

| | |
|-----------|---|
| ITEM: 6.2 | REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A011/25 |
|-----------|---|

Report Date: May 30, 2025

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):

Additional comments from departments and agencies received after the publication of the report will be made available on the City’s [website](#).

| Internal Departments *Comments Received | Conditions Required | | Nature of Comments |
|--|------------------------------|--|----------------------------------|
| Committee of Adjustment | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments |
| Building Standards (Zoning) | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments |
| Development Planning | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | Recommend Approval/No Conditions |
| Development Engineering | Yes <input type="checkbox"/> | No <input type="checkbox"/> | Application Under Review |
| Development Finance | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments |

| External Agencies *Comments Received | Conditions Required | | Nature of Comments |
|---|---|--|-------------------------------|
| Alectra | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments |
| Region of York | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments |
| TRCA | Yes <input checked="" type="checkbox"/> | No <input type="checkbox"/> | General Comments w/Conditions |

| PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C) | | | | |
|--|------|---------|-------------------------------|---------|
| All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application. | | | | |
| Correspondence Type | Name | Address | Date Received (mm/dd/yyyy) | Summary |
| N/A | | | | |

| BACKGROUND (SCHEDULE D, IF REQUIRED) | |
|---|---|
| * Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive. | |
| Application No. (City File) | Application Description (i.e. Minor Variance Application; Approved by COA / OLT) |
| N/A | N/A |

| ADJOURNMENT HISTORY | |
|--|--|
| * Previous hearing dates where this application was adjourned by the Committee and public notice issued. | |
| Hearing Date | Reason for Adjournment (to be obtained from NOD_ADJ) |
| N/A | N/A |

| SCHEDULES | |
|--------------------------|---|
| Schedule A | Drawings & Plans Submitted with the Application |
| Schedule B | Comments from Agencies, Building Standards & Development Planning |
| Schedule C (if required) | Public & Applicant Correspondence |
| Schedule D (if required) | Background |

| | |
|---|---|
|  | MINOR VARIANCE APPLICATION FILE NUMBER A011/25 |
|---|---|

| | |
|---|---|
| CITY WARD #: | 4 |
| | |
| APPLICANT: | Adam Ryan Saul & Madison Jill Saul |
| | |
| AGENT: | Contempo Studio |
| | |
| PROPERTY: | 107 Sir Modesto Court, Maple |
| | |
| ZONING DESIGNATION: | See below. |
| | |
| VAUGHAN OFFICIAL PLAN (2010) DESIGNATION: | Vaughan Official Plan 2010 ('VOP 2010'): "Low Rise Residential" |
| | |
| RELATED DEVELOPMENT APPLICATIONS: | N/A |
| | |
| PURPOSE OF APPLICATION: | Relief from the Zoning By-law is being requested to permit the construction of a proposed two-storey dwelling and cabana. |

The following variances have been requested from the City’s Zoning By-law:

The following variances are being requested from the City’s Zoning By-law to accommodate the above proposal:

The subject lands are zoned R2A, subject to the provisions of Exception 14.847 and 14.850 under By-law 001-2021 as amended.

| # | Zoning By-law 001-2021 | Variance requested |
|---|---|--|
| 1 | The maximum permitted encroachment of an uncovered platform is 2.4 metres into the required rear yard. [Table 4-1] | To permit an uncovered platform to encroach a maximum of 5.11 metres into the required rear yard. |
| 2 | A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall. [Table 4-1] | To permit a retaining wall with a height of 2.31 metres to be located at 0.0 metres from the interior lot line. |
| 3 | A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall. [Table 4-1] | To permit a retaining wall with a height of 1.75 metres to be located at 1.36 metres from the rear lot line. |
| 4 | A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall. [Table 4-1] | To permit a retaining wall (window well) with a height of 2.16 metres to be located at 0.57 metres from the interior lot line. |
| 5 | In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 metres. [Section 4.1.4 1.] | To permit an accessory building (cabana) with a maximum height of 5.82 metres. |
| 6 | In the R2A Zone, any portion of a yard in excess of 135.0 square metres shall be comprised of a minimum 60% soft landscape. | To permit a minimum of 52.21% (295.73 m²) of the required minimum landscaped rear yard to be composed of soft landscaping. |

| HEARING INFORMATION |
|---|
| DATE OF MEETING: Thursday, June 5, 2025 TIME: 6:00 p.m. MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2 nd Floor), 2141 Major Mackenzie Drive LIVE STREAM LINK: Vaughan.ca/LiveCouncil |

| HEARING INFORMATION |
|---|
| PUBLIC PARTICIPATION |
| <p>If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the Request to Speak Form and submit to cofa@vaughan.ca</p> <p>If you would like to submit written comments, please quote file number above and submit by mail or email to:</p> <p>Email: cofa@vaughan.ca</p> <p>Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1</p> <p>To speak electronically, pre-registration is required by completing the Request to Speak Form on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.</p> <p>THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.</p> |

| INTRODUCTION |
|---|
| <p>Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.</p> <p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:</p> <p>That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p> |

| COMMITTEE OF ADJUSTMENT | |
|---|---|
| Date Public Notice Mailed: | May 22, 2025 |
| Date Applicant Confirmed Posting of Sign: | April 17, 2025 |
| Applicant Justification for Variances: <small>*As provided in Application Form</small> | Does not comply with By-laws |
| Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small> | Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> |
| COMMENTS: | |
| N/A | |
| Committee of Adjustment Recommended Conditions of Approval: | None |

| BUILDING STANDARDS (ZONING) | |
|---|------|
| **See Schedule B for Building Standards (Zoning) Comments | |
| Building Standards Recommended Conditions of Approval: | None |

| DEVELOPMENT PLANNING | |
|--|------|
| **See Schedule B for Development Planning Comments. | |
| Development Planning Recommended Conditions of Approval: | None |

| DEVELOPMENT ENGINEERING | |
|---|--|
| Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation | |
| TBD | |

| DEVELOPMENT ENGINEERING | |
|---|-----|
| Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation | |
| Development Engineering Recommended Conditions of Approval: | TBD |

| PARKS, FORESTRY & HORTICULTURE (PFH) | |
|---|------|
| No comments received to date. | |
| PFH Recommended Conditions of Approval: | None |

| DEVELOPMENT FINANCE | |
|---|------|
| No comment no concerns | |
| Development Finance Recommended Conditions of Approval: | None |

| BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES | |
|--|------|
| No comments received to date. | |
| BCLPS Recommended Conditions of Approval: | None |

| BUILDING INSPECTION (SEPTIC) | |
|---|------|
| No comments received to date. | |
| Building Inspection Recommended Conditions of Approval: | None |

| FIRE DEPARTMENT | |
|---|------|
| No comments received to date. | |
| Fire Department Recommended Conditions of Approval: | None |

| RECOMMENDED CONDITIONS OF APPROVAL SUMMARY | | |
|--|---|---|
| Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended: | | |
| # | DEPARTMENT / AGENCY | CONDITION |
| 1 | Development Engineering jonal.hall@vaughan.ca | TBD |
| 2 | TRCA Cameron.McDonald@trca.ca | That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority. 2. That the applicant obtains a permit revision from TRCA to authorize the proposed works, pursuant to Ontario Regulation 41/24. |
| <i>All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.</i> | | |

| IMPORTANT INFORMATION |
|--|
| CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit. |

| IMPORTANT INFORMATION | |
|---|--|
| <p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p> | |
| <p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p> | |
| <p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.</p> | |

SCHEDULE A: DRAWINGS & PLANS





1 3D View 1



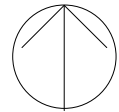
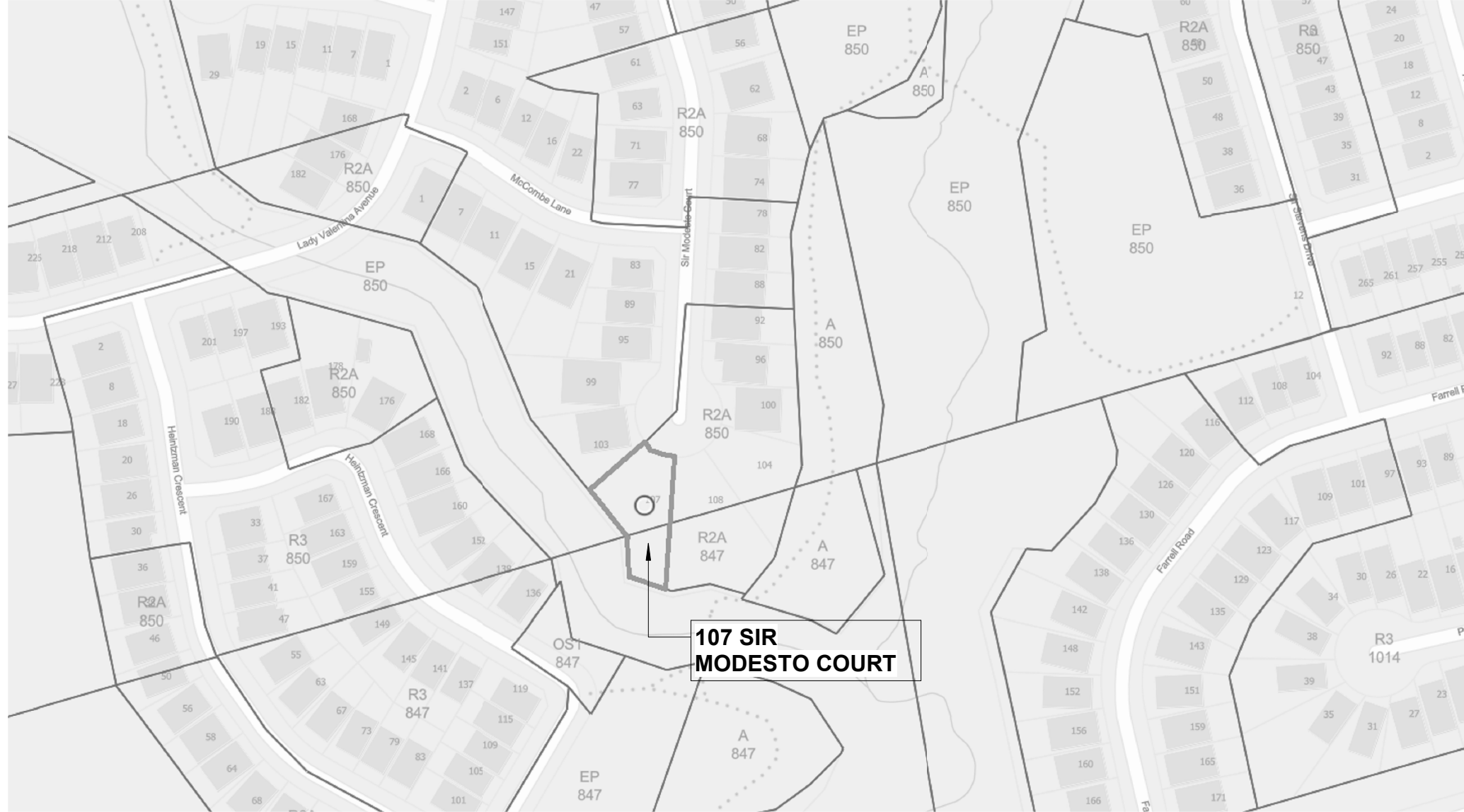
2 3D View 2



3 3D View 3

RECEIVED
By russog at 10:59 am, Feb 13, 2025

RECEIVED
By andrea buchanan at 4:18 pm, May 07, 2025



KEY PLAN

PROJECT:
107 SIR MODESTO COURT,
VAUGHAN, ON

Project number: 2023-25
Date: FEBRUARY, 2025
ISSUED FOR: PERMIT SUBMISSION

ARCHITECTURAL DESIGN
CONTEMPO STUDIO

1140 THE QUEENSWAY
Toronto, Ontario M8Z 1P7
info@contempostudio.ca
w. contempostudio.ca
t. 416 770 0071
f. 416 642 1691

CONTRACTOR

STRUCTURAL ENGINEERS
GBSI - ONTARIO GEOTECHNICAL
AND BUILDING SERVICES INC.

info@ogbsi.com
t. 416 859 7139

HVAC CONSULTANT

| Sheet List | |
|--------------|-------------------------------------|
| Sheet Number | Sheet Name |
| A0 | COVER PAGE |
| A0.1 | 3D VIEWS |
| A0.2 | GENERAL NOTES |
| A0.3 | CONSTRUCTION NOTES |
| A0.4 | CONSTRUCTION ASSEMBLIES |
| A1 | SITE PLAN |
| A1.1 | LANDSCAPE DIAGRAM |
| A1.2 | LOT COVERAGE & GFA DIAGRAMS |
| A2 | BASEMENT PLAN |
| A3 | FIRST FLOOR PLAN |
| A4 | SECOND FLOOR PLAN |
| A5 | ROOF PLAN |
| A6 | FRONT (NORTH) ELEVATION |
| A7 | FRONT (NORTHEAST) ELEVATION |
| A8 | LEFT (EAST) ELEVATION |
| A9 | REAR (SOUTH) ELEVATION |
| A10 | REAR (SOUTHWEST) ELEVATION |
| A11 | RIGHT (NORHTWEST) ELEVATION |
| A12 | WINDOW & DOOR SCHEDULES |
| A13 | ELEVATION AREAS (FOR HVAC USE ONLY) |
| A14 | SECTION 1 |
| A15 | SECTION 2 |
| A16 | SECTION 3 |
| A17 | 3D SECTION |
| A18 | 3D SECTION |
| A19 | DETAILS |
| A20 | DETAILS |
| A21 | DETAILS |
| A22 | CABANA FOUNDATION PLAN |
| A23 | CABANA FLOOR PLAN |
| A24 | CABANA ROOF PLAN |
| A25 | CABANA FRONT ELEVATION |
| A26 | CABANA LEFT ELEVATION |
| A27 | CABANA REAR ELEVATION |
| A28 | CABANA RIGHT ELEVATION |
| A29 | RETAINING WALL SECTIONS |

This drawing, as an instrument of service, is provided by and is the property of Contempo Studio. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Contempo Studio of any variations from the supplied information.

