ITEM: 6.2

REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A011/25

Report Date: May 30, 2025

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING DEPARTMENTS & AGENCIES (SEE SCHEDULE B):

Additional comments from departments and agencies received after the publication of the report will be made available on the City's <u>website</u>.

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Committee of Adjustment	Yes □	No ⊠	General Comments
Building Standards (Zoning)	Yes □	No ⊠	General Comments
Development Planning	Yes □	No ⊠	Recommend Approval/No Conditions
Development Engineering	Yes □	No □	Application Under Review
Development Finance	Yes □	No ⊠	General Comments

External Agencies *Comments Received	Conditions	Required	Nature of Comments *See Schedule B for full comments
Alectra	Yes □	No ⊠	General Comments
Region of York	Yes □	No ⊠	General Comments
TRCA	Yes ⊠	No □	General Comments w/Conditions

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
N/A				

BACKGROUND (SCHEDULE D, IF REQUIRED)		
* Background Information contains historical development approvals considered to be related to this file.		
This information should not be considered comprehensive.		
Application No. (City File)	Application Description	
.,	(i.e. Minor Variance Application; Approved by COA / OLT)	
N/A	N/A	

	ADJOURNMENT HISTORY		
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.			
Hearing Date Reason for Adjournmen		Reason for Adjournment (to be obtained from NOD_ADJ)	
	N/A	N/A	

SCHEDULES		
Schedule A	Drawings & Plans Submitted with the Application	
Schedule B	Comments from Agencies, Building Standards & Development Planning	
Schedule C (if required)	Public & Applicant Correspondence	
Schedule D (if required)	Background	



MINOR VARIANCE APPLICATION FILE NUMBER A011/25

CITY WARD #:	4
APPLICANT:	Adam Ryan Saul & Madison Jill Saul
AGENT:	Contempo Studio
PROPERTY:	107 Sir Modesto Court, Maple
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	N/A
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed two-storey dwelling and cabana.

The following variances have been requested from the City's Zoning By-law:

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

The subject lands are zoned R2A, subject to the provisions of Exception 14.847 and 14.850 under By-law 001-2021 as amended.

	7' D I 004 0004	Variance
#	Zoning By-law 001-2021	Variance requested
1	The maximum permitted encroachment of an uncovered platform is 2.4 metres into the required rear yard. [Table 4-1]	To permit an uncovered platform to encroach a maximum of 5.11 metres into the required rear yard.
2	A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall. [Table 4-1]	To permit a retaining wall with a height of 2.31 metres to be located at 0.0 metres from the interior lot line.
3	A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall. [Table 4-1]	To permit a retaining wall with a height of 1.75 metres to be located at 1.36 metres from the rear lot line.
4	A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall. [Table 4-1]	To permit a retaining wall (window well) with a height of 2.16 metres to be located at 0.57 metres from the interior lot line.
5	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 metres. [Section 4.1.4 1.]	To permit an accessory building (cabana) with a maximum height of 5.82 metres.
6	In the R2A Zone, any portion of a yard in excess of 135.0 square metres shall be comprised of a minimum 60% soft landscape.	To permit a minimum of 52.21% (295.73 m²) of the required minimum landscaped rear yard to be composed of soft landscaping.

HEARING INFORMATION

DATE OF MEETING: Thursday, June 5, 2025

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

HEARING INFORMATION PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the Request to Speak Form and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the Request to Speak Form on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT		
Date Public Notice Mailed:	May 22, 2025	
Date Applicant Confirmed Posting of Sign:	April 17, 2025	
Applicant Justification for Variances: *As provided in Application Form	Does not comply with By-laws	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: *ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.	Yes □ No ⊠	
COMMENTS:		
N/A		
Committee of Adjustment Recommended Conditions of Approval:	None	

BUILDING	STANDARDS (ZONING)	
**See Schedule B for Building Standards (Zoning) Comments		
Building Standards Recommended Conditions of Approval:	None	

DEVELOPMENT PLANNING		
**See Schedule B for Development Planning Comments.		
Development Planning Recommended Conditions of Approval:	None	

DEVELOPMENT ENGINEE	ERING
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Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation

TBD

Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation Development Engineering Recommended Conditions of Approval: Link to Curb Curt Permit Link Culvert Installation Link to Curb Curt Permit Link Culvert Installation TBD

PARKS, FORES	TRY & HORTICULTURE (PFH)
No comments received to date.	
PFH Recommended Conditions of Approval:	None

DEVEL	OPMENT FINANCE
No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANC	E, LICENSING AND PERMIT SERVICES
No comments received to date.	
BCLPS Recommended Conditions of Approval:	None

BUILDING	INSPECTION (SEPTIC)
No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

FIR	E DEPARTMENT
No comments received to date.	
Fire Department Recommended Conditions of Approval:	None

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering	TBD
	jonal.hall@vaughan.ca	
2	TRCA	
	Cameron.McDonald@trca.ca	That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority. 2. That the applicant obtains a permit revision from TRCA to authorize the proposed works, pursuant to Ontario Regulation 41/24.

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

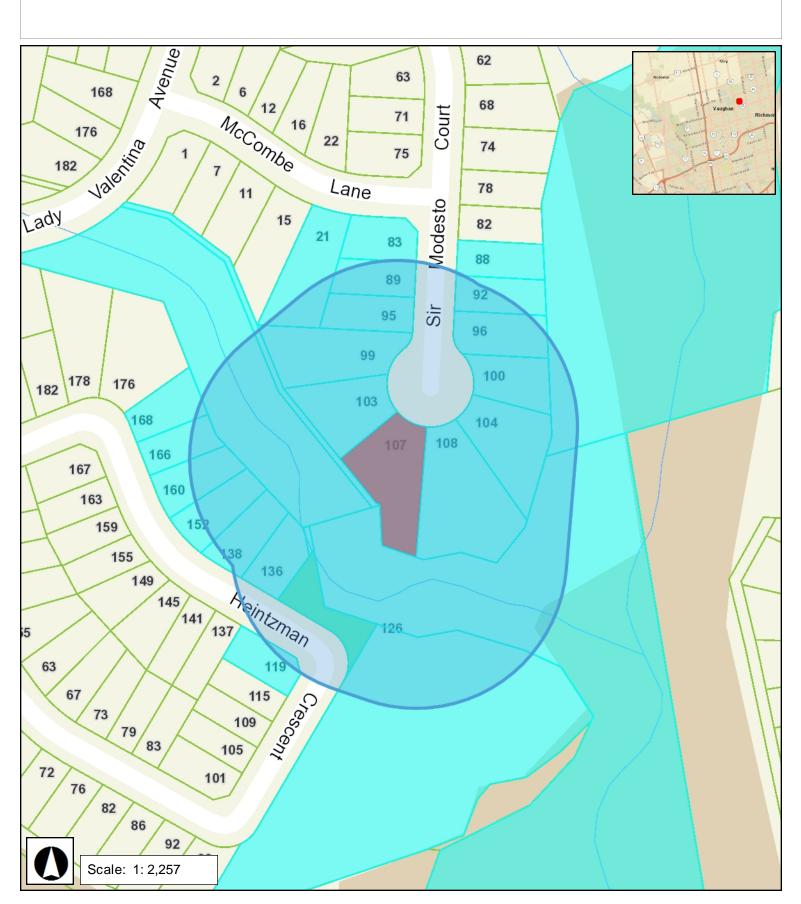
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

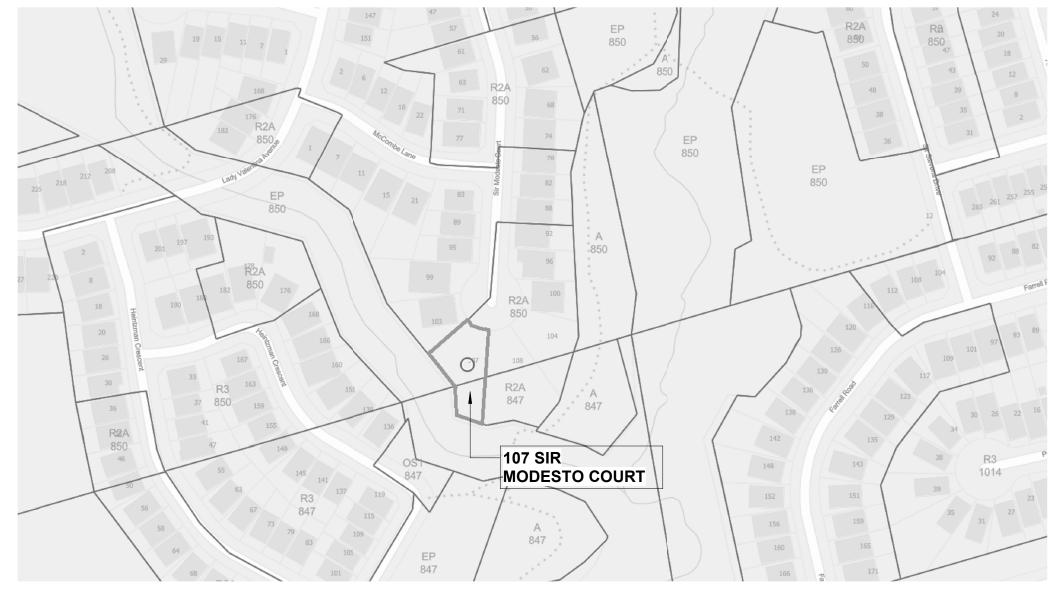
SCHEDULE A: DRAWINGS & PLANS



VAUGHAN Minor Variance Application A011/25













3 3D View 3

PROJECT:

107 SIR MODESTO COURT, VAUGHAN, ON

Project number: 2023-25 Date: FEBRUARY, 2025 ISSUED FOR: PERMIT SUBMISSION

ARCHITECTURAL DESIGN CONTEMPO STUDIO

1140 THE QUEENSWAY Toronto, Ontario M8Z 1P7 info@contempostudio.ca w. contempostudio.ca t. 416 770 0071 f. 416 642 1691

CONTRACTOR

Sheet Name

Sheet List

COVER PAGE 3D VIEWS **GENERAL NOTES** A0.2 A0.3 CONSTRUCTION NOTES CONSTRUCTION ASSEMBLIES A0.4 **A**1 SITE PLAN A1.1 LANDSCAPE DIAGRAM LOT COVERAGE & GFA DIAGRAMS BASEMENT PLAN FIRST FLOOR PLAN SECOND FLOOR PLAN **ROOF PLAN** FRONT (NORTH) ELEVATION FRONT (NORTHEAST) ELEVATION LEFT (EAST) ELEVATION REAR (SOUTH) ELEVATION REAR (SOUTHWEST) ELEVATION RIGHT (NORHTWEST) ELEVATION WINDOW & DOOR SCHEDULES ELEVATION AREAS (FOR HVAC USE ONLY) A13 A14 SECTION 1 SECTION 2 A15 **SECTION 3** 3D SECTION A17 A18 3D SECTION **DETAILS** A19 A20 **DETAILS DETAILS** A22 CABANA FOUNDATION PLAN A23 CABANA FLOOR PLAN CABANA ROOF PLAN A24 A25 CABANA FRONT ELEVATION A26 CABANA LEFT ELEVATION CABANA REAR ELEVATION

STRUCTURAL ENGINEERS GBSI - ONTARIO GEOTECHNICAL AND BUILDING SERVICES INC.

CABANA RIGHT ELEVATION RETAINING WALL SECTIONS

info@ogbsi.com t. 416 859 7139

A28

This drawing, as an instrument of service, is provided by and is the property of Contempo Studio. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Contempo Studio of any variations from the supplied information.

This drawing is not to be scaled.

The designer is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked 'for construction' must assume full responsibility and bear costs for any corrections or damages resulting from his work.

The copyright of this drawing is vested in Contempo Studio and it may not be reproduced in whole or part or used for the manufacture of any article without the express written permission.

Issued for:

contempostudio

1140 The Queensway, Toronto, Ontario M8Z 1P7 info@contempostudio.ca w. contempostudio.ca t. (416) 770-0071 f. (416) 642-1691

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the

QUALIFICATION INFORMATION Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

MARIN 7AR7IINI

45250

REGISTRATION INFORMATION Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.

CONTEMPO STUDIO FIRM NAME

107 SIR MODESTO COURT, VAUGHAN, ON

PROPOSED 2-STOREY DWELLING

COVER PAGE

Project number: Rev. no.: Scale: Date: Drawn by: Approved by:

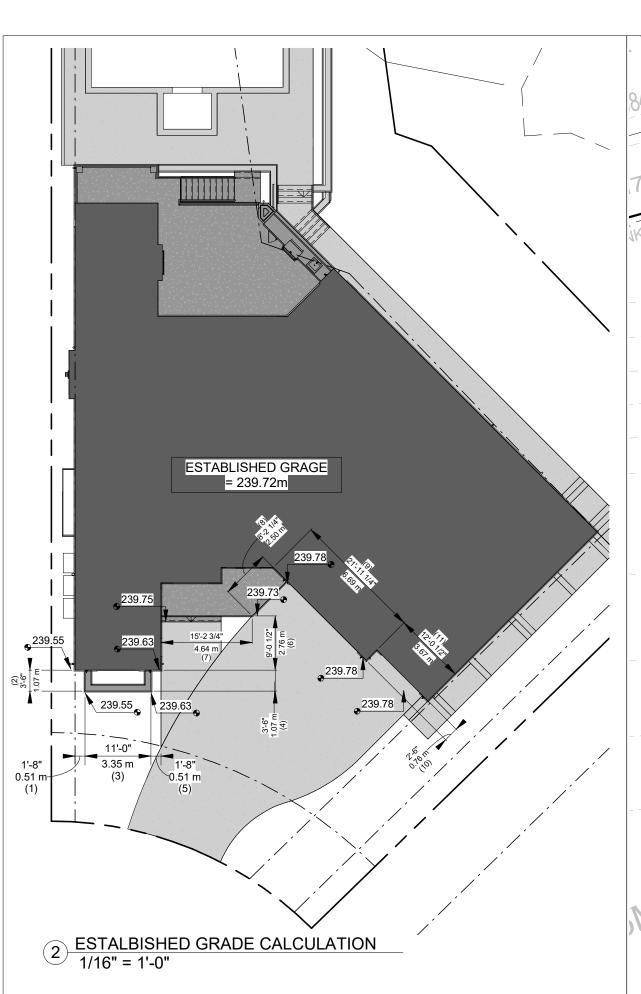
Drawing number:

HVAC CONSULTANT



2023-25

J.T. + M.R.



