ITEM: 6.11

# REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A190/24

Report Date: April 4, 2025

# THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING DEPARTMENTS & AGENCIES (SEE SCHEDULE B):

Additional comments from departments and agencies received after the publication of the report will be made available on the City's <u>website</u>.

Internal Departments *Comments Received	Conditions	Required	Nature of Comments
Committee of Adjustment	Yes □	No ⊠	General Comments
Building Standards (Zoning)	Yes □	No ⊠	General Comments
Development Planning	Yes □	No ⊠	Recommend Approval/No Conditions
Development Engineering	Yes ⊠	No □	General Comments w/Conditions
Development Finance	Yes □	No ⊠	General Comments
Forestry	Yes ⊠	No □	General Comments w/Conditions

External Agencies *Comments Received	Conditions Required		Nature of Comments *See Schedule B for full comments
Alectra	Yes □	No ⊠	General Comments
Region of York	Yes □	No ⊠	General Comments
TRCA	Yes □	No ⊠	General Comments

## PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence	Name	Address	Date	Summary
Туре			Received (mm/dd/yyyy)	
Public	Jia	N/A		Letter of Objection
Applicant				Cover Letter

BACKGROUND (SCHEDULE D, IF REQUIRED)	
* Background Information contains historical development approvals considered to be related to this file.	
This information should not be considered comprehensive.	
Application No. (City File) Application Description	
	(i.e. Minor Variance Application; Approved by COA / OLT)
N/A	N/A

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
Hearing Date	Reason for Adjournment (to be obtained from NOD_ADJ)
N/A	N/A

SCHEDULES	
Schedule A Drawings & Plans Submitted with the Application	
Schedule B Comments from Agencies, Building Standards & Development Planning	
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



# MINOR VARIANCE APPLICATION FILE NUMBER A190/24

CITY WARD #:	3
APPLICANT:	Delfin Patron and Rosita Patron
AGENT:	Rohan Patel
PROPERTY:	1 Royview Crescent, Woodbridge
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	Not applicable.
PROPOSAL:	Relief from the zoning by-law is being requested to permit a proposed addition to the existing dwelling.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R4A(EN) – Forth Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.690 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A minimum rear yard of <b>6.0m</b> is required.	To permit a minimum rear yard of <b>4.1m</b> .
	[Table 7-5]	
2	A minimum exterior side yard of <b>2.4m</b> is required.	To permit a minimum exterior side yard of
	[Table 7-5]	2.3m.

## **HEARING INFORMATION**

**DATE OF MEETING:** Thursday, April 10, 2025

**TIME:** 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

#### PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the Request to Speak Form and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the Request to Speak Form on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS <u>NOON</u> ON THE LAST BUSINESS DAY BEFORE THE MEETING.

#### **INTRODUCTION**

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

#### INTRODUCTION

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITT	EE OF ADJUSTMENT
Date Public Notice Mailed:	March 27, 2025
Date Applicant Confirmed Posting of Sign:	March 25, 2025
Applicant Justification for Variances: *As provided in Application Form	Rear yard setback
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:  *ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.	Yes □ No ⊠
COMMENTS:	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	

DEVELOPMENT PLANNING	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

#### **DEVELOPMENT ENGINEERING**

<u>Link to Grading Permit</u> <u>Link to Pool Permit</u> <u>Link to Curb Curt Permit</u> <u>Link Culvert Installation</u>

The proposed work by the Owner/Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer. The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/permits to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca.

piedee email BEI emilio@yddghamed.	
Development Engineering	The Owner/Applicant shall submit an application and
Recommended Conditions of	obtain an approved Grading Permit before initiating any
Approval:	work on the property. The Final Lot Grading and/or
	Servicing Plan will be required for the Grading Permit
	Application. Please visit the Permits page of the City of
	Vaughan's website: Permits   City of Vaughan to apply
	for a Grading Permit. For any inquiries regarding the

PARKS, FORESTRY & HORTICULTURE (PFH)		
Recommended condition of approval:		
PFH Recommended Conditions of Approval:	Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property to protect tree on public property.	

