

ITEM: 6.4	REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A014/25
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Report Date: April 4, 2025

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES (SEE SCHEDULE B):**

Additional comments from departments and agencies received after the publication of the report will be made available on the City's [website](#).

Internal Departments <small>*Comments Received</small>	Conditions Required		Nature of Comments
Committee of Adjustment	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Building Standards (Zoning)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	General Comments w/Conditions
Forestry	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Recommend Approval w/Conditions
Finance	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

External Agencies <small>*Comments Received</small>	Conditions Required		Nature of Comments <small>*See Schedule B for full comments</small>
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions

PUBLIC & APPLICANT CORRESPONDENCE (SEE SCHEDULE C)

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
None				

BACKGROUND (SCHEDULE D, IF REQUIRED)

* Background Information contains historical development approvals considered to be related to this file.
This information should not be considered comprehensive.

Application No. (City File)	Application Description <small>(i.e. Minor Variance Application; Approved by COA / OLT)</small>
N/A	N/A

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

Hearing Date	Reason for Adjournment <small>(to be obtained from NOD_ADJ)</small>
None	None

SCHEDULES

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Comments from Agencies, Building Standards & Development Planning
Schedule C (if required)	Public & Applicant Correspondence
Schedule D (if required)	Background



MINOR VARIANCE APPLICATION FILE NUMBER A014/25

CITY WARD #:	3
APPLICANT:	C-Star Corporation
AGENT:	Michael Grisch (Ian Robertson Design)
PROPERTY:	41 Meadowland Court, Woodbridge
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	N/A
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed dwelling

The subject lands are zoned RE (EN) Estate Residential Zone (**Established Neighbourhood**) and subject to Exception 14.106 under Zoning Bylaw 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A minimum setback of 15 m is required from the rear lot line to a dwelling. [7.0, Table 7-2]	To permit a minimum setback of 12.69 m from the rear lot line to a dwelling.
2	A minimum setback of 14.51 m is required from the southerly interior side lot line to an exterior wall of a dwelling where a replacement dwelling is greater 9.5 m in height. [4.5.2 b]	To permit a minimum setback of 4.61 m from the southerly interior side lot line to an exterior wall of a dwelling.
3	A maximum height of 9.4 m is permitted. [4.5.1b]	To permit a dwelling with a height of 10.43 m.
4	A minimum lot area of 4500 m ² is required. [7.0, Table 7-2]	To permit a lot with a minimum lot area of 3718.36 m ² .
5	A maximum lot coverage of 15% is permitted. [Exception 14.106]	To permit a maximum lot coverage of 30.08%.
6	A minimum setback of 15 m is required from the southerly interior side lot line to an uncovered platform, with a floor height greater than 1.2 m as measured above grade and including access stairs. [4.13]	To permit a minimum setback of 7.95 m from the southerly interior side lot line to an uncovered platform, with a floor height greater than 1.2 m as measured above grade and including access stairs.

HEARING INFORMATION

DATE OF MEETING: Thursday, April 10, 2025

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

HEARING INFORMATION

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT

Date Public Notice Mailed:	March 27, 2025
Date Applicant Confirmed Posting of Sign:	March 19, 2025
Applicant Justification for Variances: <small>*As provided in Application Form</small>	Due to the homeowner's need of space and existing side yard setback we cannot comply.
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
COMMENTS:	
None	
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING)

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING

**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

The proposed work by the Owner/Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.

The Owner / Applicant shall ensure that the proposed (fill in proposed development) does not negatively impact neighbours due to surface water runoff. The property should be properly graded, ensuring that surface water from the (fill in proposed development) does not go onto adjacent lots in accordance with the City's Engineering Standards. It's important to note that (fill in proposed development based on Section 2.2.1 - Table 1.0) necessitates a Grading Permit. Once the Grading

DEVELOPMENT ENGINEERING

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

Permit is obtained, please reach out to the Development Engineering Reviewer to clear the Condition imposed on this application. (Condition attached)

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan’s website: https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/permits Permits City of Vaughan to apply for a Grading Permit. For any inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
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PARKS, FORESTRY & HORTICULTURE (PFH)

Recommended condition of approval:

PFH Recommended Conditions of Approval:	Applicant/owner shall obtain a “Private Property Tree Removal & Protection” permit through the forestry division prior to any construction works on the subject property.
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DEVELOPMENT FINANCE

No comment no concerns.

