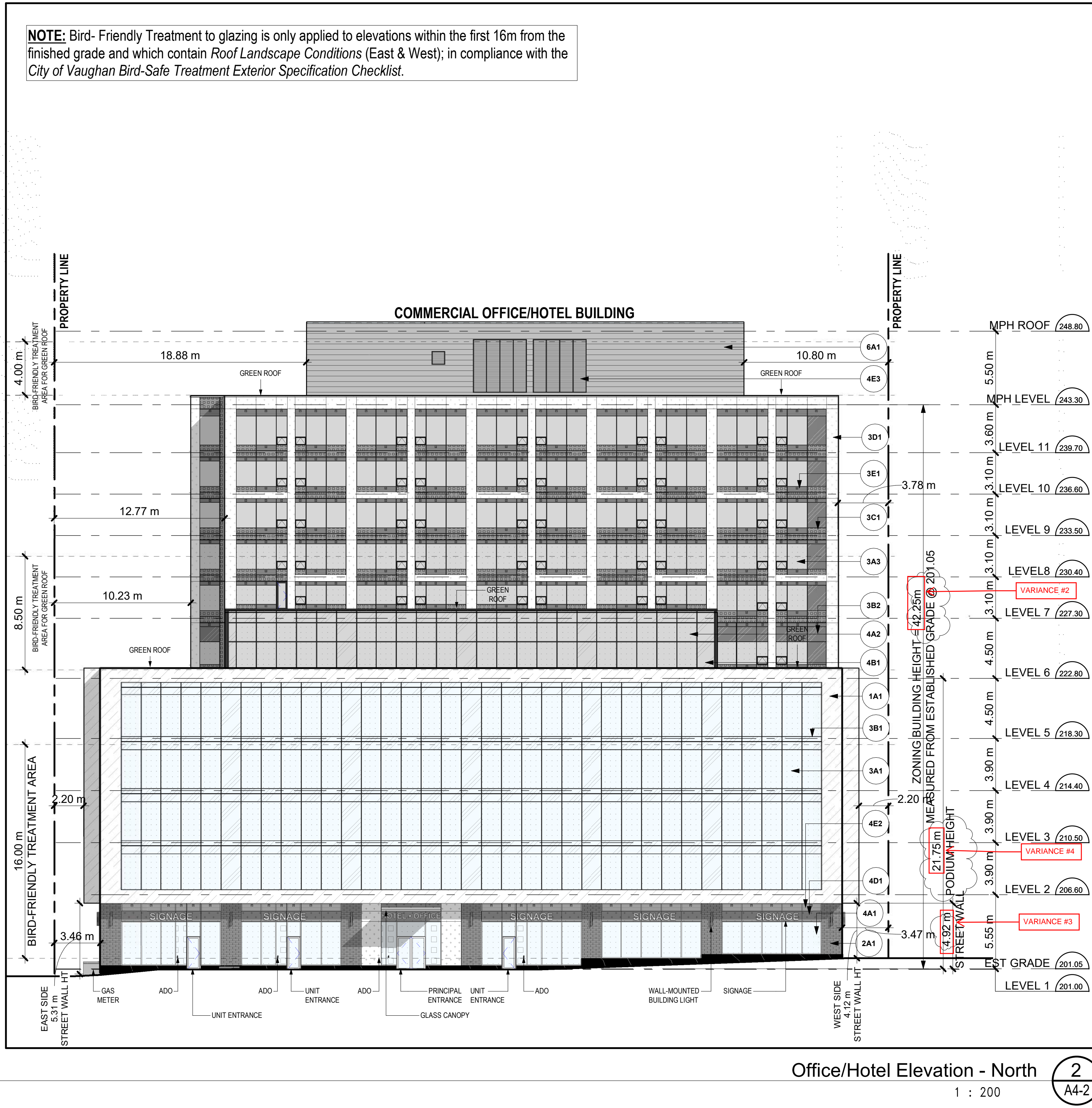
- ✓ Bird safe treatment (a) is applied on minimum 90% of contiguous glass panel area greater than 2.0m, and within 15m from finished grade or to the height of the adjacent mature tree canopy, whichever is greater.
- ✓ Treatments are applied to all glass panel areas that creates fly-through conditions and are adjacent to natural habitat features.
- ✓ Treatments are identified and defined on the elevation drawings.

Roof Landscape Conditions (check to confirm the below is applied):

- ✓ Development contains no glass panel within 15m from roof level finished grade.
- ✓ If glazing is adjacent to green roof and/or rooftop vegetation, bird safe treatment is applied at a height of 6m from the surface of the green roof or the height of the adjacent mature vegetation, whichever is greater.

EXTERIOR FINISH LEGEND 5 Bird Friendly Checklist 4

A4-2A4-2



2	Apr 09, 2025	Issued For SPA
1	Dec 17, 2024	Issued For SPA
No.:	Date:	Description:

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Architects:

Seal:

Client:  
**Promenade Office/Hotel Limited Partnership**

Project:  
**Promenade Circle Office**

Address: Promenade Circle

Drawing Title:  
**Elevations - North & West**

Scale: As indicated	Drawn by: P.K.
Checked by: D.L. & B.C.	Project No.: 21012
Date: 04/09/2025	Drawing No.: A4-2



SCHEDULE B:  
COMMENTS FROM AGENCIES, BUILDING STANDARDS &  
DEVELOPMENT PLANNING

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Application Under Review

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Metrolinx	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