Grading Permit, please email DEPermits@vaughan.ca

# PARKS, FORESTRY & HORTICULTURE (PFH)

2. Applicant/owner to install the tree protection hoarding for all public trees adjacent to the property.

DEVELOPMENT FINANCE		
No comment no concerns		
Development Finance Recommended Conditions of Approval:	None	

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES		
No comments received to date.		
BCLPS Recommended Conditions of Approval:  None		

BUILDING INSPECTION (SEPTIC)		
No comments received to date.		
Building Inspection Recommended Conditions of Approval:	None	

FIRE DEPARTMENT		
No comments received to date.		
Fire Department Recommended Conditions of Approval:	None	

## RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

cond	ditions have been recommended:	
#	DEPARTMENT / AGENCY	CONDITION
1	Development Engineering jonal.hall@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan's website: Permits Lity of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
2	Parks, Forestry and Horticulture Operations zachary.guizzetti@vaughan.ca	<ol> <li>Applicant/owner shall obtain a "Private Property Tree Removal &amp; Protection" permit through the forestry division prior to any construction works on the subject property to protect tree on public property.</li> <li>Applicant/owner to install the tree protection hoarding for all public trees adjacent to the property.</li> </ol>

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

## **IMPORTANT INFORMATION**

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

#### IMPORTANT INFORMATION

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

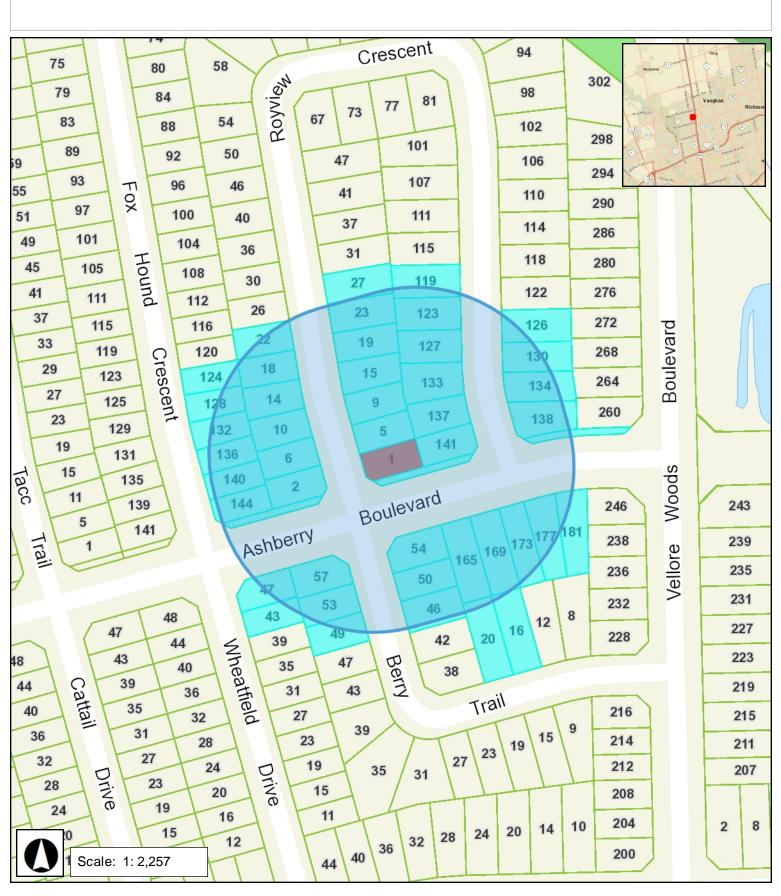
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

