

ITEM: 6.15	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A052/25
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Report Date: May 30, 2025

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):

Additional comments from departments and agencies received after the publication of the report will be made available on the City’s [website](#).

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Committee of Adjustment	Yes ☐	No ☒	General Comments
Building Standards (Zoning)	Yes ☐	No ☒	General Comments
Development Planning	Yes ☐	No ☒	Recommend Approval/No Conditions
Development Engineering	Yes ☐	No ☒	General Comments
Forestry	Yes ☒	No ☐	General Comments w/Conditions
Development Finance	Yes ☐	No ☒	General Comments

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes ☐	No ☒	General Comments
TRCA	Yes ☐	No ☒	General Comments
Region of York	Yes ☐	No ☒	General Comments
Metrolinx	Yes ☐	No ☒	General Comments

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

BACKGROUND (SCHEDULE D, IF REQUIRED)	
* Background Information contains historical development approvals considered to be related to this file. This information should not be considered comprehensive.	
Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
A203/23	Minor Variance Application; Approved

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A052/25

CITY WARD #:	4
APPLICANT:	Amaninder Bharj & Rasneet Bharj
AGENT:	Mechways Inc.
PROPERTY:	51 Hillside Ave, Concord
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	A203/23
PURPOSE OF APPLICATION:	Relief from zoning by-law is being requested to permit the construction of a new two storey dwelling.

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

The subject lands are zoned **R1E(EN) – First Density Residential Zone (Established Neighbourhood)** under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The maximum height permitted is 8.5 metres. [Section 4.5 1.]	To permit a maximum height of 9.05 metres.
2	The maximum driveway width permitted is 9.0 metres. [Table 6-11]	To permit a maximum driveway width of 9.55 metres.

HEARING INFORMATION

DATE OF MEETING: Thursday, June 5, 2025

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

INTRODUCTION	
Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following: That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature. Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.	

COMMITTEE OF ADJUSTMENT	
Date Public Notice Mailed:	May 22, 2025
Date Applicant Confirmed Posting of Sign:	May 16, 2025
Applicant Justification for Variances: *As provided in Application Form	According to zoning by law maximum permitted height is 8.5m whereas proposed is 9.05m 2. According to zoning by law, the maximum permitted driveway width is 9m whereas proposed is 9.55m.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: *ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.	Yes ☐ No ☒
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
The Owner/Applicant shall apply and obtain the necessary ‘Curb Cut/Reinstating Permit’ through the Transportation and Fleet Management Services. Please visit the Curb Cut Permits page at the City of Vaughan website to learn how to apply for the Curb Cut/ Reinstating Permit. The Owner/Applicant has already received a Lot Grading Permit from Development Engineering regarding the dwelling.	
Development Engineering Recommended Conditions of Approval:	None

PARKS, FORESTRY & HORTICULTURE (PFH)	
No comments received to date.	
PFH Recommended Conditions of Approval:	Applicant/owner shall obtain a “Private Property Tree Removal & Protection” permit through the forestry division prior to any construction works on the subject property.

DEVELOPMENT FINANCE	
No comment no concerns.	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES	
no comment	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC)	
No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

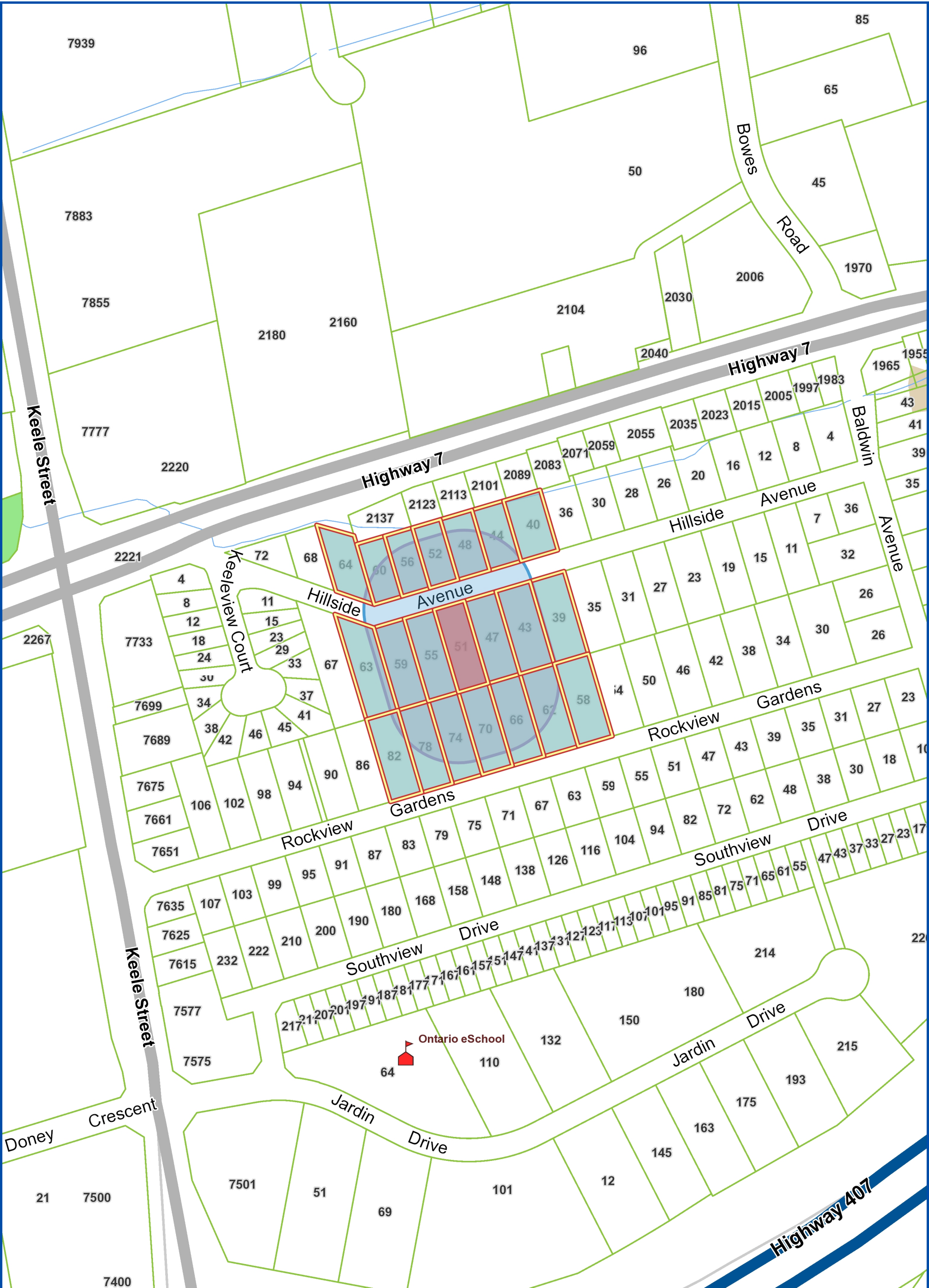
FIRE DEPARTMENT	
No comments received to date.	
Fire Department Recommended Conditions of Approval:	None

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY		
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:		
#	DEPARTMENT / AGENCY	CONDITION
1	Parks, Forestry and Horticulture Operations kari.sthyrhansen@vaughan.ca	Applicant/owner shall obtain a “Private Property Tree Removal & Protection” permit through the forestry division prior to any construction works on the subject property.
<i>All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.</i>		

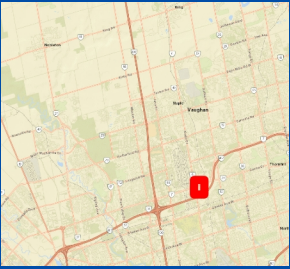
IMPORTANT INFORMATION
CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.
APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.
An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.
A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.
Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.
Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.
DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

IMPORTANT INFORMATION
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.
NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will not receive notice.

SCHEDULE A: DRAWINGS & PLANS



Map Information:



Title:

A052/25 Minor Variance Application



Scale: 1: 4,514
0 0.07 km



Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.