This drawing is not to be scaled.

The designer is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked for construction must assume full responsibility and bear costs for any corrections or damages resulting from this work.

The copyright of this drawing is vested in Contempo Studio and it may not be reproduced in whole or part or used for the manufacture of any article without the express written permission.

| | | |
|-----|-------------|------|
| No. | Issued for: | Date |
| 1. | | |
| 2. | | |

SEAL

contempostudio

1140 The Queensway, Toronto, Ontario M8Z 1P7
info@contempostudio.ca w. contempostudio.ca
t. (416) 770-0071 f. (416) 642-1691

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

MARIN ZABZUNI
NAME SIGNATURE 45250 BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.
CONTEMPO STUDIO 46972 BCIN
FIRM NAME

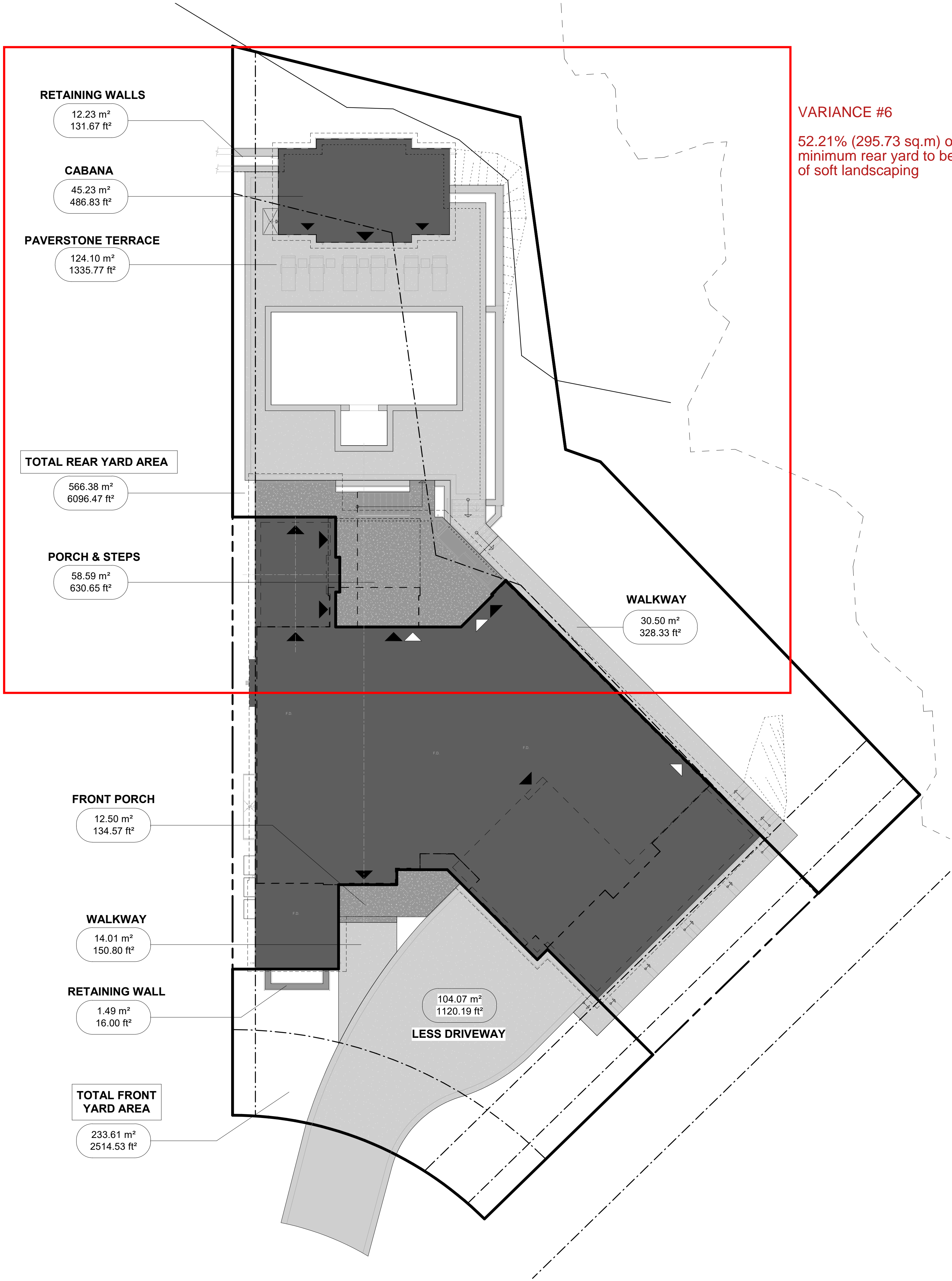
PROPOSED 2-STORY DWELLING
AT
107 SIR MODESTO COURT,
VAUGHAN, ON

COVER PAGE

| | |
|-----------------|----------------|
| Project number: | 2023-25 |
| Rev. no.: | |
| Scale: | |
| Date: | FEBRUARY, 2025 |
| Drawn by: | J.T. + M.R. |
| Approved by: | M.Z. |

Drawing number:

A0



VARIANCE #6

52.21% (295.73 sq.m) of required minimum rear yard to be comprised of soft landscaping

| LANDSCAPE AREA | | | | |
|---|-----------|--|---------------|-----------|
| | Permitted | | Proposed | |
| Total Front Yard Area (Contains Driveway) | | | | |
| Total Front Yard Area | | | 2,514.53 sq.f | 233.61 m2 |
| Excluding | | | | |
| Porch & Steps | | | 134.57 sq.f | 12.50 m2 |
| Driveway/Ramp | | | 1,120.19 sq.f | 104.07 m2 |
| Total Front Yard Landscaping Area | 116.80 m2 | | 1,259.77 sq.f | 117.04 m2 |
| | 50.00% | | | 50.10% |
| Less Hardscaping | | | | |
| Walkway | | | 150.80 sq.f | 14.01 m2 |
| Patios/Terraces | | | 0.00 sq.f | 0.00 m2 |
| Retaining Wall | | | 16.00 sq.f | 1.49 m2 |
| Total Front Yard Softscaping Area | 70.08 m2 | | 1,092.97 sq.f | 101.54 m2 |
| | 60.00% | | | 86.76% |
| Total Rear Yard Area (greater than 132.00 m2) | | | | |
| Total Rear Yard Area | | | 6,096.47 sq.f | 566.38 m2 |
| Excluding | | | | |
| Porch & Steps | | | 630.65 sq.f | 58.59 m2 |
| Lower Terrace | | | 0.00 sq.f | 0.00 m2 |
| Total Rear Yard Landscaping Area | | | 5,465.82 sq.f | 507.79 m2 |
| | | | | 89.66% |
| Less Hardscaping | | | | |
| Walkway | | | 328.33 sq.f | 30.50 m2 |
| Cabana | | | 486.83 sq.f | 45.23 m2 |
| Patios/Terraces | | | 1,335.77 sq.f | 124.10 m2 |
| Retaining Walls | | | 131.67 sq.f | 12.23 m2 |
| Hard-surface arch. element | | | 0.00 sq.f | 0.00 m2 |
| Total Rear Yard Softscaping Area | 339.83 m2 | | 3,183.22 sq.f | 295.73 m2 |
| | 60.00% | | | 52.21% |

NOTES:
In the R1, R1A, R1B, R1C, R1D, R1E, R2, R2A, R3, R4, R5 & RT Zones, any portion of a yard in excess of 135.0 m2 must be min 60% soft landscape.

In Residential Zone, except for RM Zones the following requirements shall apply to the yard in which a driveway is located:
a. Where lot frontage is between 6.0 m and 11.99 m, the min. landscape shall be 33%, of which 60% shall be soft landscape.
b. Where lot frontage is 12.0 m or greater, or where lot contains circular driveway, the min. landscape requirement shall be 50%, of which 60% shall be soft landscaping.

Hard landscape = artificial turf, unit pavers, patio stones, concrete, decorative stonework or other arch. elements designed and used to enhance the visual amenity of a property
Soft landscape = open land used for grass, flowers, shrubs, trees, and similar vegetation, and may include granular geological materials.

This drawing, as an instrument of service, is provided by and is the property of Contempo Studio. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Contempo Studio of any variations from the supplied information.

This drawing is not to be scaled.

The designer is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked "for construction" must assume full responsibility and bear costs for any corrections or damages resulting from his work.

The copyright of this drawing is vested in Contempo Studio and it may not be reproduced in whole or part or used for the manufacture of any article without the express written permission.

No. Issued for: Date
1.
2.

SEAL

VARIANCE #6

52.21% (295.73 sq.m) of required minimum rear yard to be comprised of soft landscaping

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1140 The Queensway, Toronto, Ontario M8Z 1P7
info@contempostudio.ca w. contempostudio.ca
t. (416) 770-0071 f. (416) 642-1691

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QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

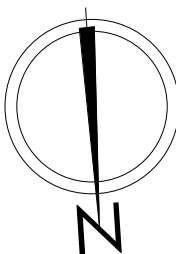
MARIN ZABZUNI 45250
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.

CONTEMPO STUDIO 46972
FIRM NAME BCIN

PROPOSED 2-STORY DWELLING
AT
107 SIR MODESTO COURT,
VAUGHAN, ON

LANDSCAPE DIAGRAM



Project number: 2023-25
Rev. no.: 1" = 10'-0"
Scale: FEBRUARY, 2025
Date: J.T. + M.R. + C.C.
Drawn by: M.Z.
Approved by:

Drawing number: A1.1

2 PLY MODIFIED ROOFING BITUMEN
MEMBRANE ROOFING ON 6" T&G EXT. TYPE
PLYWOOD ON 2"x4" WOOD SLEEPER @ 16 O.C. (TYP.)
SPR. #1 STRIPS IN MANNER THAT WOULD
FACILITATE POSITIVE ROOF DRAINAGE TOWARDS
ROOF SCUPPER ON ROOF JOISTS AS PER ENG.

1"x6" TREATED W/D DECKG W/ 1/4" GAPS OVER 2"
x 4" TREATED W/D DECK JOISTS @ 16" O.C. (TYP.)
ON 2 PLY MODIFIED ROOFING BITUMEN
MEMBRANE ROOFING ON 6" T&G EXT. TYPE
PLYWOOD ON 2"x4" WOOD SLEEPER @ 16 O.C.
SPR. #1 STRIPS IN MANNER THAT WOULD
FACILITATE POSITIVE ROOF DRAINAGE TOWARDS
ROOF SCUPPER ON ROOF JOISTS

ROOF VENTS (TYP.) ROOF
VENTILATION 1:300 OF
INSULATED CEILING AREA
UNIFORMLY DISTRIBUTED (TYP.)

ROOF ASSEMBLY:
-METAL ROOF AS PER MANU.
-1/2" FIBERBOARD PROTECTION BOARD
-3/4" PLYWOOD DECKSHEATHING
-MISCELLANEOUS FRAMING FOR SLOPE TO DRAIN
-TRUSS AS PER MANUFACTURER
-R60 FIBREGLASS INSULATION
-AIRVAPOUR BARRIER
-1/2" DRYWALL

ROOF ASSEMBLY:
-METAL ROOF AS PER MANU.
-1/2" FIBERBOARD PROTECTION BOARD
-3/4" PLYWOOD DECKSHEATHING
-MISCELLANEOUS FRAMING FOR SLOPE TO DRAIN
-TRUSS AS PER MANUFACTURER
-R60 FIBREGLASS INSULATION
-AIRVAPOUR BARRIER
-1/2" DRYWALL

2 PLY MODIFIED ROOFING BITUMEN
MEMBRANE ROOFING ON 6" T&G EXT. TYPE
PLYWOOD ON 2"x4" WOOD SLEEPER @ 16 O.C.
SPR. #1 STRIPS IN MANNER THAT WOULD
FACILITATE POSITIVE ROOF DRAINAGE TOWARDS
ROOF SCUPPER ON ROOF JOISTS AS PER ENG.