**Date:** May 5<sup>th</sup> 2025

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:**

**Related Files:** **A032-25**

**Applicant:** Bousfields Inc.

**Location** 1 Promenade Circle

**COMMENTS:**

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

**References:**

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

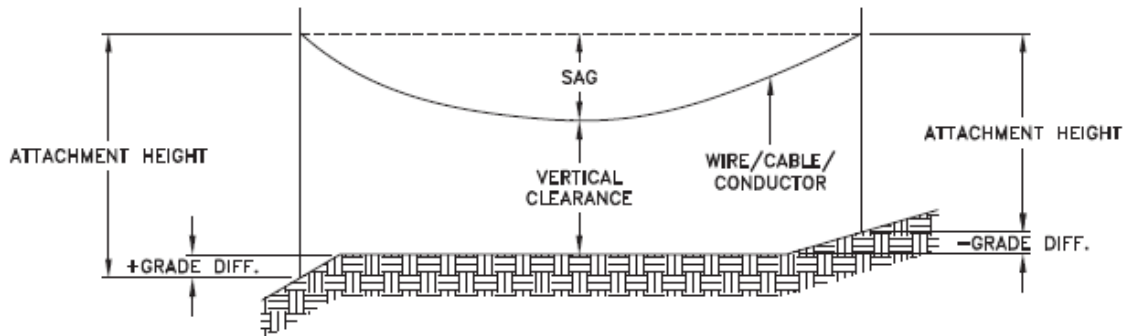
**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)



LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 + GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

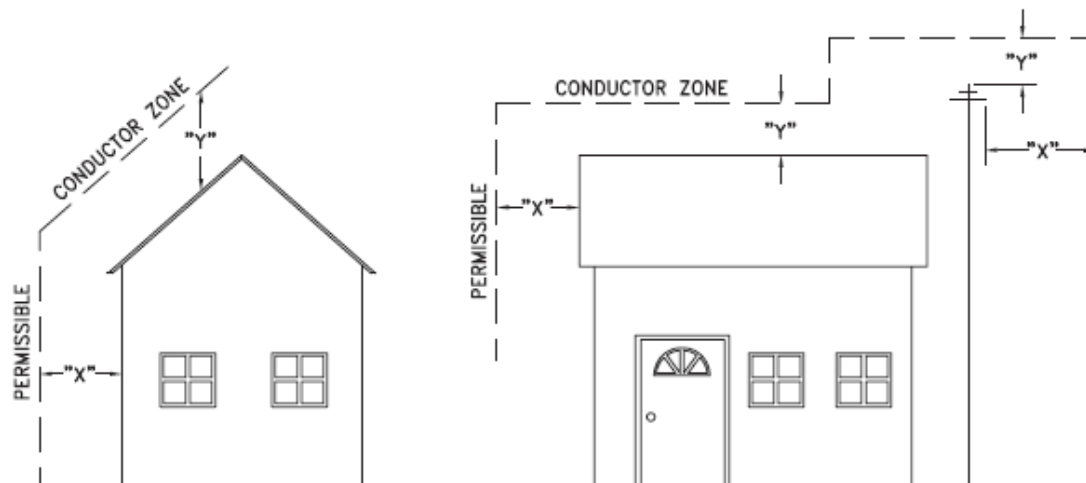
**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

### NOTES

- UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
- THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
- THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
- BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
- IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
- DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
- ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

### MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P.Eng. Approval By: D. Dadwani

**To:** Committee of Adjustment

**From:** Lindsay Haviland, Building Standards Department

**Date:** May 6, 2025

**Applicant:** Bousfields Inc.

**Location:** 1 Promenade Circle  
PLAN 65M2325 Block 10  
PLAN 65M2325 Block 1-4

**File No.(s):** A032/25

**Zoning Classification:**

The subject lands are zoned HMU – High-Rise Mixed-Use Zone and subject to the provisions of Exception 14.1167 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The minimum exterior yard shall be <b>3.1</b> m at grade [14.1167.2.4.b].	To permit a minimum exterior side yard of <b>2.2</b> metres at grade for the Gas meter enclosure only on the east side exterior side yard.
2	The maximum permitted height shall be <b>28.5</b> m. [14.1167.2.4.d].	To permit a maximum height of <b>42.25</b> metres.
3	The minimum street wall measured from established grade shall be <b>6.9</b> m [14.1167.2.4.i].	To permit a minimum street wall of <b>4.12</b> metres.
4	A maximum podium height of <b>20</b> metres is required [Table 8-3].	To permit a maximum podium height of <b>21.75</b> metres.
5	The maximum permitted tower floor plate shall be <b>1,399</b> m2 [14.1167.4.2.k].	To permit a maximum tower floor plate of <b>1,672</b> m2.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

**Other Comments:**

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

**From:** [development.coordinator](#)  
**To:** [Committee of Adjustment Mailbox](#)  
**Subject:** [External] RE: A032/25 – 1 Promenade Circle - REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Monday, May 5, 2025 11:17:06 AM  
**Attachments:** [image001.png](#)  
[image002.png](#)

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**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Morning CofA Vaughan,

Thank you for circulating Metrolinx. Please be advised that the subject lands (1 Promenade Circle) fall outside of the designated Metrolinx review zones. Metrolinx therefore has no comments and / or concerns on this Minor Variance application.

Thank you,

**Farah Faroque (she/her)**

Project Analyst, Third Party Projects Review

Real Estate & Development

Metrolinx

10 Bay Street | Toronto | Ontario | M5J 2N8

T: 437.900.2291



**From:** [Cameron McDonald](#)  
**To:** [Committee of Adjustment Mailbox](#)  
**Subject:** [External] RE: A032/25 – 1 Promenade Circle - REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Thursday, May 8, 2025 4:07:26 PM  
**Attachments:** [image003.png](#)

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Good afternoon,

Based on a review of TRCA's screening map, a portion of the subject property is within TRCA's Regulated Area. The proposed development and site subject to Minor Variance Application A032/25 are located outside of TRCA's Regulated Area and will have no impact to this feature.