Wall Segment	Wall Start Grade	Wall End Grade	Wall Average Grade	Wall Length	Product
1	239.55	239.55	239.55	0.51	122.17
2	239.55	239.55	239.55	1.07	256.32
3	239.55	239.63	239.59	3.35	802.63
4	239.63	239.63	239.63	1.07	256.40
5	239.63	239.63	239.63	0.51	122.21
6	239.63	239.73	239.68	2.76	661.52
7	239.75	239.73	239.74	4.64	1,112.39
8	239.73	239.78	239.76	2.50	599.39
9	239.78	239.78	239.78	6.69	1,604.13
10	239.78	239.78	239.78	0.76	182.23
11	239.78	239.78	239.78	3.67	879.99
Total			2,636.47	27.53	6,599.38

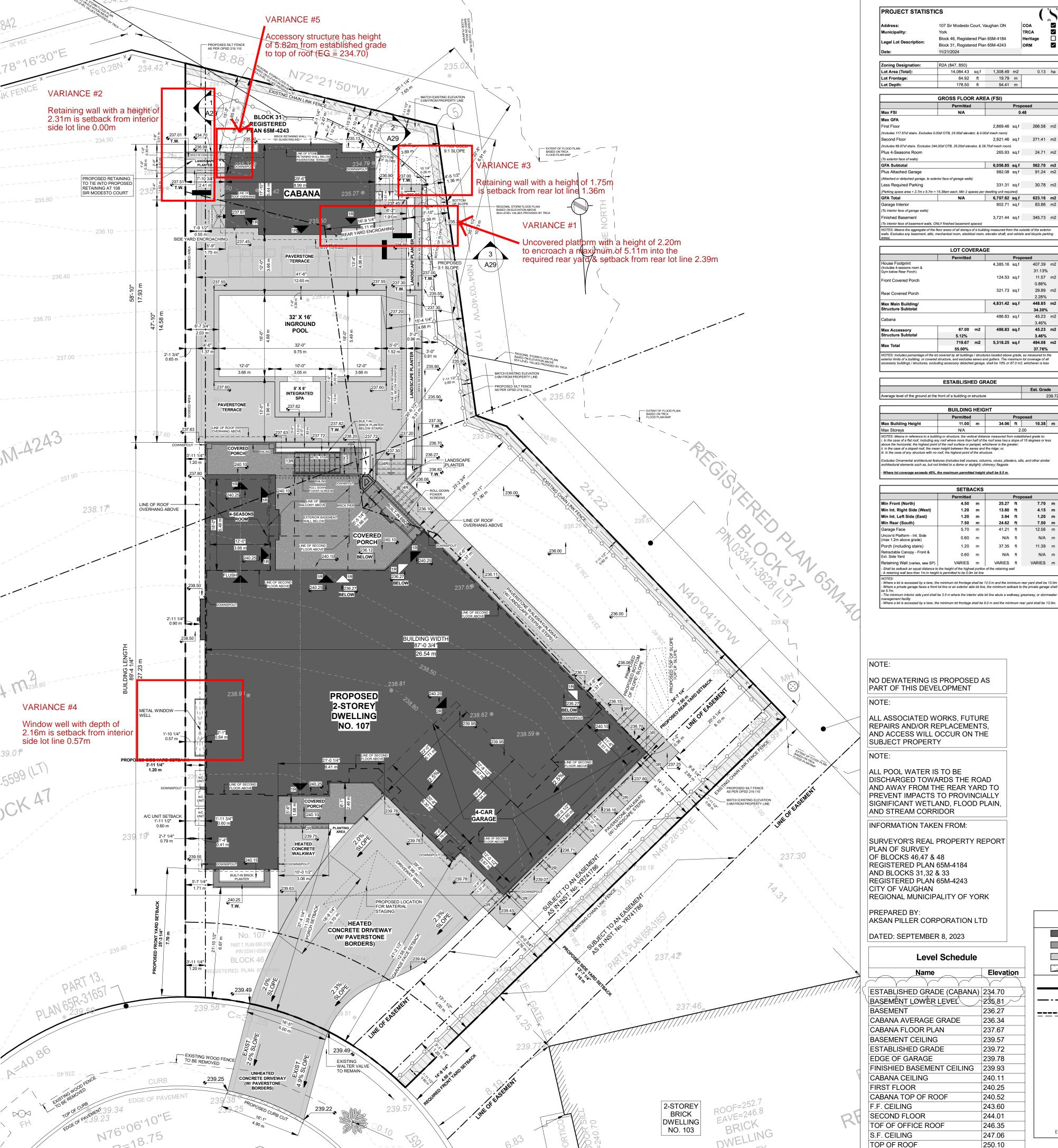
Development and Engineering Services Required for all Ontario Regulation 166/06 Permit or Voluntary Project Review Applications Interim September 2020

1 SITE PLAN 1" = 10'-0"



Section 1	Site Management
Section 1.	Site Muliagement
#	Standard Notes
1	Erosion and Sediment Control (ESC) measures will be implemented prior to, and maintained during the construction phases, to prevent er of sediment into the water. All damaged erosion and sediment control measures should be repaired and/or replaced within 48 hours of the inspection.
2	Disturbed areas will be minimized to the extent possible, and temporarily or permanently stabilized or restored as the work progresses.
3	All in-water and near-water works will be conducted in the dry with appropriate erosion and sediment controls.
4	The erosion and sediment control strategies outlined on the plans are not static and may need to be upgraded/amended as site condition change to minimize sediment laden runoff from leaving the work areas. If the prescribed measures on the plans are not effective in preventing the release of a deleterious substance, including sediment, then alternative measures must be implemented immediately to minimize potential ecological impacts. TRCA Enforcement Officer should be immediately contacted. Additional ESC measures to be kept o site and used, as necessary.
_	An Environmental Monitor will attend the site to inspect all new controls immediately after installation. Inspection of ESC measures to be occur, at minimum: On a weekly basis;
5	Prior to significant rainfall events (minimum predicted 25mm over 24 hours);
	 After every rainfall/snowmelt event; and Daily during extended rainfall periods. Inspections will focus on measures related to erosion and sediment controls, dewatering or unwatering, restoration and in- or near-water works. Should concerns arise on site the Environmental Monitor will contact the TRCA Enforcement Officer as well as the proponent.
6	All activities, including maintenance procedures, will be controlled to prevent the entry of petroleum products, debris, rubble, concrete or other deleterious substances into the water. Vehicular refueling and maintenance will be conducted a minimum of 30 metres from the water.
7	All grades within the Regulatory Flood Plain will be maintained or matched.
8	The proponent/contractor shall monitor the weather several days in advance of the onset of the project to ensure that the works will be conducted during favourable weather conditions. Should an unexpected storm arise, the contractor will remove all unfixed items from the Regional Storm Flood Plain that would have the potential to cause a spill or an obstruction to flow, e.g., fuel tanks, porta-potties, machine equipment, construction materials, etc.
9	All dewatering/unwatering shall be treated and released to the environment at least 30 metres from a watercourse or wetland and allow drain through a well-vegetated area. No dewatering effluent shall be sent directly to any watercourse, wetland or forest, or allowed to dra onto disturbed soils within the work area. These control measures shall be monitored for effectiveness and maintained or revised to meet objective of preventing the release of sediment laden water.
10	All access to the work site shall be from either side of the watercourse. No equipment or vehicles are permitted to cross through the watercourse unless approved by TRCA.
Section 2: agencies)	Construction Timing Best Management Practices (the proponent/contractor should confirm directly with applicable provincial and federal
11	Prior to site disturbance the contractor/proponent should ensure that the works are in conformance with the <i>Migratory Birds Convention Act.</i> Please note that the general breeding bird timing window for this area is April 1st to August 31st, however, breeding activities might initiate prior to and continue past this period.
12	Where impacts to local fish populations may occur during their spawning, nursery and migratory periods, construction timing windows sh apply to in-water or near-water activities. The proponent/contractor should confirm applicability and dates with appropriate provincial arfederal agencies.
Section 3:	Fish and Wildlife Relocation
13	Fish and wildlife stranded within the work area shall be captured and released live in suitable habitat upstream of the work area under the supervision of qualified aquatic technical staff. The proponent/contractor should confirm requirements directly with Ministry of Natural Resources and Forestry.
Section 4:	Environmental Compliance
14	Please notify TRCA Enforcement Officer (xxx at 416.661-6600, ext. xxxx, email), and TRCA Project Manager (xxx at 416.661.6600, ext. xxxx email) 48 hours prior to commencing construction.
15	An Environmental Monitor will be on site, and provide advice, to ensure that activities that could have a negative impact to the natural environment are effectively mitigated as construction proceeds. The Environmental Monitor shall notify the TRCA Enforcement Officer and Project Manager if issues arise.

D:\001- Contempo Studio\05-107 Sir Modesto\Revit\2025.02.13\107 Sir Modesto (CABANA) - Working Drawing - 2025.02.13.rvt



PROJECT STATISTICS Block 46, Registered Plan 65M-4184 Block 31, Registered Plan 65M-4243 Lot Area (Total): 14,084.43 sq.f 1,308.49 m2 0.13 ha 64.92 ft 178.50 ft **GROSS FLOOR AREA (FSI)** Permitted 2,869.46 sq.f 266.58 m2 2,921.46 sq.f 271.41 m2 (Includes 69.67sf stairs. Excludes 244.00sf OTB, 25.00sf elevator, & 28.75sf mech room) Plus 4-Seasons Room (To exterior face of walls) 6,056.85 sq.f 562.70 m2 982.08 sq.f 91.24 m2 Plus Attached Garage (Attached or detached garage, to exterior face of garage walls) 331.31 sq.f 30.78 m2 Less Required Parking
 (Parking space area = 2.7m x 5.7m = 15.39sm each. Min 2 spaces per dwelling unit required)

 GFA Total
 N/A
 6,707.62
 sq.f.
 N/A 6,707.62 sq.f 623.16 m2 Garage Interior (To interior face of garage walls) Finished Basement 3,721.44 sq.f 345.73 m2 LOT COVERAGE used to enhance the visual amenity of a property landscape = open land used for grass, flowers, shrubs, trees, and similar vegetation, and may include granular 321.73 sq.f 29.89 m2

ront Covered Porch 4,831.42 sq.f 448.85 m2 **ESTABLISHED GRADE** Front, Rear, Ext. Side Yard

	BUILDING	HEIG	HT				
Permitted Pro				Prop	posed		
Max Building Height	11.00	m	34.06	ft	10.38	m	
Max Storeys N/A 2.00							
Max Storeys NOTES: Means in reference to a but in the case of a flat roof, including above the horizontal, the highest po	uilding or structure, the ven any roof where more than aint of the roof surface or p	n half of ti arapet, w	he roof area has a hichever is the gre	m estai slope d	blished grade to:	ess	
NOTES: Means in reference to a bu i. In the case of a flat roof, including	illding or structure, the ver any roof where more than int of the roof surface or p nean height between the e no roof, the highest point of features (includes belt cou	n half of the parapet, we paves and of the stru urses, colu	he roof area has a chichever is the gre if the ridge; or, acture. umns, coves, pilas	m estai slope d eater;	blished grade to: of 15 degrees or le		

	SETBA	CKS			
	Permitted			Prop	osed
Min Front (North)	4.50	m	25.27	ft	7.70
Min Int. Right Side (West)	1.20	m	13.60	ft	4.15
Min Int. Left Side (East)	1.20	m	3.94	ft	1.20
Min Rear (South)	7.50	m	24.62	ft	7.50
Garage Face	5.70	m	41.21	ft	12.56
Uncov'd Platform - Int. Side (max 1.2m above grade)	0.60	m	N/A	ft	N/A
Porch (including stairs)	1.20	m	37.35	ft	11.39
Retractable Canopy - Front & Ext. Side Yard	0.60	m	N/A	ft	N/A
Retaining Wall (varies, see SP)	VARIES	m	VARIES	ft	VARIES
- Shall be setback an equal distance to the - A retaining wall less than 1m in height is p			of the retaining w	all	
NOTES: - Where a lot is accessed by a lane, the miner where a private garage faces a front lot libe 5.7m The minimum interior side yard shall be 3.	ne or an exterior sid	le lot line	, the minimum set	back to	the private gara

NOTE:			

ALL ASSOCIATED WORKS, FUTURE REPAIRS AND/OR REPLACEMENTS, AND ACCESS WILL OCCUR ON THE SUBJECT PROPERTY

ALL POOL WATER IS TO BE DISCHARGED TOWARDS THE ROAD AND AWAY FROM THE REAR YARD TO PREVENT IMPACTS TO PROVINCIALLY SIGNIFICANT WETLAND, FLOOD PLAIN, AND STREAM CORRIDOR

INFORMATION TAKEN FROM:

SURVEYOR'S REAL PROPERTY REPORT PLAN OF SURVEY OF BLOCKS 46,47 & 48 REGISTERED PLAN 65M-4184 AND BLOCKS 31,32 & 33 REGISTERED PLAN 65M-4243 CITY OF VAUGHAN REGIONAL MUNICIPALITY OF YORK

AKSAN PILLER CORPORATION LTD DATED: SEPTEMBER 8, 2023

Level Schedule Elevation

250.10

_		
٦	ESTABLISHED GRADE (CABANA)	234.70
/	BASEMÊNT LOWÊR LEVEL	235.81
	BASEMENT	236.27
	CABANA AVERAGE GRADE	236.34
	CABANA FLOOR PLAN	237.67
	BASEMENT CEILING	239.57
	ESTABLISHED GRADE	239.72
	EDGE OF GARAGE	239.78
	FINISHIED BASEMENT CEILING	239.93
	CABANA CEILING	240.11
	FIRST FLOOR	240.25
	CABANA TOP OF ROOF	240.52
	F.F. CEILING	243.60
	SECOND FLOOR	244.01
	TOF OF OFFICE ROOF	246.35
	S.F. CEILING	247.06

LANDSCAPE AREA							
	Permitt		Prop	osed			
otal Front Yard Area (Contains Driveway)							
Total Front Yard Area			2,514.53	sq.f	233.61		
Excluding							
Porch & Steps	134.57	sq.f	12.50				
Driveway/Ramp			1,120.19	sq.f	104.07		
Total Front Yard	116.80	m2	1,259.77	sq.f	117.04		
Landscaping Area	50.00%				50.10%		
Less Hardscaping							
Walkway			150.80	sq.f	14.01		
Patios/Terraces			0.00	sq.f	0.00		
Retaining Wall			16.00	sq.f	1.49		
Total Front Yard	70.08	m2	1,092.97	sq.f	101.54		
Softscaping Area	60.00%	%			86.76%		
			<u> </u>		·		