1070MM (42 1/8") HIGH GUARD RAIL W/ 2"x2"
PREFIN. BLACK ALUM. POSTS W/ GLASS TIED
ANCHORED TO MAIN STRUCTURE

2 PLY MODIFIED ROOFING BITUMEN
MEMBRANE ROOFING ON 6" T&G EXT. TYPE
PLYWOOD ON 2"x4" WOOD SLEEPER @ 16 O.C.
SPR. #1 STRIPS IN MANNER THAT WOULD
FACILITATE POSITIVE ROOF DRAINAGE TOWARDS
ROOF SCUPPER ON ROOF JOISTS AS PER ENG.

ROOF ASSEMBLY:
2 PLY MODIFIED ROOFING BITUMEN
MEMBRANE ROOFING ON 6" T&G
EXT. TYPE PLYWOOD ON 2"x4"
WOOD SLEEPER @ 16 O.C. SPR. #1
STRIPS IN MANNER THAT
WOULD FACILITATE POSITIVE ROOF
DRAINAGE TOWARDS ROOF
SCUPPER ON ROOF TRUSSES

ROOF ASSEMBLY:
-METAL ROOF AS PER MANU.
-1/2" FIBERBOARD PROTECTION BOARD
-3/4" PLYWOOD DECKSHEATHING
-MISCELLANEOUS FRAMING FOR SLOPE TO DRAIN
-TRUSS AS PER MANUFACTURER
-R60 FIBREGLASS INSULATION
-AIRVAPOUR BARRIER
-1/2" DRYWALL

TRUSSES DO COMPLY WITH TRUSS DESIGNER'S PLAN
STAMPED BY P.ENG. OF ONTARIO.

TRUSS LAYOUT IS FOR ILLUSTRATION ONLY, TRUSS
COMPANY SHALL PROVIDE THE LAYOUT BASED ON THEIR
DESIGN AND RESTRICTION ON TRUSS SIZES.

WHEN TRUSS LAYOUT IS DIFFERENT FROM WHAT IS SHOWN
ON PERMIT PLANS AND SOLID BEARING OF GIRDER TRUSS IS
SITTING ON WINDOW'S LINTEL, LINTEL SHALL BE DESIGN BY
TRUSS MANUFACTURER.

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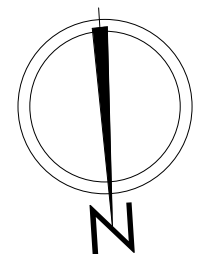
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t. (416) 770-0071 f. (416) 642-1691

The undersigned has reviewed and takes responsibility for this
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documents:

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.4.3.(5) Division C of
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MARIN ZABZUNI SIGNATURE 45250
NAME BCIN
REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7. Division C
of the Ontario Building Code.
CONTEMPO STUDIO 46972
FIRM NAME BCIN

PROPOSED 2-STOREY DWELLING
AT
107 SIR MODESTO COURT,
VAUGHAN, ON

ROOF PLAN



Project number: 2023-25
Rev. no.: 3/16" = 1'-0"
Scale: FEBRUARY, 2025
Date: J.T. + M.R. + C.C.
Drawn by: M.Z.
Approved by:

Drawing number:

A5

1 ROOF PLAN
3/16" = 1'-0"



1 FRONT (NORTH) ELEVATION
1/4" = 1'-0"

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MARIN ZABZUNI SIGNATURE 45250 BCIN
REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.
CONTEMPO STUDIO 46972 BCIN
FIRM NAME

PROPOSED 2-STOREY DWELLING
AT
107 SIR MODESTO COURT,
VAUGHAN, ON

FRONT (NORTH) ELEVATION

Project number: 2023-25
Rev. no.:
Scale: 1/4" = 1'-0"
Date: FEBRUARY, 2025
Drawn by: J.T. + M.R. + C.C.
Approved by: M.Z.

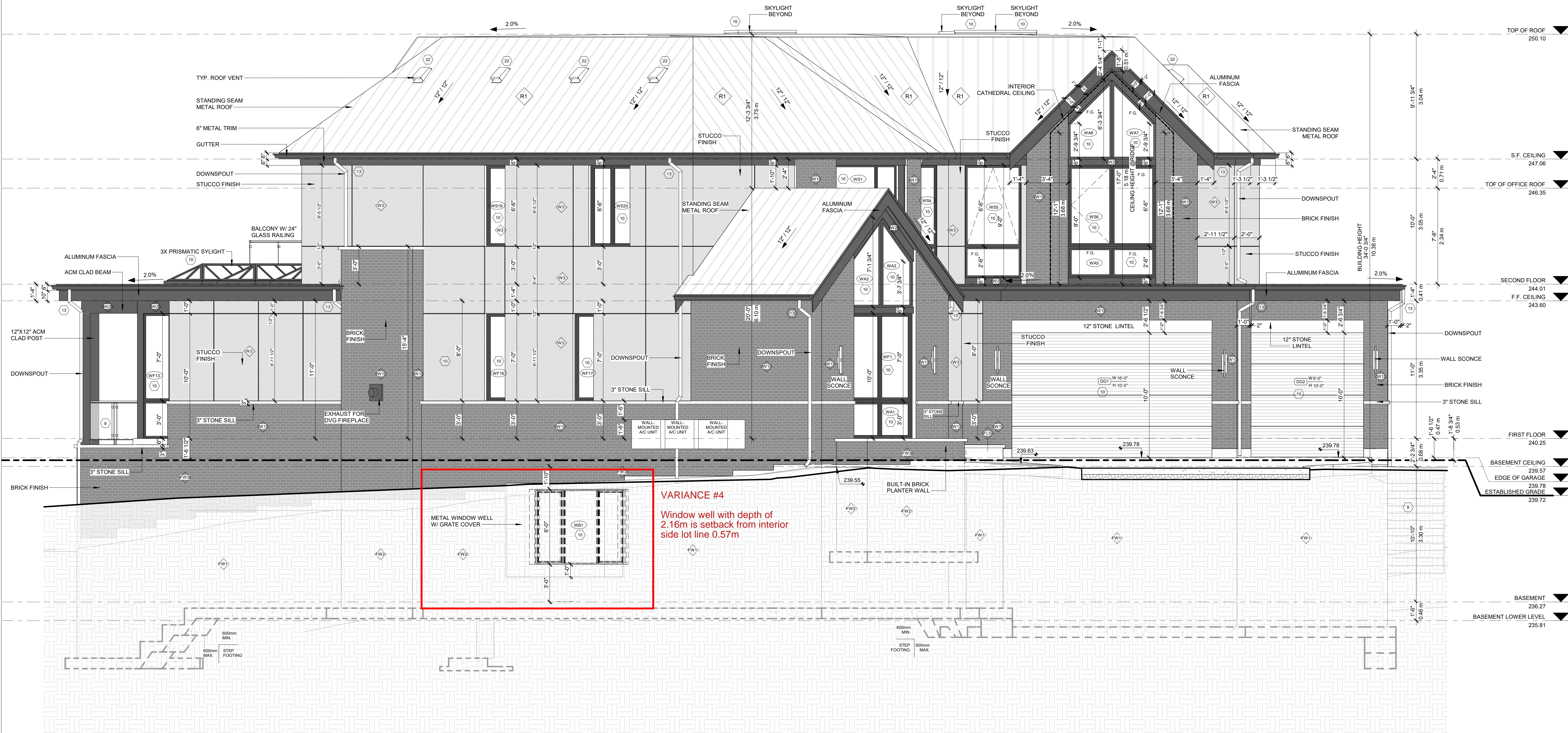
Drawing number: A6

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NAME

REGISTRATION INFORMATION
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CONTEMPO STUDIO 46972 BCIN
FIRM NAME

PROPOSED 2-STOREY DWELLING
AT
107 SIR MODESTO COURT,
VAUGHAN, ON

FRONT (NORTHEAST) ELEVATION

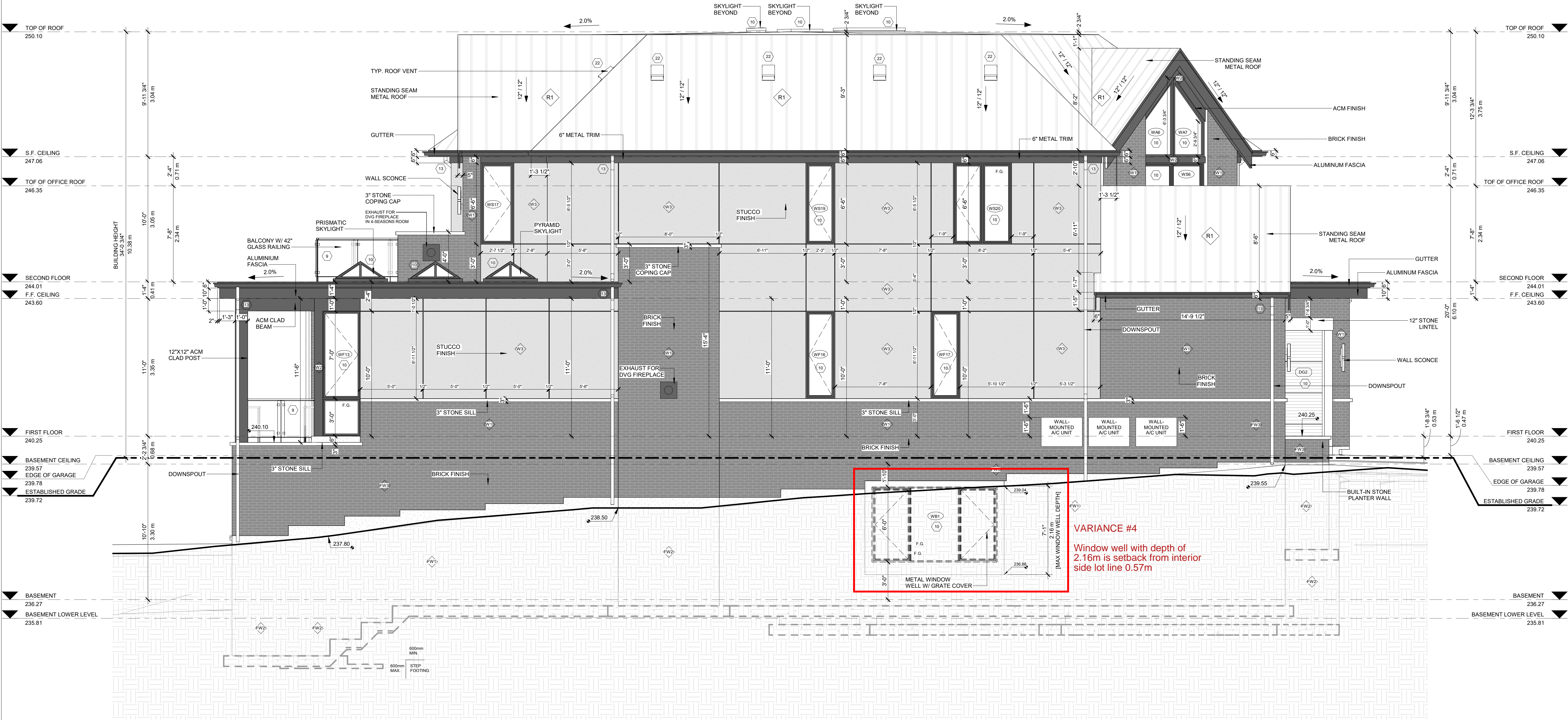
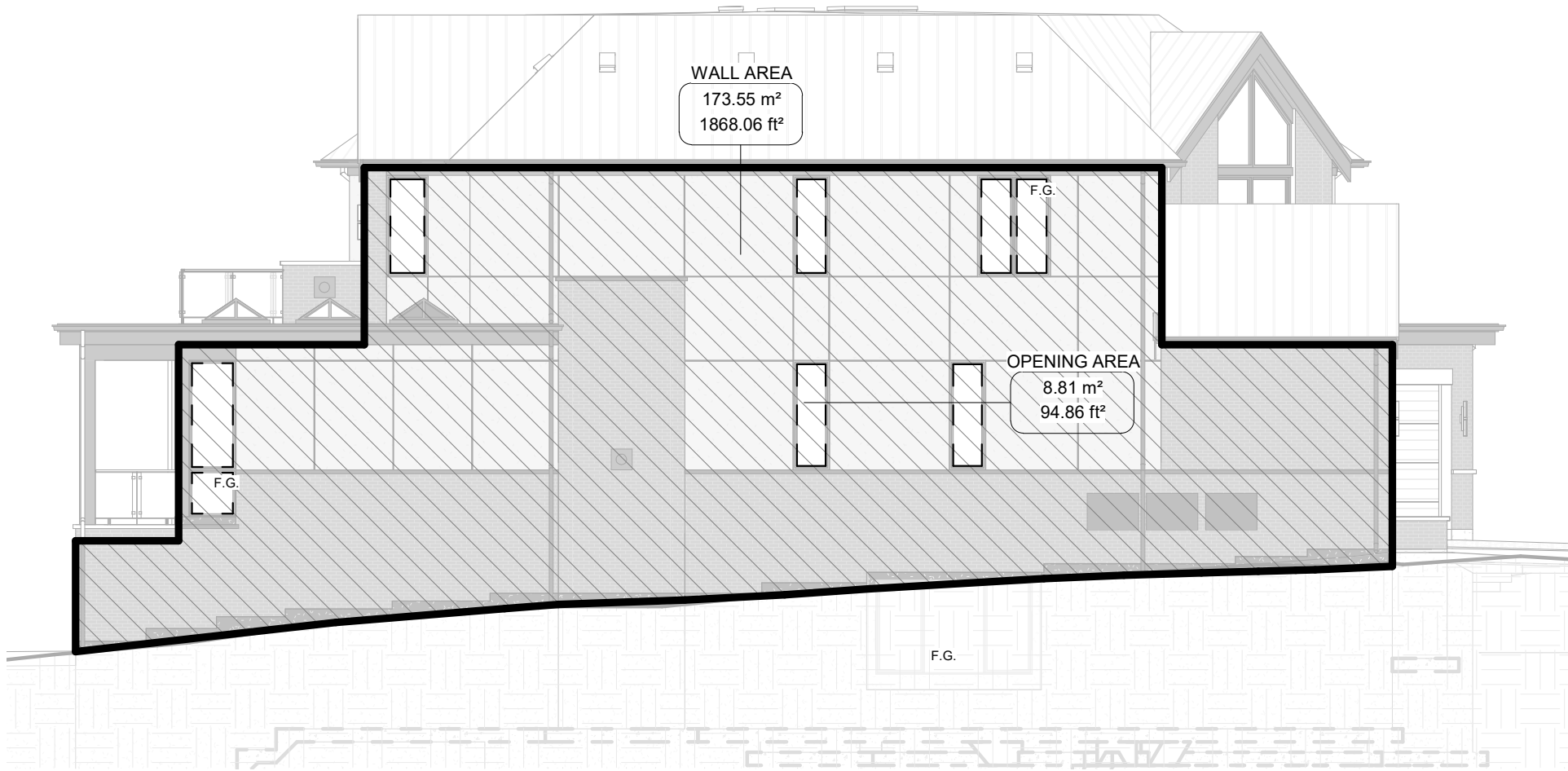
Project number: 2023-25
Rev. no.:
Scale: 1/4" = 1'-0"
Date: FEBRUARY, 2025
Drawn by: J.T. + M.R. + C.C.
Approved by: M.Z.