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES

No comments received to date.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC)

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

#	DEPARTMENT / AGENCY	CONDITION
1	Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca	Applicant/owner shall obtain a “Private Property Tree Removal & Protection” permit through the forestry division prior to any construction works on the subject property.
2	Development Engineering Jonal.hall@vaughan.ca	The Owner/Applicant shall submit an application and obtain an approved Grading Permit before initiating any work on the property. The Final Lot Grading and/or Servicing Plan will be required for the Grading Permit Application. Please visit the Permits page of the City of Vaughan’s website: https://www.vaughan.ca/about-city-vaughan/departments/development-engineering/permits Permits City of Vaughan to apply for a Grading Permit. For any

RECOMMENDED CONDITIONS OF APPROVAL SUMMARY

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

	inquiries regarding the Grading Permit, please email DEPermits@vaughan.ca
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All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval "if required". If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

IMPORTANT INFORMATION

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

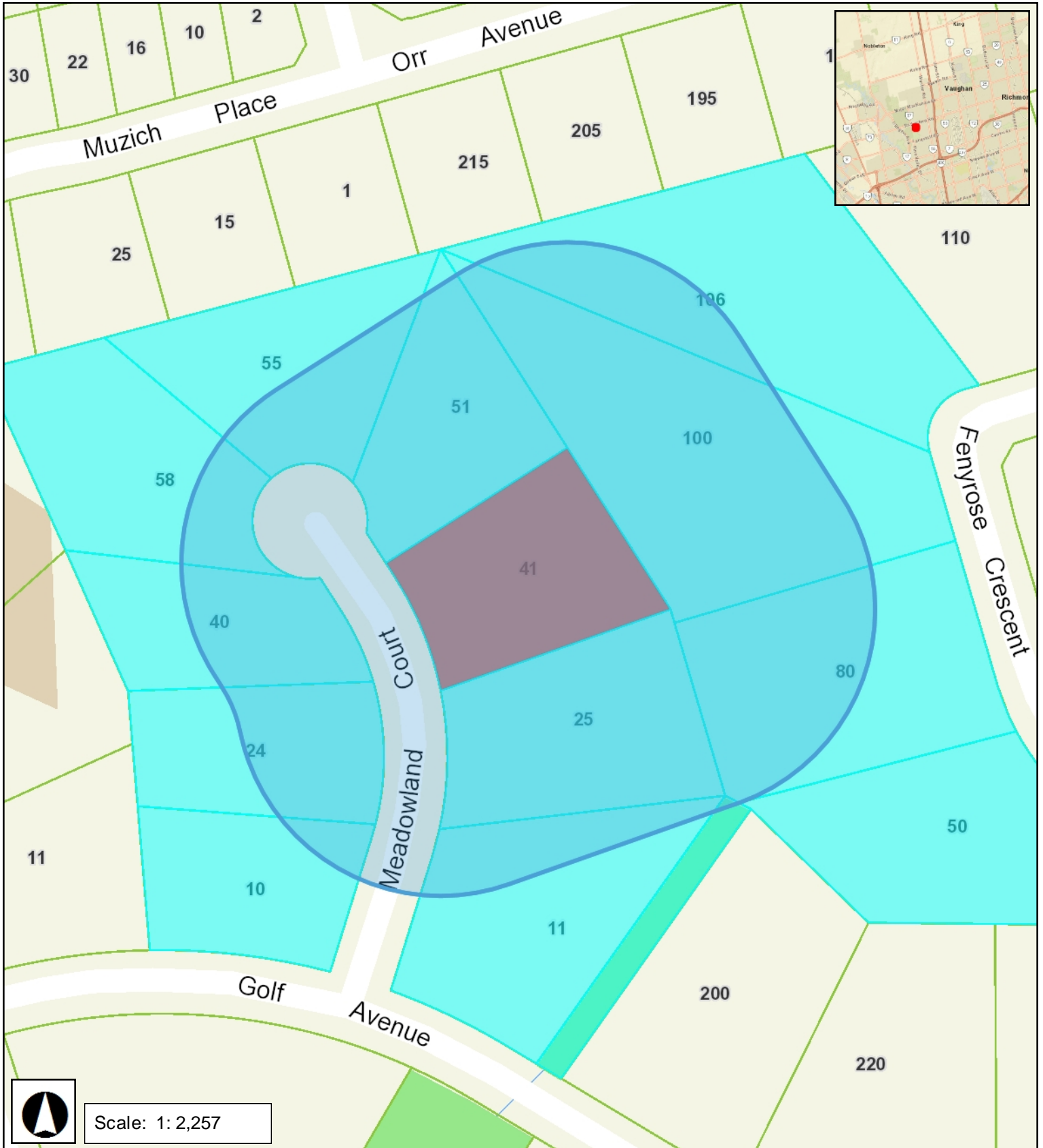
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