Total Front Yard	70.08	m2	1,092.97	sq.f	101.54	m2
Softscaping Area	60.00	60.00%			86.76%	
Total Rear Yard Area (greater	than 132.00 m2	2)				
Total Rear Yard Area			6,096.47	sq.f	566.38	m2
Excluding						
Porch & Steps		630.65	sq.f	58.59	m2	
Lower Terrace			0.00	sq.f	0.00	m2
Total Rear Yard			5,465.82	sq.f	507.79	m2
Landscaping Area					89.66%	
Less Hardscaping						
Walkway			328.33	sq.f	30.50	m2
Cabana			486.83	sq.f	45.23	m2
Patios/Terraces			1,335.77	sq.f	124.10	m2
Retaining Walls			131.67	sq.f	12.23	m2
Hard-surface arch. element			0.00	sq.f	0.00	m2
Total Rear Yard	339.83	m2	3,183.22	sq.f	295.73	m2
Softscaping Area	60.00	%			52.21%	

sidential Zone, except for RM Zones the following requirements shall apply to the yard in which a driveway is ere lot frontage is between 6.0 m and 11.99 m, the min. landscape shall be 33%, of which 60% shall be soft rd landscape = artificial turf, unit pavers, patio stones, concrete, decorative stonework or other arch, elements designed

Permitted		Prop	oosed	
2.90 m	20.50	-	0.00	
9.00 m	29.50 π		8.99	m
Not Permitted	N/A	ft	N/A	m
1.00		1	.00	
2.00		4	.00	
	2.90 m 9.00 m Not Permitted	2.90 m 9.00 m 29.50 Not Permitted N/A 1.00	2.90 m 9.00 m 29.50 ft Not Permitted N/A ft	2.90 m 9.00 m 29.50 ft 8.99 Not Permitted N/A ft N/A 1.00 1.00

ENCROACHMENTS

Air Conditioner						
Window Mount - Any Yard	0.60	m	N/A	ft	N/A	m
Ground - Int. Side Yard	1.00	m	N/A	ft	N/A	m
Ground - Rear / Ext. Side	1.50	m	N/A	ft	N/A	m
Ground - Front Yard	0.00	m	N/A	ft	N/A	m
Wall Mount - Int. Side Yard	0.60	m	1.98	ft	0.60	m
Wall Mount - Rear / Ext. Side	1.00	m	N/A	ft	N/A	m
Wall Mount - Front Yard	Not Permitted	m	N/A	ft	N/A	m
Awning / Canopy						
Attached - Any Yard	0.60	m	1.17	ft	0.36	m
Retractable - Front Yard	0.60	m	N/A	ft	N/A	m
	Up to 0.6 fro	om lot line	•			
Retractable - Ext. Side Yard	1.00	m	N/A	ft	N/A	m
Retractable - Rear Yard	1.80	m	N/A	ft	N/A	m
Retractable - Int. Side Yard	0.00	m	N/A	ft	N/A	m
Balcony						
Front, Rear, Ext. Side Yard	1.50	m	0.00	ft	0.00	m
Int. Side Yard	0.00	m	0.00	ft	0.00	m
Chimney / Fireplace Enclosur	е					
Any Yard	0.60	m	1.00	ft	0.30	m
Uncovered Platform w/ Heigh	t < or = 1.2m Abov	e Grad	e, Including A	cces	s Stairs	
Int. Side Yard	0.60	m	1.80	ft	0.55	m
	Up to 0.6 fro	om lot line	•			
Rear / Ext. Side Yard	2.40	m	N/A	ft	N/A	m
Front Yard	Not Permitted	m	N/A	ft	N/A	m
Uncovered Platform w/ Heigh	t > 1.2m Above Gra	ade, Ind	cluding Acces	s Sta	irs	
Rear Yard	2.40	m	16.77	ft	5.11	m
Front, Int. & Ext. Side Yard	Not Permitted	m	N/A	ft	N/A	m
Eaves / Gutters						
Any Yard	0.50	m	1.33	ft	0.41	m
Ornamental Building Feature	_					
Any Yard	0.60	m	N/A	ft	N/A	m
Porch, Including Access Stair	rs					
Front, Rear & Ext. Side Yard	2.00	m	5.44	ft	1.66	m
Int. Side Yard	Not Permitted	m	N/A	ft	N/A	m
Window Projection			•			
Any Yard	1.00	m	N/A	ft	N/A	m

	ACCESSORY S			_	-	
	Permitted Proposed					
Max # of Accessory Bldgs.		3.00		1	.00	
(Max 3 allowed, excluding any detached private garage or carport)						
Max Coverage	67.00	m2	486.83	sq.f	45.23	m2
(total of all accessory)	5.12%					3.46%
Max Height	3.00	m	19.07	ft	5.81	m
A residential accessory structure with a other cases, a residential accessory stru					2.4 m to any lot lin	e. In a
Min Front Setback	4.50	m	N/A	ft	N/A	m
Min Int. Side Setback	2.40	m	7.90	ft	2.41	m
	0.40	m	8.10	ft	2.47	m
Min Rear Setback	2.40					

OUTDOOR POOL						
	Permitted		Proposed			
Max Height	2.00	m	INC	ROU	ND POOL	
Min Int. Side Setback	1.50	m	6.65	ft	2.03	m
Min Rear Setback	1.50	m	15.35	ft	4.68	m

LEGEND MAIN FOOTPRINT (PORCH, DECK, STEP, PLANTER WALL, WALK-UP BUILT LANDSCAPING HARD LANDSCAPING SOFT LANDSCAPING PROPERTY LINE SETBACKS EXISTING ELEMENTS TO BE REMOVED EXISTING GRADE MARKER

EXISTING TREES EXISTING TREES TO BE REMOVED

PROPOSED TREES

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VARIANCE #6

52.21% (295.73 sq.m) of required minimum rear yard to be comprised of soft landscaping

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VARIANCE #1

Uncovered platform with a height of 2.20m to encroach a maximum of 5.11m into the required rear yard & setback from rear lot line 2.39m

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Accessory structure has height of 5.82m from established grade to top of roof (EG = 234.70)

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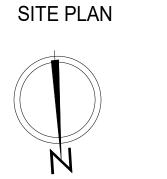
MARIN ZABZUNI SIGNATURE REGISTRATION INFORMATION Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.

CONTEMPO STUDIO FIRM NAME

PROPOSED 2-STOREY DWELLING

ΑT

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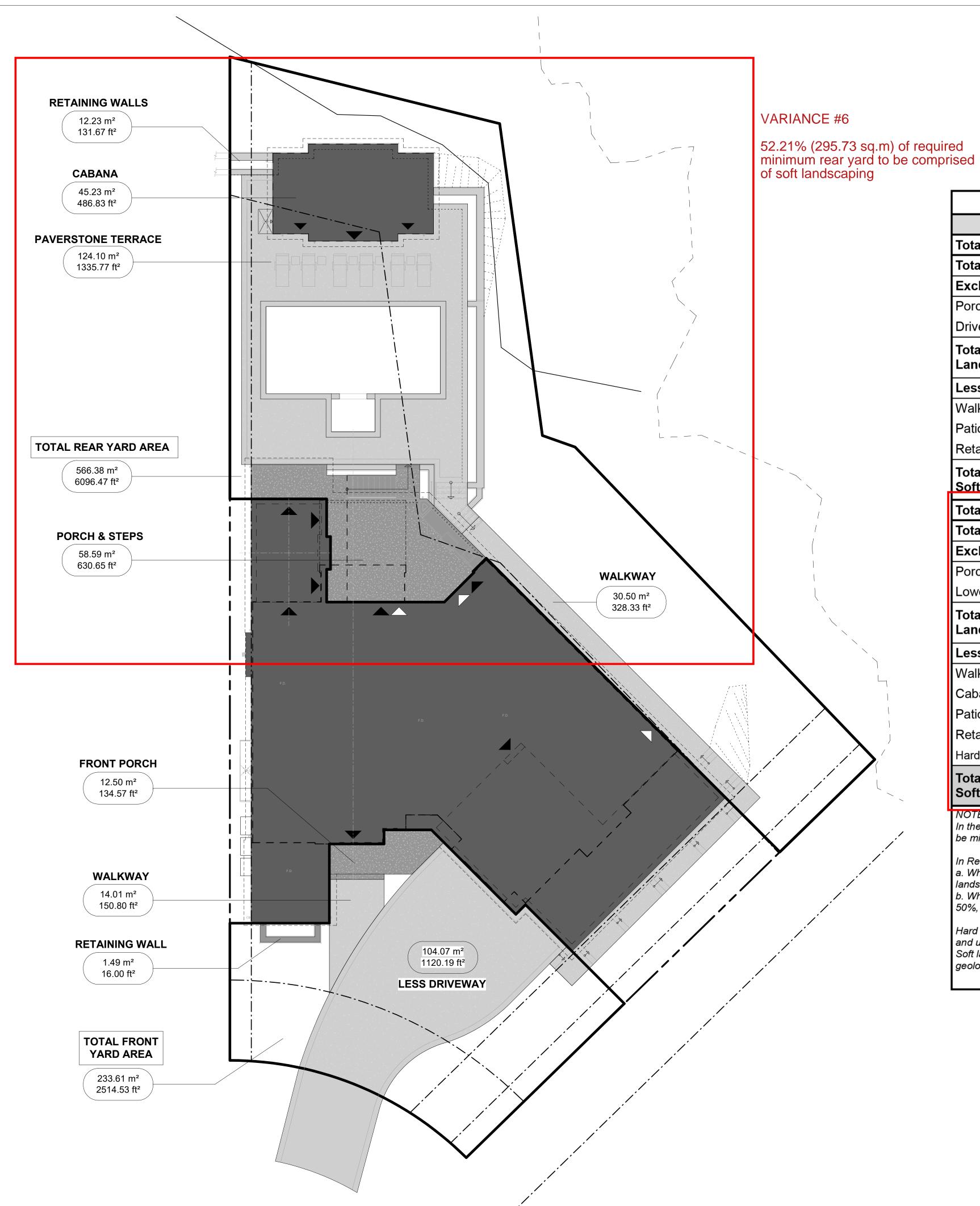
Drawn by: Approved by:

Drawing number:

J.T. + M.R. + C.C

2023-25

As indicated FEBRUARY, 2025



1 LANDSCAPE DIAGRAM
1" = 10'-0"

D:\001- Contempo Studio\05-107 Sir Modesto\Revit\2025.02.13\107 Sir Modesto (CABANA) - Working Drawing - 2025.02.13.rvt

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damages resulting from his work.

LANDSCAPE AREA						
	Permitt	ted		Prop	osed	
Total Front Yard Area (Contain	ns Driveway)					
Total Front Yard Area			2,514.53	sq.f	233.61	m2
Excluding						
Porch & Steps			134.57	sq.f	12.50	m2
Driveway/Ramp			1,120.19	sq.f	104.07	m2
Total Front Yard	116.80	m2	1,259.77	sq.f	117.04	m2
Landscaping Area	50.009	%			50.10%	
Less Hardscaping						
Walkway			150.80	sq.f	14.01	m2
Patios/Terraces			0.00	sq.f	0.00	m2
Retaining Wall			16.00	sq.f	1.49	m2
Total Front Yard	70.08	m2	1,092.97	sq.f	101.54	m2
Softscaping Area	60.00	%			86.76%	
Total Rear Yard Area (greater	than 132.00 m2	2)				
Total Rear Yard Area			6,096.47	sq.f	566.38	m2
Excluding			_			
Porch & Steps			630.65	sq.f	58.59	m2
Lower Terrace			0.00	sq.f	0.00	m2
Total Rear Yard			5,465.82	sq.f	507.79	m2
Landscaping Area					89.66%	
Less Hardscaping						
Walkway			328.33	sq.f	30.50	m2
Cabana			486.83	sq.f	45.23	m2
Patios/Terraces			1,335.77	sq.f	124.10	m2
Retaining Walls			131.67	sq.f	12.23	m2
Hard-surface arch. element			0.00	sq.f	0.00	m2
Total Rear Yard	339.83	m2	3,183.22	sq.f	295.73	m2
Softscaping Area	60.009	%			52.21%	

In the R1, R1A, R1B, R1C, R1D, R1E, R2, R2A, R3, R4, R5 & RT Zones, any portion of a yard in excess of 135.0 m2 must be min 60% soft landscape.

- In Residential Zone, except for RM Zones the following requirements shall apply to the yard in which a driveway is located: a. Where lot frontage is between 6.0 m and 11.99 m, the min. landscape shall be 33%, of which 60% shall be soft
- b. Where lot frontage is 12.0 m or greater, or where lot contains circular driveway, the min. landscape requirement shall be 50%, of which 60% shall be soft landscaping.

Hard landscape = artificial turf, unit pavers, patio stones, concrete, decorative stonework or other arch. elements designed and used to enhance the visual amenity of a property

Soft landscape = open land used for grass, flowers, shrubs, trees, and similar vegetation, and may include granular geological materials.