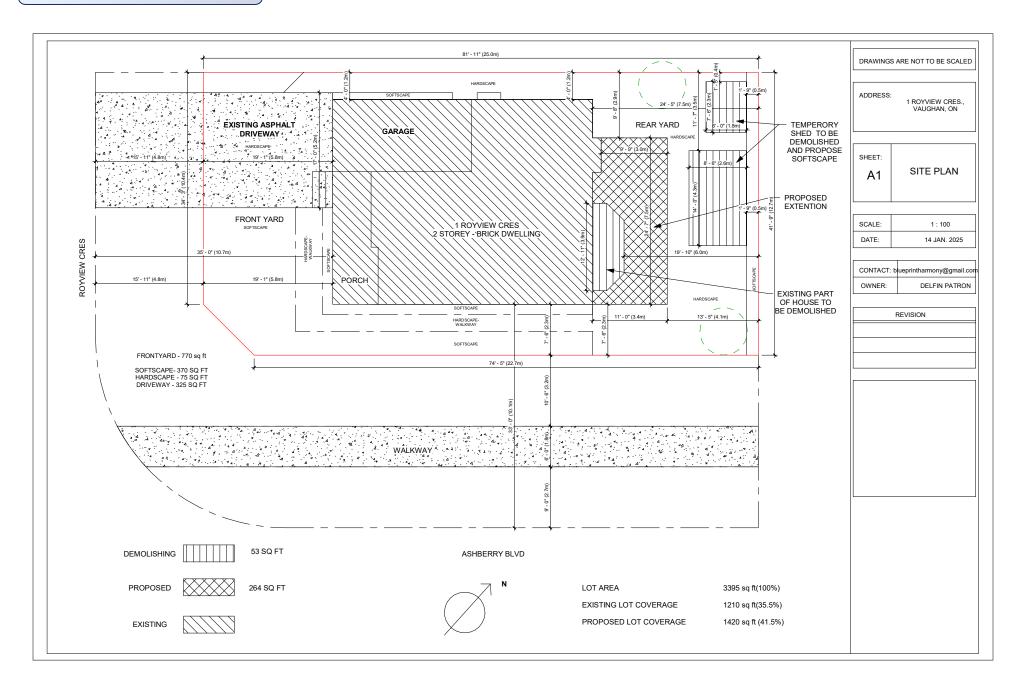
**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