41 MEADOWLAND COURT.



REVISIONS		CLIENT:		SHEET TITLE:	
1	JAN. 21/25	ISSUED FOR COFA	CUSTOM RESIDENCE	COVER PAGE	
2	FEB. 26/25	REISSUED FOR COFA	PROJECT:	PROJECT NUMBER:	DRAWN BY:
			41 MEADOWLAND COURT,	24-23	MG
			CITY OF VAUGHAN	SCALE:	DRAWING NO.:
				3/32" = 1'-0"	1 OF 8

LOT 21
41 MEADOWLAND COURT
A014/25



#	Zoning By-law 001-2021	Variance requested
1	A minimum setback of 15 m is required from the rear lot line to a dwelling. [7.0, Table 7-2]	To permit a minimum setback of 12.69 m from the rear lot line to a dwelling.
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SITE DATA		ZONING	PROPOSED
ZONE	RE (EN)		
LOT FRONTAGE	45M		45.81 M
LOT AREA	4000M2		3718.36 M2
FRONT YARD SETBACK	13.29M		13.60 M
SIDE YARD SETBACK SOUTH	14.51M		4.61 M
		NORTH	6.15M
			13.35 M (DWELLING) 6.89 M (MOTOR COURT) 2.45 M (RAMP) 10.07 M (PORTE COCHERE)
REAR YARD SETBACK	15M		24.38 M (DWELLING) 12.69 M (CABANA)
GROUND FLOOR AREA			490.62 M2
GROSS FLOOR AREA			1115.30 M2
LOT COVERAGE DWELLING & GARAGES			16.28% (605.17M2)
LOT COVERAGE OF PORTICO			0.23% (8.45 M2)
LOT COVERAGE OF BBQ PORCH			0.28% (10.50M2)
LOT COVERAGE OF SIDE PORCH			0.41% (15.24M2)
LOT COVERAGE OF REAR COVERED PORCH			1.76% (65.40M2)
LOT COVERAGE OF COVERED PATIO @ CABANA			0.94% (35.12M2)
LOT COVERAGE OF ATTACHED CABANA			2.70% (100.61M2)
LOT COVERAGE OF PORTE COCHERE			0.92% (34.10M2)
LOT COVERAGE OF MOTORCOURT (U/G GARAGE)			6.56% (243.78M2)
TOTAL COVERAGE	15% (557.75M2)		30.08% (1118.37 M2)
BLDG HEIGHT TO PEAK	9.40M		10.43M
BLDG HEIGHT TO MIDPOINT			9.54M
EAVE ENCROACHMENT	0.5M		0.23M
MAX CUMULATIVE DRIVEWAY WIDTH @ STREET	15.0M		9.14 M
FRONT YARD AREA			660.19 M2
DRIVEWAY AREA			319.90 M2
WALKWAY, STAIR & RET. WALLS AREA			23.64 M2
FRONT YARD LANDSCAPING	50% (330.09M2)		660.19 - 319.90 = 340.29 M2 (51.54%)
FRONT YARD SOFT LANDSCAPING	60% (198.05M2)		340.29 - 23.64 = 316.65 M2 (95.93%)
REAR YARD AREA			1299.06M2
POOL			59.46 M2
HARDSCAPE AREA INC. RET. WALLS, STAIRS, POOL DECK, SPORTS COURT			34.41 M2 (RET. WALLS) 33.82 M2 (STAIRS) 194.65 M2 (POOL DECK) 149.75M2 (SPORTS COURT)
TOTAL IMPERVIOUS			472.09 M2
REAR YARD SOFT LANDSCAPING			1299.06 - 472.09 = 826.97 M2 (63.66%)