VARIANCE #6

52.21% (295.73 sq.m) of required minimum rear yard to be comprised of soft landscaping

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MARIN ZABZUNI

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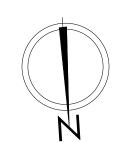
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CONTEMPO STUDIO FIRM NAME

PROPOSED 2-STOREY DWELLING

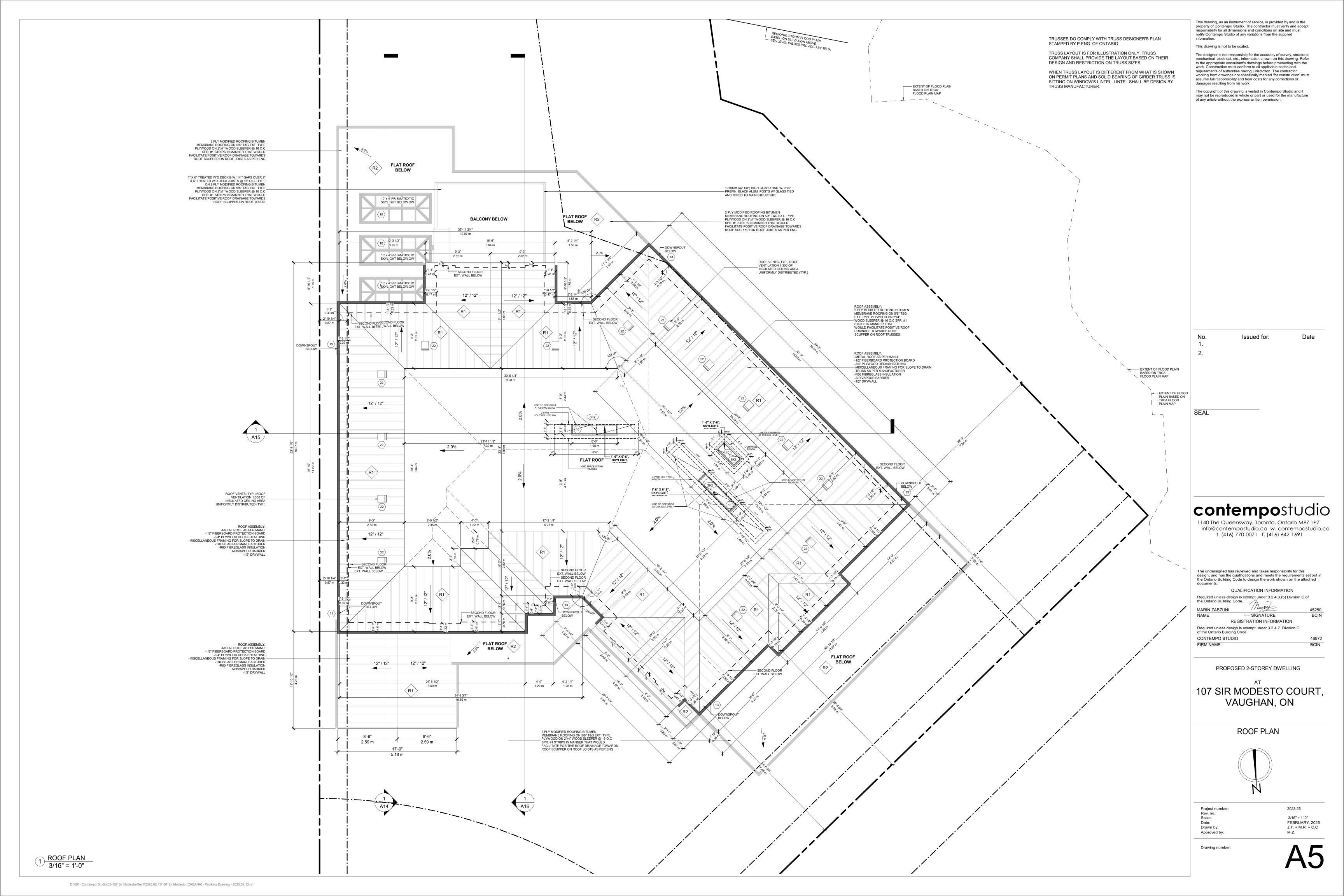
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LANDSCAPE DIAGRAM



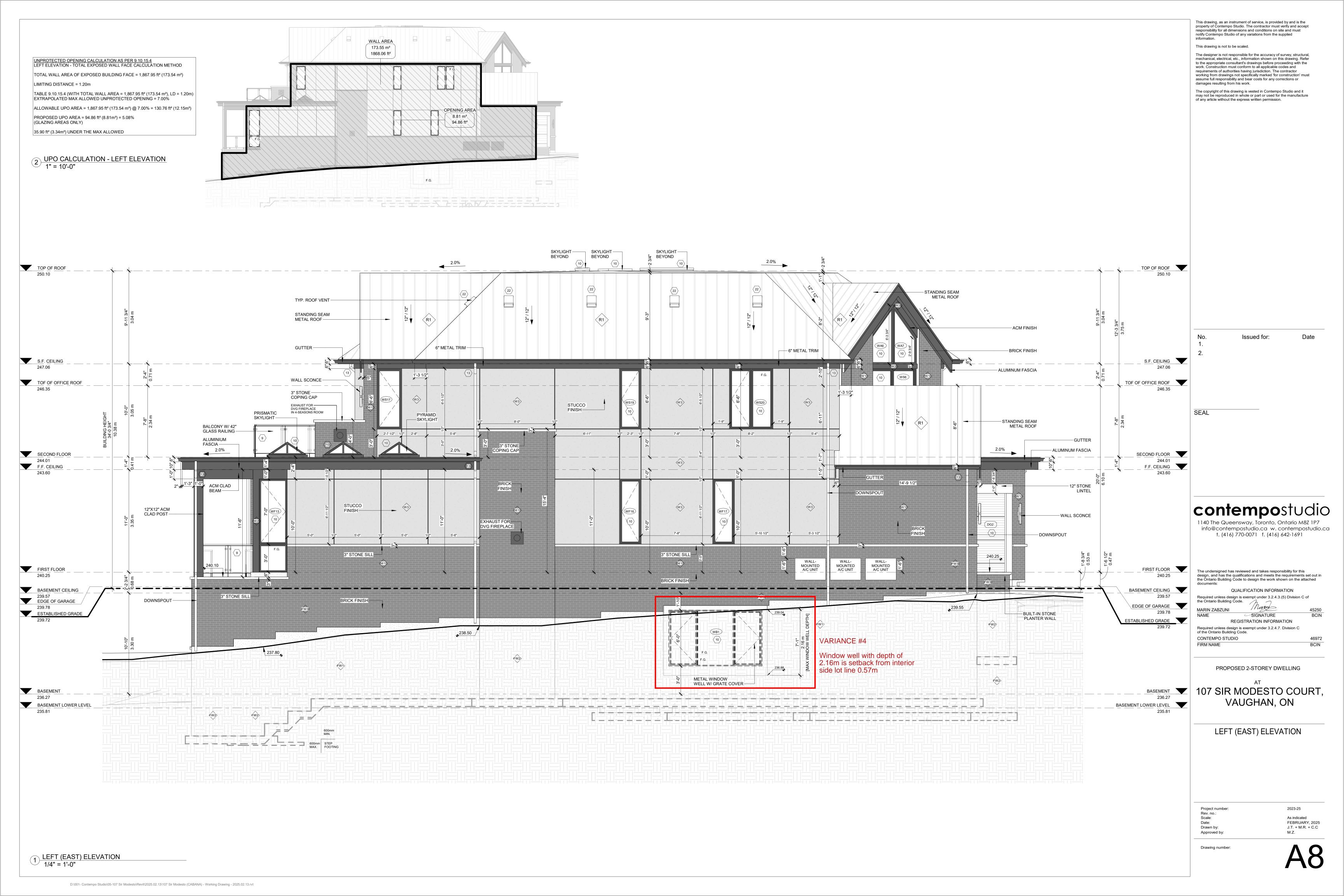
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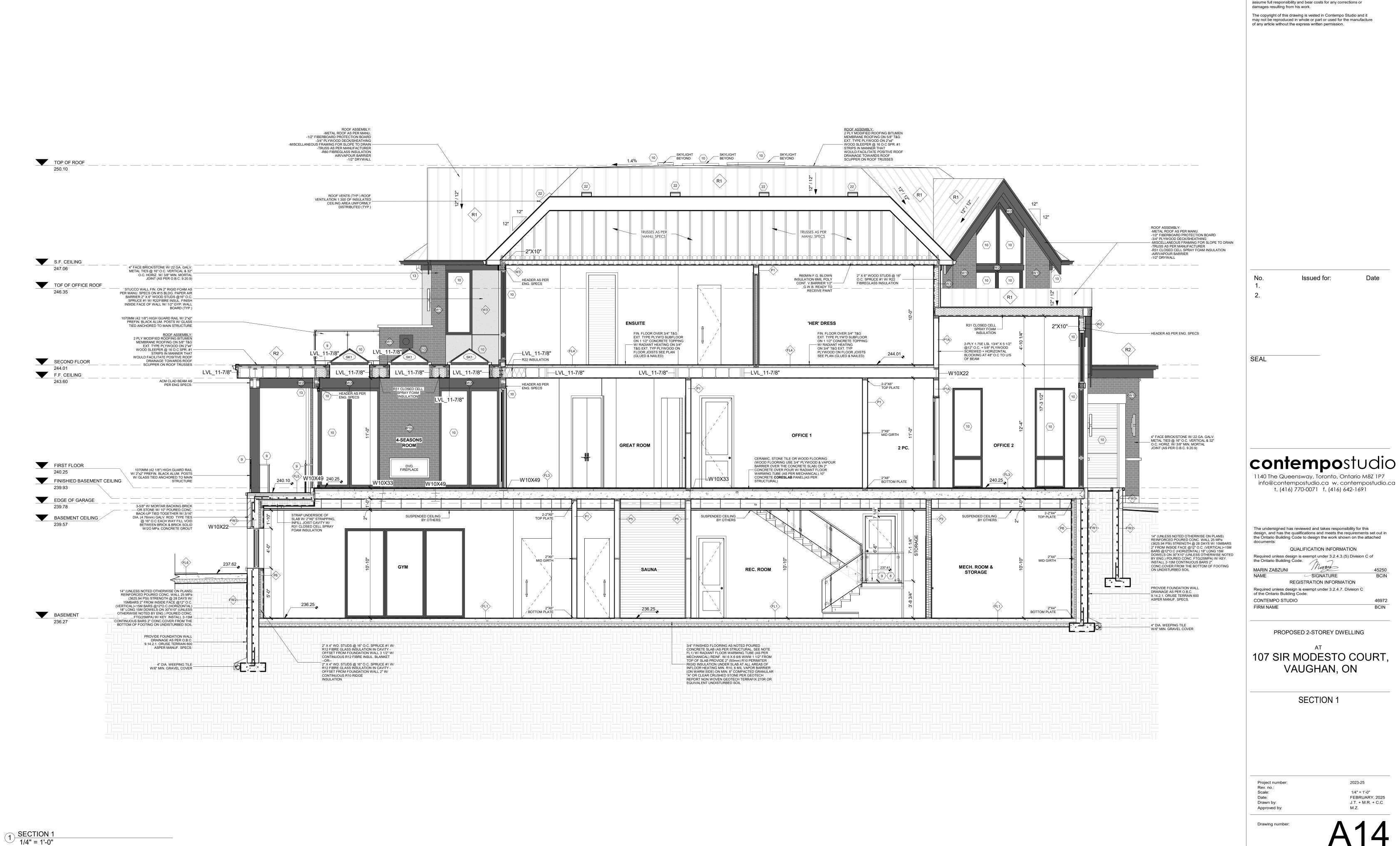












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damages resulting from his work. ROOF ASSEMBLY:
2 PLY MODIFIED ROOFING BITUMEN
MEMBRANE ROOFING ON 5/8" T&G
EXT. TYPE PLYWOOD ON 2"*4"

WOOD SLEEPER @ 16 O.C SPR. #1
STRIPS IN MANNER THAT
WOULD FACILITATE POSITIVE ROOF
DRAINAGE TOWARDS ROOF
SCUPPER ON ROOF TRUSSES SKYLIGHT ABOVE $\langle 10 \rangle$ ROOF ASSEMBLY:
-METAL ROOF AS PER MANU.
-1/2" FIBERBOARD PROTECTION BOARD
-3/4" PLYWOOD DECK/SHEATHING ROOF ASSEMBLY:
-METAL ROOF AS PER MANU.
-1/2" FIBERBOARD PROTECTION BOARD
-3/4" PLYWOOD DECK/SHEATHING
-MISCELLANEOUS FRAMING FOR SLOPE TO DRAIN
-TRUSS AS PER MANUFACTURER
-R60 FIBREGLASS INSULATION
AIR/VAPOUR BARRIER
-1/2" BYWMAI I -MISCELLANEOUS FRAMING FOR SLOPE TO DRAIN —
-TRUSS AS PER MANUFACTURER
-R60 FIBREGLASS INSULATION
AIR/VAPOUR BARRIER R31 CLOSED CELL SPRAY FOAM INSULATION -1/2" DRYWALL TRUSSES AS PER LIGHT WELL TRUSSES AS PER MANU. SPECS MANU. SPECS S.F. CEILING STUCCO WALL FIN. ON 2" RIGID FOAM AS PER R60MIN F.G. BLOWN INSULATION 6MIL POLY_____ CONT. V.BARRIER 1/2" _ 2-2"X6" TOP PLATE STUCCO WALL FIN. ON 2" RIGID FOAM AS PER MANU. SPECS ON #15 BLDG. PAPER AIR BARRIER 2" X 6" WOOD STUDS @16" O.C. SPRUCE #1 W/ R22FIBRE INSUL. FINISH - INSIDE FACE OF WALL W/ 1/2" GYP. WALL BOARD (TYP.) R60MIN F.G. BLOWN INSULATION 6MIL POLY MANU. SPECS ON #15 BLDG. PAPER AIR BARRIER

- 2" X 6" WOOD STUDS @16" O.C. SPRUCE #1 W/
R22FIBRE INSUL. FINISH INSIDE FACE OF WALL CONT. V.BARRIER 1/2" —
G.W.B. READY TO
————RECEIVE PAINT G.W.B. READY TO RECEIVE PAINT TOF OF OFFICE ROOF W/ 1/2" GYP. WALL BOARD (TYP.) 246.35 __ 2" X 6" WOOD STUDS @ 16" O.C. SPRUCE #1 W/ R22 FIBREGLASS INSULATION 2" X 6" WOOD STUDS @ 16" O.C. SPRUCE #1 W/ R22 FIBREGLASS INSULATION LAUNDRY 2 PLY MODIFIED ROOFING BITUMEN MEMBRANE ROOFING ON 5/8" T&G EXT.