Created By:
Infrastructure Delivery
Department
April 24, 2025 10:23 AM

Projection:
NAD 83
UTM Zone
17N

3.1.1.2.A ZONE 1 COMPLIANCE PACKAGE FOR SPACE HEATING			
COMPONENT	THERMAL VALUES	COMPLIANCE PACKAGE A1	
		RSI	R
CEILING WITH ATTIC SPACE	MIN. NOMINAL	10.56	60
	MAX. U	0.096	0.017
	MIN. EFFECTIVE	10.43	59.22
CEILING WITHOUT ATTIC SPACE	MIN. NOMINAL	5.46	31
	MAX. U	0.205	0.036
	MIN. EFFECTIVE	4.87	27.65
EXPOSED FLOOR	MIN. NOMINAL	5.46	31
	MAX. U	0.190	0.034
	MIN. EFFECTIVE	5.25	29.80
WALLS ABOVE GRADE	MIN. NOMINAL	3.87	22
	MAX. U	0.333	0.059
	MIN. EFFECTIVE	3.00	17.30
BASEMENT WALL	MIN. NOMINAL	3.52 C	20 C
	MAX. U	0.269	0.047
	MIN. EFFECTIVE	3.72	21.12
BELOW GRADE SLAB ENTIRE SURFACE ≤600MM BELOW GRADE	MIN. NOMINAL	-	-
	MAX. U	-	-
	MIN. EFFECTIVE	-	-
HEATED SLAB OR SLAB ≤600MM BELOW GRADE	MIN. NOMINAL	1.76	10
	MAX. U	0.510	0.090
	MIN. EFFECTIVE	1.96	11.13
EDGE OF BELOW GRADE SLAB ≤600 mm BELOW GRADE	MIN. NOMINAL	1.76	10
WINDOWS & SLIDING GLASS DOOR	MAX. U	1.6	0.28
	ENERGY RATING	25	25
SHLIT	MAX. U	2.8	0.49
SPACE HEATING EQUIPMENT	MIN. AFUE	96%	96%
RV	MAX. SRE	75%	75%
DOMESTIC WATER HEATER	MAX. EF	0.80	0.80
COLUMN 1	2	3	3

ALL WORK IS TO CONFORM TO LOCAL REGULATIONS AND THE ONTARIO BUILDING CODE. ALL MATERIALS, FIXTURES AND FINISHES MUST BE APPROVED BY OWNER PRIOR TO SETTING OUT OF WORK.

ANY DISCREPANCIES OR VARIATIONS FROM THE DRAWINGS MUST BE REPORTED IMMEDIATELY TO THE ARCHITECT.

KEEP THE EXCAVATION FREE OF ALL ORGANIC MATERIAL.

FOUNDATION SHALL EXTEND TO BEAR ON NATIVE UNDISTURBED SOIL A MINIMUM OF 4'-0" BELOW FINISHED GRADE LEVEL.

BACKFILL WITHIN 2'-0" OF FOUNDATION WALL TO BE FREE DRAINING GRANULAR FILL FREE OF DEBRIS AND Boulders.

TRUSS MANUFACTURER TO CONFIRM SIZE AND SPACING OF ALL PRE-MANUFACTURED TRUSSES AND PROVIDE LAYOUT & SHOP DRAWINGS C/W ENGINEERS STAMP PRIOR TO FABRICATION. REFER TO FRAMING PLANS FOR JOIST, BEAM, LINTEL AND COLUMN SIZES.

ALL ROOM FINISHES INCLUDING FLOOR TRIMS & CASINGS TO BE SELECTED BY OWNER.

INSULATED FORM WORK MANUFACTURER TO CONFIRM ALL REINFORCING REQUIRED, WALL & LINTEL SIZES.

CONTRACTOR TO CONFORM TO ALL STANDARD DETAILS & REINFORCING REQUIREMENTS AS PER INSULATED FORM WORK MANUFACTURER.

NOTE: THE ABOVE SYMBOLS APPLY TO AAA ARCHITECTS INC. DRAWINGS AND MAY NOT REPRESENT OR CORRESPOND WITH SYMBOLS FOR DRAWINGS WITHIN THIS SET FROM OTHER CONSULTANTS

B d C d D t M t r t 3 r 9
O t r A t f A r t t

AB.	AIR BARRIER
ALUM.	ALUMINUM
BW.	BETWEEN
C.J.	CELING JOIST
C.L.	CENTERLINE
CON.	CONCRETE
CONC.	CONCRETE WITH
D.	DIAMETER
D.J.	DOUBLE JOIST
E.	EDGE
E.T.	EAVES THROUGH
E.V.	EXHAUST FAN
F.J.	FLOOR JOIST
F.R.	FIRE RESISTING
G.T.	GYPSUM BOARD
G.R.	GIRDER TRUSS
L.	LEADER
MAX.	MAXIMUM
MIN.	MINIMUM
O.C. OR O.C.	ON CENTER
REF.	REFLECTS LIGHT FROM ABOVE
REF.	REFRIG. END
RE.	RE: REARATION
R.	RESISTANT TO TREATED
R.	ROOF DIPS
R.R.	ROOF RAFTERS
RW.	REINFORCED WITH
T.	TRAIL
T.O.	TRAIL JOIST
T.O.	TO OF
T.	TICAL
U.S.	UNDER NOTED OT: ERWIS
U.N.O.	UNDERSIDE
V.B.	VALOUR BARRIER
V.V.	LONG LEGS VERTICAL

\$ SWITCH

\$ 3 WAY SWITCH
INSTALL AT 3'-3" AFF
3 DENOTES 3-WAY SWITCH
SPECIFICATION GRADE WHITE, WITH
WHITE COVER PLATE SHALL BE
INSTALLED AT THE ENDS OF EACH
STAIRWAYS



DRAWINGS ARE TO BE READ NOT
 SCALED.
 CONTRACTOR MUST VERIFY ALL
 DIMENSIONS AND BE RESPONSIBLE
 FOR THE SAME.
 REPORT ANY DISCREPANCIES TO THE
 DESIGNER BEFORE COMMENCING THE
 WORK. THE DRAWINGS AND
 DOCUMENTS HEREIN ARE WITHIN
 ARE THE EXCLUSIVE PROPERTY OF
 MECHWAYS INC. REPRODUCTION OF
 THE DOCUMENTS PROVIDED IS
 PROHIBITED WITHOUT THE CONSENT
 OF THE DESIGNER.
 ALL DESIGN AND CONSTRUCTION
 DOCUMENTATION ARE FINAL UNLESS
 REVISED BY THE DESIGNER. IF ANY
 DISCREPANCIES ARE DISCOVERED
 HERE WITHIN, THE DESIGNER SHALL
 BE NOTIFIED.

A circular professional engineer seal for the Province of Ontario. The outer ring contains the text "LICENSED PROFESSIONAL ENGINEER" at the top and "PROVINCE OF ONTARIO" at the bottom. The center of the seal features a stylized signature of "V. MOHAMMED" above the license number "100216807", which is above the expiration date "FEB 10, 2025".

2	REVISION	FEB 10, 2025
1	ISSUED FOR BUILDING PERMIT	JUNE 15, 2024
NO.	DESCRIPTION	DATE


Mechways Inc.

ADDRESS : 6 RIPON ST, MISSISSAUGA,
ON L4T 1E2
TEL. : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

NEW TWO STOREY
SINGLE FAMILY
DWELLING
AT 51 HILLSIDE AVE,
CONCORD, ON

CHECKED: SS
DRAWN: MA
SCALE: NTS
DATE: JUNE 15, 2023

A0

GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT SCALED.
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SEAL:



5	REVISION	APR 10, 2025
4	REVISION	APR 25, 2024
3	REVISION	FEB 21, 2024
2	REVISION	NOV 11, 2023
1	ISSUED FOR BUILDING PERMIT	JUNE 15, 2023
NO.	DESCRIPTION	DATE

ENGINEER:



ADDRESS : 6 RIPON ST, MISSISSAUGA, ON L4T 1E2
TEL : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

NEW TWO STOREY SINGLE FAMILY DWELLING AT 51 HILLSIDE AVE, CONCORD, ON

SHEET TITLE:

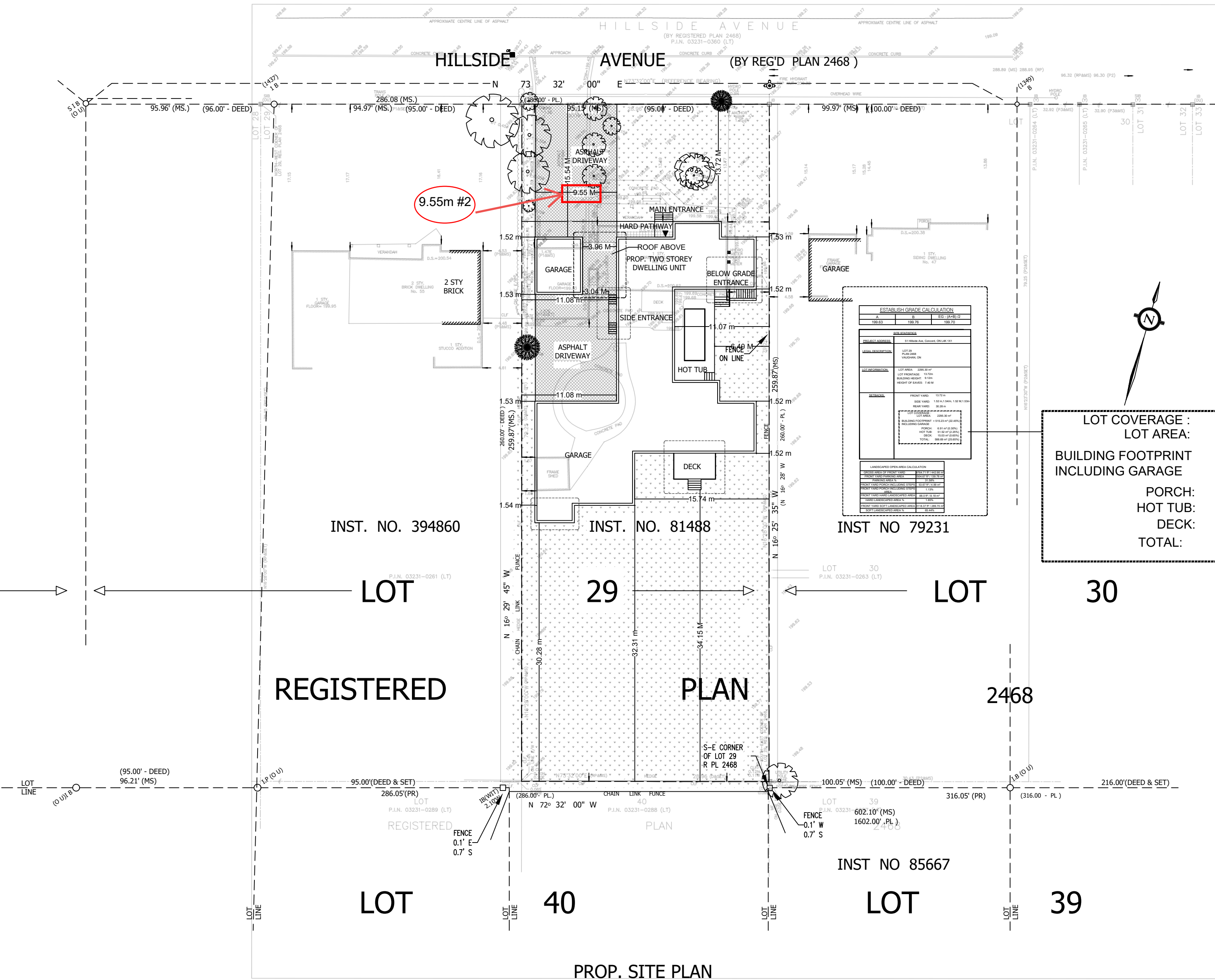
PROP. SITE PLAN

CHECKED: SS
DRAWN: MA
SCALE: 1:500
DATE: JUNE 15, 2023



DRAWING:

A1.1



TABLE

15612

ENGINEER:

Mechways Inc.

[REDACTED]

NEW TWO STOREY
SINGLE FAMILY
DWELLING
AT 51 HILLSIDE AVE,
CONCORD, ON

ROOF PLAN

44 DRAWING





1 PROP. FRONT ELEVATION

GENERAL NOTES:

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SEAL:



NO.	DESCRIPTION	DATE
4	REVISION	FEB 10, 2025
3	REVISION	JAN 09, 2024
2	REVISION	NOV 11, 2023
1	ISSUED FOR BUILDING PERMIT	JUNE 15, 2023

ENGINEER:

 Mechways Inc.

ADDRESS : 6 RIPON ST, MISSISSAUGA, ON L4T 1E2
TEL : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

NEW TWO STOREY
SINGLE FAMILY
DWELLING
AT 51 HILLSIDE AVE,
CONCORD, ON

SHEET TITLE:

FRONT
ELEVATION

CHECKED: SS
DRAWN: MA
SCALE: 1/4"=1'
DATE: JUNE 15, 2023

DRAWING:



A3.1



1 PROP. REAR SIDE ELEVATION

GENERAL NOTES:

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NO.	DESCRIPTION	DATE
4	REVISION	FEB 10, 2025
3	REVISION	JAN 09, 2024
2	REVISION	NOV 11, 2023
1	ISSUED FOR BUILDING PERMIT	JUNE 15, 2023

ENGINEER:

 **Mechways Inc.**

ADDRESS : 6 RIPON ST, MISSISSAUGA, ON L4T 1E2
TEL : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

NEW TWO STOREY
SINGLE FAMILY
DWELLING
AT 51 HILLSIDE AVE,
CONCORD, ON

SHEET TITLE:

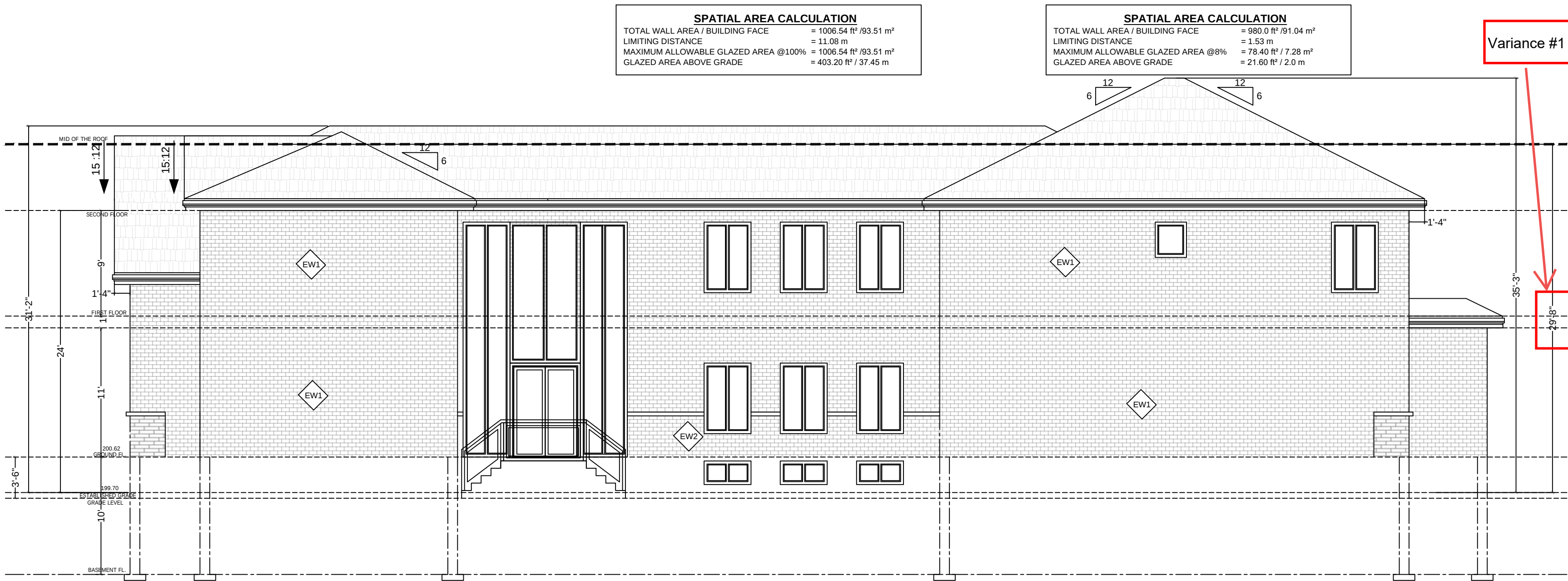
REAR ELEVATION

CHECKED: SS
DRAWN: MA
SCALE: 1/4"=1'
DATE: JUNE 15, 2023

DRAWING:



A3.2



SPATIAL AREA CALCULATION	
TOTAL WALL AREA / BUILDING FACE	= 1006.54 ft² / 93.51 m²
LIMITING DISTANCE	= 11.08 m
MAXIMUM ALLOWABLE GLAZED AREA @100%	= 1006.54 ft² / 93.51 m²
GLAZED AREA ABOVE GRADE	= 403.20 ft² / 37.45 m

SPATIAL AREA CALCULATION	
TOTAL WALL AREA / BUILDING FACE	= 980.0 ft² / 91.04 m²
LIMITING DISTANCE	= 1.53 m
MAXIMUM ALLOWABLE GLAZED AREA @8%	= 78.40 ft² / 7.28 m²
GLAZED AREA ABOVE GRADE	= 21.60 ft² / 2.0 m

Variance #1

1 PROP. RIGHT SIDE ELEVATION

GENERAL NOTES:

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NO.	DESCRIPTION	DATE
4	REVISION	FEB 10, 2025
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ENGINEER:

 Mechways Inc.