CLIENT: CUSTOM RESIDENCE

SHEET TITLE: SITE PLAN

PROJECT: 41 MEADOWLAND COURT, CITY OF VAUGHAN

DRAWN BY: MG

PROJECT NUMBER: 24-23

SCALE: 1:200

DRAWING NO.: 2 OF 8

REVISIONS:

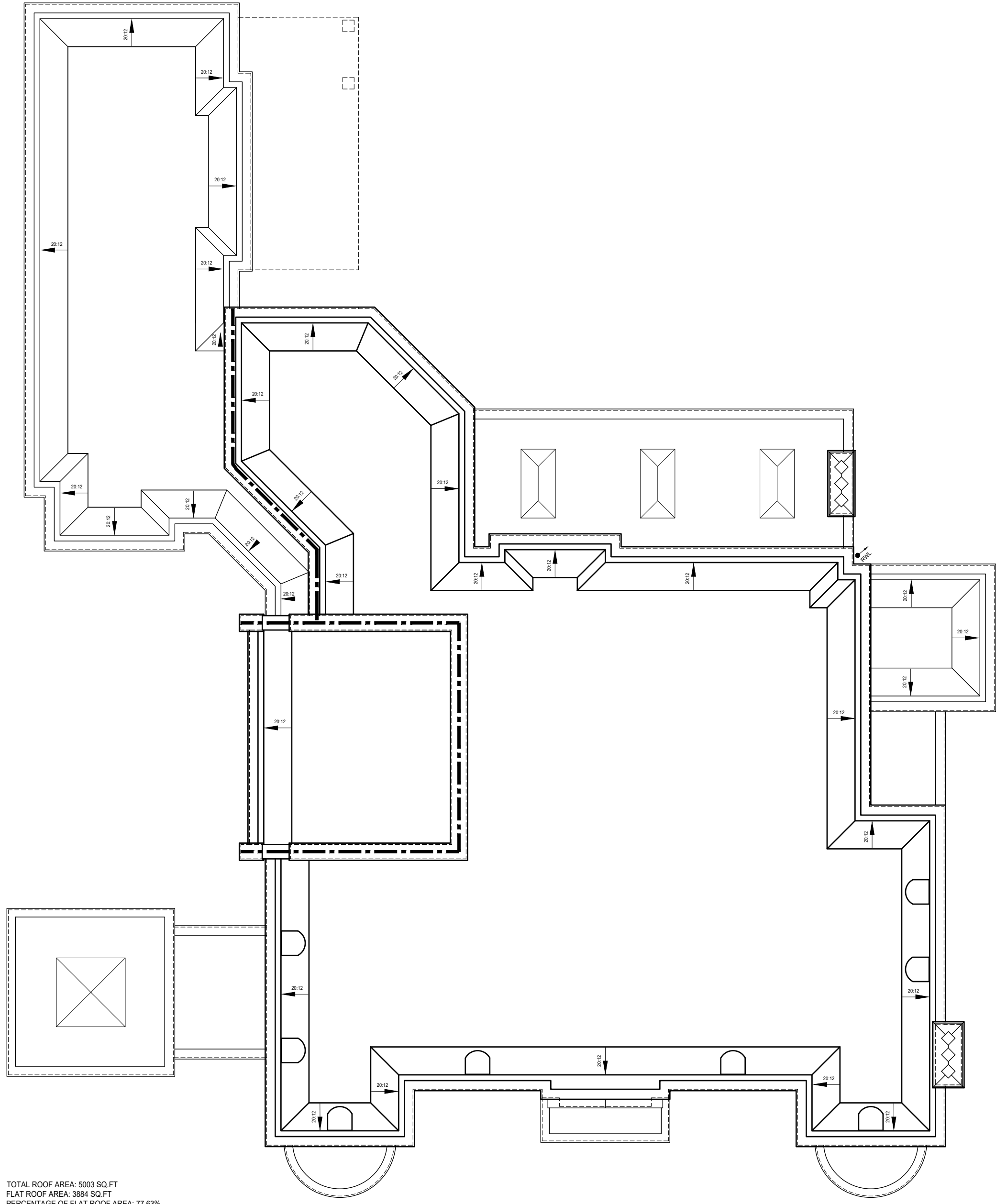
1	JAN. 21/25	ISSUED FOR COFA
2	FEB. 20/25	REISSUED FOR COFA