TYPE PLYWOOD ON 2"x4" WOOD SLEEPER

@ 16 O.C SPR. #1 STRIPS IN MANNER THAT FIN. FLOOR OVER 3/4" T&G EXT.
TYPE PLYW'D SUBFLOOR
ON 1 1/2" CONCRETE TOPPING
W/RADIANT HEATING ON 3/4"
T&G EXT. TYP PLYWOOD ON
FLOOR JOISTS SEE PLAN (GLUED
& NAII FD) WOULD FACILITATE POSITIVE ROOF DRAINAGE TOWARDS ROOF SCUPPER ON ROOF JOISTS AS PER ENG ___2"X6" | BOTTOM PLATE & NAILED) SEAL SECOND FLOOR LVL_11-7/8"— -R22 INSULATION LVL 11-7/8" W12X53 LVL_11-7/8" R22 INSULATION ---STUCCO WALL FIN. ON 2" RIGID FOAM AS PER MANU. SPECS ON #15 BLDG. PAPER AIR BARRIER 2" X 6" WOOD STUDS @16" O.C. SPRUCE #1 W/ R22FIBRE INSUL FINISH F.F. CEILING INSIDE FACE OF WALL W/ 1/2" GYP. WALL BOARD (TYP.) STUCCO WALL FIN. ON 2" RIGID FOAM AS PER MANU. SPECS ON #15 BLDG. PAPER AIR BARRIER 2" X 6" WOOD STUDS @16" _ 2" X 6" WOOD STUDS @ 16" O.C. SPRUCE #1 O.C. SPRUCE #1 W/ R22FIBRE INSUL W/ R22 FIBREGLASS INSULATION FINISH INSIDE FACE OF WALL W/ 1/2"

GYP. WALL BOARD (TYP.) 2" X 6" WOOD STUDS @ 16" O.C. SPRUCE #1 W/ R22 — FIBREGLASS INSULATION GREAT ROOM **DINING ROOM** KITCHEN **PANTRY** CERAMIC, STONE TILE OR WOOD FLOORING (WOOD FLOORING USE 3/4* PLYWOOD & VAPOUR BARRIER OVER THE CONCRETE SLAB) 4" FACE BRICK/STONE W/ 22 GA. GALV. 4" FACE BRICK/STONE W/ 22 GA. GALV. METAL TIES @ 16" O.C. VERTICAL & 32" O.C. HORIZ. W/ 3/8" MIN. MORTAL JOINT (AS PER O.B.C. 9.20.9) METAL TIES @ 16" O.C. VERTICAL & 32" O.C. HORIZ. W/ 3/8" MIN. MORTAL JOINT (AS PER O.B.C. 9.20.9) - ON 2" CONCRETE OVER POUR W/ RADIANT FLOOR WARMING TUBE (AS PER | | MECHANICAL).10" CONCRETE **CORESLAB** FIRST FLOOR 239.91 W10X49 W10X33 W10X33 W10X39 FINISHIED BASEMENT CEILING 239.93 ----- -3-5/8" W/ MORTAR BACKING BRICK OR-STONE W/ 10" POURED CONC. BACK-UP
TIED TOGETHER W/ 3/16" DIA. (4.76mm)
GALV. ROD TYPE TIES @ 16" O.C EACH WAY
FILL VOID BETWEEN BRICK & BRICK SOLID EDGE OF GARAGE 2-2"X4" TOP PLATE _ 2-2"X6" TOP PLATE SUSPENDED CEILING __ BY OTHERS 3-5/8" W/ MORTAR BACKING BRICK OR 3-5/8" W/ MORTAR BACKING BRICK OR STONE W/ 10" POURED CONC. BACK-UP TIED TOGETHER W/ 3/16" DIA. (4.76mm) GALV. ROD TYPE TIES @ 16" O.C EACH WAY FILL VOID BETWEEN BRICK & BRICK SOLID 239.78 W/20 MPa. CONCRETE GROUT. The undersigned has reviewed and takes responsibility for this BASEMENT CEILING W/20 MPa. CONCRETE GROUT. documents: 14" (UNLESS NOTED OTHERWISE ON PLANS)
REINFORCED POURED CONC. WALL 25 MPA
(3625.94 PSI) STRENGTH @ 28 DAYS W/
15MBARS 2" FROM INSIDE FACE @12" O.C.
(VERTICAL)+15M BARS @12" O.C (HORIZONTAL)
18" LONG 15M DOWELS ON 30"X10" (UNLESS
OTHERWISE NOTED BY ENG.) POURED CONC.
FTG(2SMPA) W. KEY, INSTALL 2-15M
CONTINUOUS BARS 2" CONC.COVER FROM THE
BOTTOM OF FOOTING ON UNDISTURBED SOIL ___2"X4" ___ MID GIRTH__ MID GIRTH / 2" X 4" WD. STUDS @ 16" O.C. SPRUCE #1 W/ R12 FIBRE GLASS INSULATION IN CAVITY -OFFSET FROM FOUNDATION WALL 3 1/2" W/ CONTINUOUS R12 FIBRE INSUL. BLANKET **KITCHENETTE** KITCHENETTE PLAY ROOM/ FLUSH SAUNA **GAMES** SHOWER _-:OK--2" X 4" WD. STUDS @ 16" O.C. SPRUCE #1 W/ R12 FIBRE GLASS INSULATION IN CAVITY -OFFSET FROM FOUNDATION WALL 2" W/ PROVIDE FOUNDATION WALL DRAINAGE AS PER O.B.C. 9.14.2.1. ORUSE TERRAIN 600 ASPER MANUF. SPECS CONTINUOUS R10 RIDGE INSULATION 2"X4" BOTTOM PLATE FL1 FIRM NAME BOTTOM PLATE BASEMENT 236.27 3/4" FINISHED FLOORING AS NOTED POURED CONCRETE SLAB (AS PER STRUCTURAL, SEE NOTE FL1) W/ RADIANT FLOOR WARMING TUBE (AS PER MECHANICAL) REINF. W/ 6 X 6 6/6 WWM 1 1/2" FROM TOP OF SLAB PROVIDE 2" (50mm) R10 PERIMITER RIGID INSULATION UNDER SLAB AT ALL AREAS OF INFLOOR HEATING MIN. R10, 6 MIL VAPOR BARRIER (ON WARM SIDE) ON MIN. 8" COMPACTED GRANULAR "A" OR CLEAR CRUSHED STONE PER GEOTECH REPORT NON WOVEN GEOTECH TERRAFIX 270R OR EQUIVALENT UNDISTURBED SOIL 14" (UNLESS NOTED OTHERWISE ON PLANS)
REINFORCED POURED CONC. WALL 25 MPa
(3625.94 PSI) STRENGTH @ 28 DAYS W/
15MBARS 2" FROM INSIDE FACE @12" O.C.
(VERTICAL)+15M BARS @12"O.C (HORIZONTAL)
18" LONG 15M DOWELS ON 30"X10" (UNLESS
OTHERWISE NOTED BY ENG.) POURED CONC.
FTG(25MPA) W/ KEY. INSTALL 2-15M
CONTINUOUS BARS 2" CONC.COVER FROM THE
BOTTOM OF FOOTING ON UNDISTURBED SOIL PROVIDE FOUNDATION WALL DRAINAGE AS PER O.B.C. 9.14.2.1. ORUSE TERRAIN 600 ASPER MANUF. SPECS W/6" MIN. GRAVEL COVER Project number: Scale: Drawn by: Approved by:

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MARDIN ZARZINI SIGNATURE REGISTRATION INFORMATION

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PROPOSED 2-STOREY DWELLING

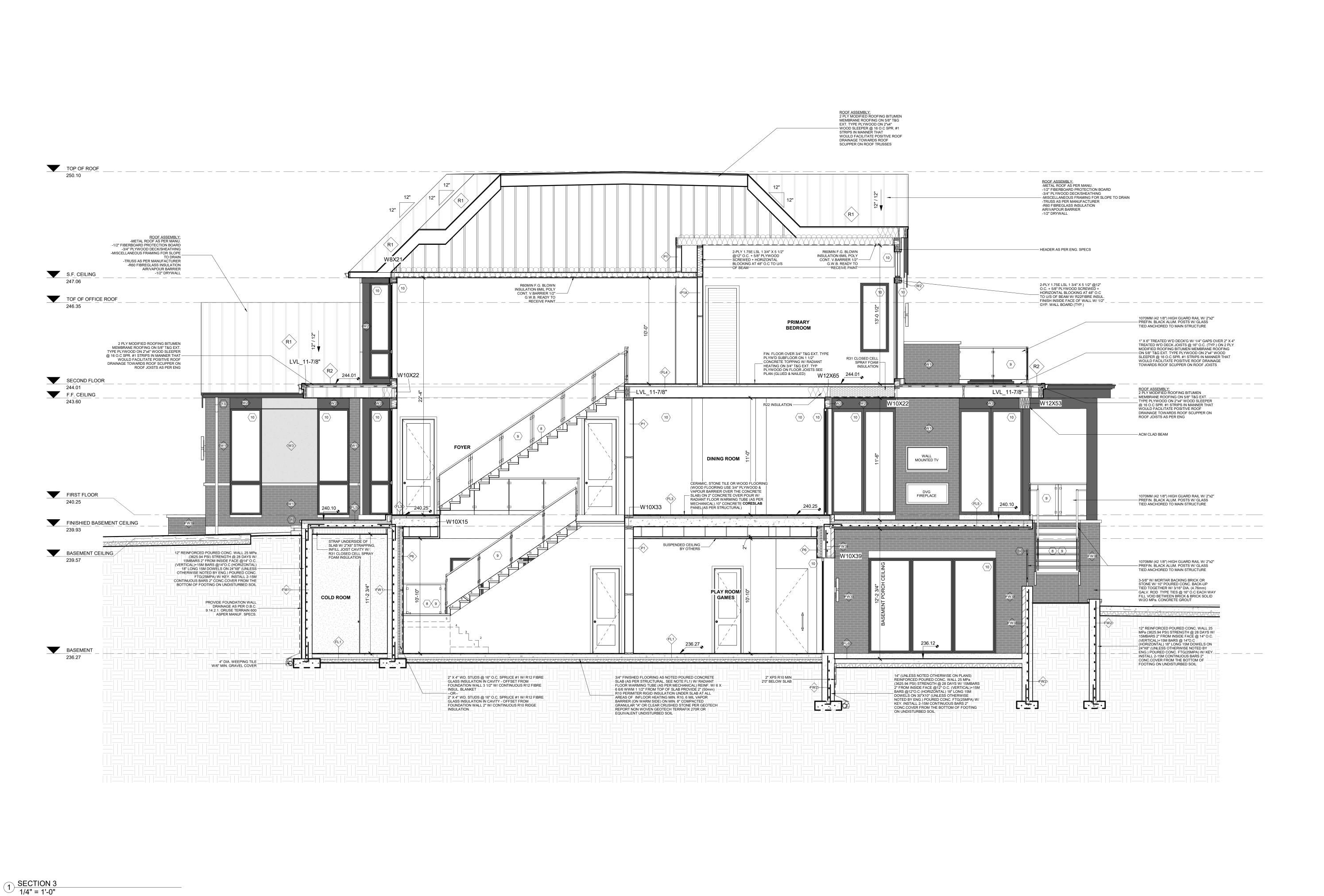
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SECTION 2

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46972

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the Ontario Building Code.

MARIN ZABZUNI

NAME

SIGNATURE

REGISTRATION INFORMATION

REGISTRATION INFORMATION
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CONTEMPO STUDIO
FIRM NAME

PROPOSED 2-STOREY DWELLING

107 SIR MODESTO COURT, VAUGHAN, ON

SECTION 3

Project number: Rev. no.: Scale: Date: Drawn by:

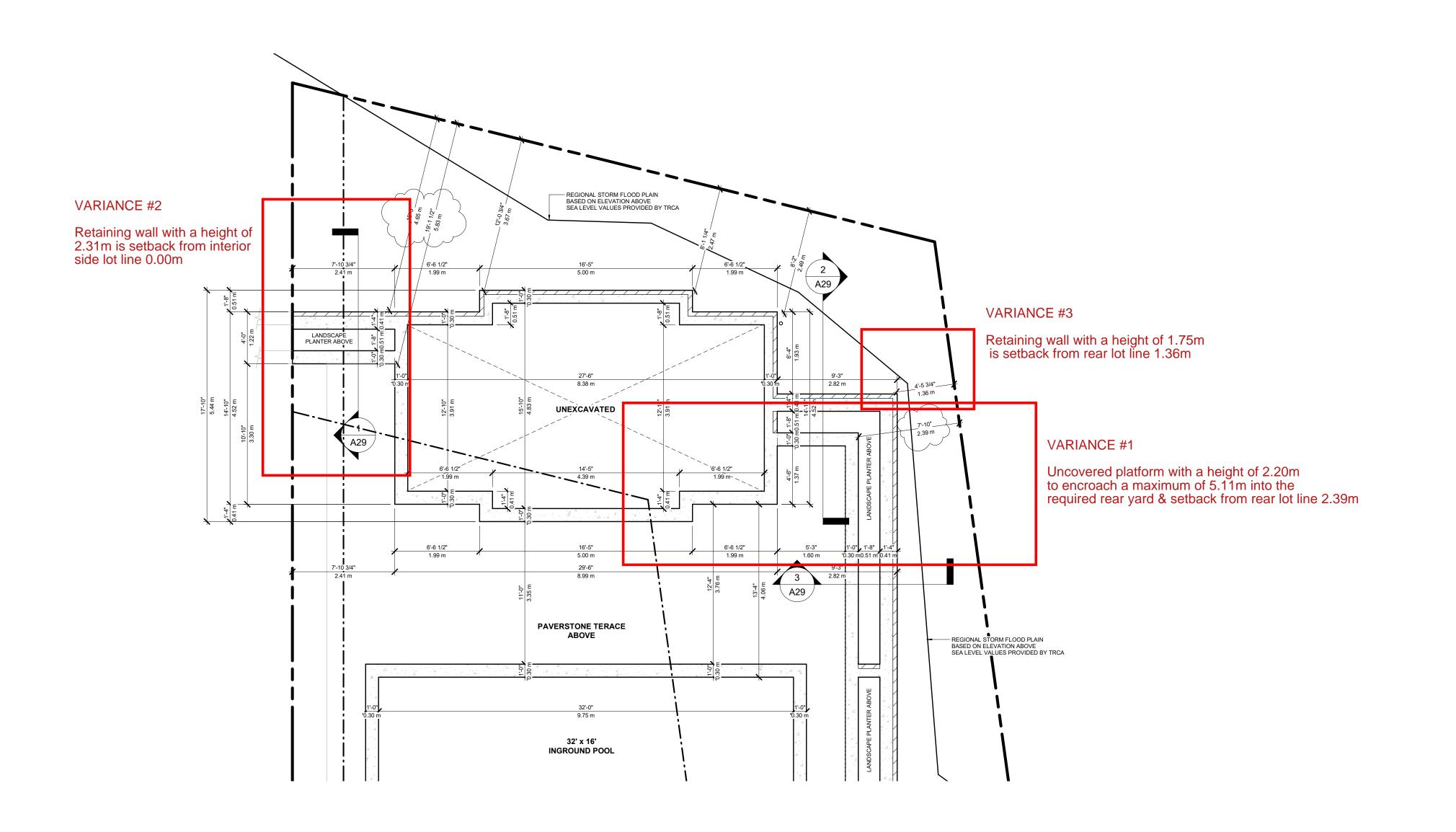
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BCIN

Drawing number:



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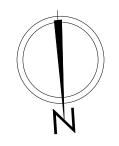
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107 SIR MODESTO COURT, VAUGHAN, ON