Drawing number: A7

1 FRONT (NORTHEAST) ELEVATION
1/4" = 1'-0"

UNPROTECTED OPENING CALCULATION AS PER 9.10.15.4
LEFT ELEVATION - TOTAL EXPOSED WALL FACE CALCULATION METHOD
TOTAL WALL AREA OF EXPOSED BUILDING FACE = 1,867.95 ft² (173.54 m²)
LIMITING DISTANCE = 1.20m
TABLE 9.10.15.4 (WITH TOTAL WALL AREA = 1,867.95 ft² (173.54 m²), LD = 1.20m)
EXTRAPOLATED MAX ALLOWED UNPROTECTED OPENING = 7.00%
ALLOWABLE UPO AREA = 1,867.95 ft² (173.54 m²) @ 7.00% = 130.76 ft² (12.15m²)
PROPOSED UPO AREA = 94.86 ft² (8.81m²) = 5.08%
(GLAZING AREAS ONLY)
35.90 ft² (3.34m²) UNDER THE MAX ALLOWED

2 UPO CALCULATION - LEFT ELEVATION
1" = 10'-0"



1 LEFT (EAST) ELEVATION
1/4" = 1'-0"

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MARIN ZABZUNI SIGNATURE 45250 BCIN

REGISTRATION INFORMATION
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CONTEMPO STUDIO 46972 BCIN
FIRM NAME

PROPOSED 2-STORY DWELLING
AT
107 SIR MODESTO COURT,
VAUGHAN, ON

LEFT (EAST) ELEVATION

Project number: 2023-25
Rev. no.: As indicated
Scale: FEBRUARY, 2025
Date: J.T. + M.R. + C.C.
Drawn by: M.Z.
Approved by:

Drawing number: A8

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1 REAR (SOUTH) ELEVATION
1/4" = 1'-0"

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MARIN ZABZUNI SIGNATURE 45250 BCIN
NAME REGISTRATION INFORMATION

Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.
CONTEMPO STUDIO 46972 BCIN
FIRM NAME

PROPOSED 2-STOREY DWELLING
AT
107 SIR MODESTO COURT,
VAUGHAN, ON

REAR (SOUTH) ELEVATION

Project number: 2023-25
Rev. no.:
Scale: 1/4" = 1'-0"
Date: FEBRUARY, 2025
Drawn by: J.T. + M.R. + C.C.
Approved by: M.Z.

Drawing number:

A9



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REGISTRATION INFORMATION
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CONTEMPO STUDIO 46972 BCIN
FIRM NAME

PROPOSED 2-STORY DWELLING
AT
107 SIR MODESTO COURT,
VAUGHAN, ON

REAR (SOUTHWEST) ELEVATION

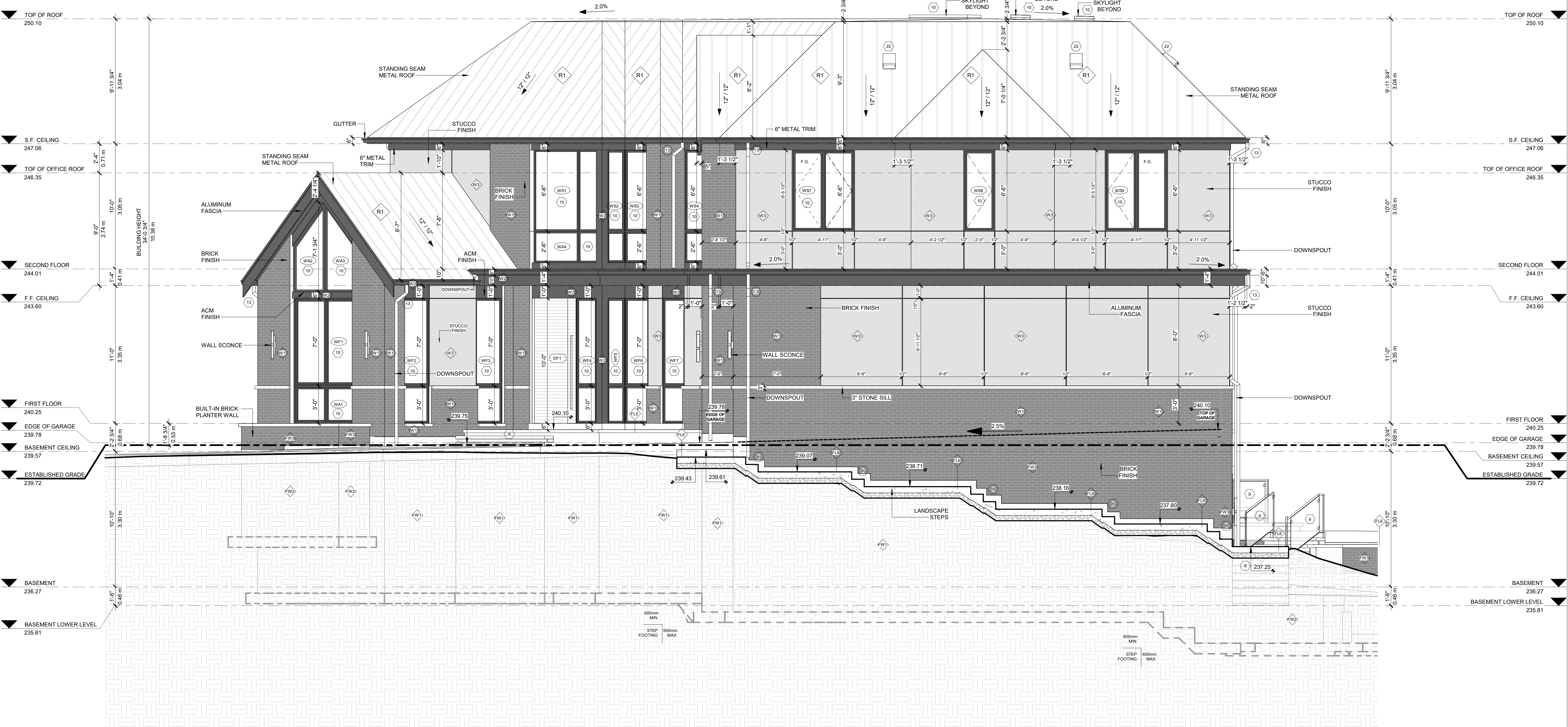
Project number: 2023-25
Rev. no.: As indicated
Scale: FEBRUARY, 2025
Date: J.T. + M.R. + C.C.
Drawn by: M.Z.
Approved by:

Drawing number: A10

UNPROTECTED OPENING CALCULATION AS PER 9.10.15.4
RIGHT ELEVATION - SPLIT FACE CALCULATION METHOD - WALL AREA #2
TOTAL WALL AREA OF EXPOSED BUILDING FACE = 1,875.55 ft² (174.24 m²)
WALL AREA #2 OF EXPOSED BUILDING FACE = 702.10 ft² (65.23m²)
LIMITING DISTANCE = 14.74m
TABLE 9.10.15.4 (WITH TOTAL WALL AREA = 1,875.55 ft² (174.24 m²), LD = 14.50m)
EXTRAPOLATED MAX ALLOWED UNPROTECTED OPENING = 80.35%
ALLOWABLE UPO AREA = 702.10 ft² (65.23m²) @ 80.35% = 564.10 ft² (52.41m²)
PROPOSED UPO AREA (WALL AREA #2) = 205.15 ft² (19.06m²) = 29.22%
(GLAZING AREAS ONLY)
358.95 ft² (33.35m²) UNDER THE MAX ALLOWED

2 UPO CALCULATION - RIGHT ELEVATION
1" = 10'-0"

UNPROTECTED OPENING CALCULATION AS PER 9.10.15.4
RIGHT ELEVATION - SPLIT FACE CALCULATION METHOD - WALL AREA #1
TOTAL WALL AREA OF EXPOSED BUILDING FACE = 1,875.55 ft² (174.24 m²)
WALL AREA #1 OF EXPOSED BUILDING FACE = 1173.45 ft² (109.02m²)
LIMITING DISTANCE = 4.15m
TABLE 9.10.15.4 (WITH TOTAL WALL AREA = 1,875.55 ft² (174.24 m²), LD = 4.15m)
EXTRAPOLATED MAX ALLOWED UNPROTECTED OPENING = 12.53%
ALLOWABLE UPO AREA = 1173.45 ft² (109.02m²) @ 12.53% = 146.97 ft² (13.65m²)
PROPOSED UPO AREA (WALL AREA #1) = 61.50 ft² (5.71m²) = 5.84%
(GLAZING AREAS ONLY)
78.47 ft² (7.29m²) UNDER THE MAX ALLOWED



1 RIGHT (NORTHWEST) ELEVATION
1/4" = 1'-0"

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MARIN ZABZUNI SIGNATURE 45250 BCIN

REGISTRATION INFORMATION
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CONTEMPO STUDIO 46972 BCIN
FIRM NAME

PROPOSED 2-STOREY DWELLING
AT
107 SIR MODESTO COURT,
VAUGHAN, ON

RIGHT (NORTHWEST) ELEVATION

Project number: 2023-25
Rev. no.: As indicated
Scale: FEBRUARY, 2025
Date: J.T. + M.R. + C.C
Drawn by: M.Z.
Approved by:

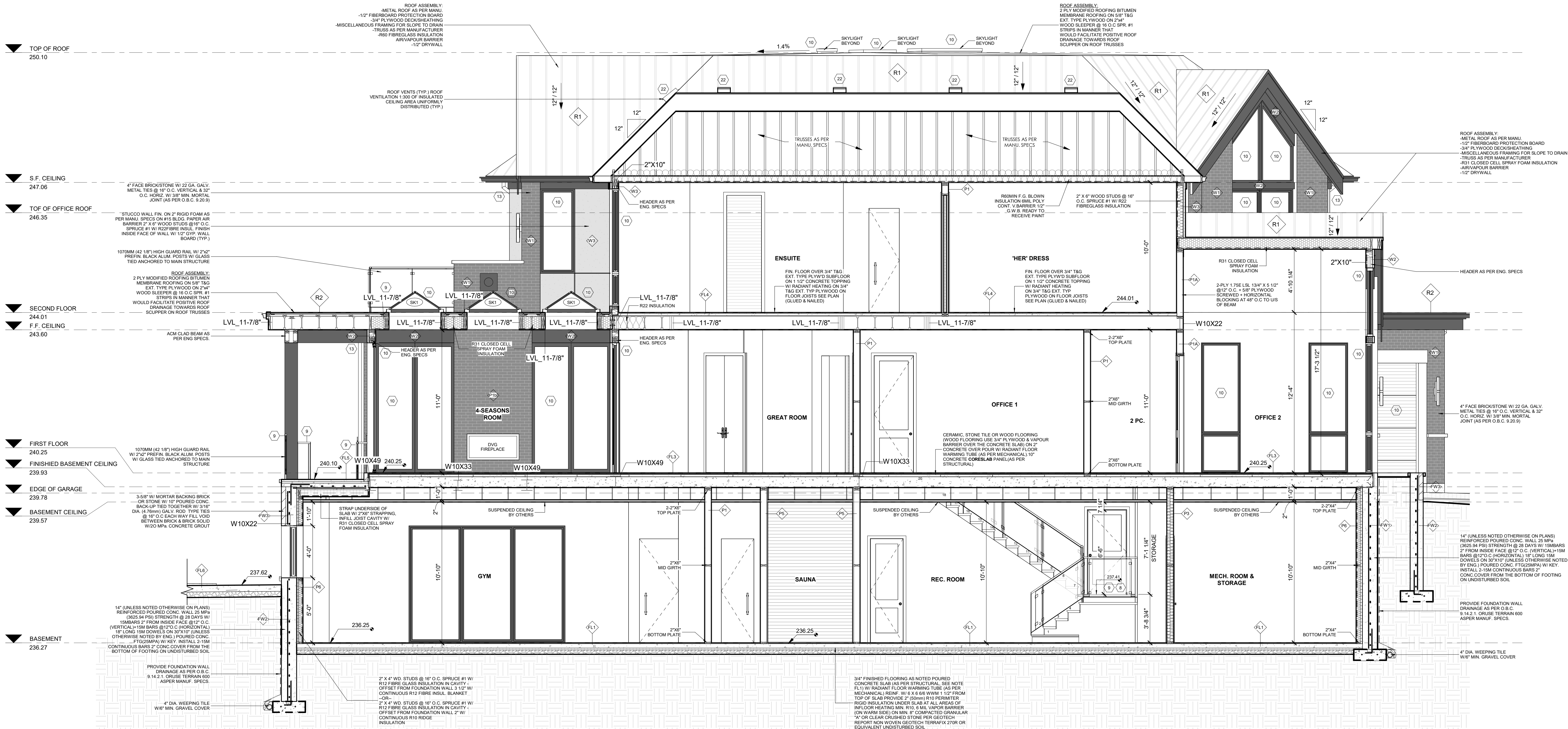
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| MARIN ZABZUNI | SIGNATURE | 45250 |
| REGISTRATION INFORMATION | | |
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| CONTEMPO STUDIO | | 46972 |
| FIRM NAME | | BCIN |

PROPOSED 2-STOREY DWELLING
AT
107 SIR MODESTO COURT,
VAUGHAN, ON

SECTION 1

| | |
|-----------------|--------------------|
| Project number: | 2023-25 |
| Rev. no.: | |
| Scale: | 1/4" = 1'-0" |
| Date: | FEBRUARY, 2025 |
| Drawn by: | J.T. + M.R. + C.C. |
| Approved by: | M.Z. |

Drawing number:

A14

SECTION 1
1/4" = 1'-0"

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| MARIN ZABZUNI | | 45250 |
| NAME | SIGNATURE | BCIN |
| REGISTRATION INFORMATION | | |
| Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code. | | |
| CONTEMPO STUDIO | | 46972 |
| FIRM NAME | | BCIN |

PROPOSED 2-STOREY DWELLING
AT
107 SIR MODESTO COURT,
VAUGHAN, ON

SECTION 2

| | |
|-----------------|-------------------|
| Project number: | 2023-25 |
| Rev. no.: | |
| Scale: | 1/4" = 1'-0" |
| Date: | FEBRUARY, 2025 |
| Drawn by: | J.T. + M.R. + C.C |
| Approved by: | M.Z. |

Drawing number:

A15

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| MARIN ZABZUNI | SIGNATURE | 45250 |
| NAME | REGISTRATION INFORMATION | BCIN |
| Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code. | | |
| CONTEMPO STUDIO | SIGNATURE | 46972 |
| FIRM NAME | REGISTRATION INFORMATION | BCIN |

PROPOSED 2-STOREY DWELLING
AT
107 SIR MODESTO COURT,
VAUGHAN, ON

SECTION 3

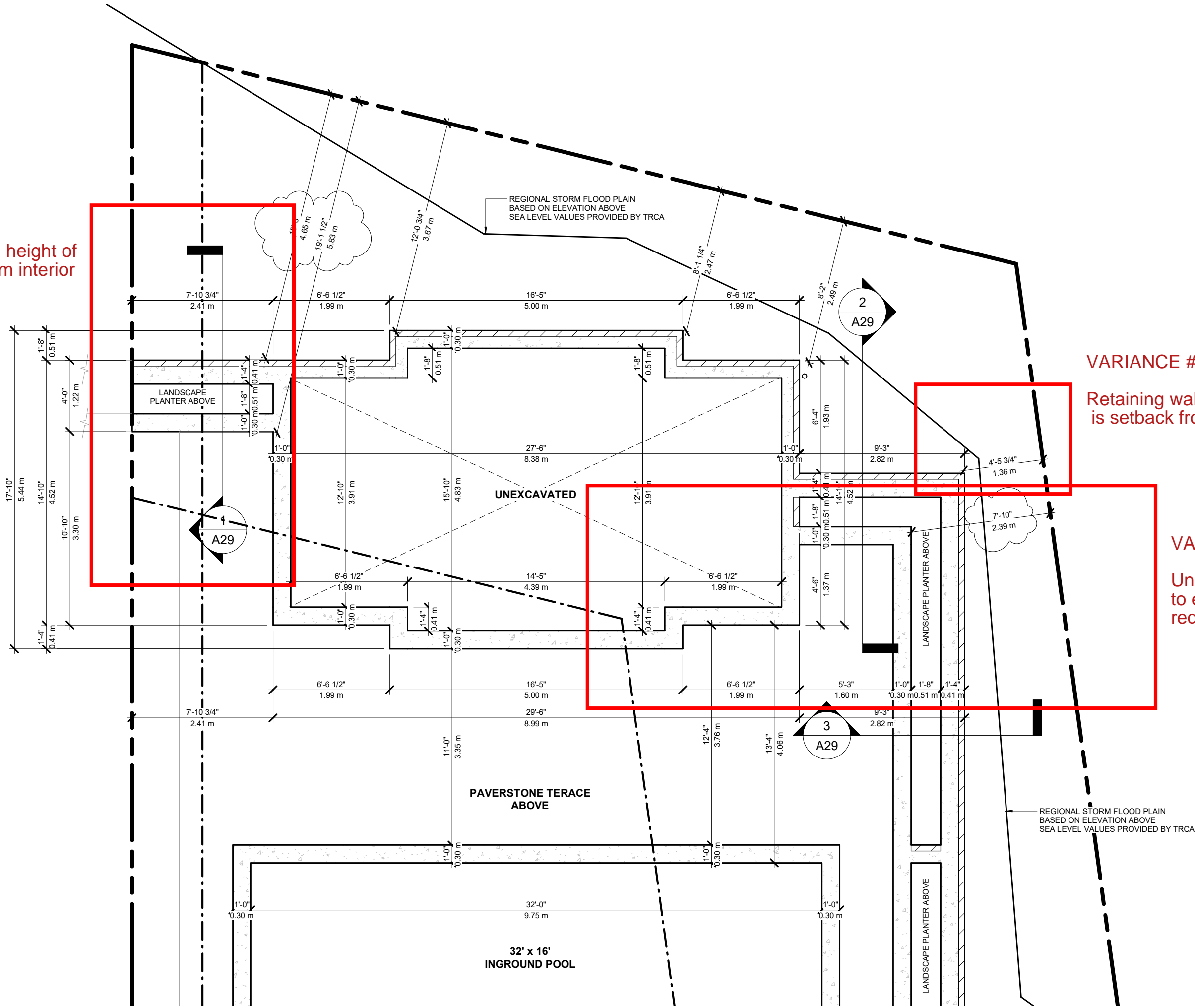
| | |
|-----------------|--------------------|
| Project number: | 2023-25 |
| Rev. no.: | |
| Scale: | 1/4" = 1'-0" |
| Date: | FEBRUARY, 2025 |
| Drawn by: | J.T. + M.R. + C.C. |
| Approved by: | M.Z. |

Drawing number:

A16

VARIANCE #2

Retaining wall with a height of 2.31m is setback from interior side lot line 0.00m



VARIANCE #3

Retaining wall with a height of 1.75m is setback from rear lot line 1.36m

VARIANCE #1

Uncovered platform with a height of 2.20m to encroach a maximum of 5.11m into the required rear yard & setback from rear lot line 2.39m

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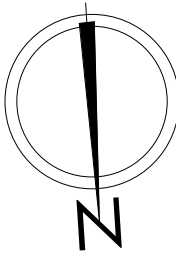
QUALIFICATION INFORMATION
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MARIN ZABZUNI 45250
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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CONTEMPO STUDIO 46972
FIRM NAME BCIN

PROPOSED 2-STORY DWELLING
AT
107 SIR MODESTO COURT,
VAUGHAN, ON

CABANA FOUNDATION PLAN



Project number: 2023-25
Rev. no.: 1
Scale: 3/16" = 1'-0"
Date: FEBRUARY, 2025
Drawn by: J.T. + M.R. + C.C
Approved by: M.Z.

Drawing number:

A22

VARIANCE #2

Retaining wall with a height of 2.31m is setback from interior side lot line 0.00mType your text

VARIANCE #3

Retaining wall with a height of 1.75m is setback from rear lot line 1.36m

VARIANCE #1

Uncovered platform with a height of 2.20m to encroach a maximum of 5.11m into the required rear yard & setback from rear lot line 2.39m

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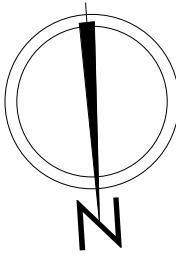
1140 The Queensway, Toronto, Ontario M8Z 1P7
info@contempostudio.ca w. contempostudio.ca
t. (416) 770-0071 f. (416) 642-1691

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.
MARIN ZABZUNI 45250
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.
CONTEMPO STUDIO 46972
FIRM NAME BCIN