LOT 21

41 MEADOWLAND COURT. A014/25

3718.36M2 #4

30.08% (1118.37M2) #5



TOTAL ROOF AREA: 5903 SQ.FT
 FLAT ROOF AREA: 3884 SQ.FT
 PERCENTAGE OF FLAT ROOF AREA: 77.63%

LOT 21
 41 MEADOWLAND COURT
 A014/25

REVISIONS	CLIENT:	SHEET TITLE:
1	CUSTOM RESIDENCE	ROOF PLAN
2	41 MEADOWLAND COURT, CITY OF VAUGHAN	PROJECT NUMBER: 24-23 DRAWN BY: MG SCALE: 3/32" = 1'-0" DRAWING NO.: 6 OF 8



FRONT ELEVATION



REAR ELEVATION

#	Zoning By-law 001-2021	Variance requested
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LOT 21
41 MEADOWLAND COURT
A014/25

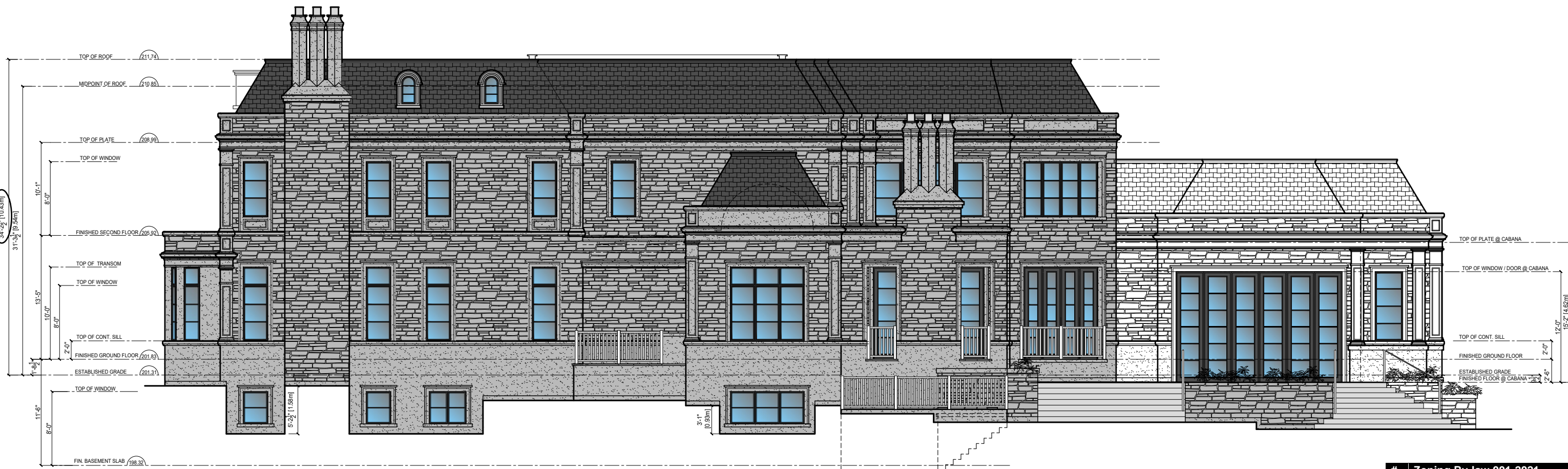
SHEET TITLE: FRONT & REAR ELEVATION
PROJECT NUMBER: 24-23
SCALE: 3/32" = 1'-0"