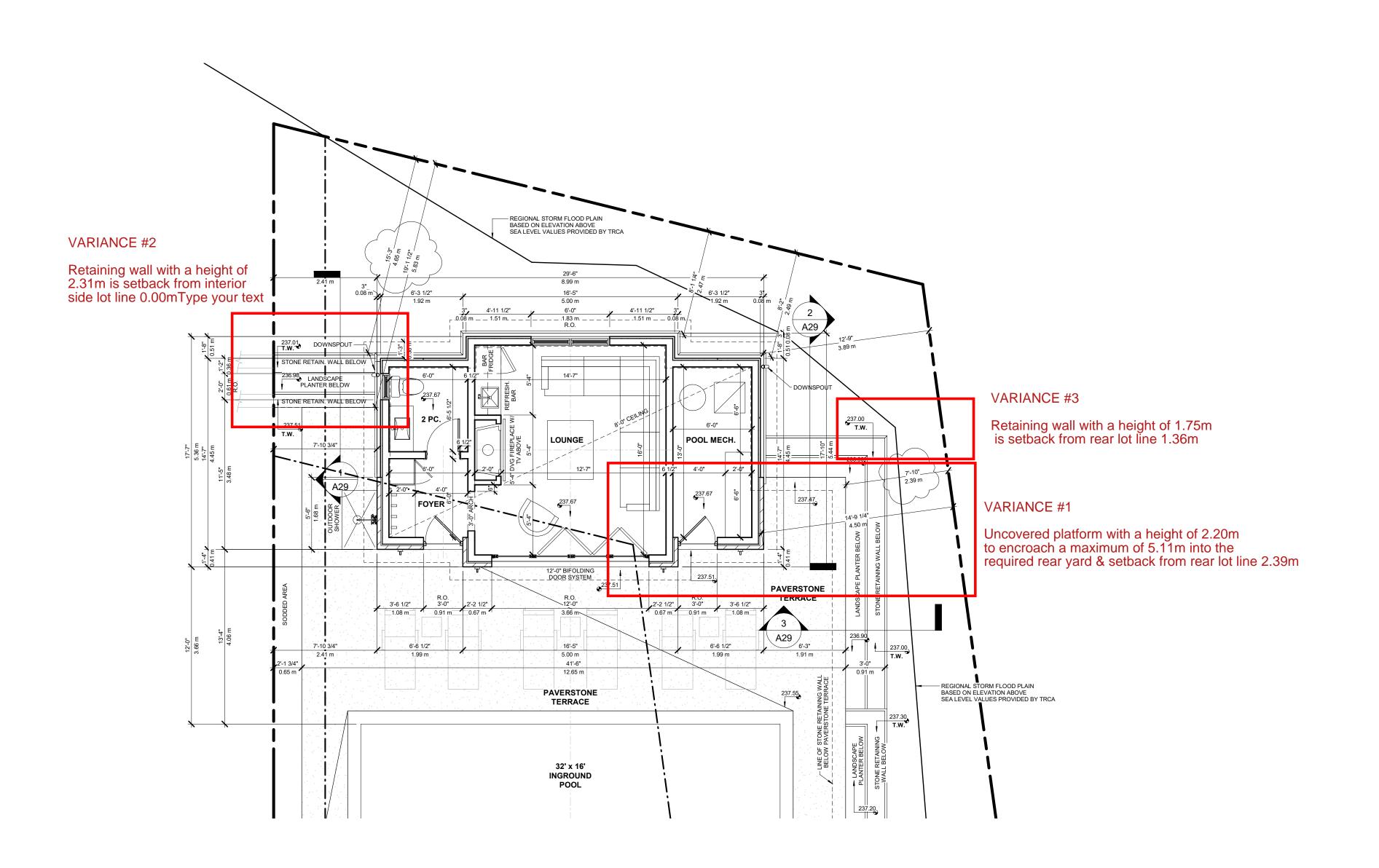
CABANA FOUNDATION PLAN



Project number:
Rev. no.:
Scale:
Date:
Drawn by:
Approved by:

2023-25 1 3/16" = 1'-0" FEBRUARY, 2025 J.T. + M.R. + C.C M.Z.

Drawing number



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Issued for:

SEAL

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

QUALIFICATION INFORMATION

Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

MARIN ZABZUNI

NAME

SIGNATURE

REGISTRATION INFORMATION

Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.

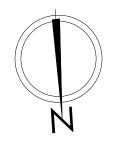
CONTEMPO STUDIO

PROPOSED 2-STOREY DWELLING

FIRM NAME

107 SIR MODESTO COURT, VAUGHAN, ON

CABANA FLOOR PLAN



Project number: Rev. no.: Scale: Date: Drawn by: Approved by: 2023-25 1 3/16" = 1'-0" FEBRUARY, 2025 J.T. + M.R. + C.C M.Z.

Drawing number

FLAT ROOF

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PAWIS

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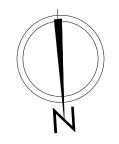
NAME
SIGNATURE
REGISTRATION INFORMATION
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CONTEMPO STUDIO
FIRM NAME

PROPOSED 2-STOREY DWELLING

107 SIR MODESTO COURT, VAUGHAN, ON

CABANA ROOF PLAN

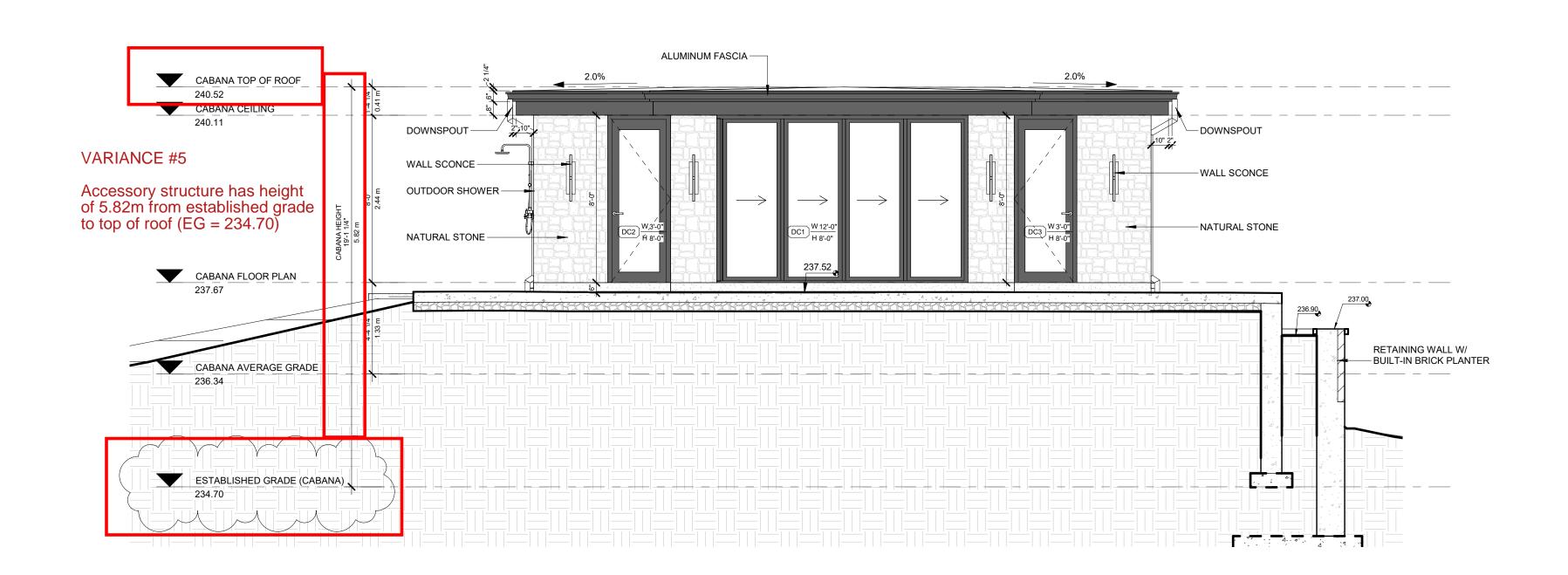


Project number:
Rev. no.:
Scale:
Date:
Drawn by:
Approved by:

2023-25 3/16" = 1'-0" FEBRUARY, 2025 J.T. + M.R. + C.C M.Z.

46972

Drawing number



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Date

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MARIN ZABZUNI

NAME

SIGNATURE

BIOLOGICAL TOWNSTITEMENT AND THE OUT TOWNSTITEME

MARIN ZABZUNI
NAME
SIGNATURE
REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.

CONTEMPO STUDIO
FIRM NAME

PROPOSED 2-STOREY DWELLING

107 SIR MODESTO COURT, VAUGHAN, ON

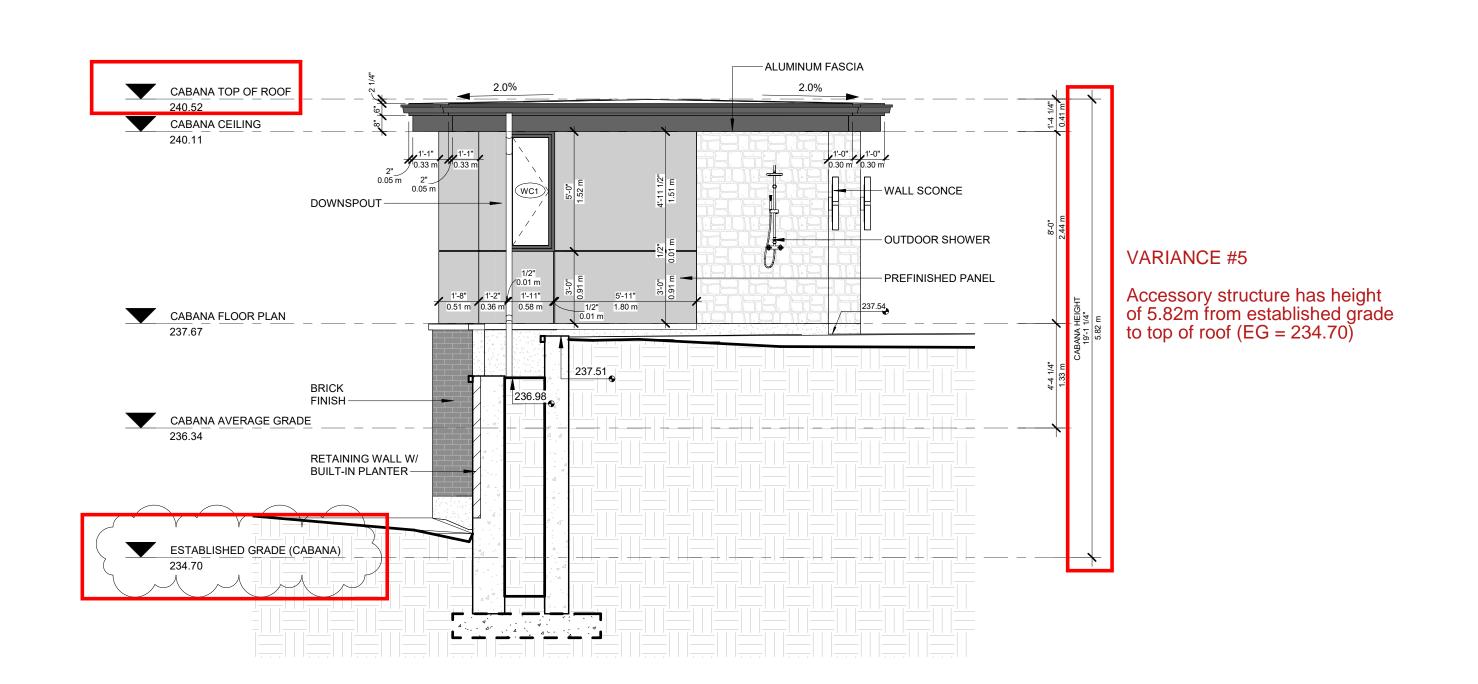
CABANA FRONT ELEVATION

Project number:
Rev. no.:
Scale:
Date:
Drawn by:

2023-25 1 1/4" = 1'-0" FEBRUARY, 2025 J.T. + M.R. + C.C M.Z.

Drawing numb

Approved by:



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NAME

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BEOLOGINATION INTERPMENTATION

REGISTRATION INFORMATION

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CONTEMPO STUDIO

PROPOSED 2-STOREY DWELLING

107 SIR MODESTO COURT, VAUGHAN, ON

CABANA LEFT ELEVATION

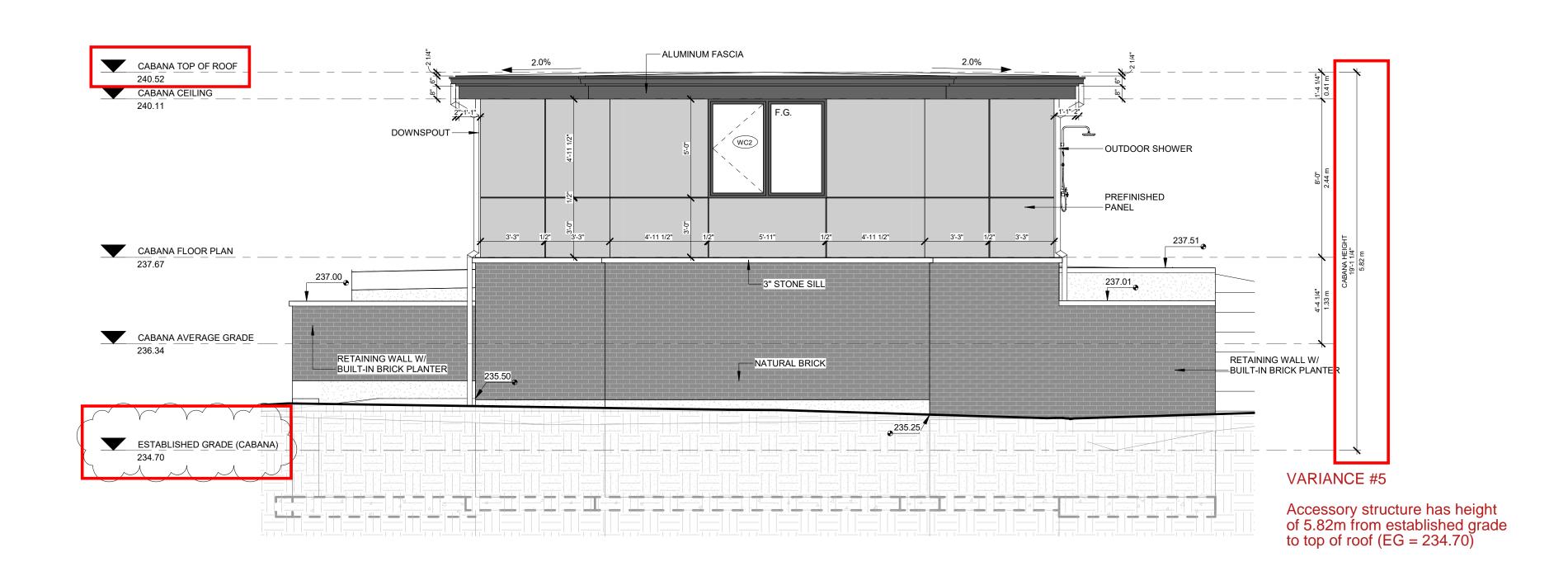
Project number:
Rev. no.:
Scale:
Date:
Drawn by:

FIRM NAME

2023-25 1 1/4" = 1'-0" FEBRUARY, 2025 J.T. + M.R. + C.C M.Z.