The TRCA has no concerns with Minor Variance Application A032/25 (1 Promenade Circle).

Thank you,

**Cameron McDonald**

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:(437)880-1925)

E: [cameron.mcdonald@trca.ca](mailto:cameron.mcdonald@trca.ca)

A: [5 Shoreham Drive, Toronto, ON, M3N 1S4](#) | [trca.ca](http://trca.ca)



**From:** [Development Services](#)  
**To:** [Committee of Adjustment Mailbox](#)  
**Subject:** [External] RE: A032/25 – 1 Promenade Circle - REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** May-05-25 3:58:00 PM  
**Attachments:** [image001.png](#)

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**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good afternoon,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Many thanks

Gabrielle

**Gabrielle Hurst MCIP, RPP** | Associate Planner, Development Planning, Economic and Development Services Branch | The Regional Municipality of York | 1-877 464 9675 ext 71538 | [gabrielle.hurst@york.ca](mailto:gabrielle.hurst@york.ca) | [www.york.ca](http://www.york.ca)

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**SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE**

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant			05/21/2025	Planning Justification Report





Project No. 17275-14

May 7, 2025

Christine Vigneault, AMP, ACST  
Manager, Development Services & Secretary Treasurer  
Committee of Adjustment  
Office of the City Clerk  
2141 Major Mackenzie Drive,  
Vaughan ON L6A 1T1

Dear Ms. Vigneault,

**Re: Planning Rationale Letter  
Minor Variance Application  
1 Promenade Circle, Vaughan (Promenade Mall – Office/Hotel Building –  
Blocks 7 and 8 on Draft Plan of Subdivision)**

---

We are the planning consultants for Promenade Limited Partnership (“PLP”), the owners of a 0.56 hectare property located on the west side of Promenade Circle, east of the Promenade Mall (Entrance 1), and municipally known as 1 Promenade Circle (the “subject site”). The subject site is also identified as Block 7 and Block 8 on the Draft Plan of Subdivision application (File 19T-24V009) which is currently under review by City staff. PLP is a major landowner within the Promenade Centre Secondary Plan (“PCSP”) area with ownership of lands within the Promenade Circle ring road and additional lands along the west side of Bathurst Street. The PCSP was adopted by Vaughan Council on September 28, 2022 and approved by the OLT at a settlement hearing on June 19, 2024.

On behalf of our client, we are pleased to submit this Minor Variance application which seeks the approval of five variances to Comprehensive Zoning By-law 001-2021 (“CZBL”), as amended, inclusive of Site-Specific Exception 14.1167 (see **Attachment 1**).

Exception 14.1167 permits a 6-storey office building on the subject site. The requested minor variances would seek relief from the as-of-right permissions included in Exception 14.1167 to facilitate an 11-storey building with office and hotel uses (the “revised proposal”). The requested variances would:

1. To permit a minimum exterior side yard of 2.2 metres at grade for the Gas meter enclosure only on the east side exterior side
2. To permit a maximum height of 42.25 metres.
3. To permit a minimum street wall of 4.12 metres.

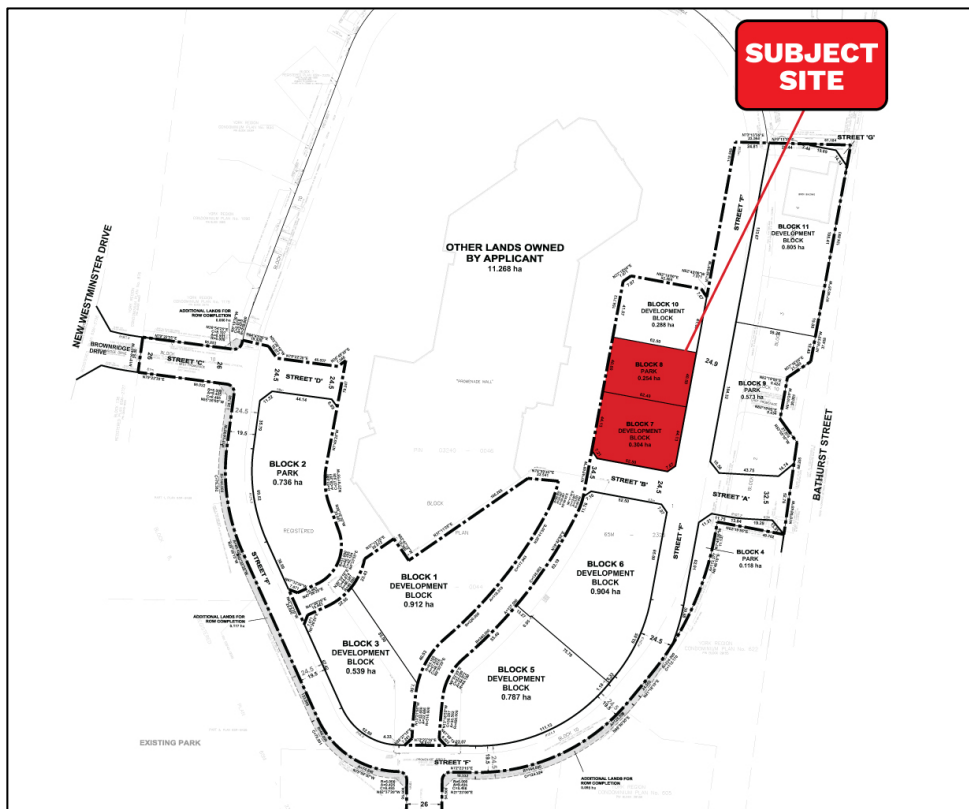
4. To permit a maximum podium height of 21.75 metres.
5. To permit a maximum tower floor plate of 1,672 m<sup>2</sup>.