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TEL : 416-627-4100
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PROJECT:

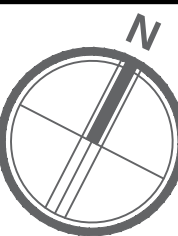
NEW TWO STOREY SINGLE FAMILY DWELLING AT 51 HILLSIDE AVE, CONCORD, ON

SHEET TITLE:

RIGHT SIDE ELEVATION

CHECKED: SS
DRAWN: MA
SCALE: 3/8" = 1'
DATE: JUNE 15, 2023

DRAWING:



A3.3

GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT SCALED.
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SEAL:



5	REVISION	MAR 02, 2025
4	REVISION	FEB 10, 2025
3	REVISION	JAN 09, 2024
2	REVISION	NOV 11, 2023
1	ISSUED FOR BUILDING PERMIT	JUNE 15, 2023
NO.	DESCRIPTION	DATE

ENGINEER:



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PROJECT:

NEW TWO STOREY
SINGLE FAMILY
DWELLING
AT 51 HILLSIDE AVE,
CONCORD, ON

SHEET TITLE:

LEFT SIDE
ELEVATION

CHECKED: SS
DRAWN: MA
SCALE: 3/32" = 1'
DATE: JUNE 15, 2023

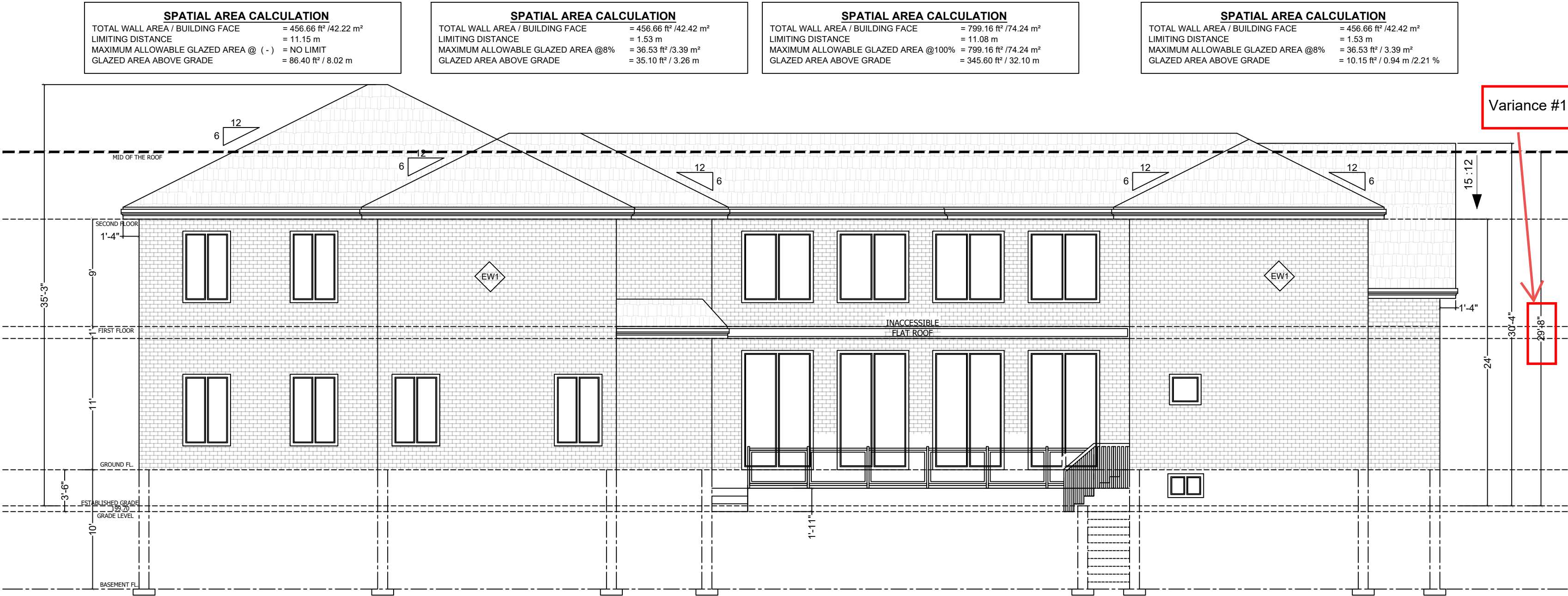
DRAWING:



A3.4

Variance #1

29'8"



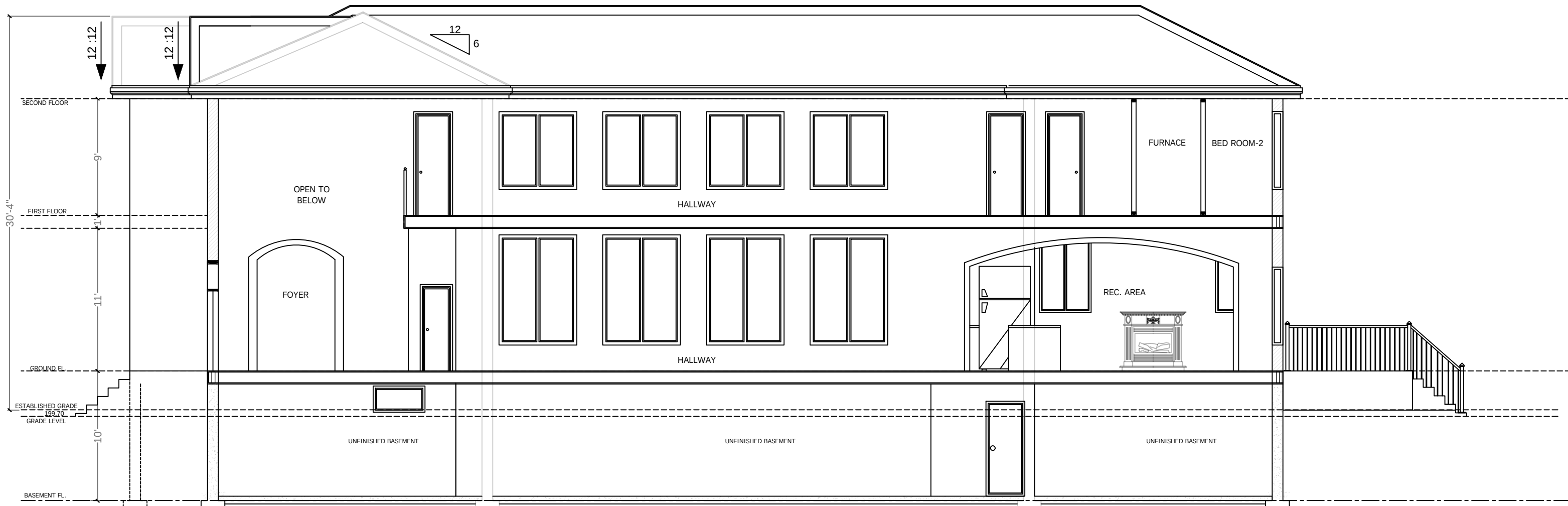
1 PROP. LEFT SIDE ELEVATION

SPATIAL AREA CALCULATION	
TOTAL WALL AREA / BUILDING FACE	= 456.66 ft² / 42.22 m²
LIMITING DISTANCE	= 11.15 m
MAXIMUM ALLOWABLE GLAZED AREA @ (-)	= NO LIMIT
GLAZED AREA ABOVE GRADE	= 86.40 ft² / 8.02 m