Drawing num

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MARIN ZABZUNI
NAME
SIGNATURE
B

MARIN ZABZUNI
NAME SIGNATURE
REGISTRATION INFORMATION
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CONTEMPO STUDIO
FIRM NAME

PROPOSED 2-STOREY DWELLING

107 SIR MODESTO COURT, VAUGHAN, ON

CABANA REAR ELEVATION

Project number:
Rev. no.:
Scale:
Date:
Drawn by:

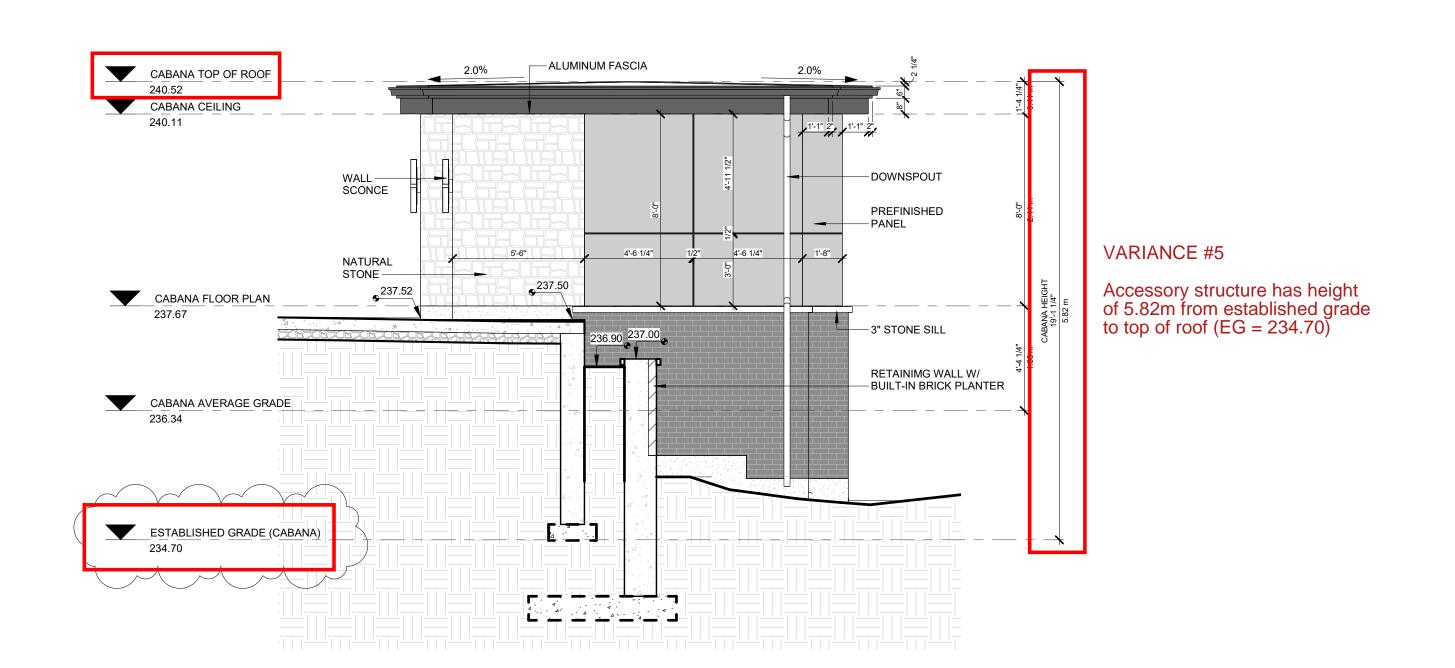
2023-25 1 1/4" = 1'-0" FEBRUARY, 2025 J.T. + M.R. + C.C M.Z.

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Drawing number

Approved by:



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MARIN ZABZUNI
NAME
SIGNATURE
BE

NAME

REGISTRATION INFORMATION

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CONTEMPO STUDIO

PROPOSED 2-STOREY DWELLING

107 SIR MODESTO COURT, VAUGHAN, ON

CABANA RIGHT ELEVATION

Project number:
Rev. no.:
Scale:
Date:
Drawn by:

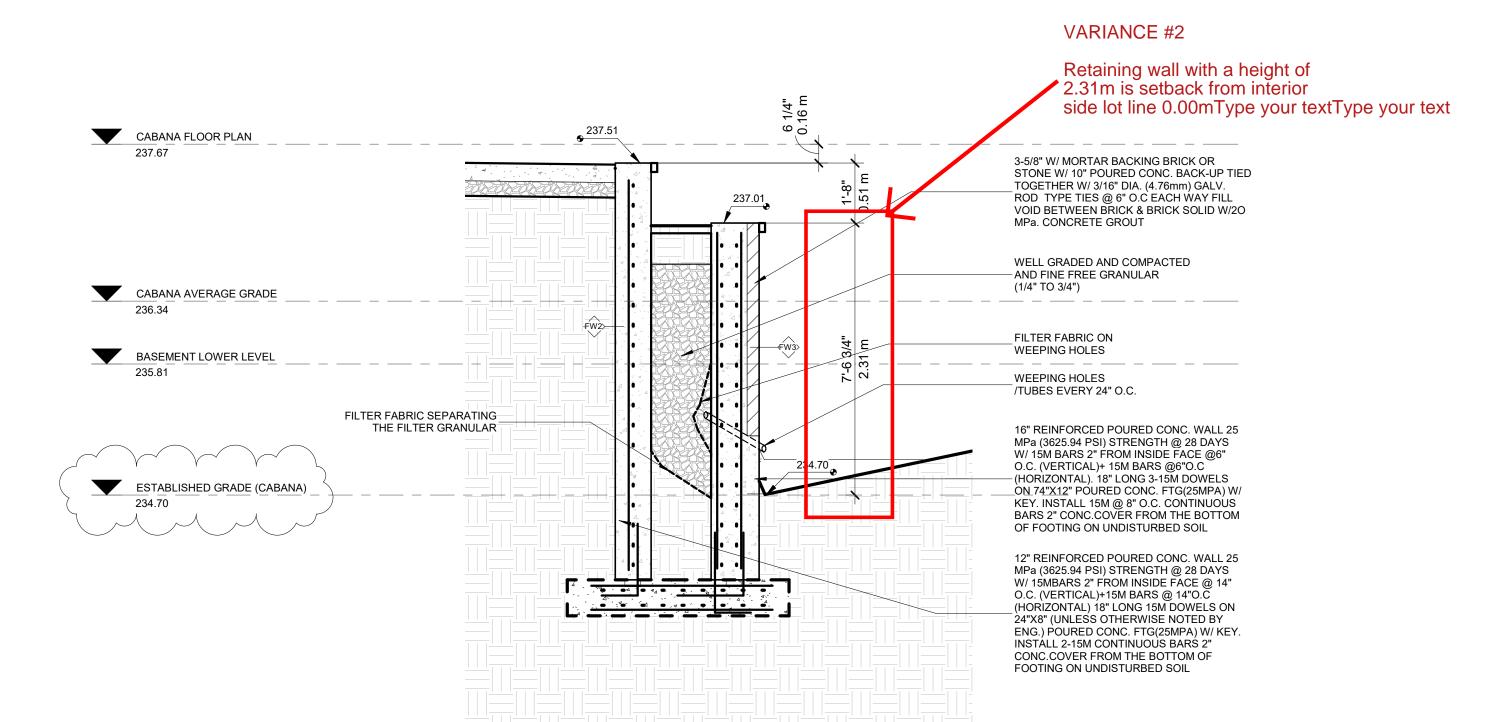
FIRM NAME

2023-25 1 1/4" = 1'-0" FEBRUARY, 2025 J.T. + M.R. + C.C M.Z.

46972

Drawing num

Approved by:

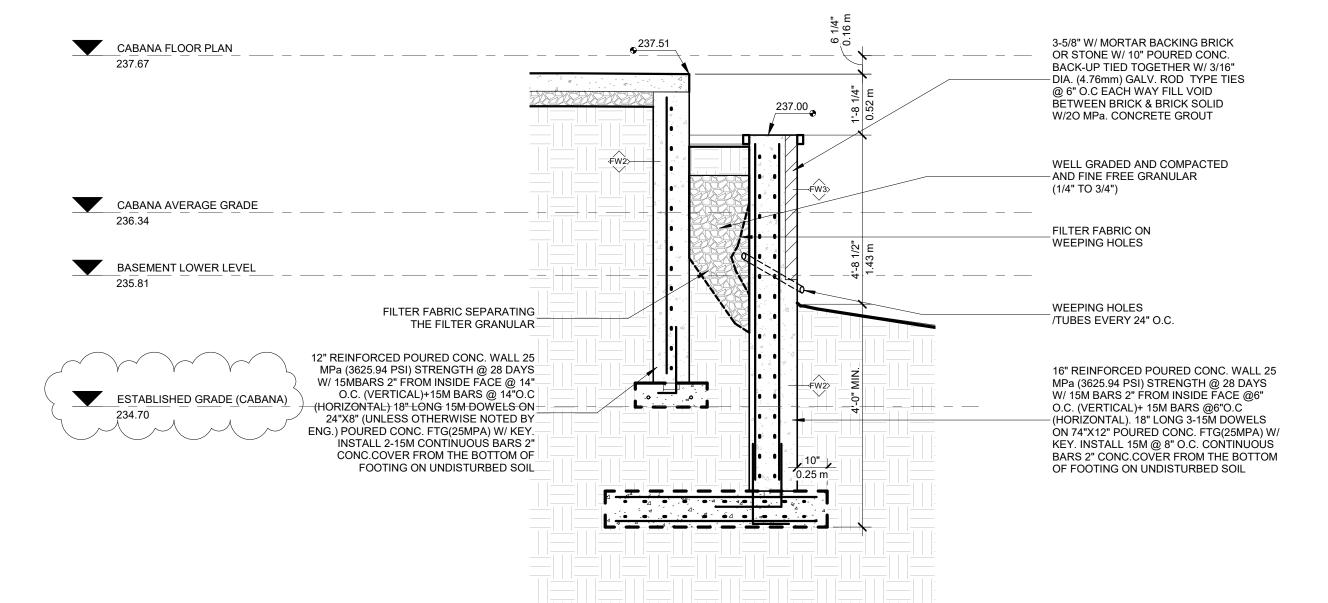


CABANA FLOOR PLAN 3-5/8" W/ MORTAR BACKING BRICK OR STONE W/ 10" POURED CONC. BACK-UP TIED TOGETHER W/ 3/16" DIA. (4.76mm) GALV. ROD TYPE TIES -@ 6" O.C EACH WAY FILL VOID BETWEEN BRICK & BRICK SOLID W/20 MPa. CONCRETE GROUT WELL GRADED AND COMPACTED AND FINE FREE GRANULAR – (1/4" TO 3/4") CABANA AVERAGE GRADE FILTER FABRIC ON WEEPING HOLES BASEMENT LOWER LEVEL WEEPING HOLES FILTER FABRIC SEPARATING /TUBES EVERY 24" O.C. THE FILTER GRANULAR 12" REINFORCED POURED CONC. WALL 25 MPa (3625.94 PSI) STRENGTH @ 28 DAYS 16" REINFORCED POURED CONC. WALL 25 W/ 15MBARS 2" FROM INSIDE FACE @ 14" MPa (3625.94 PSI) STRENGTH @ 28 DAYS-U.C. (VERTICAL)+15M BARS @ 14"O.C (HORIZONTAL) 18" LONG 15M-DOWELS ON ESTABLISHED GRADE (CABANA) W/ 15M BARS 2" FROM INSIDE FACE @6" O.C. (VERTICAL)+ 15M BARS @6"O.C (HORIZONTAL). 18" LONG 3-15M DOWELS 24"X8" (UNLESS OTHERWISE NOTED BY ON 74"X12" POURED CONC. FTG(25MPA) W/-ENG.) POURED CONC. FTG(25MPA) W/ KEY: KEY. INSTALL 15M @ 8" O.C. CONTINUOUS BARS 2" CONC.COVER FROM THE BOTTOM OF FOOTING ON UNDISTURBED SOIL INSTÁLL 2-15M CONTINUOÙS BARŚ 2" CONC.COVER FROM THE BOTTOM OF FOOTING ON UNDISTURBED SOIL

2 RETAINING WALL SECTION 2
3/8" = 1'-0"

D:\001- Contempo Studio\05-107 Sir Modesto\Revit\2025.02.13\107 Sir Modesto (CABANA) - Working Drawing - 2025.02.13.rvt

1 RETAINING WALL SECTION 1
3/8" = 1'-0"



3 RETAINING WALL SECTION 3
3/8" = 1'-0"

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MARIN ZABZUNI

NAME

SIGNATURE

NAME

REGISTRATION INFORMATION

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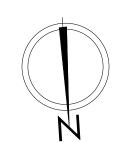
CONTEMPO STUDIO

PROPOSED 2-STOREY DWELLING

107 SIR MODESTO COURT,

VAUGHAN, ON

RETAINING WALL SECTIONS



Project numbe Rev. no.: Scale: Date: Drawn by: Approved by:

FIRM NAME

2023-25 1 3/8" = 1'-0" FEBRUARY, 2025 J.T. + M.R. + C.C M.Z.

46972

Drawing number:

SCHEDULE B: COMMENTS FROM AGENCIES, BUILDING STANDARDS & DEVELOPMENT PLANNING

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Building Standards (Zoning)	Yes □	No ⊠	General Comments
Development Planning	Yes □	No ⊠	Recommend Approval/No Conditions

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes □	No ⊠	General Comments
Region of York	Yes □	No ⊠	General Comments
TRCA	Yes ⊠	No □	General Comments w/Conditions



To: Committee of Adjustment

From: Christian Tinney, Building Standards Department

Date: February 18, 2025

Applicant: Contempo Studio

Location: 107 Sir Modesto Court

PLAN 65M4184 Block 46

File No.(s): A011/25

Zoning Classification:

The subject lands are zoned R2A, subject to the provisions of Exception 14.847 and 14.850 under By-law 001-2021 as amended.