CLIENT: CUSTOM RESIDENCE
PROJECT: 41 MEADOWLAND COURT, CITY OF VAUGHAN

REVISIONS
1 JAN. 21/25 ISSUED FOR COFA
2 FEB. 26/25 REISSUED FOR COFA



LEFT ELEVATION



RIGHT ELEVATION

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**LOT 21
41 MEADOWLAND COURT
A014/25**

CLIENT: CUSTOM RESIDENCE		SHEET TITLE: LEFT & RIGHT SIDE ELEVATION	
REVISIONS	ISSUED FOR COFA	PROJECT NUMBER: 24-23	DRAWN BY: MG
1 JAN. 21/25	REISSUED FOR COFA	CITY OF VAUGHAN	DRAWING NO.: 8 OF 8
2 FEB. 26/25			SCALE: 3/32" = 1'-0"

**SCHEDULE B:
COMMENTS FROM AGENCIES, BUILDING STANDARDS &
DEVELOPMENT PLANNING**

Department / Agency <small>*Comments Received</small>	Conditions Required		Nature of Comments
Building Standards (Zoning) *See Schedule B	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Development Planning	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Alectra	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
Region of York	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments
TRCA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	General Comments

Date: February 27th 2025

Attention: **Christine Vigneault**

RE: Request for Comments

File No.:

Related Files: **A014-25**

Applicant: Armando Baldassara

Location 41 Meadowland



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

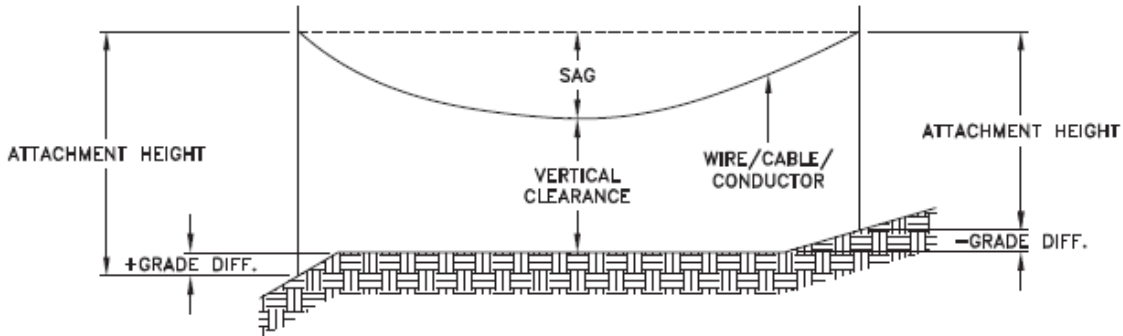
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

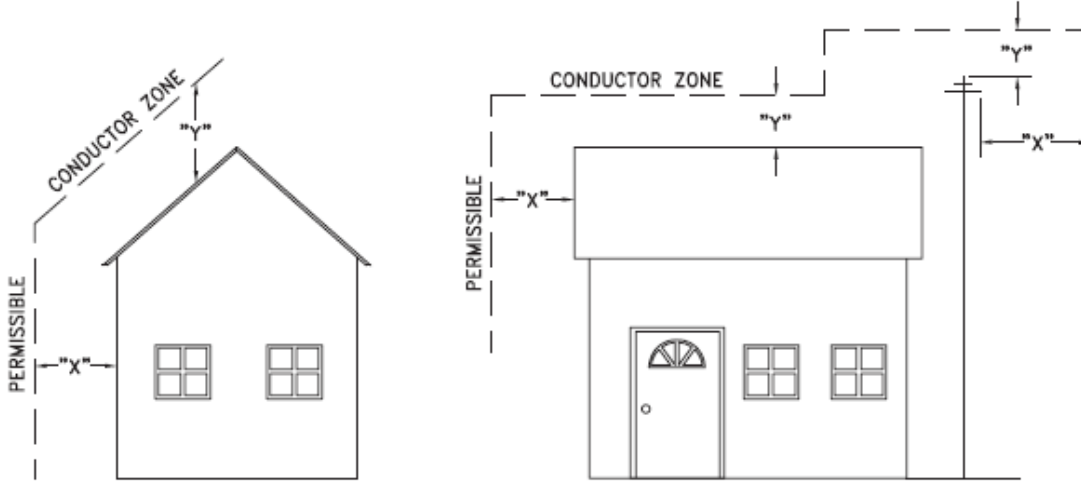
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Catherine Saluri, Building Standards Department
Date: March 6, 2025
Applicant: Armando Baldassara
Location: 41 Meadowland Court
 PLAN M1857 Lot 21
File No.(s): A014/25