SPATIAL AREA CALCULATION	
TOTAL WALL AREA / BUILDING FACE	= 456.66 ft² / 42.22 m²
LIMITING DISTANCE	= 11.53 m
MAXIMUM ALLOWABLE GLAZED AREA @8%	= 36.53 ft² / 3.39 m²
GLAZED AREA ABOVE GRADE	= 35.10 ft² / 3.26 m

SPATIAL AREA CALCULATION	
TOTAL WALL AREA / BUILDING FACE	= 799.16 ft² / 74.24 m²
LIMITING DISTANCE	= 11.08 m
MAXIMUM ALLOWABLE GLAZED AREA @100%	= 799.16 ft² / 74.24 m²
GLAZED AREA ABOVE GRADE	= 345.60 ft² / 32.10 m

SPATIAL AREA CALCULATION	
TOTAL WALL AREA / BUILDING FACE	= 456.66 ft² / 42.42 m²
LIMITING DISTANCE	= 1.53 m
MAXIMUM ALLOWABLE GLAZED AREA @8%	= 36.53 ft² / 3.39 m²
GLAZED AREA ABOVE GRADE	= 10.15 ft² / 0.94 m / 2.21 %



1 PROP. SECTION A-A

GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT SCALED. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME. REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER. ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED.

SEAL:



4	REVISION	FEB 10, 2025
1	ISSUED FOR BUILDING PERMIT	JUNE 15, 2023
NO.	DESCRIPTION	DATE

ENGINEER:



ADDRESS : 6 RIPON ST, MISSISSAUGA, ON L4T 1E2
TEL : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

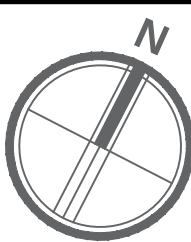
NEW TWO STOREY
SINGLE FAMILY
DWELLING
AT 51 HILLSIDE AVE,
CONCORD, ON

SHEET TITLE:

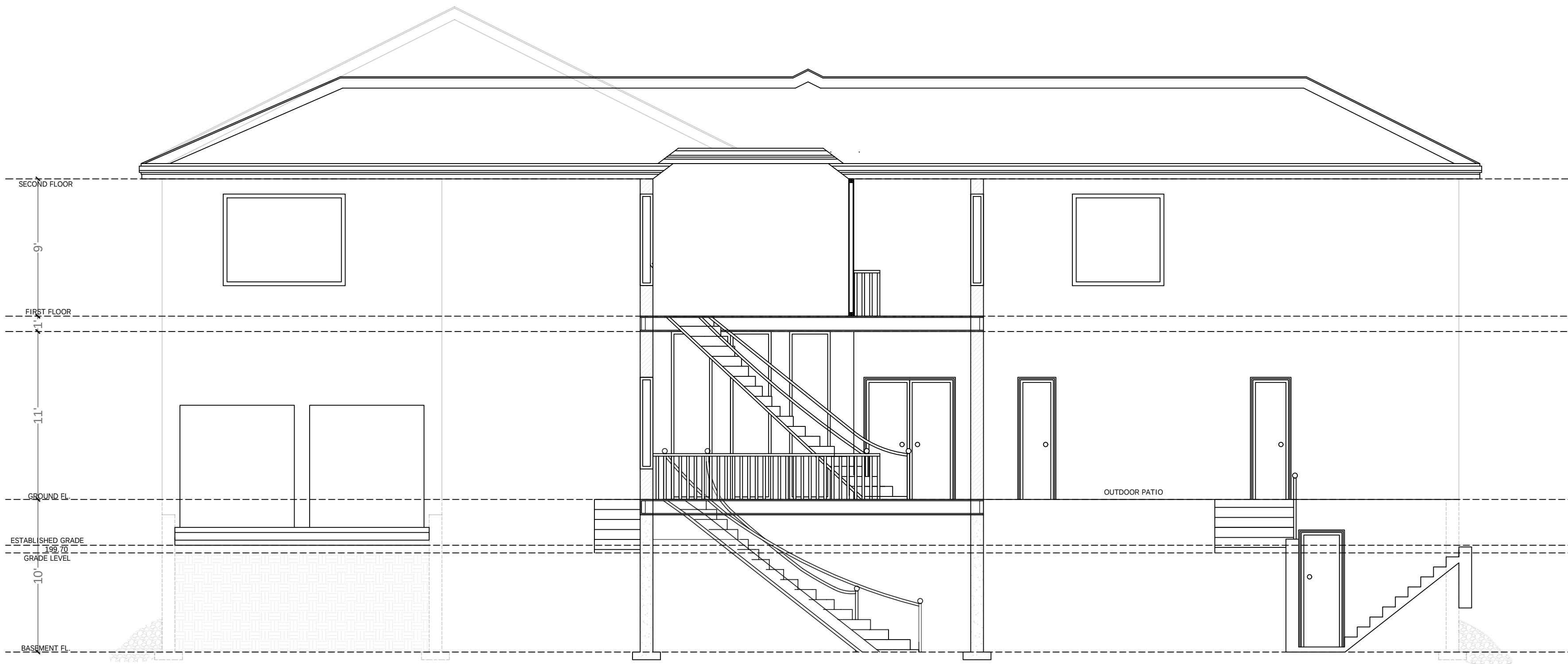
SECTION A-A

CHECKED: SS
DRAWN: MA
SCALE: 3/8" = 1'
DATE: JUNE 15, 2023

DRAWING:



A4.1



1 SECTION B-B

GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT SCALED.
CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.
REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.
ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED.

SEAL:



2	REVISION	FEB 10, 2025
1	ISSUED FOR BUILDING PERMIT	JUNE 15, 2023
NO.	DESCRIPTION	DATE

ENGINEER:

 **Mechways Inc.**

ADDRESS : 6 RIPON ST, MISSISSAUGA, ON L4T 1E2
TEL. : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

NEW TWO STOREY
SINGLE FAMILY
DWELLING
AT 51 HILLSIDE AVE,
CONCORD, ON

SHEET TITLE:

SECTION B-B

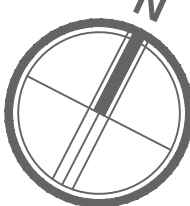
CHECKED: SS

DRAWN: MA

SCALE: 1/4"=1'

DATE: JUNE 15, 2023

DRAWING:



A4.2

SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING

Internal Departments *Comments Received	Conditions Required		Nature of Comments
Building Standards (Zoning)	Yes ☐	No ☒	General Comments
Development Planning	Yes ☐	No ☒	Recommend Approval/No Conditions

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes ☐	No ☒	General Comments
TRCA	Yes ☐	No ☒	General Comments
Region of York	Yes ☐	No ☒	General Comments
Metrolinx	Yes ☐	No ☒	General Comments

To: Committee of Adjustment

From: Christian Tinney, Building Standards Department

Date: April 28, 2025

Applicant: MECHWAYS INC

Location: 51 Hillside Avenue
PLAN RP2468 Part of Lot 29

File No.(s): A052/25

Zoning Classification:

The subject lands are zoned R1E(EN) – First Density Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The maximum height permitted is 8.5 metres. [Section 4.5 1.]	To permit a maximum height of 9.05 metres.
2	The maximum driveway width permitted is 9.0 metres. [Table 6-11]	To permit a maximum driveway width of 9.55 metres.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Building Permit No. 23-131749 for Single Detached Dwelling - Residential Demolition, Issue Date: Nov 29, 2023
Building Permit No. 23-122638 for Single Detached Dwelling - New (Infill Housing) L of C Included , Issue Date: (Not Yet Issued)

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	Air Conditioner and/or Heat Pump Units shall be permitted in the interior side yard with a minimum setback of 0.6 metres and may encroach a maximum of 1.5 metres into the required rear yard or exterior side yard.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development and Parks Planning

Date: May 27, 2025

Name of Owners: Amaninder and Rasneet Bharj

Location: 51 Hillside Avenue, Concord

File No.(s): A052/25

Proposed Variance(s) (By-law 001-2021):

1. To permit a maximum height of 9.05 m.
2. To permit a maximum driveway width of 9.55 m.

By-Law Requirement(s) (By-law 001-2021):

1. The maximum height permitted is 8.5 m.
2. The maximum driveway width permitted is 9.0 m.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owners are seeking relief to permit the construction of a new 2-storey single detached dwelling, with the above noted variances.