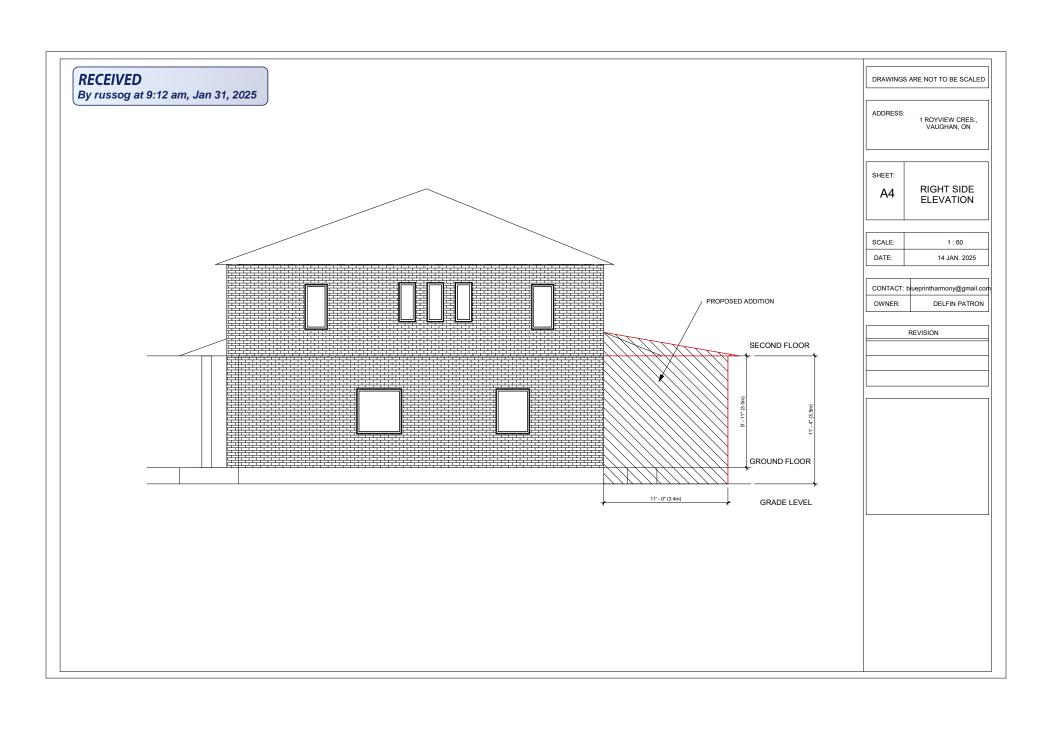
# **SCHEDULE A: DRAWINGS & PLANS**

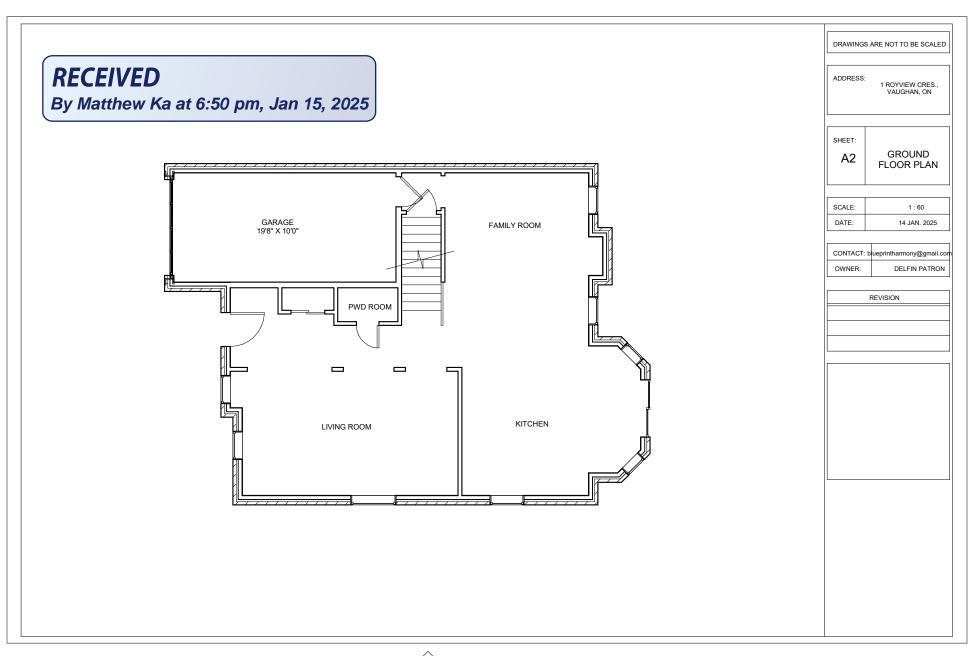


# Minor Variance Application A190/24









# SCHEDULE B: COMMENTS FROM AGENCIES, BUILDING STANDARDS & DEVELOPMENT PLANNING

Department / Agency	Conditions	Required	Nature of Comments
*Comments Received Building Standards (Zoning) *See Schedule B	Yes □	No ⊠	General Comments
Development Planning	Yes □	No ⊠	Recommend Approval/No Conditions
Alectra	Yes □	No ⊠	General Comments

Alectra	Yes □	No ⊠	General Comments
Region of York	Yes □	No ⊠	General Comments
TRCA	Yes □	No ⊠	General Comments



Date: January 21st 2024

Attention: Christine Vigneault

**RE:** Request for Comments

File No.:

Related Files: A190-24

Applicant: Rohan Patel

**Location** 1 Royview Cres



#### **COMMENTS:**

	We have reviewed the proposed Variance Application and have no comments or objections to its approval.
X	We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
	We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

#### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T

Supervisor, Distribution Design, ICI & Layouts (North)

**Phone**: 1-877-963-6900 ext. 31297

**E-mail**: stephen.cranley@alectrautilities.com

Mitchell Penner

Supervisor, Distribution Design-Subdivisions

**Phone**: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

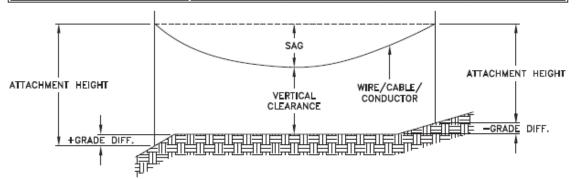


Power Stream 1

# Construction Standard

03-1

		SYSTEM	VOLTAGE	
LOCATION OF WIRES, CABLES OR CONDUCTORS	SPAN GUYS AND COMMUNICATIONS WIRES		4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM	VERTICAL CLEA	ARANCES (SEE	NOTE 2)
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO PEDESTRIANS AND BICYCLES ONLY	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT RAILWAY CROSSINGS	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG

- + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
  ± GRADE DIFFERENCE

- + 0.3m (VEHICLE OR RAILWAY LOCATION) + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

### NOTES:

- THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
- 2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER  $\underline{\text{MAXIMUM SAG}}$  CONDITIONS.
- 3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH
- 4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

<u>\G</u>	340cm	11'-4"		
	310cm	10'-4"		
VALUES.	250cm	8'-4"		
VALUES.				
REFERENCES				
SAGS AND T	FNSIONS 1	SECTION 02		

METRIC

810cm

760cm 730cm

520cm 480cm

442cm 370cm

CONVERSION TABLE

IMPERIAL (APPROX)

27'-0" 25'-4"

24'-4" 17'-4"

15'-5" 12'-4"

# MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

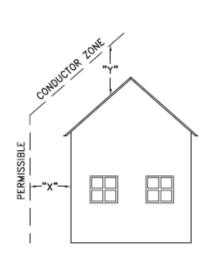
ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

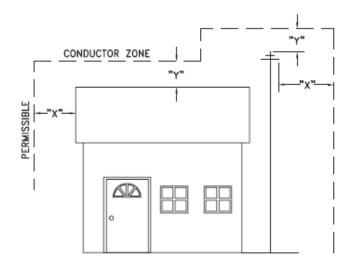
Certificate of Approval This construction Standard meets the safety requirements of Section 4 of Regulation 22/04		
Joe Crozier, P.Eng. Name	2012-JAN-09 Date	
P Fng. Approval By:	Ine Crozier	



# Construction Standard

03 - 4





VOLTAGE	MINIMUM HORIZONTAL CLEARNACE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)	
0-600V AND NEUTRAL	100cm	250cm	
4.16/2.4 TO 44kV	300cm	480cm	

#### NOTES

- UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
- 2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
- THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
- 4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
- IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
- 6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
- 7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE			
IMPERIAL			
(APPROX)			
16'-0"			
10'-0"			
8'-4"			
3'-4"			

## MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010—MAY—05 REVISION NO: REVISION DATE:
PEgystem Planning and Standards/Standard Design/PowerStream Standards/working (abbr/Scellan 3/3-4/c/wg d3-4 Ro May 5, 2010, dwg, %/3/2010 8/2/202 AM, Adobe POF



To: Committee of Adjustment

From: Faegheh Gholami, Building Standards Department

Date: February 26, 2025

Applicant: Rohan Patel

**Location:** 1 Royview Crescent

PLAN 65M3498 Lot 93

File No.(s): A190/24

### **Zoning Classification:**

The subject lands are zoned R4A(EN) – Forth Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.690 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A minimum rear yard of <b>6.0m</b> is required. [Table 7-5]	To permit a minimum rear yard of <b>4.1m</b> .
2	A minimum exterior side yard of <b>2.4m</b> is required.  [Table 7-5]	To permit a minimum exterior side yard of <b>2.3m</b> .

#### **Staff Comments:**

#### **Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file.

#### **Building Permit(s) Issued:**

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2

#### **Other Comments:**

Ger	General Comments			
1	The applicant shall be advised that additional variances may be required upon review of detailed			
	drawing for building permit.			
2	The Applicant notes that the two existing sheds, as shown in the location in the rear yard of the subject lands, are to be demolished, and the area upon which they currently are located will be converted to soft landscaping.			

#### **Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

<sup>\*</sup> Comments are based on the review of documentation supplied with this application.





To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development and Parks Planning

**Date:** March 28, 2025

Name of Owner: Delfin Patron, Rosita Patron

Location: 1 Royview Crescent

File No.(s): A190/24

#### **Proposed Variance(s):**

1. To permit a minimum rear yard of **4.1 m**.

2. To permit a minimum exterior side yard of 2.3 m.

#### By-Law 001-2021 Requirement(s):

- 1. A minimum rear yard of 6.0 m is required.
- 2. A minimum exterior side yard of 2.4 m is required.

#### Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

#### **Comments:**

The Owner is seeking relief to permit a building addition to the existing dwelling with the above noted variances.

The Development and Parks Planning Department has no objections to Variances 1 and 2 to permit decreased setbacks from the rear and exterior side lot lines to accommodate a single-storey structure as an addition to the existing dwelling. The proposed addition is compliant with height and lot coverage requirements. Other structures that are currently located in the rear yard are proposed to be removed to provide additional soft landscaping. The proposed setbacks of 2.3 m to the exterior lot line and 4.1 m to the rear lot line are sufficient to provide maintenance access. The proposed addition is not anticipated to incur negative visual impacts on the public realm or the neighbouring properties.

Accordingly, the Development and Parks Planning Department supports the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

#### Recommendation:

The Development and Parks Planning Department recommends approval of the application.

#### **Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

## **Comments Prepared by:**

Harry Zhao, Planner 1 Janany Nagulan, Senior Planner







































From: <u>Cameron McDonald</u>

To: <u>Committee of Adjustment Mailbox</u>

Subject: [External] RE: A190/24 - 1 ROYVIEW CRESCENT - REQUEST FOR COMMENTS, CITY OF VAUGHAN

**Date:** Friday, January 24, 2025 8:56:45 AM

Attachments: <u>image002.png</u>

**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Hello,

Based on a review of our screening mapping, I can confirm that the subject property is not located within TRCA's Regulated Area. As such, any site alteration or development on the property would not require a permit from the TRCA.