PROPOSED 2-STORY DWELLING
AT
107 SIR MODESTO COURT,
VAUGHAN, ON

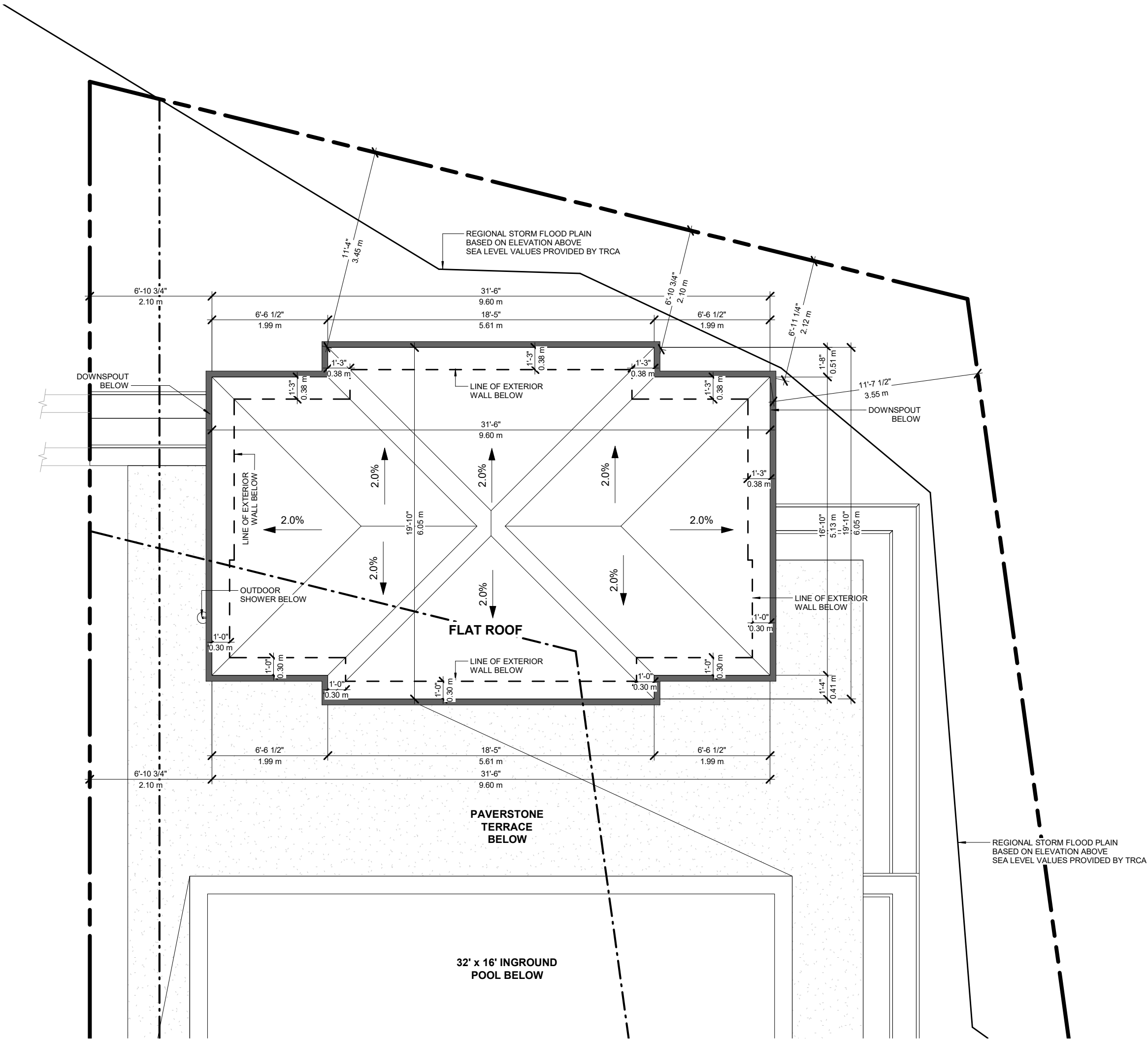
CABANA FLOOR PLAN



Project number: 2023-25
Rev. no.: 1
Scale: 3/16" = 1'-0"
Date: FEBRUARY, 2025
Drawn by: J.T. + M.R. + C.C.
Approved by: M.Z.

Drawing number:

A23



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t. (416) 770-0071 f. (416) 642-1691

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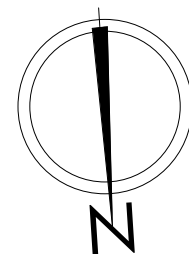
QUALIFICATION INFORMATION
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MARIN ZABZUNI 45250
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.
CONTEMPO STUDIO 46972
FIRM NAME BCIN

PROPOSED 2-STOREY DWELLING
AT
107 SIR MODESTO COURT,
VAUGHAN, ON

CABANA ROOF PLAN



Project number: 2023-25
Rev. no.: 3/16" = 1'-0"
Scale: FEBRUARY, 2025
Date: J.T. + M.R. + C.C.
Drawn by: M.Z.
Approved by:

Drawing number:

A24

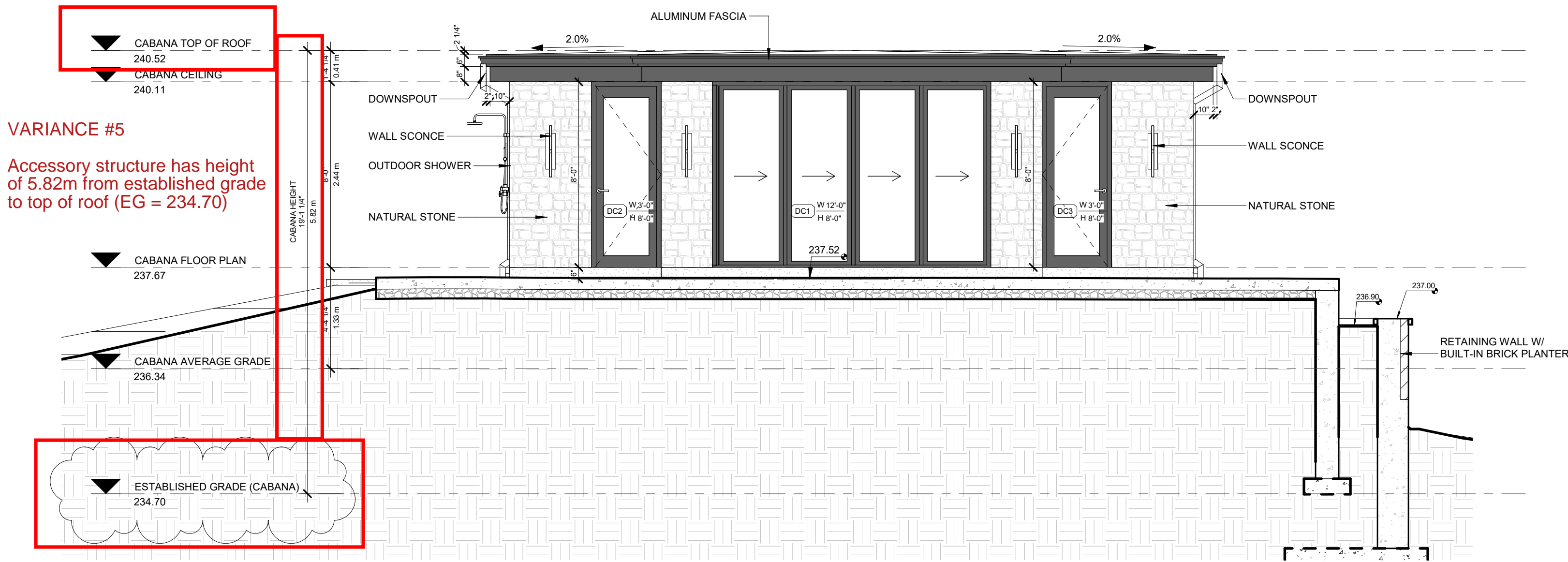
① CABANA TOP OF ROOF
3/16" = 1'-0"

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MARIN ZABZUNI 45250
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.

CONTEMPO STUDIO 46972
FIRM NAME BCIN

PROPOSED 2-STORY DWELLING
AT
107 SIR MODESTO COURT,
VAUGHAN, ON

CABANA FRONT ELEVATION

Project number: 2023-25
Rev. no.: 1
Scale: 1/4" = 1'-0"
Date: FEBRUARY, 2025
Drawn by: J.T. + M.R. + C.C.
Approved by: M.Z.

Drawing number:

A25

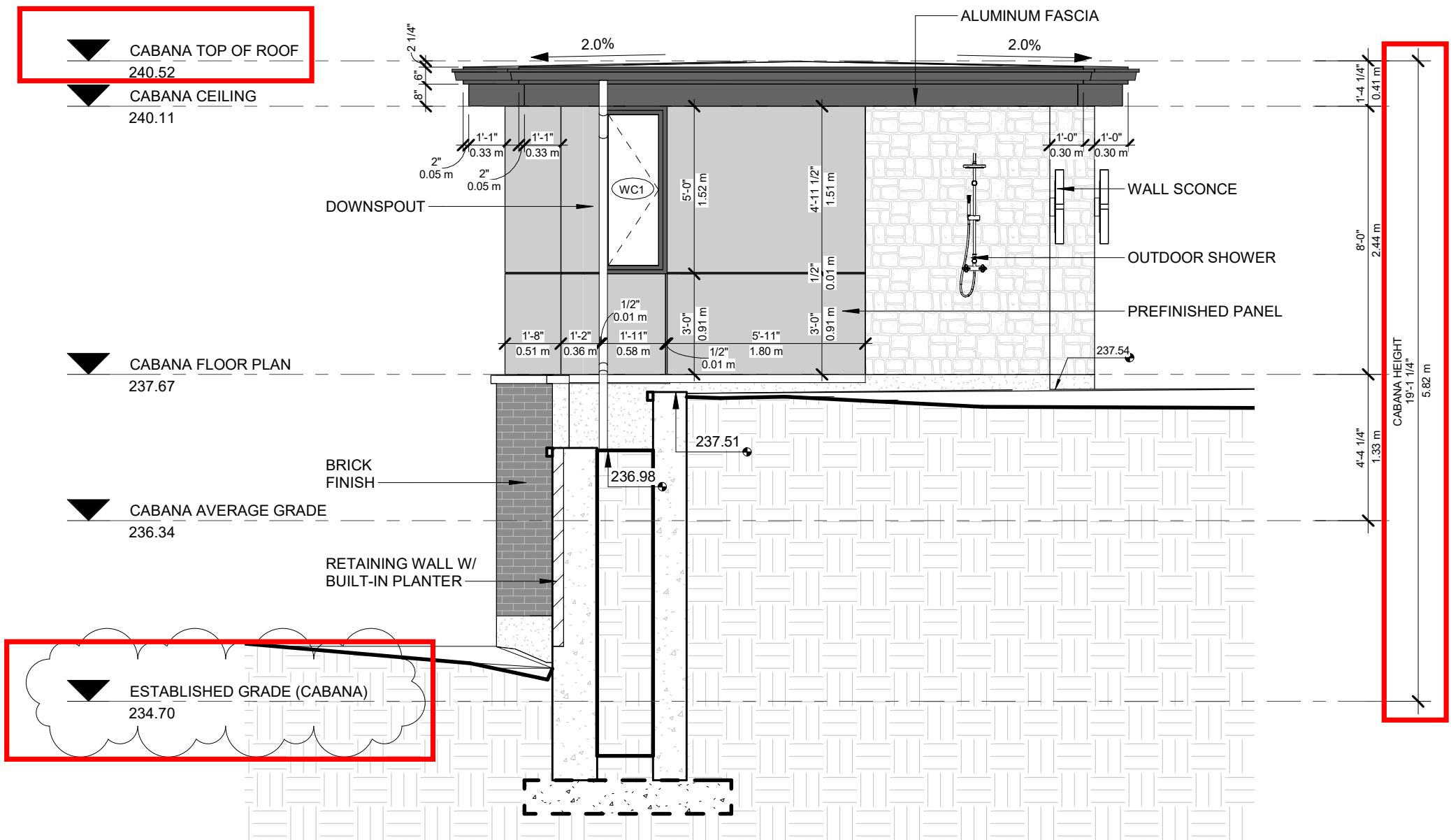
① CABANA FRONT ELEVATION
1/4" = 1'-0"

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VARIANCE #5
Accessory structure has height
of 5.82m from established grade
to top of roof (EG = 234.70)

No. Issued for: Date
1.
2.

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1140 The Queensway, Toronto, Ontario M8Z 1P7
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t. (416) 770-0071 f. (416) 642-1691

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QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

MARIN ZABZUNI
NAME SIGNATURE 45250 BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.

CONTEMPO STUDIO 46972
FIRM NAME BCIN

PROPOSED 2-STORY DWELLING
AT
107 SIR MODESTO COURT,
VAUGHAN, ON

CABANA LEFT ELEVATION

Project number: 2023-25
Rev. no.: 1
Scale: 1/4" = 1'-0"
Date: FEBRUARY, 2025
Drawn by: J.T. + M.R. + C.C.
Approved by: M.Z.

Drawing number:

A26

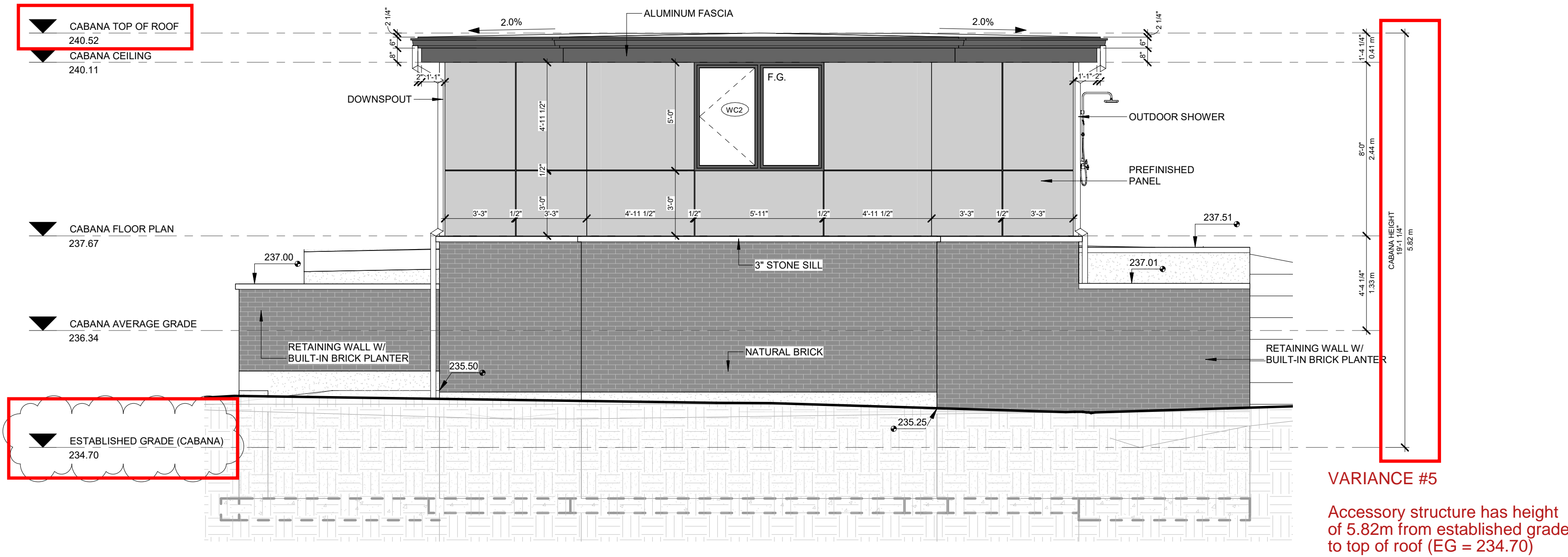
① CABANA RIGHT ELEVATION
1/4" = 1'-0"

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t. (416) 770-0071 f. (416) 642-1691

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QUALIFICATION INFORMATION
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MARIN ZABZUNI 45250
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.