This letter provides a background of the approvals on the subject site, the existing and planned built form context, the policy and regulatory framework as well as our planning rationale in support of the requested minor variances. This letter concludes that the requested variances satisfy the four tests set out in Section 45(1) of the *Planning Act* and should be approved on this basis.

## SUBJECT SITE AND SURROUNDINGS

### Subject Site and Area Context

The subject site is located within the Thornhill neighbourhood of the City of Vaughan, immediately east of the existing Promenade Mall (the “Mall”). It is comprised of two blocks (Block 7 and Block 8 on the Draft Plan of Subdivision 19T-24V009, currently under review), as shown on **Figure 1** below, bounded by existing surface parking to the north, Promenade Circle public road to the east, future public road ‘East Promenade’ to the south, and future private road ‘Upper Mall Way’ to the west. It is approximately 5,583 square metres (0.56 hectares) in size.



**Figure 1 – Draft Plan of Subdivision 19T-24V009**

The subject site forms part of a larger comprehensive development vision for the Mall site, implemented through the recently approved PCSP and represents one of a number of redevelopment blocks that surround the Mall. Through this vision, the surrounding area is poised to transform into a transit-oriented, mixed use community that will largely retain the existing Mall while developing the surrounding underutilized lands. The PCSP includes a range of land uses and mix of building types including tall buildings up to 40 storeys.

### Immediate Surroundings

To the north is an LCBO building, with existing commercial development located at the southwest corner of Bathurst Street and Centre Street. These lands are intended to be redeveloped in the future with a number of residential and mixed-use, high-rise buildings that reflect the PCSP. Further north, at the northwest of Disera Drive and Centre Street are Official Plan Amendment and rezoning applications to permit the redevelopment of the lands with 27- and 29-storey mixed-use towers, connected by a 6-storey podium with commercial spaces at grade. The applications are currently under review by the City.

Further north, at the southwest corner of Beverley Glen Boulevard and Bathurst Street is a recently constructed mixed use development with a 12-storey component and a 25-storey tower joined by a 5-storey podium (7890 Bathurst Street). At the same intersection on the north side of Beverley Glen Boulevard is an approved development with that will include four buildings ranging from 6 to 25 storeys, connected by two respective podiums (7950 Bathurst Street). The project is currently under construction.

To the east, on the east side of Promenade Circle are surface parking lots that service the Mall. Further east, on the east side of Bathurst Street is a low-rise residential neighbourhood characterized predominantly by single-detached dwellings, interspersed with park and school uses.

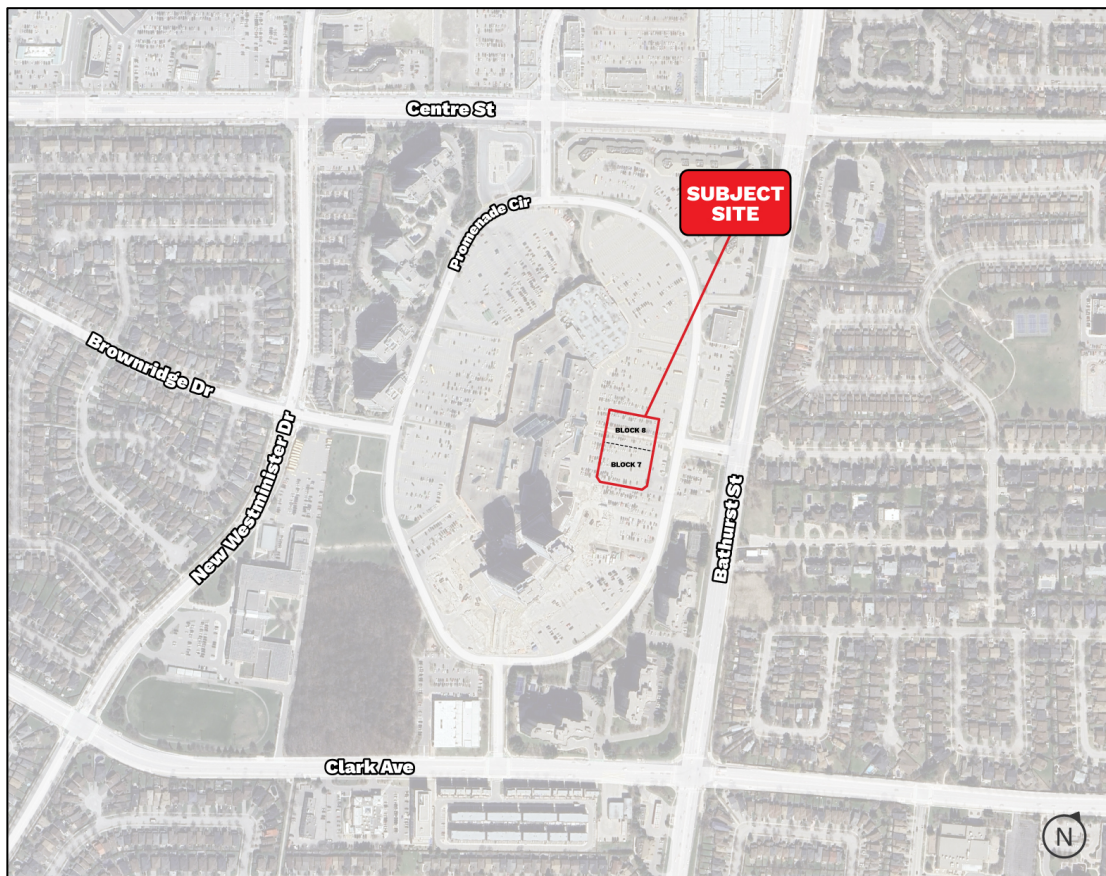
To the west, is the Promenade Mall with surface parking that is planned for future development on the west side of the shopping centre. Further west, west of Promenade Circle, is a 10-storey apartment building (777 New Westminster Drive), 19-storey apartment towers (88, 100, 110, and 120 Promenade Circle), and townhouses fronting on New Westminster Drive. Further south in this area is the Bathurst Clark public library, Pierre Elliot Trudeau Park, and St. Elizabeth Catholic High School.