#	Zoning By-law 001-2021	Variance requested
1	The maximum permitted encroachment of an uncovered platform is 2.4 metres into the required rear yard. [Table 4-1]	To permit an uncovered platform to encroach a maximum of 5.11 metres into the required rear yard.
2	A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall. [Table 4-1]	To permit a retaining wall with a height of 2.31 metres to be located at 0.0 metres from the interior lot line.
3	A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall. [Table 4-1]	To permit a retaining wall with a height of 1.75 metres to be located at 1.36 metres from the rear lot line.
4	A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall. [Table 4-1]	To permit a retaining wall (window well) with a height of 2.16 metres to be located at 0.57 metres from the interior lot line.
5	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 metres. [Section 4.1.4 1.]	To permit an accessory building (cabana) with a maximum height of 5.82 metres.
6	In the R2A Zone, any portion of a yard in excess of 135.0 square metres shall be comprised of a minimum 60% soft landscape.	To permit a minimum of 52.21% (295.73 m²) of the required minimum landscaped rear yard to be composed of soft landscaping.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

Building Permit No. 24-136449 for Single Detached Dwelling - New, Issue Date: (Not Yet Issued).

Other Comments:

Ger	neral Comments
1	The applicant shall be advised that additional variances may be required upon review of detailed
	drawing for building permit/site plan approval.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region
	Conservation Authority.
3	The subject lands may be subject to the Oak Ridges Moraine Conservation Act, RSO 2001.





Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

 $\ensuremath{^{\star}}$ Comments are based on the review of documentation supplied with this application.





To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development and Parks Planning

Date: May 29, 2025

Name of Owners: Madison Saul, Adam Ryan Saul (107 Sir Modesto Court);

Laura Faye Anava, Oren James Anava (108 Sir Modesto Court)

Location: 107 Sir Modesto Court 108 Sir Modesto Court

File No.(s): B006/25, A011/25 B007/25, A009/25

A011/25 - 107 Sir Modesto Court

Proposed Variances:

- 1. To permit an uncovered platform to encroach a maximum of **5.11 m** into the required rear yard.
- 2. To permit a minimum setback of **0.0 m** for the retaining wall at the east interior side lot line.
- 3. To permit a retaining wall with a height of **1.75 m** to be located at **1.36 m** from the rear lot line.
- 4. To permit a retaining wall (window well) with a height of **2.16 m** to be located at **0.57 m** from the interior lot line.
- 5. To permit an accessory building (cabana) with a maximum height of **5.82 m**.
- 6. To permit a minimum of **52.21%** (295.73 m²) of the required minimum landscaped rear yard to be composed of soft landscaping.

By-Law 001-2021 Requirement(s):

- 1. The maximum permitted encroachment of an uncovered platform is **2.4 m** into the required rear yard.
- 2. A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall.
- 3. A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall.
- 4. A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall.
- 5. In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be **3.0 m**.
- 6. In the R2A Zone, any portion of a yard in excess of 135.0 m² shall be comprised of a minimum **60%** soft landscape.

A009/25 - 108 Sir Modesto Court

Proposed Variances:

- 1. To permit access stairs to encroach a maximum of **1.93 m** into the minimum required rear yard.
- 2. To permit a minimum setback of **0.0 m** for the retaining wall at the west interior lot line.
- 3. To permit a retaining wall (window well) with a height of **2.04 m** to be setback a minimum of **1.0 m** from the west lot line.
- 4. To permit a retaining wall (window well) with a height of **2.02 m** to be setback a minimum of **0.57 m** from the east lot line.
- 5. To permit an uncovered platform (paverstone terrace/grassed area) with a floor height of 2.6 m to encroach into the minimum rear yard of 7.5 m a maximum of 4.41 m.

By-Law 001-2021 Requirement(s):

- 1. The maximum permitted encroachment for an access stair is **1.8 m** into the minimum required rear yard of 7.5 m.
- 2. A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall.
- 3. A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall.
- 4. A retaining wall shall be setback an equal distance to the height of the highest portion of the retaining wall.



5. An uncovered platform (paverstone terrace/grassed area) with a floor height greater than 1.2 m as measured above grade and including access stairs, is permitted to encroach **2.4 m** into the minimum required rear yard of 7.5m.

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Low Rise Residential"

Comments:

The Owners of 107 Sir Modesto Court and 108 Sir Modesto Court are seeking relief to permit a new single detached dwelling and accessory structures on each property. Two mutual access easements are proposed to permit the construction and maintenance of a contiguous stretch of retaining wall spanning the width of both properties.

B006/25, B007/25

Consent application files B006/25 and B007/25 are received for 107 Sir Modesto Court and 108 Sir Modesto Court to facilitate two mutual access easements required to service and maintain a proposed retaining wall that is contiguously located across both properties. The proposed retaining wall provides for a more consistent lot grading across the proposed rear yards of both properties.

Policy 10.1.2.36 of VOP 2010 permits the creation of private easements over existing lots. The proposed easement areas encompass the proposed retaining wall and a 0.6 m buffer around the retaining wall. Development Engineering staff have reviewed the proposed easement sketches and are satisfied that the easement areas will allow for mutual access and maintenance of the retaining wall.

A011/25 - 107 Sir Modesto Court

The Development and Parks Planning Department has no objections to Variances 1 and 3 to permit the encroachment of a raised platform 5.11 m into the minimum required rear yard and to permit the retaining wall on the outer edge of the raised platform, 1.75 m in height, to be located 1.36 m from the rear lot line. The grading of the property slopes downward toward the rear, and the proposed raised terrace and retaining walls provide a leveled rear yard. The spaces beyond the retaining wall are proposed to be sodded. The raised terrace and retaining wall are not anticipated to pose massing impacts on the neighbouring property to the west or the public trail to the south. Development Engineering staff have reviewed the retaining wall and have no concerns with the increased encroachment.

The Development and Parks Planning Department has no objections to Variance 2 to permit a retaining wall to be located 0.0 m from the east interior side lot line. The proposed retaining wall is oriented perpendicular to the eastern interior side lot line and connects to a segment of the retaining wall proposed on 108 Sir Modesto Court, east of the subject property. Consent applications B006/25 and B007/25 have been submitted to facilitate mutual access easements and have been reviewed to the satisfaction of Development Engineering staff.

The Development and Parks Planning Department has no objections to Variance 4 to permit a window well 2.16 m in depth to be setback 0.57 m from the east interior side yard. The remaining side yard is proposed to be sodded. The window well does not prohibit the movement of residents and goods between the front and rear yard, and additional access can be provided through the western interior side yard.

The Development and Parks Planning Department has no objections to Variance 5 to permit a height increase for the proposed cabana from 3 m to 5.82 m. The proposed height is measured from established grade, and the height is most perceived from the rear. The cabana maintains a compliant setback from all lot lines, and is not anticipated to incur massing impacts on neighbouring properties or the public trail to the south.

The Development and Parks Planning Department has no objections to Variance 6 to reduce the minimum soft landscaping in the portion of the rear yard in excess of 135 m² from 60% to 52.21%. The reduction represents approximately 44 m² of soft landscaping, which is minor given the size of the rear yard. Development Engineering staff have reviewed the variance and are satisfied that the reduced soft landscaping remains sufficient for stormwater management.

Development and Parks Planning Department | City of Vaughan | 2141 Major Mackenzie Drive | Vaughan, ON L6A 1T1

memorandum



A009/25 - 108 Sir Modesto Court

The Development and Parks Planning Department has no objections to Variances 1 and 5 to permit a raised platform to encroach 4.41 m into the minimum required rear yard and for the access stairs to encroach 1.93 m into the minimum required rear yard. The grading of the property slopes downward toward the rear, and the proposed raised terrace provides a level grade within the rear yard. The access stairs located along the outer edge of the raised terrace provides access to the sodded areas beyond the raised terrace. The raised terrace and access stairs are not anticipated to incur any negative impacts on the public open space to the rear of the property.

The Development and Parks Planning Department has no objections to Variance 2 to permit the retaining wall to be setback 0.0 m from the western interior side lot line. The proposed retaining wall is oriented perpendicular to the side lot line and connects to the portion of the proposed retaining wall on 107 Sir Modesto Court, west of the subject property. Consent applications B006/25 and B007/25 have been submitted to facilitate mutual access easements and have been reviewed to the satisfaction of Development Engineering staff.

The Development and Parks Planning Department has no objections to Variances 3 and 4 to permit reduced setbacks to window wells located within the western and eastern interior side yards. The remaining interior side yards are proposed to be sodded. The setback reductions of 0.57 m to the west side lot line and 1.0 m to the east side lot line are sufficient to maintain access between the front and rear yards.

Accordingly, the Development and Parks Planning Department supports the requested variances and is of the opinion that the proposals are minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development and Parks Planning Department recommends approval of files B006/25 and A011/25 (107 Sir Modesto Court), and files B007/25 and A009/25 (108 Sir Modesto Court).

Conditions of Approval:

If the Committee finds merit in the applications, the following conditions of approval are recommended:

None.

Comments Prepared by:

Harry Zhao, Planner Janany Nagulan, Senior Planner



Date: February 20th 2025

Attention: Christine Vigneault

RE: Request for Comments

File No.:

Related Files: A011-25

Applicant: Contempo Studio

Location 107 Sir Modesto Court



COMMENTS:

	We have reviewed the proposed Variance Application and have no comments or objections to its approval.
X	We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
	We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T

Supervisor, Distribution Design, ICI & Layouts (North)

Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner

Supervisor, Distribution Design-Subdivisions

Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com



Power Stream 1

Construction Standard

03-1

	SYSTEM VOLTAGE			
LOCATION OF WIRES, CABLES OR CONDUCTORS	SPAN GUYS AND COMMUNICATIONS WIRES		4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			NOTE 2)
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO PEDESTRIANS AND BICYCLES ONLY	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT RAILWAY CROSSINGS	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG

- + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE

- + 0.3m (VEHICLE OR RAILWAY LOCATION) + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

- THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
- 2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER $\underline{\text{MAXIMUM SAG}}$ CONDITIONS.
- 3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH
- 4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

<u>\G</u>	340cm	11'-4"	
	310cm	10'-4"	
VALUES.	250cm	8'-4"	
VALUES.			
REFERENCES			
SAGS AND T	FNSIONS 1	SECTION 02	

METRIC

810cm

760cm 730cm

520cm 480cm

442cm 370cm

CONVERSION TABLE

IMPERIAL (APPROX)

27'-0" 25'-4"

24'-4" 17'-4"

15'-5" 12'-4"

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng. Name	2012-JAN-09 Date
P Fng. Approval By:	Ine Crozier



Construction Standard

03 - 4





VOLTAGE	MINIMUM HORIZONTAL CLEARNACE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

- UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
- 2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
- THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
- 4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
- IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
- 6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
- 7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE		
IMPERIAL		
(APPROX)		
16'-0"		
10'-0"		
8'-4"		
3'-4"		

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010—MAY—05 REVISION NO: REVISION DATE:
PEgystem Planning and Standards/Standard Design/PowerStream Standards/standards working (lighter/Seedlan 3/3-4/c/wg d3-4 Ro May 5, 2010, s/wg, 3/3/2010 8/2/202 AM, Adobe POF



February 25, 2025.

PAR-DPP-2025-00593

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Christine Vigneault
Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Christine:

Re: Minor Variance Application A011/25

Block 46, Plan 65M4184 107 Sir Modesto Court

City of Vaughan, Regional Municipality of York

Applicant: Contempo Studio

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on February 19, 2025. TRCA staff have reviewed the application and offer the following comments for the consideration of the Committee of Adjustment.

Purpose of the Application

It is our understanding that the purpose of the above noted application is to request the following variances under By-Law 001-2021, as amended:

- To permit an uncovered platform to encroach a maximum of 5.11 metres into the required rear yard;
- To permit a retaining wall with a height of 2.31 metres to be located at 0.0 metres from the interior lot line;
- To permit a retaining wall with a height of 1.75 metres to be located at 1.36 metres from the rear lot line;
- To permit a retaining wall (window well) with a height of 2.16 metres to be located at 0.57 metres from the interior lot line;
- To permit an accessory building (cabana) with a maximum height of 5.82 metres; and,
- To permit a minimum of 52.21% (295.73 m2) of the required minimum landscaped rear yard to be composed of soft landscaping.

Ontario Regulation 41/24

The subject property is located within TRCA's Regulated Area due to a valley corridor and Regional Storm flood plain associated with a tributary of the Don River Watershed. In accordance with Ontario Regulation 41/24, development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, unstable soils, or bedrock will not be affected.

Application-Specific Comments

TRCA staff reviewed and issued a permit for the proposed two-storey Dwelling, in-ground pool, retaining wall, hard landscape, and associated grading (TRCA Permit No. PER-DPP-2024-00005, issued September 12, 2024). The plans submitted with this minor variance application are **not consistent** with the plans that were approved as part of TRCA's permit. The plans submitted as part of Minor Variance Application A011/25 include a Cabana in the rear yard, a structure that was not previously reviewed or approved by the TRCA.

TRCA requires the applicant to submit a permit revision application prior to initiating construction. Information about the permit revision process is attached in **Appendix A**.

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$660.00 (Minor Variance – Residential - Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

Recommendations

Based on the comments noted above, TRCA has no objection to the approval of Minor Variance Application A009/25 subject to the following conditions:

- 1. That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.
- 2. That the applicant obtains a permit revision from TRCA to authorize the proposed works, pursuant to Ontario Regulation 41/24.

We trust these comments are of assistance. Should you have any questions, please contact me at 437-880-1925 or at cameron.mcdonald@trca.ca.

Sincerely,

Cameron McDonald

Cameron McDonald

Planner I

Development Planning and Permits I Development and Engineering Services cameron.mcdonald@trca.ca, 437-880-1925

Appendix 'A': TRCA Permit Revision Requirements

As noted above, a revision to the previously approved permit is required to recognize the updated plans/drawings. To initiate the permit revision process, a digital copy of the following materials must be submitted to TRCA:

- 1. Complete Re-Issuance / Revision Application for Development, Interference with Wetlands & Alterations to Shorelines & Watercourses (Pursuant to Ontario Regulation 41/24):
 - https://trcaca.s3.ca-central-1.amazonaws.com/app/uploads/2024/04/30135458/FA-TRCA-Development-Permit-Extension-Application-Form.pdf
- 2. The following revised plans / drawings:
 - a. Site Plan
 - b. Grading Plan
 - c. Erosion and Sediment Control Plan
- 3. Permit Revision fee of \$497.50 (Permit Revision 50% of current Works on Private Residential Property)

From: <u>Development Services</u>

To: <u>Committee of Adjustment Mailbox</u>

Subject: [External] RE: A011/25 - 107 SIR MODESTO COURT - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Date: Friday, February 21, 2025 10:05:36 AM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good morning,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Regards.

Gabrielle

Gabrielle Hurst MCIP, RPP| Associate Planner, Development Planning, Economic and Development Services Branch | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
N/A				

SCHEDULE D: BACKGROUND

• • • • • • • • • • • • • • • • • • • •	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A