CONTEMPO STUDIO 46972
FIRM NAME BCIN

PROPOSED 2-STORY DWELLING
AT
107 SIR MODESTO COURT,
VAUGHAN, ON

CABANA REAR ELEVATION

Project number: 2023-25
Rev. no.: 1
Scale: 1/4" = 1'-0"
Date: FEBRUARY, 2025
Drawn by: J.T. + M.R. + C.C.
Approved by: M.Z.

Drawing number:

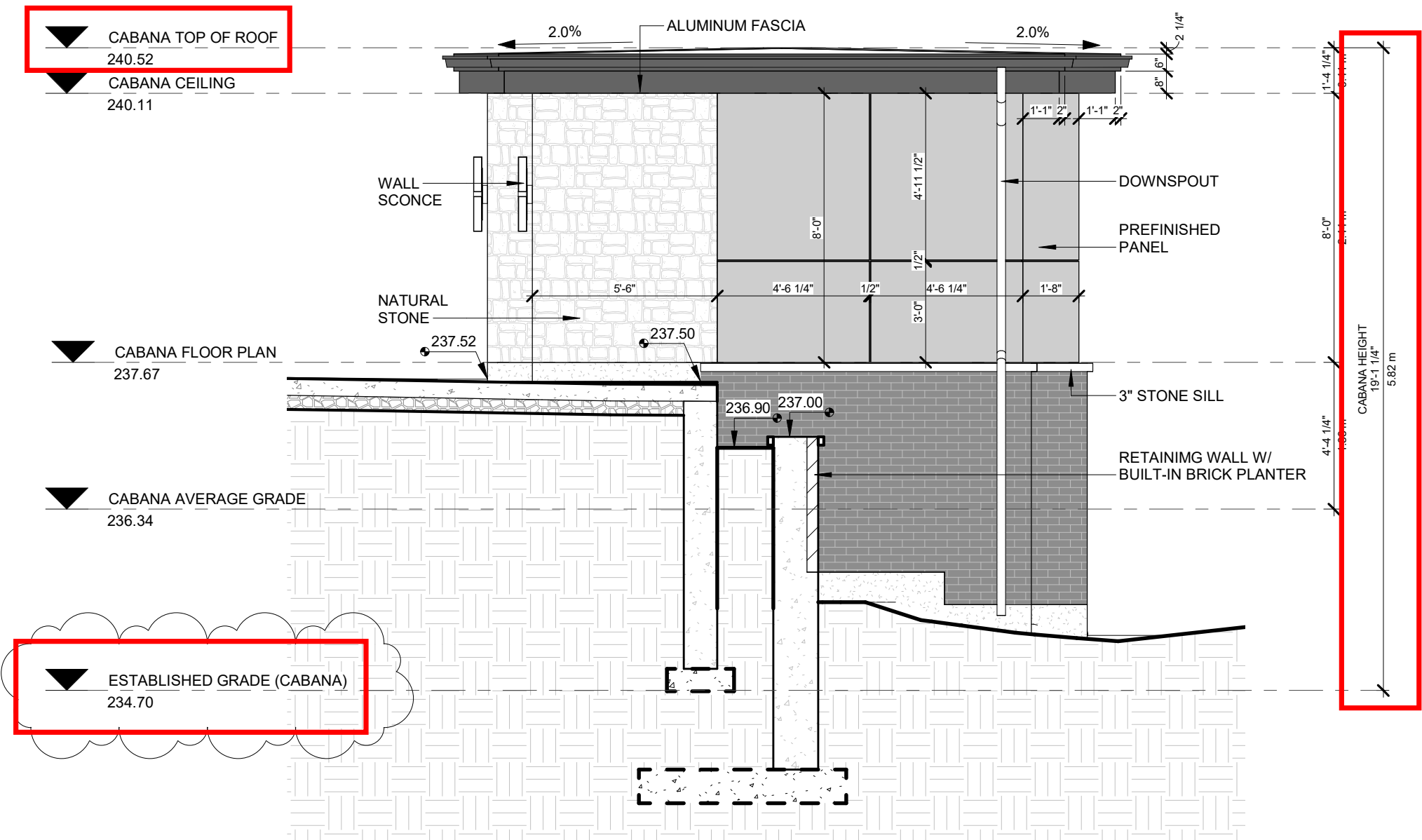
A27

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VARIANCE #5
Accessory structure has height
of 5.82m from established grade
to top of roof (EG = 234.70)

| | | |
|-----|-------------|------|
| No. | Issued for: | Date |
| 1. | | |
| 2. | | |

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t. (416) 770-0071 f. (416) 642-1691

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

| QUALIFICATION INFORMATION | | |
|---|---|-------|
| Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code. | | |
| MARIN ZABZUNI |  | 45250 |
| NAME | SIGNATURE | BCIN |
| REGISTRATION INFORMATION | | |
| Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code. | | |
| CONTEMPO STUDIO | | 46972 |
| FIRM NAME | | BCIN |

PROPOSED 2-STORY DWELLING
AT
107 SIR MODESTO COURT,
VAUGHAN, ON

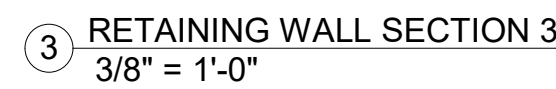
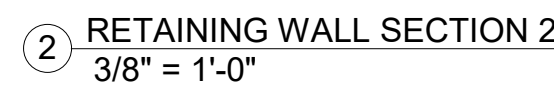
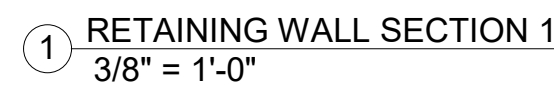
CABANA RIGHT ELEVATION

| | |
|-----------------|--------------------|
| Project number: | 2023-25 |
| Rev. no.: | 1 |
| Scale: | 1/4" = 1'-0" |
| Date: | FEBRUARY, 2025 |
| Drawn by: | J.T. + M.R. + C.C. |
| Approved by: | M.Z. |

Drawing number:

A28

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SEAL

| | |
|-----------------|-------|
| CONTEMPO STUDIO | 46972 |
| FIRM NAME | BCIN |

AT
107 SIR MODESTO COURT,
VAUGHAN, ON

Drawing number:

A29

SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING

| Internal Departments *Comments Received | Conditions Required | | Nature of Comments |
|--|------------------------------|--|----------------------------------|
| Building Standards (Zoning) | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments |
| Development Planning | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | Recommend Approval/No Conditions |

| External Agencies *Comments Received | Conditions Required | | Nature of Comments *See Schedule B for full comments |
|---|---|--|---|
| Alectra | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments |
| Region of York | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> | General Comments |
| TRCA | Yes <input checked="" type="checkbox"/> | No <input type="checkbox"/> | General Comments w/Conditions |

To: Committee of Adjustment
From: Christian Tinney, Building Standards Department
Date: February 18, 2025
Applicant: Contempo Studio
Location: 107 Sir Modesto Court
PLAN 65M4184 Block 46
File No.(s): A011/25

Zoning Classification:

The subject lands are zoned R2A, subject to the provisions of Exception 14.847 and 14.850 under By-law 001-2021 as amended.

| # | Zoning By-law 001-2021 | Variance requested |
|---|---|---|
| 1 | The maximum permitted encroachment of an uncovered platform is 2.4 metres into the required rear yard. [Table 4-1] | To permit an uncovered platform to encroach a maximum of 5.11 metres into the required rear yard. |
| 2 | A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall. [Table 4-1] | To permit a retaining wall with a height of 2.31 metres to be located at 0.0 metres from the interior lot line. |
| 3 | A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall. [Table 4-1] | To permit a retaining wall with a height of 1.75 metres to be located at 1.36 metres from the rear lot line. |
| 4 | A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall. [Table 4-1] | To permit a retaining wall (window well) with a height of 2.16 metres to be located at 0.57 metres from the interior lot line. |
| 5 | In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 metres. [Section 4.1.4 1.] | To permit an accessory building (cabana) with a maximum height of 5.82 metres. |
| 6 | In the R2A Zone, any portion of a yard in excess of 135.0 square metres shall be comprised of a minimum 60% soft landscape. | To permit a minimum of 52.21% (295.73 m ²) of the required minimum landscaped rear yard to be composed of soft landscaping. |

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

Building Permit No. 24-136449 for Single Detached Dwelling - New, Issue Date: (Not Yet Issued).

Other Comments:

| General Comments | |
|------------------|--|
| 1 | The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval. |
| 2 | The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority). |
| 3 | The subject lands may be subject to the Oak Ridges Moraine Conservation Act, RSO 2001. |

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development and Parks Planning

Date: May 29, 2025

Name of Owners: Madison Saul, Adam Ryan Saul (107 Sir Modesto Court);
Laura Faye Anava, Oren James Anava (108 Sir Modesto Court)

Location: 107 Sir Modesto Court 108 Sir Modesto Court

File No.(s): B006/25, A011/25 B007/25, A009/25

A011/25 – 107 Sir Modesto Court**Proposed Variances:**

1. To permit an uncovered platform to encroach a maximum of **5.11 m** into the required rear yard.
2. To permit a minimum setback of **0.0 m** for the retaining wall at the east interior side lot line.
3. To permit a retaining wall with a height of **1.75 m** to be located at **1.36 m** from the rear lot line.
4. To permit a retaining wall (window well) with a height of **2.16 m** to be located at **0.57 m** from the interior lot line.
5. To permit an accessory building (cabana) with a maximum height of **5.82 m**.
6. To permit a minimum of **52.21%** (295.73 m²) of the required minimum landscaped rear yard to be composed of soft landscaping.

By-Law 001-2021 Requirement(s):

1. The maximum permitted encroachment of an uncovered platform is **2.4 m** into the required rear yard.
2. A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall.
3. A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall.
4. A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall.
5. In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be **3.0 m**.
6. In the R2A Zone, any portion of a yard in excess of 135.0 m² shall be comprised of a minimum **60%** soft landscape.

A009/25 – 108 Sir Modesto Court**Proposed Variances:**

1. To permit access stairs to encroach a maximum of **1.93 m** into the minimum required rear yard.
2. To permit a minimum setback of **0.0 m** for the retaining wall at the west interior lot line.
3. To permit a retaining wall (window well) with a height of **2.04 m** to be setback a minimum of **1.0 m** from the west lot line.
4. To permit a retaining wall (window well) with a height of **2.02 m** to be setback a minimum of **0.57 m** from the east lot line.
5. To permit an uncovered platform (pavestone terrace/grassed area) with a floor height of 2.6 m to encroach into the minimum rear yard of 7.5 m a maximum of **4.41 m**.

By-Law 001-2021 Requirement(s):

1. The maximum permitted encroachment for an access stair is **1.8 m** into the minimum required rear yard of 7.5 m.
2. A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall.
3. A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall.
4. A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall.

5. An uncovered platform (paverstone terrace/grassed area) with a floor height greater than 1.2 m as measured above grade and including access stairs, is permitted to encroach **2.4 m** into the minimum required rear yard of 7.5m.

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Low Rise Residential"

Comments:

The Owners of 107 Sir Modesto Court and 108 Sir Modesto Court are seeking relief to permit a new single detached dwelling and accessory structures on each property. Two mutual access easements are proposed to permit the construction and maintenance of a contiguous stretch of retaining wall spanning the width of both properties.

B006/25, B007/25

Consent application files B006/25 and B007/25 are received for 107 Sir Modesto Court and 108 Sir Modesto Court to facilitate two mutual access easements required to service and maintain a proposed retaining wall that is contiguously located across both properties. The proposed retaining wall provides for a more consistent lot grading across the proposed rear yards of both properties.

Policy 10.1.2.36 of VOP 2010 permits the creation of private easements over existing lots. The proposed easement areas encompass the proposed retaining wall and a 0.6 m buffer around the retaining wall. Development Engineering staff have reviewed the proposed easement sketches and are satisfied that the easement areas will allow for mutual access and maintenance of the retaining wall.