To the northwest of the shopping centre is the Promenade Bus Terminal at the southwest corner of Centre Street and North Promenade. Further north, on the northeast corner of Centre Street and New Westminster Drive is an existing 5-storey retirement residence (784 Centre Street). To the north of 784 Centre Street, OPA and

rezoning applications were approved by the OLT to facilitate a development known as 'Blue Water Phase 2' consisting of two buildings at 26 storeys and 29 storeys in height.

Further north, on the northeast corner of New Westminster Drive and Gatineau Drive is a recently constructed development consisting of 17- and 20-storey residential buildings (10 & 20 Gatineau Drive). These buildings represented Phase 1 of the Blue Water development and are also known as the 'D'Or Condominiums.

To the south is existing surface parking lots that service the Mall as well as a number of 16-storey apartment buildings with frontage on Promenade Circle, with access from both Bathurst Street and Clark Avenue (7420, 7440 and 7460 Bathurst Street). To the southeast of the Mall is Phase 1 of Promenade Shopping Centre Revitalization, a mixed-use residential and commercial development. The recently constructed development will provide for new retail space and two residential towers. Further south, south of the Bathurst Clark Resource Library, is the Aish Thornhill Community Synagogue (949 Clark Avenue West), the Reena – Toby and Henry Battle Developmental Centre (927 Clark Avenue West), the Lou Fruitman Reena Residence (919-927 Clark Avenue West), a new 6-storey rental apartment building which was constructed in 2021, a townhouse development (Small Circle), a Vaughan Fire Station (835 Clark Avenue West), and a gas station (7400 Bathurst Street).



**Figure 2 – Aerial Photo**



## **BACKGROUND**

In July 2022, concurrent applications for an amendment to the Zoning By-law and Site Plan Approval were submitted to the City to develop the subject site with a 6-storey office building with grade-related retail uses and a future public park. The initial submission requested an amendment to former Zoning By-law 1-88, which was the applicable Zoning By-law in force at the time. The new CZBL 001-2021 was under appeal at the time of the submission, however, it was determined through the development approvals process that an amendment to the new CZBL 001-2021 should also be included as part of the application.

The applications were approved by City Council on June 20, 2023 with implementing By-laws 095-2023 and 096-2023 to amend both the CZBL and former Zoning By-law 1-88, respectively.

By-law 095-2023 zoned the subject site HMU (High-Rise Mixed-Use Zone) and OS1 (Open Space Zone), subject to Exception 14.1142, which permitted a maximum building height of 28.5 metres and a maximum floorplate of 1,399 square metres, along with other development standards to facilitate the 6-storey office building.

By-law 096-2023 zoned the subject site C5 (Community Commercial Zone) and OS2 (Open Space Park Zone), subject to Exception 9(1566), which permitted a maximum building height of 28.5 metres, along with other development standards to facilitate the 6-storey office building.

Following approval, on September 15, 2023, a settlement hearing took place between the City, PLP and numerous landowners, to resolve multiple appeals to the CZBL 001-2021. The settlement brought the entire PLP Lands into force with the CZBL by rezoning the remaining PLP lands to HMU and generally providing heights and permissions that are consistent with the Council-adopted PCSP. This was done by introducing Exception 14.1167 for those lands, delineated as Area A, which includes the Promenade Mall. Previous approvals within the PLP Lands, including Phase 1 and the subject site, were brought into Exception 14.1167 as Area B and Area C respectively.

## **DESCRIPTION OF REVISED DEVELOPMENT**

PLP has been working collaboratively with City Staff on advancing the necessary development approvals to facilitate the vision for the subject site, in the context of the PCSP.

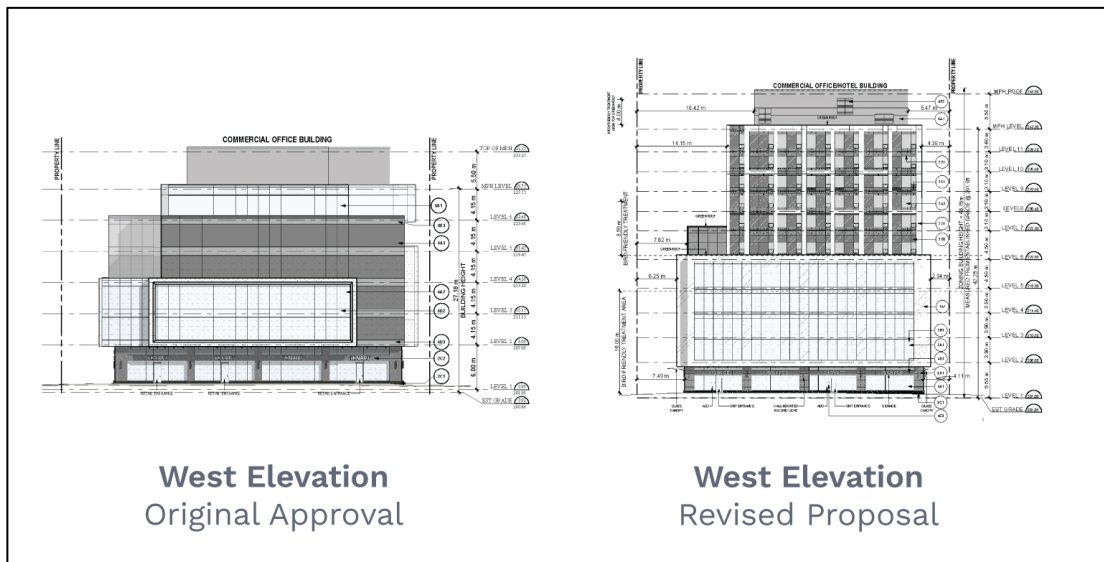
The requested minor variances would further optimize the subject site with the introduction of hotel uses through the development of an 11-storey building (44.25 metres, 49.75 metres including MPH). The proposed variances would build upon the

existing permissions of the 6-storey office and retail building and the ground level would continue to include office uses and would introduce hotel uses. Levels 2 through 5 will continue to provide for office space, with levels 6 through 11 providing for new hotel suites.