The Development and Parks Planning Department has no objection to Variance 1 to permit a maximum dwelling height of 9.05 m, whereas the Zoning By-law permits 8.5 m. On February 22, 2024, The Committee of Adjustment previously approved Minor Variance Application, File A203/23, to permit a maximum height of 9.04m. The current application contemplates a similar proposal with minor modifications to the design of the dwelling. The requested increase in height is minimal in nature and is not anticipated to cause any adverse massing impacts to the surrounding properties.

The Development and Parks Planning Department has no objection to Variance 2 to permit a driveway width of 9.55 m, whereas the By-law permits 9.0 m. The increase of 0.55 m is minimal in nature and does not impede the overall balance of soft and hard landscaping in the front yard of the proposed dwelling. The Development Engineering Department has also reviewed this application and has no objections.

Accordingly, the Development and Parks Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development and Parks Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

Comments Prepared by:

Alyssa Pangilinan, Planner
Janany Nagulan, Senior Planner

Date: April 30th 2025

Attention: **Christine Vigneault**

RE: Request for Comments

File No.:

Related Files: **A052-25**

Applicant: Mechways Inc.

Location 51 Hillside Ave

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra’s cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

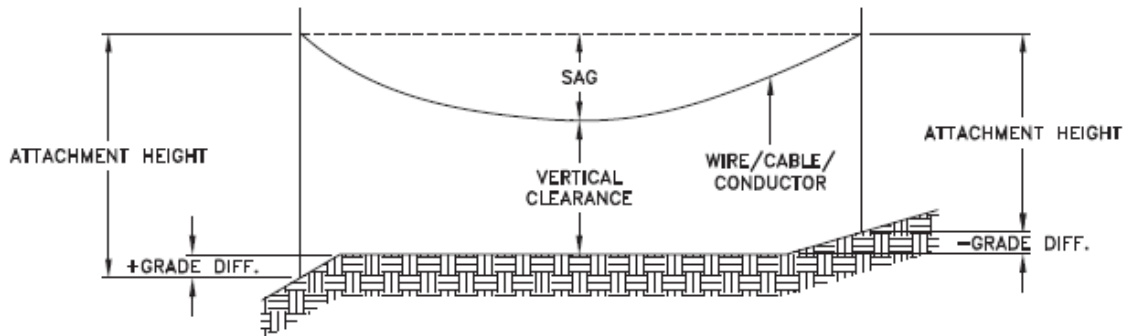
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 + GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

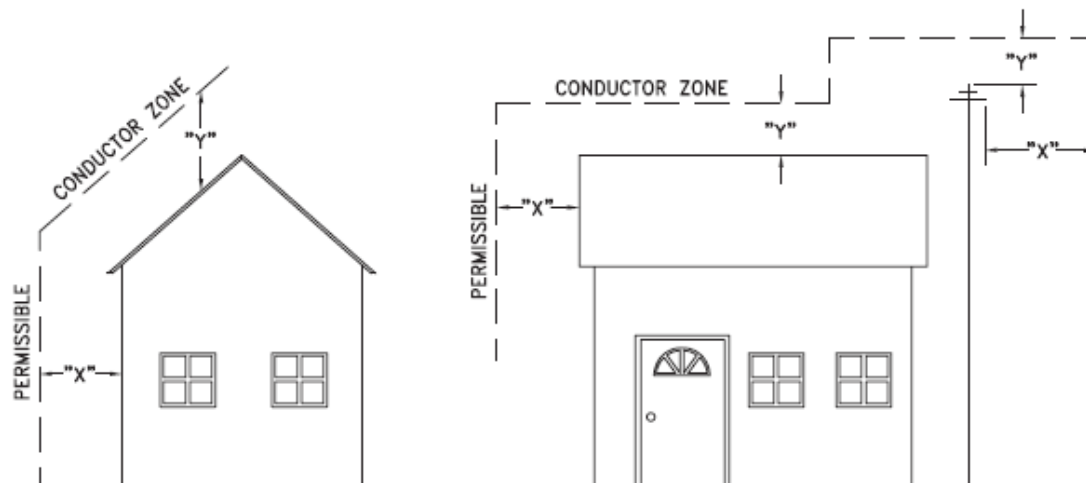
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARNACE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P.Eng. Approval By: D. Dadwani

From: [Cameron McDonald](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A052/25 - 51 Hillside Avenue - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Wednesday, April 30, 2025 11:24:32 AM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from the TRCA.

Based on the above, we have no comments/requirements.

Regards,

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:(437)880-1925)

E: cameron.mcdonald@trca.ca

A: [5 Shoreham Drive, Toronto, ON, M3N 1S4](#) | trca.ca



From: [Development Services](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A052/25 - 51 Hillside Avenue - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: April-30-25 2:06:30 PM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good afternoon,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Many thanks

Gabrielle

Gabrielle Hurst MCIP, RPP | Associate Planner, Development Planning, Economic and Development Services Branch | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

SCHEDULE D: BACKGROUND

Application No. (City File)	Application Description (i.e. Minor Variance Application; Approved by COA / OLT)
A203/23	Minor Variance Application; Approved by COA

NOTICE OF DECISION
MINOR VARIANCE APPLICATION A203/23
Section 45 of the Planning Act, R.S.O. 1990, c.P.13

DATE OF HEARING:	Thursday, February 22, 2024
APPLICANT:	Amaninder & Rasneet Bharj
AGENT:	Mechways Inc.
PROPERTY:	51 Hillside Avenue, Concord
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed dwelling.

The following variances are being requested from the City's Zoning By-law:

The subject lands are zoned **R1E(EN) – First Density Residential Zone (Established Neighbourhood)** under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The maximum height permitted is 8.5 metres. [Section 4.5 1.]	To permit a maximum height of 9.04 metres.

Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:

THAT Application No. **A203/23** for 51 Hillside Avenue, Concord be **APPROVED**, in accordance with the drawings and plans submitted with the application and subject to the following conditions:

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency. It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart below for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.		
1	Development Engineering jonal.hall@vaughan.ca	The Owner/Applicant shall submit an application for a Service Connection and to obtain a Cost Estimate by emailing serviceconnections@vaughan.ca . The Final Lot Grading and/or Servicing Plan will be required for the Service Connection Application. All costs associated with the service connection shall be the responsibility of the Owner/Applicant. Please visit the Service Connection page of the City of Vaughan's website: Service Connections City of Vaughan for more information. The Owner/Applicant is encouraged to initiate the process as early as possible as the Service Connection Application process typically takes 4-6 weeks. The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
		be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan’s website: Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
2	Parks, Forestry and Horticulture Operations ryan.cochrane@vaughan.ca	Obtain a tree removal permit from the Forestry division.

REASONS:

This application is approved, as it is the opinion of the Committee that, with the above noted conditions of approval, this application meets all four tests under Section 45(1) of the Planning Act:

1. The general intent and purpose of the by-law will be maintained.
2. The general intent and purpose of the official plan will be maintained.
3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
4. The requested variance(s) is/are minor in nature.

PUBLIC WRITTEN & ORAL SUBMISSIONS

Public correspondence considered by the Committee of Adjustment in the making of this decision.

WRITTEN SUBMISSIONS:

Name	Address	Date Received (mm/dd/yyyy)	Summary
Janet MacIroy	47 Hillside Avenue	02/16/2024	Letter of Objection

ORAL SUBMISSIONS:

Name	Address	Submission (Hearing) Date (mm/dd/yyyy)	Summary
None			

In accordance with Procedural By-law 069-2019, public written submissions on an Application shall only be received by the Secretary Treasurer until **noon** on the last business day prior to the day of the scheduled Meeting.