Zoning Classification:

The subject lands are zoned RE (EN) Estate Residential Zone (Established Neighbourhood) and subject to Exception 14.106 under Zoning Bylaw 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A minimum setback of 15 m is required from the rear lot line to a dwelling. [7.0, Table 7-2]	To permit a minimum setback of 12.69 m from the rear lot line to a dwelling.
2	A minimum setback of 14.51 m is required from the southerly interior side lot line to an exterior wall of a dwelling where a replacement dwelling is greater 9.5 m in height. [4.5.2 b]	To permit a minimum setback of 4.61 m from the southerly interior side lot line to an exterior wall of a dwelling.
3	A maximum height of 9.4 m is permitted. [4.5.1b]	To permit a dwelling with a height of 10.43 m.
4	A minimum lot area of 4500 m ² is required. [7.0, Table 7-2]	To permit a lot with a minimum lot area of 3718.36 m ² .
5	A maximum lot coverage of 15% is permitted. [Exception 14.106]	To permit a maximum lot coverage of 30.08%.
6	A minimum setback of 15 m is required from the southerly interior side lot line to an uncovered platform, with a floor height greater than 1.2 m as measured above grade and including access stairs. [4.13]	To permit a minimum setback of 7.95 m from the southerly interior side lot line to an uncovered platform, with a floor height greater than 1.2 m as measured above grade and including access stairs.

Staff Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).
3	Two kitchens are shown in the architectural drawing package. The Applicant shall be advised that the review has been conducted for a single-family dwelling unit only.
4	The Applicant should consult with Bylaw Enforcement about the proposed fence on 0.6 m high wall stone and 1.8 m high stone pier in the front yard for compliance with the City of Vaughan fence bylaw.
5	The Applicant confirms that the pool equipment will be ground mounted and not covered by a structure.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

None

* Comments are based on the review of documentation supplied with this application.

From: [Zachary Guizzetti](#)
To: [Committee of Adjustment Mailbox](#)
Subject: A014/25 Vaughan - Forestry - Complete With Conditions (Gianluca Russo)
Date: Friday, March 7, 2025 8:51:32 AM

Please note that Vaughan - Forestry process is now complete for a COA folder with the following details:

File No: A014/25

Type: Minor Variance - Major Development

Address: 41 Meadowland Ct

Comments:

Conditions:1) Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development and Parks Planning
Date: March 31, 2025
Name of Owner: Armando Baldassarra – C-Star Corp.
Location: 41 Meadowland Court
File No.(s): A014/25

Proposed Variance(s):

1. To permit a minimum setback of **12.69 m** from the rear lot line to a dwelling.
2. To permit a minimum setback of **4.61 m** from the southerly interior side lot line to an exterior wall of a dwelling.
3. To permit a dwelling with a height of **10.43 m**.
4. To permit a lot with a minimum lot area of **3718.36 m²**.
5. To permit a maximum lot coverage of **30.08%**.
6. To permit a minimum setback of **7.95 m** from the southerly interior side lot line to an uncovered platform, with a floor height greater than 1.2 m as measured above grade and including access stairs.

By-Law 001-2021 Requirement(s):

1. A minimum setback of **15 m** is required from the rear lot line to a dwelling.
2. A minimum setback of **14.51 m** is required from the southerly interior side lot line to an exterior wall of a dwelling where a replacement dwelling is greater 9.5 m in height.
3. A maximum height of **9.4 m** is permitted.
4. A minimum lot area of **4500 m²** is required.
5. A maximum lot coverage of **15%** is permitted.
6. A minimum setback of **15 m** is required from the southerly interior side lot line to an uncovered platform, with a floor height greater than 1.2 m as measured above grade and including access stairs.

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Low Rise Residential"

Comments:

The Owner is seeking relief to permit a new single detached dwelling with the above noted variances.