The previously approved strata park continues to be located on the north end of the subject site (Block 8) with two levels of underground parking below both blocks which is accessed from East Promenade. The proposal includes a total of 48 bicycle parking spaces at-grade and in the P1 underground parking level as well as 397 parking spaces within the underground parking levels.

With respect to floor plates, Level 6 has a proposed floor plate area of 1,672 square metres, while Levels 7 through 11 have proposed floor plate areas of 1,399 square metres. It should be noted that Levels 6 through 11 are technically deemed to a “tower” under the CZBL definitions for “podium” and “tower”.

With the exception of height and floor plates, the revised development would continue to maintain all provisions and development standards permitted in By-law 001-2021, as amended, inclusive of Exception 14.1167.



**Figure 3 – Comparison of Original Approval and Revised Proposal**

## REQUESTED VARIANCES

The requested variances, as confirmed by the City and as set out below would permit the development of the subject site with the revised development described above:

#	Zoning By-law 001-2021	Variance requested
1	The minimum exterior yard shall be <b>3.1</b> m at grade [14.1167.2.4.b].	To permit a minimum exterior side yard of <b>2.2</b> metres at grade for the Gas meter enclosure only on the east side exterior side yard.
2	The maximum permitted height shall be <b>28.5</b> m. [14.1167.2.4.d].	To permit a maximum height of <b>42.25</b> metres.
3	The minimum street wall measured from established grade shall be <b>6.9</b> m [14.1167.2.4.i].	To permit a minimum street wall of <b>4.12</b> metres.
4	A maximum podium height of <b>20</b> metres is required [Table 8-3].	To permit a maximum podium height of <b>21.75</b> metres.
5	The maximum permitted tower floor plate shall be <b>1,399</b> m <sup>2</sup> [14.1167.4.2.k].	To permit a maximum tower floor plate of <b>1,672</b> m <sup>2</sup> .

## POLICY AND REGULATORY FRAMEWORK

### Vaughan Official Plan 2010

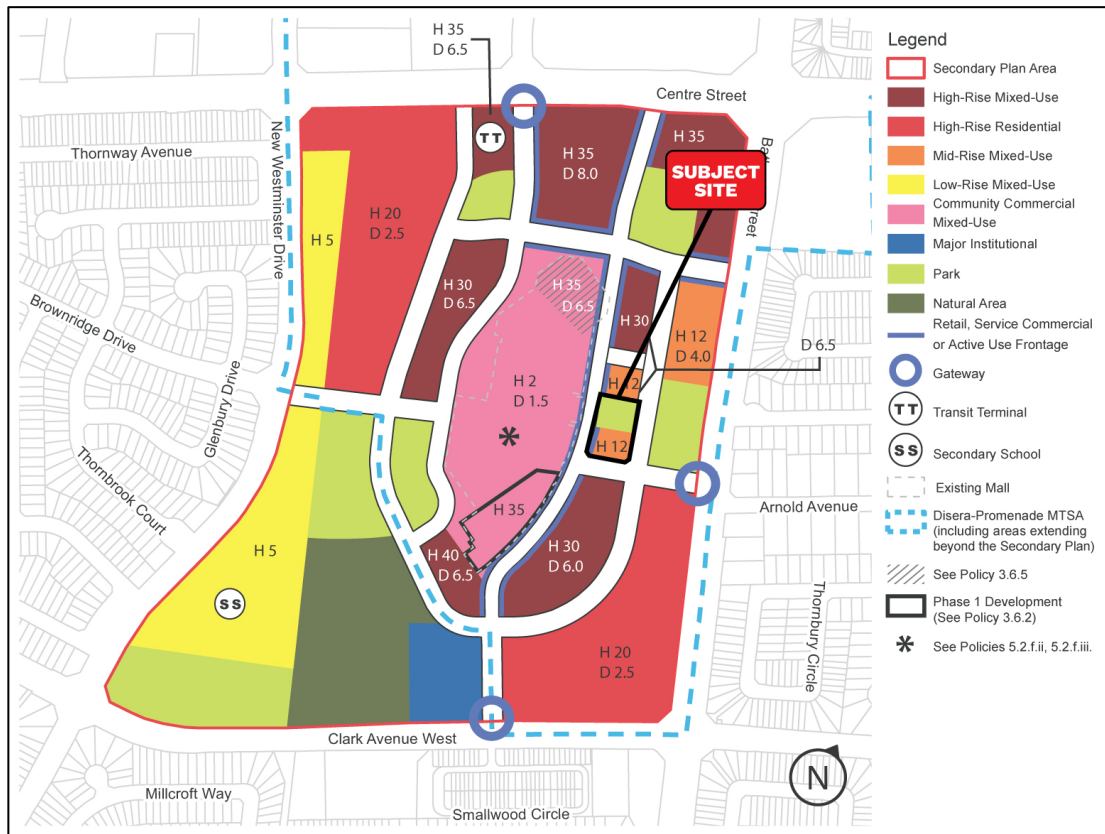
The subject site is located within the PCSP area and subject to the policies therein. The PCSP was adopted by City Council in September 2022, adopted by the Region of York in November 2022, and approved by the OLT in a settlement hearing on June 19, 2024.