A011/25 – 107 Sir Modesto Court

The Development and Parks Planning Department has no objections to Variances 1 and 3 to permit the encroachment of a raised platform 5.11 m into the minimum required rear yard and to permit the retaining wall on the outer edge of the raised platform, 1.75 m in height, to be located 1.36 m from the rear lot line. The grading of the property slopes downward toward the rear, and the proposed raised terrace and retaining walls provide a leveled rear yard. The spaces beyond the retaining wall are proposed to be sodded. The raised terrace and retaining wall are not anticipated to pose massing impacts on the neighbouring property to the west or the public trail to the south. Development Engineering staff have reviewed the retaining wall and have no concerns with the increased encroachment.

The Development and Parks Planning Department has no objections to Variance 2 to permit a retaining wall to be located 0.0 m from the east interior side lot line. The proposed retaining wall is oriented perpendicular to the eastern interior side lot line and connects to a segment of the retaining wall proposed on 108 Sir Modesto Court, east of the subject property. Consent applications B006/25 and B007/25 have been submitted to facilitate mutual access easements and have been reviewed to the satisfaction of Development Engineering staff.

The Development and Parks Planning Department has no objections to Variance 4 to permit a window well 2.16 m in depth to be setback 0.57 m from the east interior side yard. The remaining side yard is proposed to be sodded. The window well does not prohibit the movement of residents and goods between the front and rear yard, and additional access can be provided through the western interior side yard.

The Development and Parks Planning Department has no objections to Variance 5 to permit a height increase for the proposed cabana from 3 m to 5.82 m. The proposed height is measured from established grade, and the height is most perceived from the rear. The cabana maintains a compliant setback from all lot lines, and is not anticipated to incur massing impacts on neighbouring properties or the public trail to the south.

The Development and Parks Planning Department has no objections to Variance 6 to reduce the minimum soft landscaping in the portion of the rear yard in excess of 135 m² from 60% to 52.21%. The reduction represents approximately 44 m² of soft landscaping, which is minor given the size of the rear yard. Development Engineering staff have reviewed the variance and are satisfied that the reduced soft landscaping remains sufficient for stormwater management.

A009/25 – 108 Sir Modesto Court

The Development and Parks Planning Department has no objections to Variances 1 and 5 to permit a raised platform to encroach 4.41 m into the minimum required rear yard and for the access stairs to encroach 1.93 m into the minimum required rear yard. The grading of the property slopes downward toward the rear, and the proposed raised terrace provides a level grade within the rear yard. The access stairs located along the outer edge of the raised terrace provides access to the sodded areas beyond the raised terrace. The raised terrace and access stairs are not anticipated to incur any negative impacts on the public open space to the rear of the property.

The Development and Parks Planning Department has no objections to Variance 2 to permit the retaining wall to be setback 0.0 m from the western interior side lot line. The proposed retaining wall is oriented perpendicular to the side lot line and connects to the portion of the proposed retaining wall on 107 Sir Modesto Court, west of the subject property. Consent applications B006/25 and B007/25 have been submitted to facilitate mutual access easements and have been reviewed to the satisfaction of Development Engineering staff.

The Development and Parks Planning Department has no objections to Variances 3 and 4 to permit reduced setbacks to window wells located within the western and eastern interior side yards. The remaining interior side yards are proposed to be sodded. The setback reductions of 0.57 m to the west side lot line and 1.0 m to the east side lot line are sufficient to maintain access between the front and rear yards.

Accordingly, the Development and Parks Planning Department supports the requested variances and is of the opinion that the proposals are minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development and Parks Planning Department recommends approval of files B006/25 and A011/25 (107 Sir Modesto Court), and files B007/25 and A009/25 (108 Sir Modesto Court).

Conditions of Approval:

If the Committee finds merit in the applications, the following conditions of approval are recommended:

None.

Comments Prepared by:

Harry Zhao, Planner

Janany Nagulan, Senior Planner

Date: February 20th 2025

Attention: **Christine Vigneault**

RE: Request for Comments

File No.:

Related Files: **A011-25**

Applicant: Contempo Studio

Location 107 Sir Modesto Court

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

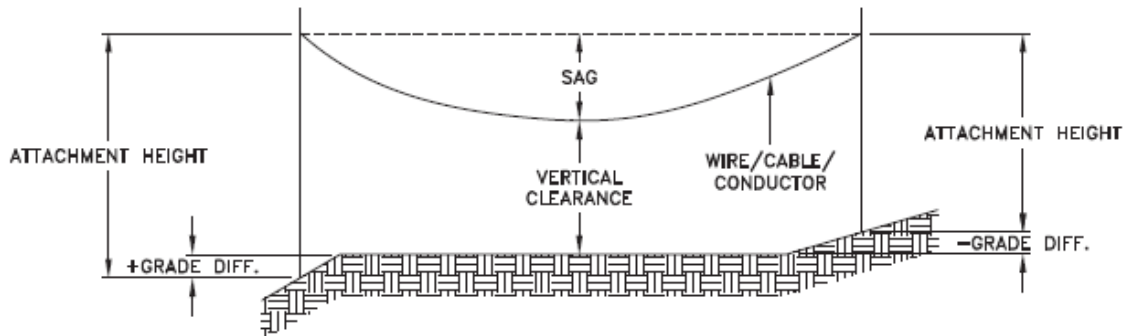
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

| LOCATION OF WIRES, CABLES OR CONDUCTORS | SYSTEM VOLTAGE | | | |
|---|--|------------------------|--------------------------------------|-------|
| | SPAN GUYS AND COMMUNICATIONS WIRES | UP TO 600V AND NEUTRAL | 4.16/2.4kV TO 27.6/16kV (SEE NOTE 1) | 44kV |
| | MINIMUM VERTICAL CLEARANCES (SEE NOTE 2) | | | |
| OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u> | 442cm | 442cm | 480cm | 520cm |
| OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u> | 250cm | 310cm | 340cm | 370cm |
| ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u> | 730cm | 730cm | 760cm | 810cm |



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 + GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

| CONVERSION TABLE | |
|------------------|-------------------|
| METRIC | IMPERIAL (APPROX) |
| 810cm | 27'-0" |
| 760cm | 25'-4" |
| 730cm | 24'-4" |
| 520cm | 17'-4" |
| 480cm | 16'-0" |
| 442cm | 15'-5" |
| 370cm | 12'-4" |
| 340cm | 11'-4" |
| 310cm | 10'-4" |
| 250cm | 8'-4" |

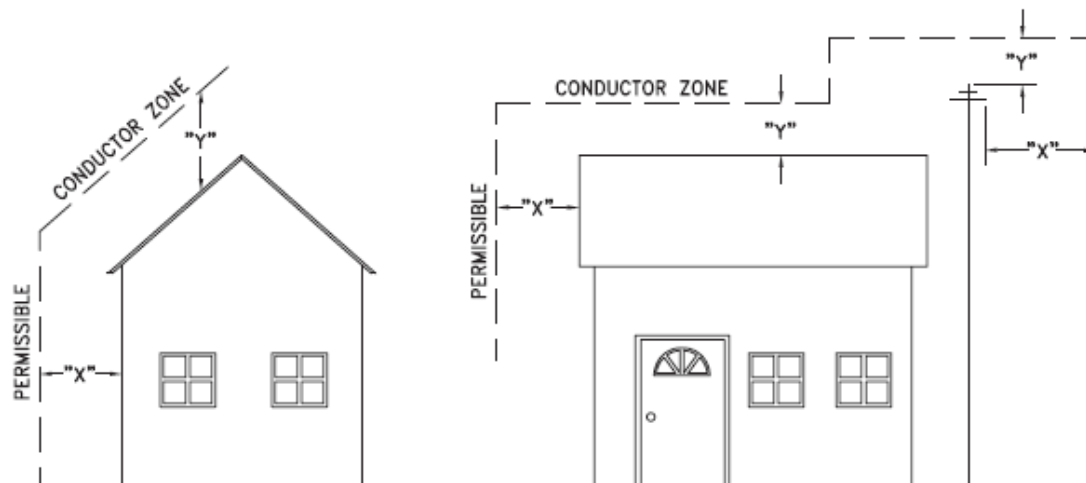
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

| Certificate of Approval | |
|---|-------------|
| This construction Standard meets the safety requirements of Section 4 of Regulation 22/04 | |
| Joe Crozier, P.Eng. | 2012-JAN-09 |
| Name | Date |
| P.Eng. Approval By: | Joe Crozier |



| VOLTAGE | MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4) | MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5) |
|--------------------|---|---|
| 0-600V AND NEUTRAL | 100cm | 250cm |
| 4.16/2.4 TO 44kV | 300cm | 480cm |

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

| CONVERSION TABLE | |
|------------------|-------------------|
| METRIC | IMPERIAL (APPROX) |
| 480cm | 16'-0" |
| 300cm | 10'-0" |
| 250cm | 8'-4" |
| 100cm | 3'-4" |

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P.Eng. Approval By: D. Dadwani

February 25, 2025.

PAR-DPP-2025-00593

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Christine Vigneault
Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A011/25
Block 46, Plan 65M4184
107 Sir Modesto Court
City of Vaughan, Regional Municipality of York
Applicant: Contempo Studio**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on February 19, 2025. TRCA staff have reviewed the application and offer the following comments for the consideration of the Committee of Adjustment.

Purpose of the Application

It is our understanding that the purpose of the above noted application is to request the following variances under By-Law 001-2021, as amended:

- To permit an uncovered platform to encroach a maximum of 5.11 metres into the required rear yard;
- To permit a retaining wall with a height of 2.31 metres to be located at 0.0 metres from the interior lot line;
- To permit a retaining wall with a height of 1.75 metres to be located at 1.36 metres from the rear lot line;
- To permit a retaining wall (window well) with a height of 2.16 metres to be located at 0.57 metres from the interior lot line;
- To permit an accessory building (cabana) with a maximum height of 5.82 metres; and,
- To permit a minimum of 52.21% (295.73 m²) of the required minimum landscaped rear yard to be composed of soft landscaping.

Ontario Regulation 41/24

The subject property is located within TRCA's Regulated Area due to a valley corridor and Regional Storm flood plain associated with a tributary of the Don River Watershed. In accordance with Ontario Regulation 41/24, development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, unstable soils, or bedrock will not be affected.

Application-Specific Comments

TRCA staff reviewed and issued a permit for the proposed two-storey Dwelling, in-ground pool, retaining wall, hard landscape, and associated grading (TRCA Permit No. PER-DPP-2024-00005, issued September 12, 2024). The plans submitted with this minor variance application are **not consistent** with the plans that were approved as part of TRCA's permit. The plans submitted as part of Minor Variance Application A011/25 include a Cabana in the rear yard, a structure that was not previously reviewed or approved by the TRCA.

TRCA requires the applicant to submit a permit revision application prior to initiating construction. Information about the permit revision process is attached in **Appendix A**.

Fees

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$660.00 (Minor Variance – Residential - Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

Recommendations

Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A009/25 subject to the following conditions:

1. That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.
2. That the applicant obtains a permit revision from TRCA to authorize the proposed works, pursuant to Ontario Regulation 41/24.

We trust these comments are of assistance. Should you have any questions, please contact me at 437-880-1925 or at cameron.mcdonald@trca.ca.

Sincerely,

Cameron McDonald

Cameron McDonald
Planner I

Development Planning and Permits | Development and Engineering Services
cameron.mcdonald@trca.ca, 437-880-1925

Appendix 'A': TRCA Permit Revision Requirements

As noted above, a revision to the previously approved permit is required to recognize the updated plans/drawings. To initiate the permit revision process, a digital copy of the following materials must be submitted to TRCA:

1. Complete Re-Issuance / Revision Application for Development, Interference with Wetlands & Alterations to Shorelines & Watercourses (Pursuant to Ontario Regulation 41/24):
<https://trcaca.s3.ca-central-1.amazonaws.com/app/uploads/2024/04/30135458/FA-TRCA-Development-Permit-Extension-Application-Form.pdf>
2. The following revised plans / drawings:
 - a. Site Plan
 - b. Grading Plan
 - c. Erosion and Sediment Control Plan
3. Permit Revision fee of \$497.50 (Permit Revision – 50% of current Works on Private Residential Property)

From: [Development Services](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A011/25 - 107 SIR MODESTO COURT - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Friday, February 21, 2025 10:05:36 AM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good morning,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Regards.

Gabrielle

Gabrielle Hurst MCIP, RPP | Associate Planner, Development Planning, Economic and Development Services Branch | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

| Correspondence Type | Name | Address | Date Received (mm/dd/yyyy) | Summary |
|---------------------|------|---------|-------------------------------|---------|
| N/A | | | | |

SCHEDULE D: BACKGROUND

| Application No. (City File) | Application Description (i.e. Minor Variance Application; Approved by COA / OLT) |
|-----------------------------|---|
| N/A | N/A |