WRITTEN SUBMISSIONS RECEIVED PAST DEADLINE:

Name	Address	Date Received (mm/dd/yyyy)	Summary
None			

IMPORTANT INFORMATION
Making any changes to your proposal/development after a decision has been made may impact the validity of the Committee’s decision. An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings attached to this decision. A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law. Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application. Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

<i>J. Kalpin</i>	<i>ABSENT</i>	<i>M. Milunsky</i>
J. Kalpin Member	A. Perrella Chair	M. Milunsky Member
<i>S. Kerwin</i>		<i>B. Bell</i>
S. Kerwin Vice Chair		B. Bell Member

DATE OF HEARING:	February 22, 2024
DATE OF NOTICE:	February 28, 2024
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	March 13, 2024 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan’s Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application. <i>Christine Vigneault</i> Christine Vigneault Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

Appealing to The Ontario Land Tribunal
The Planning Act, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or a **specified person** or public body that has an interest in the matter may within 20 days of the making of the decision appeal to the Tribunal against the decision of the committee by filing with the secretary-treasurer of the committee a notice of appeal setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the secretary-treasurer of the fee charged by the Tribunal as payable on an appeal from a committee of adjustment to the Tribunal.

When **no appeal is lodged** within twenty days after the giving of notice the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

Please email and courier all appeals and prescribed fees to:

Office of the City Clerk - Committee of Adjustment
2141 Major Mackenzie Drive
Vaughan Ontario, L6A 1T1
cofa@vaughan.ca

If you have questions regarding the appeal process, please email cofa@vaughan.ca

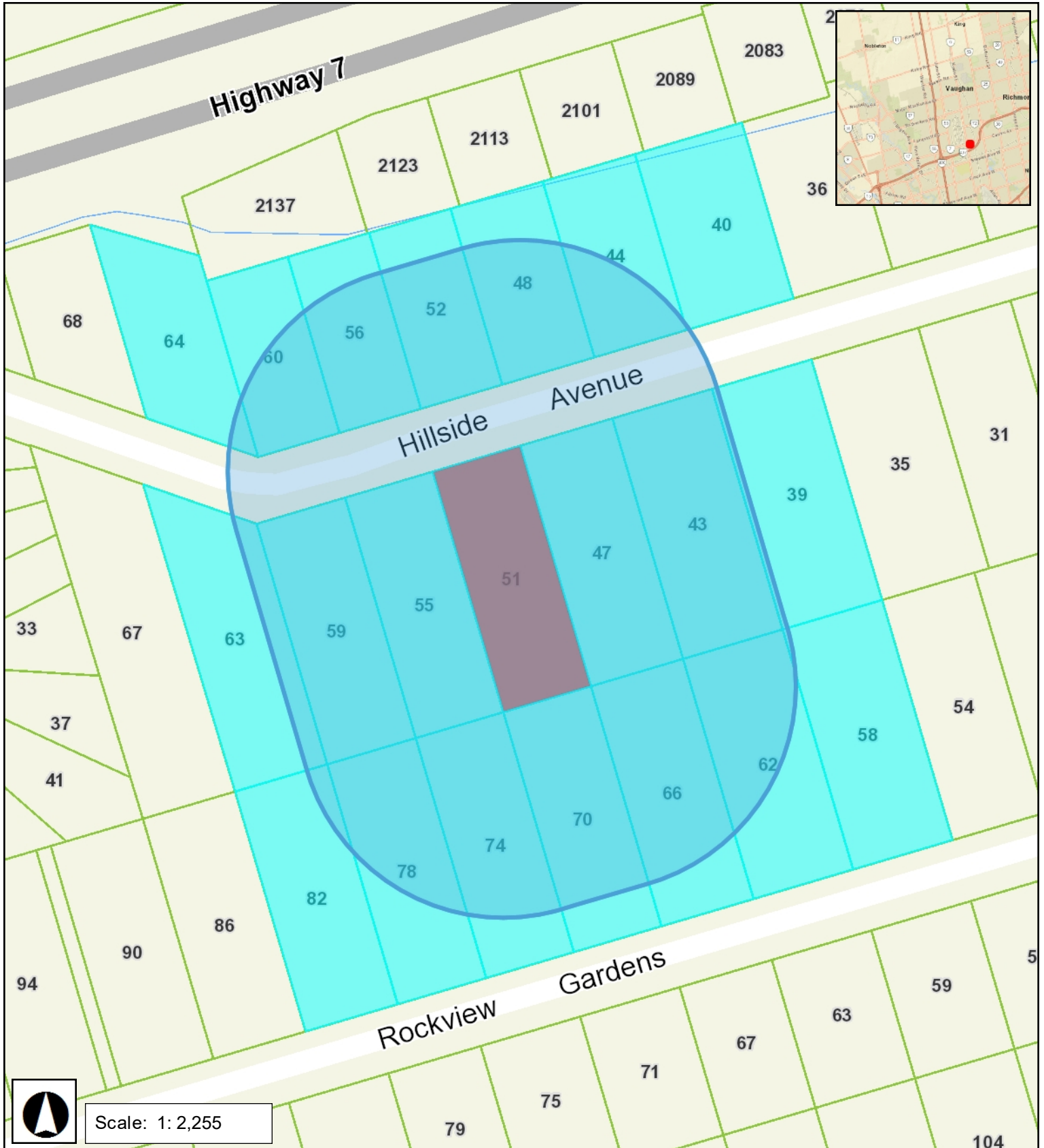
Appeal Fees & Forms

ONTARIO LAND TRIBUNAL (OLT): The OLT appeal fee is \$400 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The OLT Appeal Fee must be paid by certified cheque or money order payable to the “Minister of Finance”. OLT appeals must be filed with the Secretary Treasurer, City of Vaughan.

City of Vaughan OLT Processing Fee: [See Fee Schedule](#)

*Please note that all fees are subject to change.

51 Hillside Avenue, Concord



RECEIVED
By Prabhdeep Kaur at 11:27 am, Dec 22, 2023

#	Zoning By-law 001-2021	Variance requested
1	The maximum height permitted is 8.5 metres. [Section 4.5.1.]	To permit a maximum height of 9.04 metres.

GENERAL NOTES:
DRAWINGS ARE TO BE READ NOT
SCALED.
CONTRACTOR MUST VERIFY ALL
DIMENSIONS AND BE RESPONSIBLE
FOR THE SAME.
REPORT ANY DISCREPANCIES TO THE
DESIGNER BEFORE COMMENCING THE
WORK. THE DRAWINGS AND
DOCUMENTS PROVIDED HERE WITHIN
ARE THE EXCLUSIVE PROPERTY OF
MECHWAYS INC. REPRODUCTION OF
THE DOCUMENTS PROVIDED IS
PROHIBITED WITHOUT THE CONSENT
OF THE DESIGNER.
ALL DESIGN AND CONSTRUCTION
DOCUMENTATION ARE FINAL UNLESS
REVISED BY THE DESIGNER. IF ANY
DISCREPANCIES ARE DISCOVERED
HERE WITHIN, THE DESIGNER SHALL
BE NOTIFIED.

SEAL:



NO.	DESCRIPTION	DATE

ENGINEER:



ADDRESS : 2751 THAMESGATE DRIVE
MISSISSAUGA, ON. L4T 1G5
TEL. : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

NEW TWO STOREY
SINGLE FAMILY
DWELLING
AT 51 HILLSIDE AVE,
CONCORD, ON

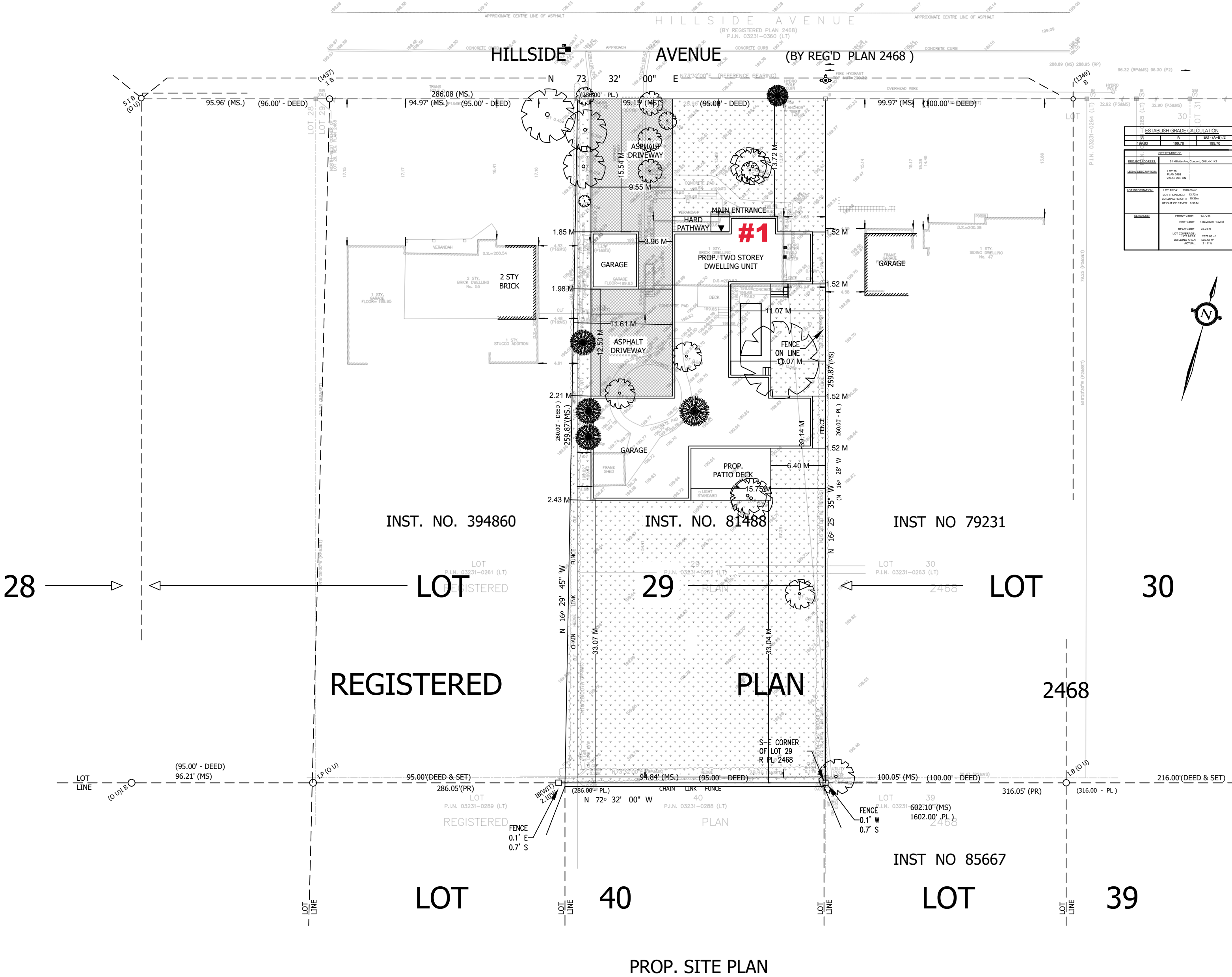
SHEET TITLE:

PROP. SITE
PLAN

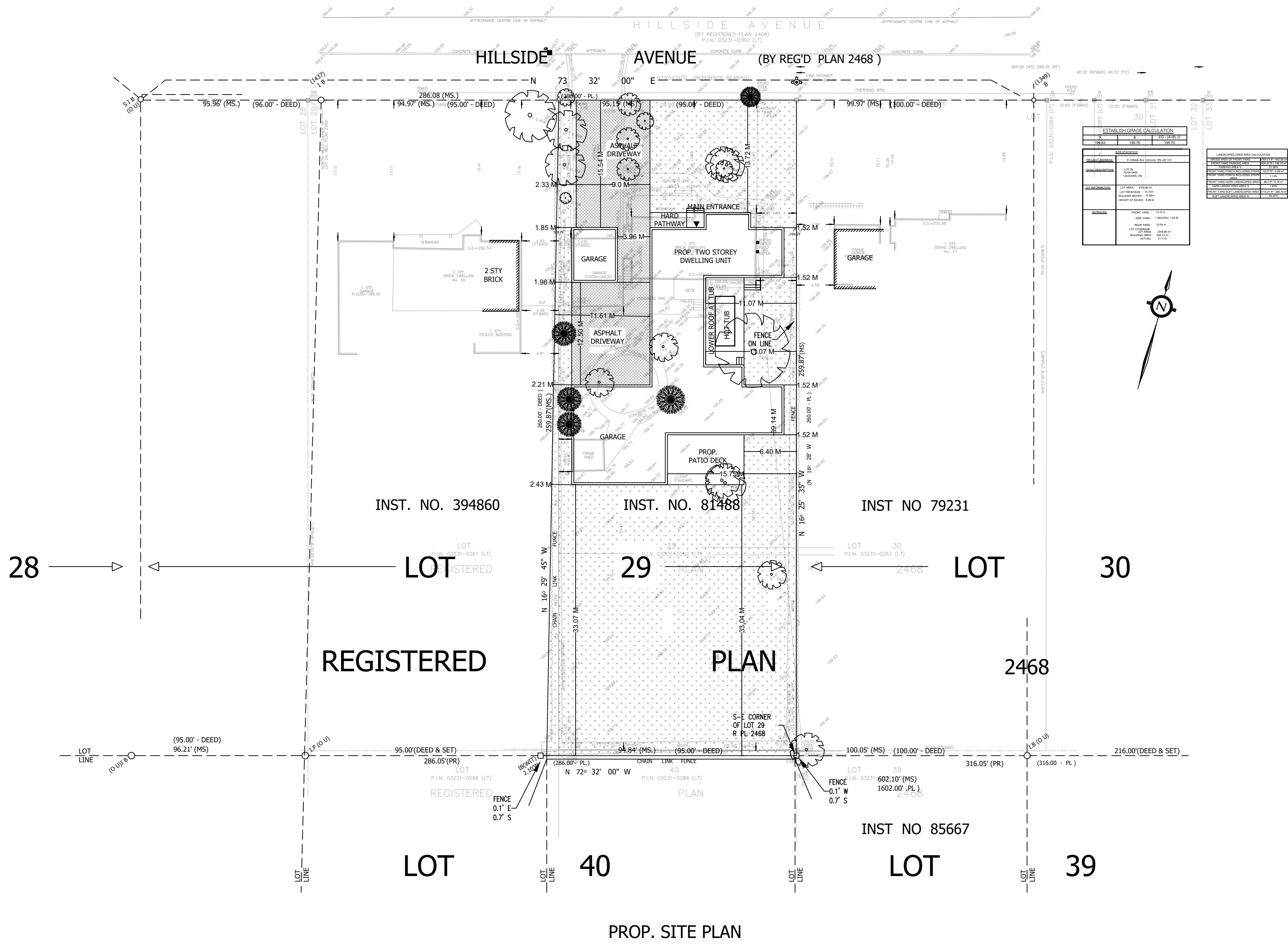
CHECKED: SS
DRAWN: MA
SCALE: NTS
DATE: JUNE 15, 2023

DRAWING:

A1.1



**Applicant provided this plan prior to the hearing, to confirm compliance with required driveway width (9 metres)



GENERAL NOTES:
DRAWINGS ARE TO BE READ NOT SCALED.
CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.
REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.
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SEAL:



NO.	DESCRIPTION	DATE
3	REVISION	FEB 21, 2024
2	REVISION	NOV 11, 2023
1	ISSUED FOR BUILDING PERMIT	JUNE 15, 2023

ENGINEER:

Mechways Inc.
ADDRESS : 2751 THAMESGATE DRIVE
MISSISSAUGA, ON. L4T 1G5
TEL. : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

PROJECT:

NEW TWO STOREY
SINGLE FAMILY
DWELLING
AT 51 HILLSIDE AVE,
CONCORD, ON

SHEET TITLE:

PROP. SITE
PLAN

CHECKED: SS
DRAWN: MA
SCALE: NTS
DATE: JUNE 15, 2023

DRAWING:

A1.1

RECEIVED
By providel at 5:18 pm, Jan 10, 2024

PLANS PREPARED AND VARIANCES
IDENTIFIED BY APPLICANT

GENERAL NOTES:
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SEAL:



2	REVISION	NOV 11, 2023
1	ISSUED FOR BUILDING PERMIT	JUNE 15, 2023
NO.	DESCRIPTION	DATE

ENGINEER:

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ADDRESS : 2751 THAMESGATE DRIVE
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PROJECT:

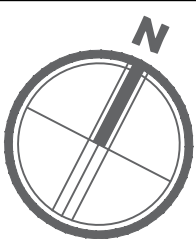
NEW TWO STOREY
SINGLE FAMILY
DWELLING
AT 51 HILLSIDE AVE,
CONCORD, ON

SHEET TITLE:

FRONT
ELEVATION

CHECKED: SS
DRAWN: MA
SCALE: 3/8"=1'
DATE: JUNE 15, 2023

DRAWING:



A3.1



1 PROP. FRONT ELEVATION