As per Schedule C of the PCSP, the subject site is designated *Mid-Rise Mixed-Use* and *Park*. The *Mid-Rise Mixed-Use* designation permits a broad mix of residential, retail, community, and institutional uses in mixed use and single use buildings including, but not limited to, mid-rise buildings.

The *Mid-Rise Mixed-Use* designation permits a maximum height of 12 storeys for the subject site. Accordingly, the revised proposal would not exceed the PCSP permission related to height (See PCSP Schedule D – Height, Density, and Use Parameters).

In addition, the subject site is located within the Disera-Promenade BRT Station Protected Major Transit Station Area (“PMTSA”), which is delineated as PMTSA #57 in the York Region Official Plan (2022) and the Vaughan Official Plan 2010. PMTSA #57 provides for a minimum density target of 200 people and jobs per hectare.





**Figure 3 - PCSP Schedule D – Height, Density, and Use Parameters**

### Comprehensive Zoning By-law 001-2021

The CZBL was approved by Council on October 20, 2021, and was appealed to the Ontario Land Tribunal by numerous parties. A number of those appeals have since been resolved and the CZBL is largely in effect, while many area-specific and site-specific appeals remain.

The subject site is zoned HMU (High-Rise Mixed-Use Zone) which permits a mix of residential, commercial, and other uses in a mid-rise or high-rise form, and OS1 (Open Space Zone) which permits park and similar passive recreational uses. The site is also subject to Exception 14.1167, which permits a building with a maximum height of 28.5 metres (plus a 5.5 metre mechanical penthouse).

### **ANALYSIS AND PLANNING OPINION ON THE REQUESTED VARIANCES**

It is our opinion that the requested variances individually and cumulatively satisfy the four tests set out in Section 45(1) of the *Planning Act*, namely: (1) they maintain the general intent and purpose of the Official Plan; (2) they maintain the general intent and purpose of the Zoning By-law; (3) they are minor in nature; and (4) they are desirable for the appropriate development and use of the lands.

Our analysis with respect to the four tests is set out below:

*(1) Maintains the General intent and purpose of the Official Plan:*

In our opinion, the requested variances maintain the general intent and purpose of the Official Plan and the Promenade Centre Secondary Plan.

The subject site is designated *Mid-Rise Mixed-Use* and *Park*, as per Schedule D of the PCSP. Policy 3.3.1 of the PCSP provides that development in locations subject to the *Mid-Rise Mixed-Use* designation will be at a density which are supportive of the Transit Terminal and the Regional Transit Priority Network Special Study Corridor, while providing a transition to the established residential neighbourhood to the east.

The *Mid-Rise Mixed-Use* designation permits a range of residential, retail, community and institutional uses in mixed use and single use buildings including, but not limited to, mid-rise buildings with a maximum height of 12 storeys and a density of up to 6.5 FSI. There are no restrictions on office tower floorplates. The PCSP also requires retail, service commercial, or active uses along the west frontage of the subject site, as per Schedule D.

The revised development will contribute to the minimum target of 200 people and jobs per hectare within to the Disera-Promenade BRT Station PMTSA and will contribute to the evolution of the PLP lands by providing a mixed-use non-residential building to support existing and planned residential development.

The revised development includes office uses at grade with two entrances, as well as three outdoor areas fronting onto Upper Mall Way. The proposed uses along the west frontage are active uses that animate the street and allow activity to be seen from the public realm.

The proposed variance for building height is required to introduce a hotel use on the subject site, which was a use contemplated in Phase 1 of the PLP redevelopment but never implemented. The proposed height, at 11 storeys, does not exceed the permitted height of 12 storeys in the PCSP. As previously noted, the PCSP does not restrict tower floorplate size.

Based on the foregoing, it is our opinion that the proposed variances meet the general intent and purpose of the Official Plan.

*(2) Maintains the General intent and purpose of the Zoning By-law:*

In our opinion, the requested variances maintain the general intent and purpose of the CZBL including Site-Specific Exception 14.1167.

The general intent and purpose of Exception 14.1167 is to permit various transit-supportive built forms and a mix of land uses with associated site-specific provisions and generally implement the permissions of the PCSP for the PLP Lands within the Secondary Plan Area as shown on Figure E-1736A attached to Exception 14.1167 of By-law 001-2021.

With respect to the variance related to the floor plate, the intent and purpose of the floorplate permissions are to limit the size and bulk of the tower component of buildings to mitigate their impacts (i.e. shadow, sky view, etc.). Typically, floor plate sizes are regulated for residential buildings and floors, not office buildings and floors. In the PCSP, built form policies for floor plates are provided for residential floors only. There are no floor plate restrictions for office floors.

The intent of the Zoning by-law is to implement the policies of the Official Plan, in this case the PCSP, which does not include a maximum provision for office floor plates. As such, Exception 14.1167, which includes a maximum floor plate provision for an office building, is inconsistent with the policies of the PCSP.

The By-law includes definitions for 'podium' and 'tower' and the upper floors of the revised proposal would be considered a 'tower' under the definition as it incorporates a step back from the lower floors. This is a technical variance, in our opinion, as the building reflects a mid-rise building typology rather than what would generally be considered a tower.

Exception 14.1167 permits a maximum floor plate of 1,399 square metres, which is well in excess of the 850-square-metre maximum floor plate required in the parent zoning by-law and other policy and regulatory documents. The inclusion of a 1,399-square-metre floor plate in the Exception recognizes that this permission facilitates a mid-rise building, and not a podium-tower built form.