Based on the above, we have no comments/requirements.

Regards,

#### **Cameron McDonald**

Planner I

Development Planning and Permits | Development and Engineering Services

T: (437) 880-1925

E: cameron.mcdonald@trca.ca

A: 101 Exchange Avenue, Vaughan, ON, L4K 5R6 | trca.ca



From: <u>Hurst, Gabrielle</u>

To: <u>Committee of Adjustment Mailbox</u>

Subject: [External] RE: A190/24 - 1 ROYVIEW CRESCENT - REQUEST FOR COMMENTS, CITY OF VAUGHAN

**Date:** Wednesday, January 22, 2025 10:45:04 AM

**CAUTION!** This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

#### Good morning

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Regards,

#### Gabrielle

**Gabrielle Hurst MCIP, RPP**| Associate Planner, Development Planning, Economic and Development Services Branch | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

# SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Jia	N/A	03/17//2025	Letter of Objection
Applicant				Cover Letter

Date: 2024/11/14

Committee of Adjustment

RE: Minor Variance application for 1 Royview Cres.,

Dear member of the Committee of Adjustment and Secretary-Treasurer, I am writing this cover letter for the property of 1 Royview Cres. Vaughan, ON, To grant the permit to build the house extension in the rear yard. As per the property survey, the setback between the dwelling and rear yard lot line is 6m.

#### Reasons for extension:

- Enlarge the living area in the house.
- Propose the limited opening for keeping the neighbor's privacy.
- Existing rear yard setback is 6m and we are proposing a 4.1m setback.

My kind request is to consider this application and grant a permit for the above matter.

From:
To: Committee of Adjustment Mailbox

Subject: [External] Comments/Objection to Minor Variance Application A190/24 – 1 Royview Crescent

Date: Monday, March 17, 2025 8:51:36 PM

Attachments: <u>image002.png</u> <u>image001.pnq</u>

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Dear Committee Members,

I am writing to formally object to the proposed Minor Variance Application A190/24 for 1 Royview Crescent. As a neighbouring homeowner, my backyard directly borders this property, and I have significant concerns regarding the proposed building addition and increased lot coverage.

#### Concerns Regarding the Proposed Variance

#### 1. Loss of Privacy

The proposed extension will extend further into the rear yard, bringing the structure closer to my property. This could result in increased visibility into my backyard, reducing my privacy and the enjoyment of my outdoor space.

#### 2. Construction Noise, Air Quality, and Disruption

- The demolition and construction process will likely cause excessive noise, dust, and disruptions for an extended period, affecting my quality of life and daily routine. Since I work from home most of the time during a week, I am particularly concerned about noise levels during work hours.
- If the construction occurs during the non-winter months, the dust and debris in the air may negatively impact the air quality around my home. Does the city have any control over this to minimize the impact on surrounding residents?
- I also suffer from sleeping problems, and if construction takes place during weekends, it
  will significantly impact my ability to rest and recover. I urge the Committee to impose
  prohibition on weekend construction hours to minimize disturbances.

#### 3. Proximity of the Extension to My Property

The depth of my backyard is nearly the same as my neighbour's, which is relatively narrow. I am concerned that the proposed 3.4m extension will bring their property uncomfortably close to mine, reducing the separation between our homes and intensifying privacy, noise, and aesthetic concerns.

#### 4. Drainage and Water Runoff Issues

The increase in lot coverage from 35.5% to 41.5% significantly reduces permeable surface area. This may lead to inadequate water absorption and potential drainage issues, increasing the risk of flooding or pooling water on my property.

#### 5. Sunlight & Shadowing Garden Impact

Given the size and placement of the proposed addition, there is a strong likelihood that it will cast shadows onto my property, particularly during the afternoon and evening hours. This

reduction in natural sunlight could negatively impact my home and garden. Additionally, the decrease in sunlight may hinder the growth of my plants and affect my gardening efforts.

I appreciate your time and consideration of this matter. Please ensure that my comments/objection is included in the public record. I would also like to be notified of any updates or decisions regarding this application.

Sincerely, Jia

# SCHEDULE D: BACKGROUND

None