The Development and Parks Planning Department has no objections to Variance 1 to reduce the setback from the rear lot line from 15 m to 12.69 m. The setback reduction is requested to accommodate an attached cabana, whereas the majority of the dwelling is further setback from the rear lot line. The proposed setback is sufficient for access and for the rear yard to function as an amenity space. The proposed setback reduction is not anticipated to incur any impacts on neighbouring properties.

The Development and Parks Planning Department has no objections to Variance 2 to reduce the southern interior side yard setback from 14.51 m to 4.61 m. The property is located within an Established Neighbourhood ('EN') zone and is required to maintain the current setback of the existing dwelling. The intent of the provision is to protect the existing built form characteristics of the neighbourhood. The proposed 4.61 m setback provides sufficient space for access and respects the typical building envelope that currently exists in the neighbourhood. As such the side yard setback reduction maintains the general intent of the Zoning By-law.

The Development and Parks Planning Department has no objections to Variance 3 to increase the maximum permitted dwelling height from 9.4 m to 10.43 m. The proposed two-storey dwelling has a mansard roof and is adequately setback from the front lot line and public realm. The proposed height increase is minor in nature and in keeping with the built form characteristics of the neighbourhood.

The Development and Parks Planning Department has no objections to Variance 4 to reduce the minimum lot area from 4,500 m² to 3,718.36 m². The property is a lot of record and was created through a subdivision registered in 1979, which predates Zoning By-law 001-2021 and Zoning By-law 1-88. The current property maintains the same lot boundaries as when the lot was created through the subdivision in 1979. The current lot size is consistent with the lot fabric of the neighbourhood and is sufficient to accommodate the proposed dwelling.

The Development and Parks Planning Department has no objections to Variance 5 to increase the maximum permitted lot coverage from 15% to 30.08%. The lot coverage includes unenclosed porches and a motorcourt, accounting for a combined 11.1% of the lot coverage. The proposed motorcourt provides cover for a private underground parking garage that is partially located above the established grade, and is therefore included in the lot coverage. The proposed lot coverage is anticipated to have minimal massing impacts on the public realm and neighbouring properties, and is sufficient to provide for a variety of landscaping and vegetation on the property. The proposed lot coverage therefore maintains the general intent of the Zoning By-law.

The Development and Parks Planning Department has no objections to Variance 6 to reduce the minimum setback from an uncovered platform to the southern interior lot line. The 7.95 m setback is measured from the southern lot line to the stairway connecting to the landscaped patio. The 7.95 m setback allows access between the rear and front yards, and is not anticipated to have any impacts to the south neighbour.

Accordingly, the Development and Parks Planning Department supports the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development and Parks Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None.

Comments Prepared by:

Harry Zhao, Planner 1

Janany Nagulan, Senior Planner

From: [Cameron McDonald](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A014/25 - 41 MEADOWLAND COURT - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Monday, March 10, 2025 10:52:53 AM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good morning,

A portion of the subject property (14 Meadowland Court, Vaughan) is within TRCA's Regulated Area due to a tributary to the east of the property associated with the Humber River Watershed. Based on the site plan provided, no development is proposed within TRCA's Regulated Area. As such, a permit from the TRCA is not required and the TRCA has no concern with the proposal.

Thank you,

Cameron McDonald

Planner I

Development Planning and Permits | Development and Engineering Services

T: [\(437\) 880-1925](tel:(437)880-1925)

E: cameron.mcdonald@trca.ca

A: [5 Shoreham Drive, Toronto, ON, M3N 1S4](#) | trca.ca



From: [Development Services](#)
To: [Committee of Adjustment Mailbox](#)
Subject: [External] RE: A014/25 - 41 MEADOWLAND COURT - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Friday, March 7, 2025 12:52:03 PM

CAUTION! This is an external email. Verify the sender's email address and carefully examine any links or attachments before clicking. If you believe this may be a phishing email, please use the Phish Alert Button.

Good afternoon.

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Regards,

Gabrielle

Gabrielle Hurst MCIP, RPP | Associate Planner, Development Planning, Economic and Development Services Branch | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None

SCHEDULE D: BACKGROUND

None