Furthermore, while the parent Zoning by-law does not make a distinction between residential and non-residential tower floor plates, maximum floor plate size is typically prescribed for residential buildings or residential portions of mixed use buildings.

In our opinion, the proposed floor plate of approximately 1,672 square metres, which is limited to Level 6 only, meets the intent of Exception 14.1167 which permits a mid-rise built form typology on the subject site.

With respect to the variance for building height, By-law 095-2023 rezoned the subject site to HMU (High Rise Mixed Use Zone) and OS1 (Open Space Zone) with a site-specific exception to facilitate a 6-storey office building with retail uses at-grade. At the time of approval, the CZBL was under appeal for the PLP Lands and the CZBL zoned the lands GC (General Commercial Zone) and RM2 (Residential Multiple Zone).

The general intent and purpose of By-law 095-2023 and Exception 14.1142 (which was brought into Exception 14.1167) was to introduce mid-rise building permissions on the subject site to facilitate a 6-storey office building which would also conform with the PCSP.

The HMU Zone in the CZBL requires a minimum building height of 24.0 metres and permits a maximum building height of 88.0 metres (as per Table 8-3 - Lot and Building Requirements). The request for additional height would not be a significant departure from the CZBL given the proposal consists of an 11-storey (44.25 metre; 49.75 metre with MPH) building which is below the established maximum height of 88 metres set out in the CZBL thereby implementing the vision and permissions of the PCSP, which provides for a height of 12 storeys.

With respect to the variances for exterior yard setback, the variance is required to accommodate the gas meter, which is located in the side yard setback area. The streetwall and podium height variances are required to accommodate the building design, which responds to the grade differential on the subject site as well as the architectural design. These variances are technical in nature.

Based on the foregoing, it is our opinion that the proposed variances maintain the intent and purpose of the Zoning By-law.

(3) *Minor in Nature*

It is our opinion that the requested variances, individually and cumulatively, are minor in nature, and will not result in any unacceptable impacts on adjacent or surrounding properties or uses.

An assessment of the requested variances against the test of “minor” is not intended as a numerical assessment. Rather, the test of “minor” requires a qualitative assessment of the proposal in its context, which includes an assessment of the potential impacts on the immediate context and surrounding neighbourhood. In our opinion, the requested variances facilitate the intended development of the subject site with no impact on adjacent properties, including the north block (i.e. strata park), or the surrounding area.

The proposed development provides for a height of 11 storeys while the PCSP permits a maximum height of 12 storeys. The PCSP does not restrict floor plate size for office buildings while Exception 14.1167 permits a tower floorplate of 1,399 square metres.

The proposal is in keeping with the built form policies of the PCSP which require mid-rise buildings to maximize sunlight as demonstrated through a sun/shadow analysis (Policy 4.2(g)). In this regard, the shadow study prepared by ZO1 Architects demonstrates that the additional 5 storeys and the increased floor plate of Level 6

would not significantly increase shadow impacts relative to the building that is already permitted.

It should be noted that the PCSP permits a maximum height of 12 storeys on the south portion of the subject site, which is designated *Mid-Rise Mixed-Use*, and designates the north portion of the subject site as *Park*. Therefore, it is reasonable to believe that the PCSP anticipated an acceptable level of shadow impact on the strata park which is a condition commonly found in transit-supportive areas where parks are interspersed with mid- and high-rise developments.

In our opinion, the impacts associated with the requested variances are minor in nature, and therefore the proposed variances, individually and cumulatively would support a development that is well-suited for the subject site in the surrounding context.

#### *(4) Desirable for the Appropriate Development and Use of the Land*

In our opinion, the revised development and associated minor variances are desirable for the appropriate development and use of the land. The subject site is located in an area of the City where development of this scale is planned for and intended. The revised development would facilitate the further optimization of the subject site with respect to land use and infrastructure and continue to develop the subject site with a mid-rise building as envisioned by the PCSP and Exception 14.1167 of the CZBL. The proposal would also introduce office and hotel uses to an area where these uses do not exist today and which would support the existing and future residential community on the PLP lands and the surrounding area.

The requested variances would assist in the achievement of the policy objectives of the City of Vaughan Official Plan which promotes intensification in areas which are well served by existing municipal infrastructure, including public transit.

The proposal continues to envision a mid-rise building on the subject site that is in keeping with the Official Plan and zoning permissions. As noted previously, the PCSP permits a height of 12 storeys on the subject site and the parent By-law permits a height of 88.0 metres for buildings within the HMU Zone, while Exception 14.1167 includes permissions for a lower mid-rise building of 28.5 metres.

## **CONCLUSION**

In conclusion, based on the analysis set out above, it is our opinion that the requested variances satisfy the four tests set out in Section 45(1) of the *Planning Act* and, specifically, they maintain the general intent and purpose of the City of Vaughan Official Plan, as amended by the Promenade Centre Secondary Plan, maintain the general intent and purpose of Zoning By-law 001-2021, as amended by By-law 095-

2023, are minor in nature and are desirable for the appropriate development and use of the land. Accordingly, we recommend approval of the required variances.

The proposed variances will allow for a well-designed and functional office and hotel development that will optimize the use of land and infrastructure on the subject site, given its location in an urban area within proximity to public transit, while creating no additional built form impacts on the surrounding area relative to the as-of-right permissions which are proposed to be varied.

We trust that the enclosed materials are satisfactory. However, if you have any questions or require additional information, please do not hesitate to contact me at [kcooper@bousfields.ca](mailto:kcooper@bousfields.ca).

Yours truly,  
**Bousfields Inc.**



Kate Cooper, MCIP, RPP

cc. *Mr. David Butterworth, Promenade Limited Partnership*

SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A